



STAFF REPORT

SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: June 20, 2024

PLANNER: Zach Rehm, Senior Planner

SUBJECT: **Public Hearing Project 24-171, Anderson Residence**, a request for a Development Permit (DP 24-180) and a Minor Exception Permit (MEP 24-172) to expand a nonconforming 1,120 sq. ft. single-family residence with an addition of 714 sq. ft. living area, maintaining a legal nonconforming single car garage. The project would add a new 288 sq. ft. roof deck, new sidewalk, removal of a large street tree in the public right of way with replacement planting of three trees on the private property.

LOCATION: 111 Avenida Buena Ventura

ZONING/GENERAL PLAN: Residential Low Density Zone (RL)

PROJECT SUMMARY:

- The site is a 4,545 square-foot lot, sloping mildly from east to west. The existing single-family residence and one car garage were constructed in 1957. The residence is nonconforming because it has an approximately 16 foot front setback where 20 feet is required, approximately 3.5 foot side yard setbacks where 4.5 feet are required, and an approximately 14 foot garage front setback where 18 feet is required. Figure 1 below is an image of the site.

Figure 1 – Existing Site Conditions



- The applicant requests to expand the nonconforming single-family residence's living area by 714 square feet and provide a new 288 square foot deck atop the existing first level of the home, including spa and sauna. The deck, spa, and sauna would not be visible from the street and would not project above the height of the proposed second floor living area addition.
- Zoning Code Section 17.72.050 provides for the repair, alteration, and expansion of nonconforming structures. Subsection (l)(2)(a) relates to additions and provides that nonconforming single-family dwellings, smaller than 1,400 square feet, may be expanded to a maximum of 2,100 square feet and continue to be nonconforming with the approval of a Development Permit. Zoning Ordinance Table 17.16.100(D)(4) requires Zoning Administrator approval of a Development Permit in that circumstance. The proposed project meets the square footage criteria and expands the residence's living space by 64 percent.
- Zoning Code Section 17.72.050(l)(2)(b) further requires Zoning Administrator approval of a Minor Exception Permit (MEP) when nonconforming single-family dwellings, smaller than 1,400 square feet, are expanded to a maximum of 2,100 square feet, without modifying parking. The subject site has one existing nonconforming parking space in a garage and is not proposing to add any covered parking because there is no space on the site to do so. The Zoning Administrator must find that the MEP is necessary for the general appearance of a project to be in character with the neighborhood. The general required findings shall also be met for the approval of a Minor Exception Permit per Section 17.16.090. In this case, approval of the MEP is consistent with the character of the neighborhood because it will allow for the preservation of the existing building footprint and massing. Requiring an additional garage parking space to meet the current code would require the majority of the first story of the building to be reconstructed or would require a variance to allow additional parking in the front yard setback area; these alternatives would not benefit the general appearance of the project or the character of the neighborhood.
- There is a non-conforming greenhouse of unknown origin and a non-conforming shed/office in the rear yard which appears to have been constructed recently. Permit records were not found for either structure, so the applicant proposes to demolish the greenhouse and requests after-the-fact authorization for the shed/office to remain in place. Zoning Code Section 17.24.040 provides that for lots 6,000 square feet or smaller, one detached accessory building with 450 square feet or less floor area may encroach into the interior-side yard and/or rear yard setback of the zone up to a property line. The structure is less than 450 square feet and does not include a bathroom or kitchenette, so it will not function as a dwelling unit.
- There is an existing mature tree in the public right of way, along with a grass strip in the area where a sidewalk is proposed to be constructed by the applicant and would be required by the code (SCMC 12.08.010) based on the private improvements' valuation above \$50,000. City Manager authorization is required for removal of the tree or for a waiver of the requirement to provide a sidewalk. Thus Condition 4.15 requires the applicant to construct a sidewalk unless a waiver is granted by the City Manager, in which case a sidewalk easement would still be required but no sidewalk would be constructed by the applicant as part of the project and the tree would remain.

- The project includes a landscape plan that will add three trees along the front property line, additional smaller trees in the front setback, as well as a row of plantings adjacent to the proposed sidewalk and entryway. Zoning Code Section 17.68.020(A)(2)(a) provides that through the discretionary review process, compliance or partial compliance with the landscape provisions of the code may be required when other improvements are significant enough to warrant landscape improvements. Currently, the amount and type of planting material does not meet standards and the applicant proposes to add new trees, drought tolerant, plants, and permeable pavers where a hardscape pad covered with potted plants currently exists. Condition 1.5 requires a final landscape plan that maximizes permeable area in the front setback area, includes predominantly drought tolerant, native plant species and includes at least one 15-gallon or equivalent tree per 25 feet of street frontage, and any additional trees as may be required to be planted by the City Manager to replace the existing street tree. The condition further provides that the existing tree shall not be removed without the written authorization of the City Manager or their designee and the applicant shall maintain the landscaping which appears to function as a hedge along the front property line at 42" max height.
- There is a fence and pergola/patio cover within the east side yard and front yard that exceed height standards for those accessory structures. This is shown on the site photographs provided as Attachment 3. The Zoning Code allows hedges and fences up to 42 inches high in the front yard and six feet high elsewhere. Therefore, the front yard fence and pergola are nonconforming. Condition 3.15 requires maximum height of the landscaping which appears to function as a hedge along the front property line be called out as 42" max height and the plants shall be maintained at that height for the life of the development. Condition 5.13 requires the fence be modified to be in compliance with zoning standards prior to final inspection to the satisfaction of the City Planner.
- The project meets required findings for approval because:
 - The proposed addition complies with development standards.
 - The addition's scale, mass, setbacks, and materials are compatible with adjacent structures and in character with the pattern of development in the neighborhood. There are one-and-two story single-family residential buildings in the neighborhood. The addition continues the building's existing footprint and does not encroach into any setbacks. The building has a maximum height of 21 feet, where the zone allows a maximum height of 25 feet that supports two stories.
 - The roofdeck, spa, and sauna are at the rear half of the structure and hidden from the street view by the massing of the building; and
 - The landscape will be a substantial improvement over the current condition.
- The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines §15301 (Class 1: Existing Facilities) and §15303 (Class 3: New Construction Or Conversion Of Small Structures). This is recommended because the project is an addition under 10,000 square feet to a residence in an urbanized area served by utilities.
- No public comments have been received on this item.

RECOMMENDATION

Based on the information in the staff report and subject to the required findings and conditions of approval, staff recommends that the Zoning Administrator:

1. Determine the project is Categorical Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and §15303 (Class 3: New Construction Or Conversion Of Small Structures); and
2. Adopt Resolution ZA 24-010, approving Development Permit 24-180 and Minor Exception Permit 24-172, subject to the attached Resolution and conditions of approval.

Attachments:

1. Resolution ZA 24-010
Exhibit A - Conditions of Approval
2. Location Map
3. Photos
4. Plans

ATTACHMENT 1

RESOLUTION NO. ZA 24-010

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING PUBLIC HEARING PROJECT 24-171, INCLUDING DEVELOPMENT PERMIT 24-180 AND MINOR EXCