



STAFF REPORT SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: July 18, 2024

PLANNER: David Carrillo, Associate Planner

SUBJECT: **Public Hearing Project (PHP) 24-054, Happy Coffee Outdoor Beer and Wine Service and Off-Site Parking Agreement,** a request to allow Minor Conditional Use Permit (MCUP) 24-057 for outdoor beer and wine service at a café, and an off-site parking agreement between the City and the café for use of parking spaces at a City-owned parking lot located at 118 Avenida Rosa, and finding the project is Categorically Exempt from the California Environmental Quality Act under Section 15301 of the CEQA Guidelines (14 CCR § 15301, Class 1).

LOCATION: 114 Avenida Victoria

ZONING/GENERAL PLAN: Mixed Use 3.1 Zoning District and Architectural Overlay District

PROJECT SUMMARY:

- **Background:** The project site is developed with a commercial building and four parking spaces, and has been vacant since 2019. The previous tenant was La Tiendita, a Mexican restaurant and market, that operated from 1993 through 2019. The property was acquired by Happy Coffee Club (Happy Coffee) in 2023, and plans to open a café restaurant in 2024. Exterior improvements at the subject building were approved in June 2024 under Administrative Development Permit (ADP) 24-053, which includes a remodel of the existing rear outdoor patio, to bring the patio closer to the building’s Spanish architecture. The rear patio is covered and mostly enclosed but is not a conditioned interior space. The ADP also includes the addition of bicycle parking, and the removal of one parking space to accommodate a handicapped parking space per ADA requirements. Per the Municipal Code, a parking credit is given for a parking space removed due to ADA requirements. Therefore, the updated site plan of 1 ADA space and 2 standard spaces will still count as 4 spaces for the benefit of the business operations at the property.
- **Proposed Project:** The applicant, Happy Coffee, proposes to open a café restaurant with indoor and outdoor beer and wine service, and a maximum seating count of 32 indoor seats and 16 outdoor seats. The outdoor beer and wine service would occur in the remodeled rear patio. The proposed beer and wine service hours are 12:00 p.m. through 9:00 p.m., Monday through Friday; and 9:00 a.m. through 9:00 p.m., Saturday and Sunday. Condition of Approval 7.3 simplifies the allowed service times to 9:00 a.m. through 9:00 p.m. daily. Additionally, Happy Coffee is proposing the use of four

off-site parking spaces at a city-owned parking lot located at 118 Avenida Rosa, and occupied by a senior services center, Dorothy Visser Senior Center. In conjunction with the three on-site parking spaces (including the new handicapped parking space), and the parking credit of one space, the four off-site parking spaces would allow Happy Coffee to operate at the proposed maximum seating count noted in Table 1 below.

- **Approval Authority:** Zoning Administrator approval of a Minor Conditional Use Permit (MCUP) is required to allow 1) outdoor beer and wine service at a restaurant, and 2) the use of off-site parking spaces. A MCUP is not required for indoor beer and wine service at an establishment with active food service.
- **Discussion:** The subject off-site parking lot has 25 parking spaces. The senior care center requires 25 parking spaces, per the original entitlements for the fire station and senior center. Since the senior center needs all 25 parking spaces to remain in compliance with parking requirements, the proposed off-site parking spaces may only be used by Happy Coffee outside the senior center’s hours of operation. The senior center operates Monday through Friday, from 8:30 a.m. to 4:00 p.m. Conditions of approval have been added to prevent conflict with hours of operation between the senior center and Happy Coffee. Table 1 below outlines the maximum indoor and outdoor seating with and without the availability of the off-site parking spaces, using a parking ratio of one parking space per four seats, and accounting for outdoor seating allowed without requiring additional parking, per Zoning Ordinance Section 17.28.205. The floor plan exhibit currently shows more than 16 outdoor seats and will need to be modified prior to issuance of building permits.

Table 1 – Maximum Seating Counts

	Indoor	Outdoor
4 parking spaces <i>(3 on-site parking spaces [including 1 handicapped space] + parking credit of 1 space)</i>	16	8
8 parking spaces <i>(4 off-site spaces + 3 on- site parking spaces [including 1 handicapped space] + parking credit of 1 space)</i>	32	16

In summary, Happy Coffee will not have access to the four off-site parking spaces between 8:30 a.m. and 4:00 p.m., from Monday through Friday. The applicant has provided one floor plan for each seating arrangement outlined above – 1) 16 indoor, and 8 outdoor; and 2) 32 indoor, and 16 outdoor. Additionally, the floor plan showing the least amount of seating identifies the area where excess chairs and tables will be stored, until 4:00 p.m., when the off-site parking spaces become available for use by customers. A condition of approval has been added which requires the applicant to

enter into an off-site parking agreement with the City, consistent with this approval, and subject to approval by the City Council.

- **Project Findings:** Staff supports the proposed request per the following reasons:
 - The proposed outdoor beer and wine further encourages the use of the café's outdoor dining area by providing additional complementary breakfast, lunch, and dinner items entirely within private property, consistent with General Plan Policy LU-11.04. Outdoor Dining, which states, "*We encourage the development of outdoor dining and other similar uses which do not impede pedestrian use of the sidewalks.*"
 - The proposed off-site parking capitalizes on the use of a parking lot that becomes underutilized or vacant in the afternoon beyond the operating hours of the Senior Center to meet parking requirements, versus developing more parking areas that may detract from Downtown's quality of site and street design, consistent with General Plan Policy M-4.04. Alternative Parking Strategies, which states, "*We consider alternative parking strategies that address multi-modal parking needs, improve land use efficiency and enhance environmental quality, such as use of energy-saving/generating features, demand based parking strategies, stacking, alternative paving, and accommodating multiple uses.*"
 - The project does not propose exterior changes to the site or building to accommodate the new café restaurant.
 - The project is subject to the California Building Code, Orange County Fire Authority, and Alcoholic Beverage Control State Department, and other applicable standards.
 - The café improves the function of the property with the proposed three parking spaces on site (including an ADA-compliant parking space), and four off-site parking spaces to support restaurant guests, where the previous tenant operated with no ADA-compliant parking, four on-site parking spaces, and four parking waivers.
 - The off-site parking spaces are within 1,000 feet from the project site.
 - The applicant must enter into an off-site parking agreement with the City, subject to approval by the City Council, which stipulates when off-site parking spaces are available to prevent conflict with hours of operation between the senior center and Happy Coffee.
- **CEQA:** The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) because the project is limited to on-site service of beer and wine at an existing commercial building, and an off-site parking agreement.
- **Public Comment:** Public comments on this item have not been received as of the date of publication of this report.

RECOMMENDATION

Staff recommends that the Zoning Administrator:

1. Determine the project is Categorical Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities); and
2. Adopt Resolution ZA 24-012, approving Minor Conditional Use Permit 24-057, subject to attached conditions of approval.

Attachments:

1. Resolution ZA 24-012
Exhibit A - Conditions of Approval
2. Location Map
3. Photos
4. Floor Plan

RESOLUTION NO. ZA 24-012

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING MINOR CONDITIONAL USE PERMIT 24-057, HAPPY COFFEE OUTDOOR BEER AND WINE SERVICE AND OFF-SITE PARKING AGREEMENT, TO ALLOW OUTDOOR BEER AND WINE SERVICE AT A CAFÉ LOCATED AT 114 AVENIDA VICTORIA, AND AN OFF-SITE PARKING AGREEMENT BETWEEN THE CITY AND THE CAFÉ FOR USE OF PARKING SPACES AT A CITY-OWNED PARKING LOT LOCATED AT 118 AVENIDA ROSA, AND FINDING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT UNDER SECTION 15301 OF THE CEQA GUIDELINES (14 CCR § 15301, CLASS 1).

WHEREAS, on January 29, 2024, an application was submitted by Mikael Sanchez, 392 Camino De Estrella, San Clemente, CA 92672, for Minor Conditional Use Permit (MCUP) 24-057, and deemed complete on May 23, 2024; a request to allow outdoor beer and wine service at a café 114 Avenida Victoria, and an off-site parking agreement between the city and the café for use of parking spaces at a city-owned parking lot located at 118 Avenida Rosa. The project site is in the Mixed Use 3.1 Zoning District and Architectural Overlay District. The site's legal description is N TR 779 BLK 7 LOT 25, and Assessor's Parcel Number 058-083-25; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends the Zoning Administrator determine the project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities). This is recommended because the project is limited to on-site service of beer and wine at an existing commercial building, and an off-site parking agreement; and

WHEREAS, on March 21, 2024 and May 9, 2024, the City's Development Management Team (DMT) reviewed the proposed project and determined it complies with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, in accordance with City and State requirements, notice of the public hearing was published in the *San Clemente Times* newspaper on July 3, 2024, posted at the project site, and mailed to all property owners within 300 feet of the subject parcel; and

WHEREAS, on July 18, 2024 the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Zoning Administrator of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1:Existing Facilities).

The Class 1 exemption specifically exempts from further CEQA review the operation, repair, maintenance, and minor repair of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. This exemption covers, but is not limited to, interior or exterior alterations, additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. Here, the proposed project is limited to on-site service of beer and wine at an existing commercial building, and an off-site parking agreement, which will not increase the floor area of the structure by more than 50 percent of the existing floor area, or more than 2,500 square feet. The project does not increase or otherwise change the existing use of the site. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. The project is not in a scenic corridor, will not alter or impact historic resources, and does not include any hazardous waste sites. The project consists of no physical modifications to the structure or the environment and only involves allowing outdoor beer and wine service, and an off-site parking agreement. Thus, the Class 1 exemption applies, and no further environmental review is required.

Section 3. Minor Conditional Use Permit Findings

With respect to Minor Conditional Use Permit (MCUP) 24-057, the Zoning Administrator finds as follows:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of the Zoning Ordinance, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed, in that:

1. The off-site parking spaces are within 1,000 feet from the project site;
 2. The proposed outdoor beer and wine further encourages the use of the café's outdoor dining area by providing additional complementary breakfast, lunch, and dinner items entirely within private property, consistent with General Plan Policy LU-11.04. Outdoor Dining, which states, "We encourage the development of outdoor dining and other similar uses which do not impede pedestrian use of the sidewalks."; and
 3. The proposed off-site parking capitalizes on the use of a parking lot that becomes underutilized or vacant in the afternoon beyond the operating hours of the Senior Center, versus developing more parking areas that may detract from Downtown's quality of site and street design, consistent with General Plan Policy M-4.04. Alternative Parking Strategies, which states, "We consider alternative parking strategies that address multi-modal parking needs, improve land use efficiency and enhance environmental quality, such as use of energy-saving/generating features, demand based parking strategies, stacking, alternative paving, and accommodating multiple uses."
- B. The site is suitable for the type and intensity of use that is proposed, in that:
1. The project does not propose exterior changes to the site or building to accommodate the new café restaurant with beer and wine service;
 2. The café improves the function of the property with the proposed ADA-compliant parking space on site, and four off-site parking spaces to support restaurant guests, where the previous tenant operated with no ADA-compliant parking, four on-site parking spaces, and four parking waivers; and
 3. The Development Management Team reviewed and supports the project as conditioned.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity, in that:
1. The project is subject to the California Building Code, Orange County Fire Authority, and Alcoholic Beverage Control State Department, and other applicable standards;
 2. The café improves the function of the property with the proposed ADA-compliant parking space on site, and four off-site parking spaces to support restaurant guests, where the previous tenant operated with no ADA-compliant parking, four on-site parking spaces, and four parking waivers;
 3. The applicant must enter into an off-site parking agreement with the City, subject to approval by the City Council, which stipulates when off-site parking spaces are available to prevent conflict with hours of operation between the

senior center and Happy Coffee;

4. The proposed outdoor beer and wine further encourages the use of the café's outdoor dining area by providing additional complementary breakfast, lunch, and dinner items entirely within private property; and
 5. The proposed off-site parking capitalizes on the use of a parking lot that becomes underutilized or vacant in the afternoon beyond the operating hours of the Senior Center to meet parking requirements, versus developing more parking areas that may detract from Downtown's quality of site and street design.
- D. The proposed use will not negatively impact surrounding land uses, in that:
1. The project is subject to the California Building Code, Orange County Fire Authority, and Alcoholic Beverage Control State Department, and other applicable standards;
 2. The café improves the function of the property with the proposed three parking spaces on site (including an ADA-compliant parking space), and four off-site parking spaces to support restaurant guests, where the previous tenant operated with no ADA-compliant parking, four on-site parking spaces, and four parking waivers;
 3. The applicant must enter into an off-site parking agreement with the City, subject to approval by the City Council, which stipulates when off-site parking spaces are available to prevent conflict with hours of operation between the senior center and Happy Coffee;
 4. The proposed outdoor beer and wine further encourages the use of the café's outdoor dining area by providing additional complementary breakfast, lunch, and dinner items entirely within private property; and
 5. The proposed off-site parking capitalizes on the use of a parking lot that becomes underutilized or vacant in the afternoon beyond the operating hours of the Senior Center to meet parking requirements, versus developing more parking areas that may detract from Downtown's quality of site and street design.

Section 4. Zoning Administrator Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Minor Conditional Use Permit 24-057, Happy Coffee Outdoor Beer and Wine Service and Off-Site Parking Agreement, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on July 18, 2024.

Adam Atamian, Zoning Administrator

CONDITIONS OF APPROVAL
 PUBLIC HEARING PROJECT 24-054
 MINOR CONDITIONAL USE PERMIT 24-057
 HAPPY COFFEE OUTDOOR BEER AND WINE SERVICE AND
 OFF-SITE PARKING AGREEMENT

1.0 GENERAL CONDITIONS OF APPROVAL

- | | | |
|-----|---|--------------|
| 1.1 | Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner. | Planning |
| 1.2 | The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner, Zoning Administrator, or City employees or environmental finding. Applicant shall pay all costs upon request by the City. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter at the applicant's expense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at the applicant's cost. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180. | Planning |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. | All |
| 1.5 | Use of the subject property shall conform to all occupancy requirements, including posting of signs related to the maximum occupancy limitations. | Code
Comp |

- 1.6 Minor Conditional Use Permit 24-057 shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150. Planning

4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. Planning

Shared Parking

- 4.11 The applicant shall submit to the City Planner, and must obtain approval from the City Attorney's Office and City Council, and the applicant shall have recorded, an off-site parking agreement between the subject property owner and the City, for the exclusive use of four off-site parking spaces at 118 Avenida Rosa (Dorothy Visser Senior Center parking lot) during the following hours: 4:00 p.m. – 9:00 p.m., from Monday through Friday; and 6:00 a.m. – 9:00 p.m., on Saturday and Sunday, or as otherwise determined by the City Planner based on the operational characteristics of the approved use. Planning *

Utilities

- 4.12 If the project pertains to a Food Service Establishment (FSE), the applicant shall submit, and must obtain approval from the Utilities Director, plans depicting the Fats, Oils, and Greases (FOG) controls, with the plans and design approved by the Orange County Health Care Agency. Utilities
- 4.15 The floor plans shall be revised to indicate a maximum of 16 outdoor seats on the rear patio. Bench seating shall be calculated as 1 seat per 2 lineal feet. Planning **
- 4.16 In the event the project valuation is \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following: Public Works *
- A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach to meet current City standards (2% cross fall) when adequate right-of-way exists, unless a waiver is applied for and approved by the City Manager. Although the street right-of-way is approximately 5 feet behind the curb face on Avenida Victoria and a sidewalk easement is required to be granted to the City unless a

waiver is obtained, it is expected that a waiver would be granted due to the existing building being in conflict with the sidewalk around the drive approach.

- B. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector.

(SCMC Chapter 15.36 and Sections 12.08.010, and 12.24.050) ■

7.0 OPERATIONAL CONDITIONS OF APPROVAL

Businesses Selling Alcoholic Beverages

- | | | |
|-----|---|--------------|
| 7.3 | The sale of beer and wine/alcoholic beverages for on-site/off-site consumption shall be limited to the daily hours of 9:00 a.m. – 9:00 p.m. | Planning |
| 7.4 | All employees shall receive Responsible Alcoholic Beverage Service training as offered through programs established by the Orange County Health Care Agency and Alcoholic Beverage Control of the State of California. Training shall be provided as soon as practical following the hire date of each employee. Evidence of such training shall be maintained on-site during business hours, and made available for inspection by any city official upon request. (SCMC Section 17.16.070) | Code
Comp |
| 7.5 | The service and consumption of alcoholic beverages shall only be permitted in conjunction with food service, with same foods prepared on site. The foods shall be available at all times that alcoholic beverages are being served. | Code
Comp |
| 7.6 | A manager shall be on the premises at all times, and available to respond to issues raised by representatives from the Orange County Sheriff's Department, Orange County Fire Authority, or City of San Clemente Code Compliance, during the hours of operation when alcohol service, live entertainment, and/or dancing are occurring. | Code
Comp |
| 7.7 | These conditions of approval shall be posted in a conspicuous location clearly visible to employees to ensure they are informed of and adhere to requirements and policies for all operations of the business, including but not limited to any live entertainment, dancing activity, or alcohol service, when applicable. | Code
Comp |
| 7.8 | The use of amplified sound (including the electronically amplified sound of live music, human voice, or other sound within a business, restaurant, bar, or other commercial establishment) shall not be permitted without the benefit of a Minor Conditional Use Permit for | Code
Comp |

Commercial Amplified Sound. This prohibition does not include televisions, radios, or reasonable background or ambient music.

Parking

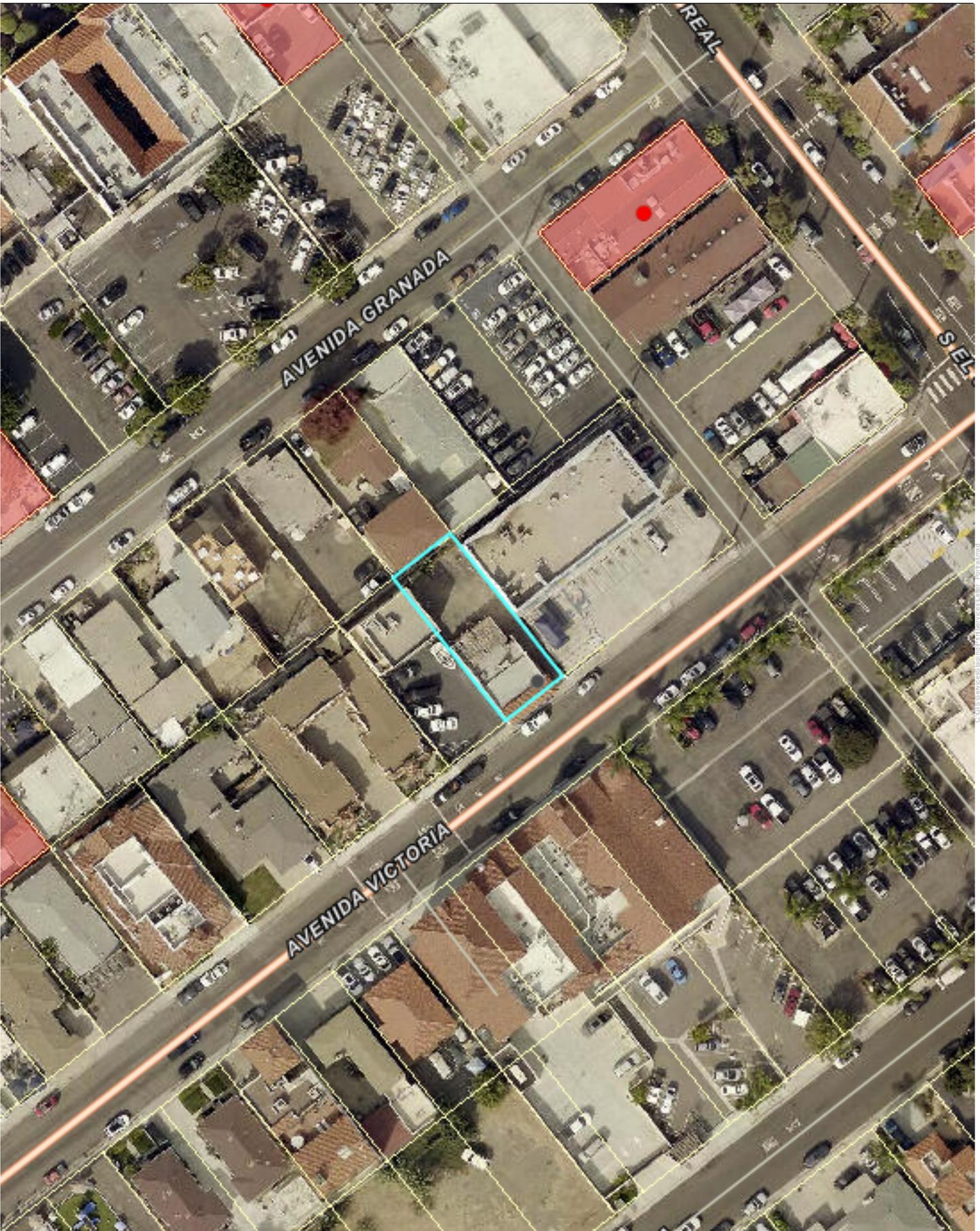
- 7.15 If subsequent to the project approval the City Planner determines that parking issues are negatively affecting the project site, adjacent properties, or the surrounding street network, the applicant shall submit an amendment to Minor Conditional Use Permit 24-057 with a plan to address the parking and/or traffic issues. The plan may include amending the off-site parking agreement, creating short-term parking stalls, and/or active monitoring and enforcement to manage parking. The applicant shall be responsible for implementing the parking management plan, at their expense. The amendment shall be subject to Zoning Administrator review and approval.

- 7.17 If the shared parking agreement/lease is approved (reference COA 4.11), the maximum seating count is increased during the hours where shared parking spaces are available. The business and/or property owner may request an amendment to these hours, to be reviewed by the Zoning Administrator, with the benefit of a parking survey that demonstrates surplus parking at the Senior Center parking lot during operating hours of the Senior Center.

Planning
*

	Indoor	Outdoor
Monday through Friday, from 8:30 a.m. to 4:00 p.m	16	8
4:00 p.m. – 9:00 p.m., from Monday through Friday; and 6:00 a.m. – 9:00 p.m., on Saturday and Sunday	32	16

- * Denotes a modified Standard Condition of Approval
- ** Denotes a project-specific Condition of Approval



Printed 6/27/2023 @ 9:24 AM



MCUP 24-057
114 AVENIDA VICTORIA
HAPPY COFFEE BEER AND WINE AND OFF-SITE PARKING



HISTORIC RESOURCE

**PHOTOGRAPHS OF
EXISTING CONDITIONS**

















HAPPY COFFEE

114 AVE VICTORIA, SAN CLEMENTE, CA 92672

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- AS-BUILT CONDITIONS TO BE VERIFIED.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.



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HAPPY COFFEE

Address	114 AVE VICTORIA SAN CLEMENTE, CA 92672
Client	HAPPY COFFEE
Status	DESIGN PHASE

Date	Rev #	Reason for Issue	by

Sheet Title	TITLE SHEET		
Size	24" x 36"	Job #	2315
Date Stamp	7/10/2024 2:23:45 PM		
Issue Date			
Sheet #	G-001		

PROJECT DATA

USE: RESTAURANT
BUILDING HEIGHT: 12' - 3"

LEGAL DESCRIPTION:

APN: 058-083-25
LEGAL DESCRIPTION: N-TRACT: 779 BLOCK: 7 LOT: 25
OCCUPANCY GROUP: B
TYPE OF CONSTRUCTION: IIIB
ZONING: MU-3.1
OVERLAY: A-ARCHITECTURAL

SITE DATA:

LOT SIZE (ACRES): .1 ACRES
LOT SIZE (SF): 4,000 SF

FOOTAGE DATA:

EXISTING BUILDING AREA: 1,207 SF
FLR 1 : 1,207 SF
PROPOSED BUILDING AREA: 1,207 SF (NO CHANGE)
FLR 1 : 1,207 SF (NO CHANGE)
FOOTPRINT BLDG: 1,207 SF (NO CHANGE)
PROPOSED LOT COVERAGE: 30%
STORIES: 1
PARKING SPACES: 8 REQUIRED
EXISTING: 4-(3 REMAINING AFTER UPGRADING TO ADA VAN SPOT)
PARKING AGREEMENT: 4 (THROUGH AGE-WELL - TBD)

ADDITIONAL INFORMATION:

FIRE ZONE: MODERATE

PROJECT DIRECTORY

OWNER
HAPPY COFFEE
CAMERON HOULE
4 VIA BELLEZA
SAN CLEMENTE, CA 92673
t. +1.949.344.6890

ARCHITECT
FOXLIN ARCHITECTS
MICHAEL FOX
392 CAMINO DE ESTRELLA
SAN CLEMENTE, CA 92672
t. +1.949.325.3001

CONTRACTOR
PLATINUM X CONSTRUCTION
JAKE FITCH
15971 ROCKFIELD BLVD SUITE C
IRVINE, CA 92618
t. +1.949.832.6292

STRUCTURAL ENGINEER (TBD)
COMPANY NAME (if applicable)
NAME
STREET ADDRESS
CITY, CA 900XX
t. +1.XXX.XXX.XXXX

SCOPE OF WORK

- CLEAN UP THE BACK OF THE LOT AND EXTERIOR OF THE BUILDING.
- REFRESH THE PAINT.
- REMOVE THE BLUE AWNINGS
- REPLACING SELECT WINDOWS.
- ADD A NEW SLIDING GLASS DOOR ON THE BACK PATIO
- THE RESTAURANT WILL UNDERGO A COMPLETE INTERIOR RENOVATION:
- REMOVING EXISTING FOOD SERVICE COUNTERS, WALK-IN REFRIGERATOR, AND STORAGE AREAS.
- THE EXTERIOR WILL FEATURE BEAUTIFUL SPANISH ARCHITECTURAL ELEMENTS, IN LINE WITH THE NEIGHBORHOOD'S TRADITION.
- THE RESTAURANT WILL BE A LIVELY CAFE WITH:
- SEATS FOR 32 PATRONS INSIDE AND 16 SEATS OUTSIDE ON THE REAR PATIO, TOTALING 48 SEATS.
- AN OPEN FLOOR PLAN WITH MOVABLE TABLES TO ACCOMMODATE GROUPS OF VARIOUS SIZES.
- A FOOD SERVICE COUNTER
- PLANS TO SERVE FOOD ALL DAY, OFFERING BEER AND WINE INSIDE AND OUTSIDE, WHILE MAINTAINING THE CAFE EXPERIENCE.
- 3 EXISTING PARKING SPOTS. (+ 1 CREDIT FOR LOSS OF SPACE FOR ADA VAN PARKING UPGRADE)
- 4 SPOTS TO BE PART OF AN OFF-SITE PARKING AGREEMENT WITH LOT 4-C WITH AGEWELL. (TBD)
- CREATE 20 SPOTS OF BICYCLE PARKING

PLANNING DEPARTMENT NOTES

1. NONE

BUILDING DEPARTMENT NOTES

1. NONE

FIRE DEPARTMENT NOTES

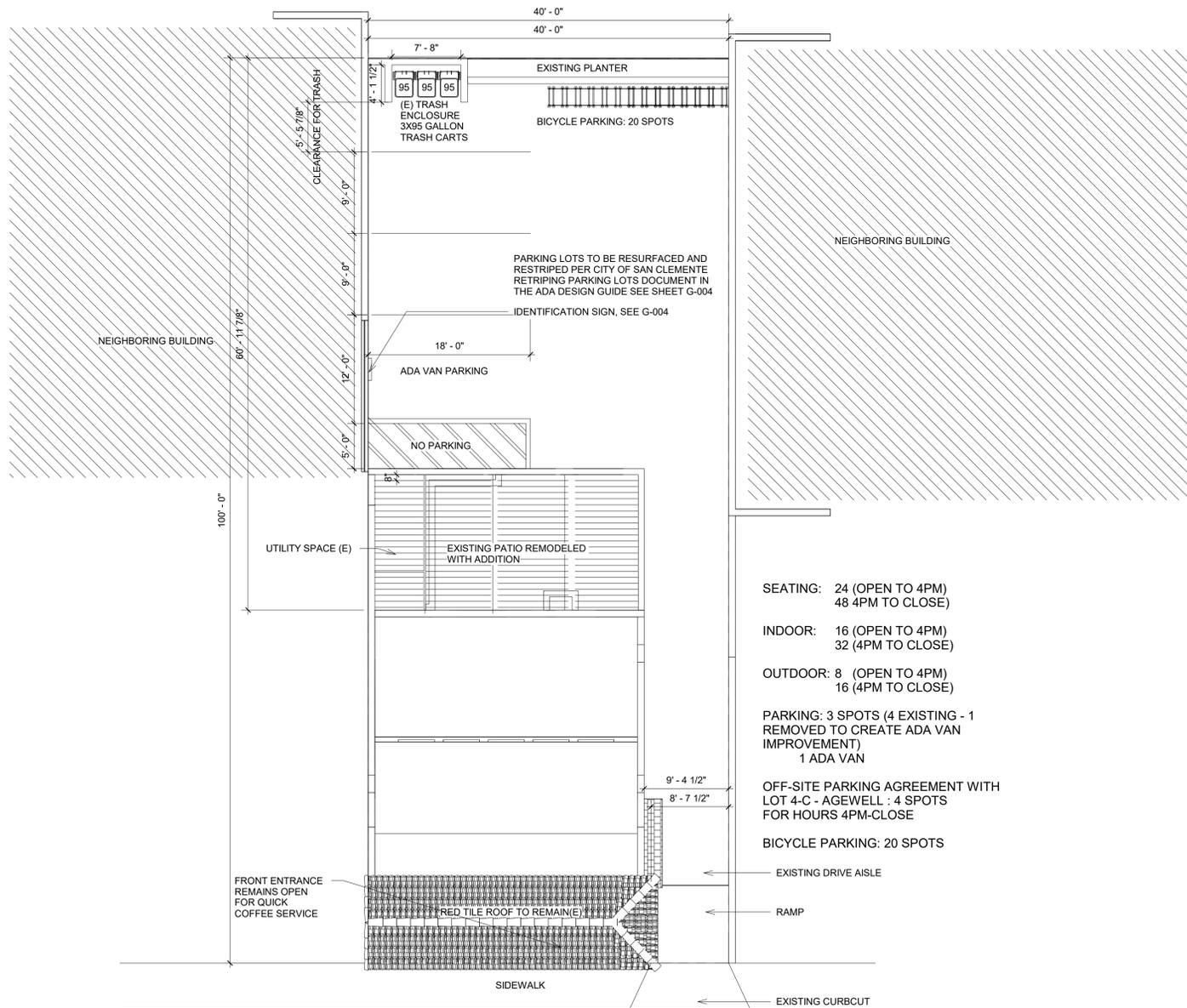
1. NONE

GOVERNING CODES

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA ENERGY STANDARDS (CBEES)
2022 CALIFORNIA GREEN BUILDING CODE (CalGreen)
2022 CALIFORNIA FIRE CODE (CFC)
ORANGE COUNTY HEALTH DEPARTMENT
SAN CLEMENTE MUNICIPAL CODE

VICINITY MAP





SITE NOTES

- ALL NOTES LABELED NOT IN PERMIT (NIP) ARE NOT PART OF THIS APPLICATION.
- ALL SURFACE WATER MUST DRAIN AWAY FROM BUILDING. A MINIMUM OF 5% WITHIN FIRST 10' HORIZONTAL (2% FOR IMPERVIOUS SURFACES).
- ALL LOOSE FOUNDATION EXCAVATION MATERIAL SHALL BE REMOVED PRIOR TO COMMENCEMENT OF FRAMING. SLOPES DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED.
- ALL ROOF AND PAD DRAINAGE SHALL BE CONDUCTED TO THE STREET IN AN ACCEPTABLE MANNER. IF WATER SHALL BE DISPERSED ON TO DESCENDING SLOPES, ACQUIRE SPECIFIC APPROVAL FROM THE GRADING SECTION AND THE CONSULTING GEOLOGIST AND/OR SOIL ENGINEER.
- CONTRACTOR TO REVIEW BOTH PROPOSED SITE DRAINAGE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT DO NOT ALLOW FOR POSITIVE DRAINAGE AWAY FROM BUILDING AND OTHER STRUCTURES. DO NOT COMMENCE SITE DRAINAGE WORK UNTIL ALL DISCREPANCIES AND CONDITIONS HAVE BEEN REVIEWED BY ARCHITECT.
- ALL PIPING SHALL BE 4-INCH DIAMETER, U.O.N. NOTIFY ARCHITECT OF DISCREPANCIES OR UNDERSIZED PIPING SYSTEMS.
- ALL SOLID DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF 2% UNLESS OTHERWISE NOTED.
- 5% DRAINAGE AROUND/AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10'. ALTERNATIVELY, SWALES WITH SLOPE OF 2% SHALL BE LOCATED WITHIN 10' OF BUILDING FOUNDATION.
- ARCHITECT TO VERIFY ALL DRAIN LOCATIONS PRIOR TO THEIR INSTALLATION.
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM E
- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

SITE LEGEND

- P.L. PROPERTY LINE
- SETBACK
- BUILDING FOOTPRINT
- TREE / FOLIAGE
- HOSE BIB
- METAL FENCE
- WOOD FENCE
- LOCATION OF UTILITY STUB-OUTS AND CLEAN-OUTS
- EXISTING UTILITIES
- PROPOSED UTILITIES
- ELEVATION



GENERAL NOTES

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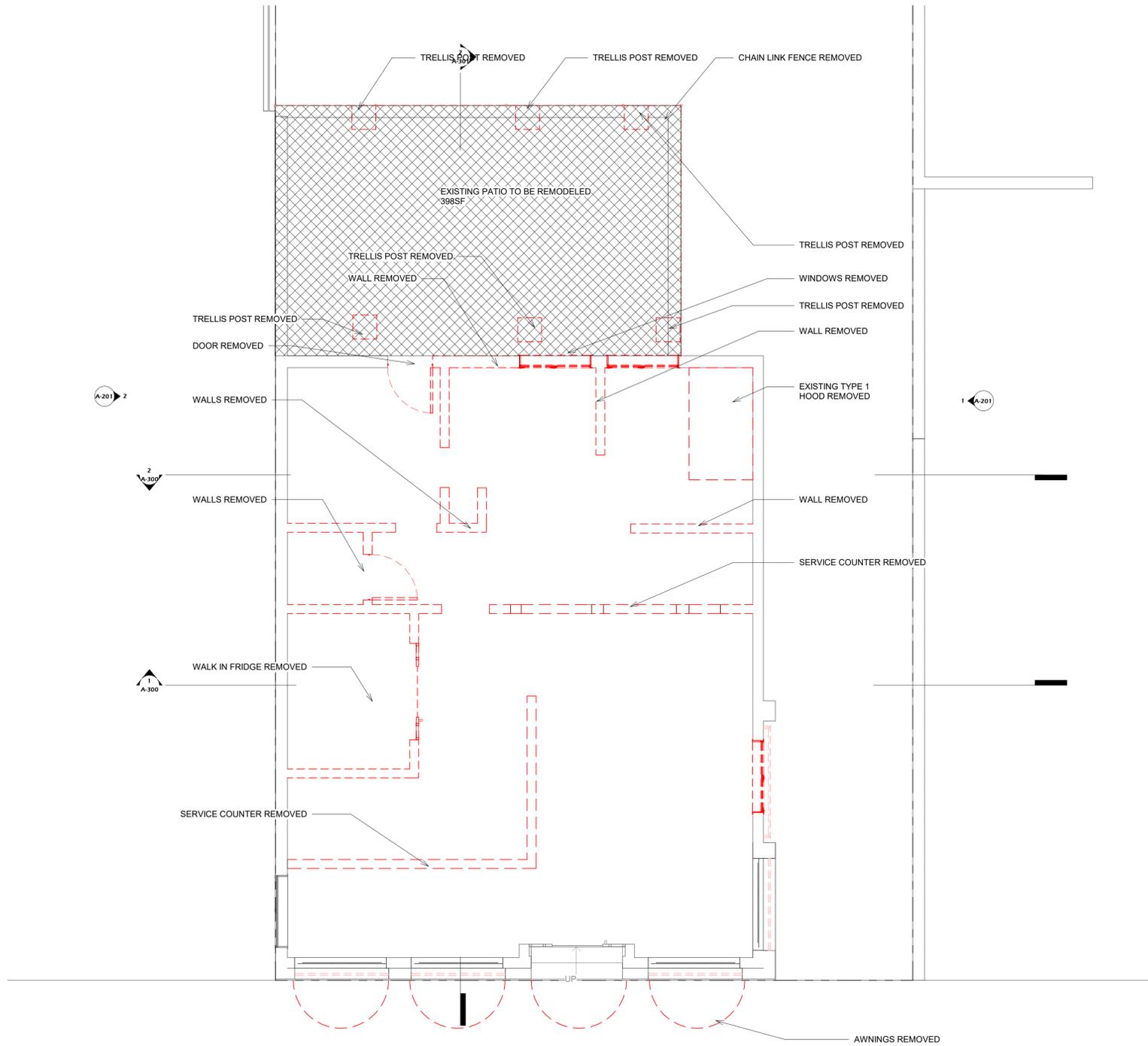


HAPPY COFFEE

Address	114 AVE VICTORIA SAN CLEMENTE, CA 92672
Client	HAPPY COFFEE
Status	DESIGN PHASE

Date	Rev #	Reason for Issue	by

Sheet Title	SITE PLAN		
Size	24" x 36"	Job #	2315
Date Stamp	7/10/2024 2:23:48 PM		
Revision #			
Issue Date			
Sheet #	A-101		



- GENERAL NOTES**
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PLAN NOTES



- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
- EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.
- MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS. ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
- ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
- PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL OR AS DIRECTED BY DESIGNER.
- SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
- PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
- PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT
- ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK. NO KITCHENS AND BARS TO DRAIN TO GREYWATER
- ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.



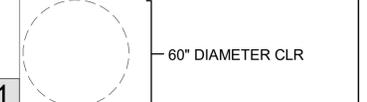
HAPPY COFFEE

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WALL LEGEND

LEGEND

	2X4 WALL	D.S.	DOWNSPOUT
	2X6 WALL	---	OVERHEAD
	1 HR FIRE RATED 2X6 WALL		



Date	Rev #	Reason for Issue	by

Sheet Title	1ST FLOOR DEMO PLAN		
Size	24" x 36"	Job #	2315
Date Stamp	7/10/2024 2:23:49 PM		
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Issue Date			
Sheet #	A-111		

Autodesk Docs://23115-Happy Coffee/23115-Happy Coffee/231-bcp.rvt

KEYNOTE LEGEND - ALL

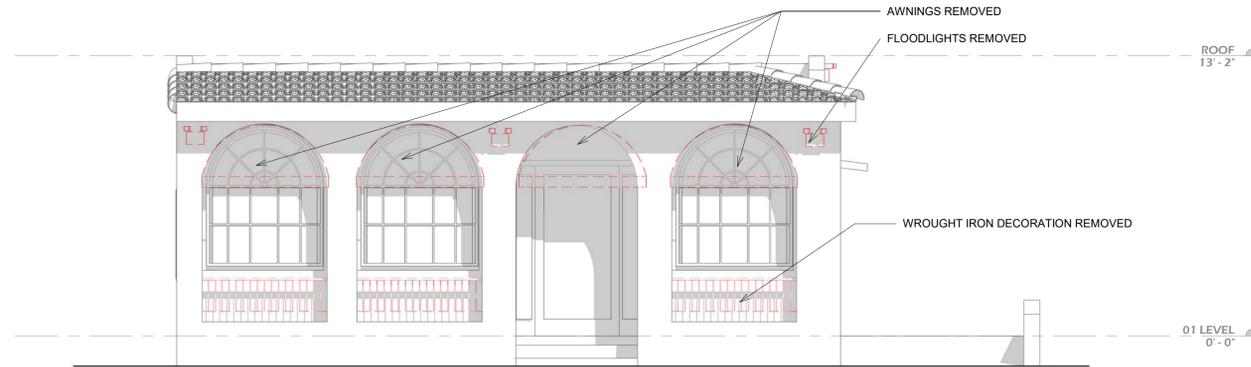
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GENERAL NOTES

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2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
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4. AS-BUILT CONDITIONS TO BE VERIFIED.
5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
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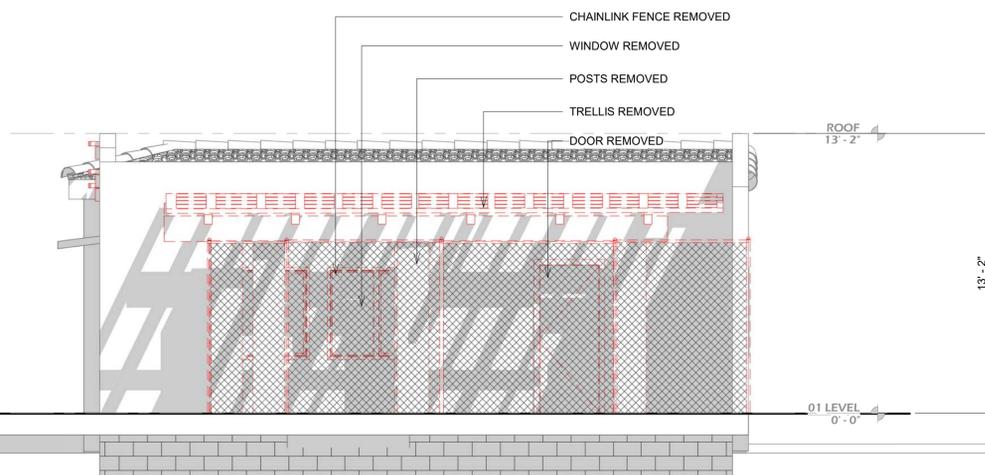
SOUTH ELEVATION - DEMO 1/4" = 1'-0" 2

04 LEVEL 37'-0"



HAPPY COFFEE

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NORTH ELEVATION - DEMO 1/4" = 1'-0" 1

Date	Rev #	Reason for Issue	by
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ELEVATIONS-EXISTING DEMO

Sheet #	24" x 36"	Job #	2315
Date Stamp	7/10/2024 2:23:53 PM		
Issue Date			
Revision #			
Sheet #	A-200		

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KEYNOTE LEGEND - ALL

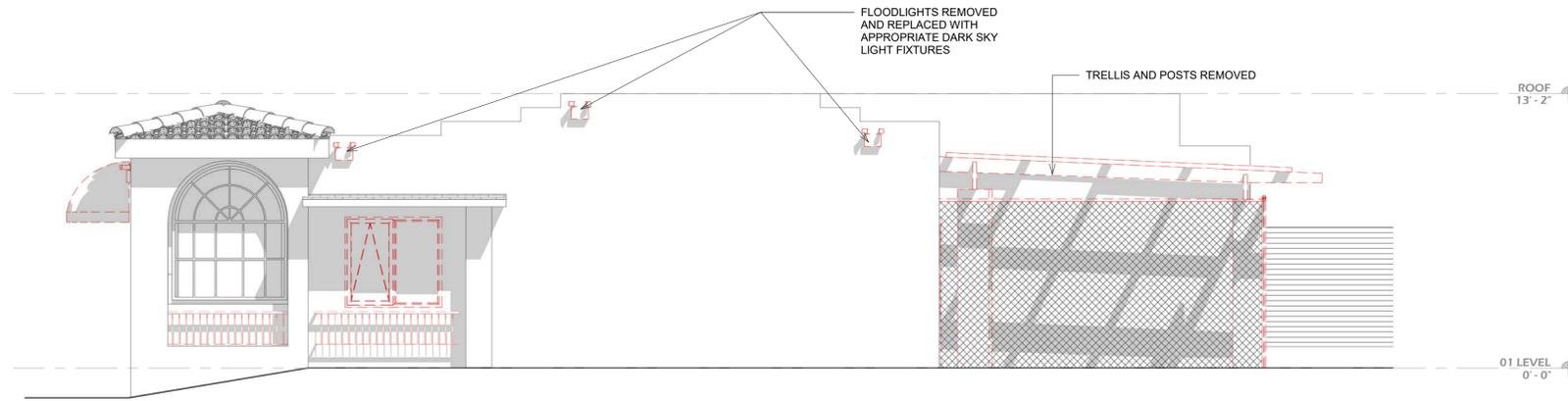
KEY VALUE	KEYNOTE TEXT
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EAST ELEVATION - DEMO 1/4" = 1'-0" 1



WEST ELEVATION - DEMO 1/4" = 1'-0" 2



HAPPY COFFEE

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ELEVATIONS-EXISTING DEMO

Sheet #	2315
Size	24" x 36"
Date Stamp	7/10/2024 2:23:57 PM
Issue Date	
Revision #	
Sheet #	A-201

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KEYNOTE LEGEND - ALL

KEY VALUE	KEYNOTE TEXT
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SOUTH ELEVATION 1/4" = 1'-0" 2

04 LEVEL 37'-0"



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NORTH ELEVATION 1/4" = 1'-0" 1

Date	Rev #	Reason for Issue	by
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ELEVATIONS-PROPOSED

Sheet #	A-210
Size	24" x 36" Job # 2315
Date Stamp	7/10/2024 2:23:59 PM
Issue Date	
Revision #	
Title	

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KEYNOTE LEGEND - ALL

KEY VALUE	KEYNOTE TEXT
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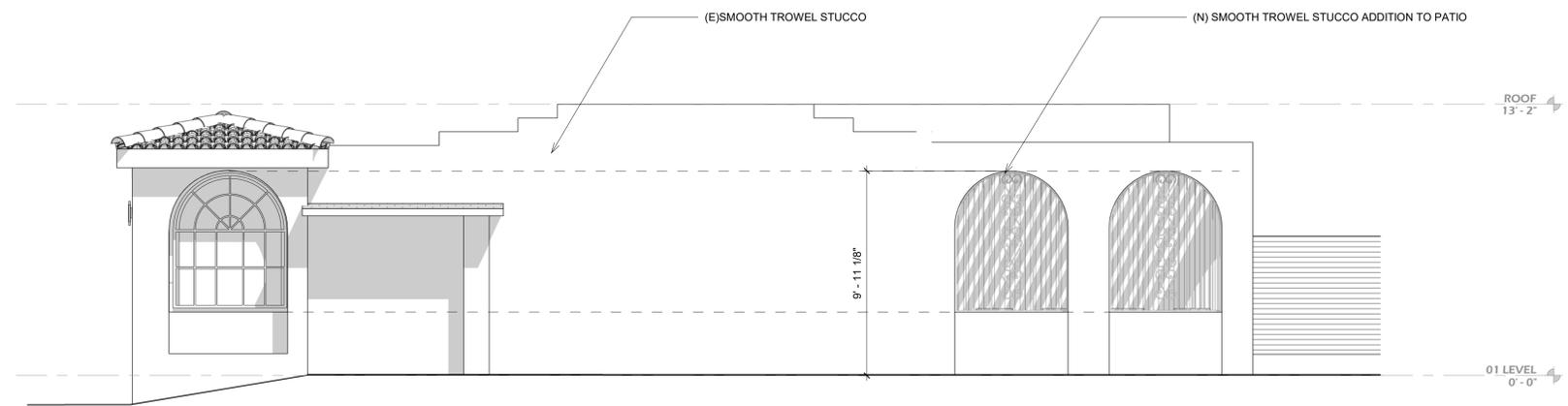


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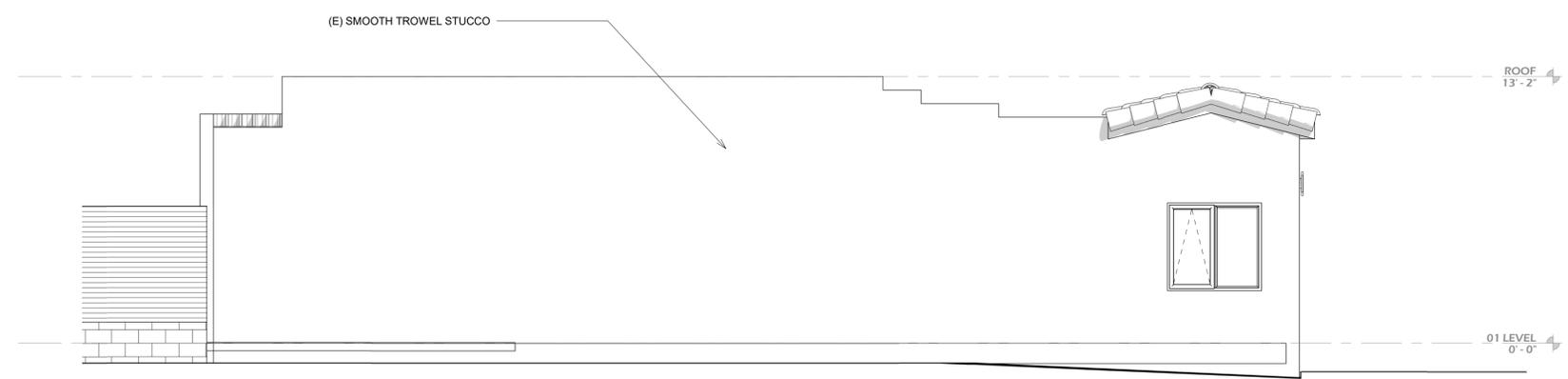
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Client	HAPPY COFFEE
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Date	Rev #	Reason for Issue	by

Sheet #	A-211		
Issue Date			
Revision #			
Date Stamp	7/10/2024 2:24:04 PM		
Size	24" x 36"	Job #	2315
Title	ELEVATIONS-PROPOSED		



EAST ELEVATION 1/4" = 1'-0" 1



WEST ELEVATION 1/4" = 1'-0" 2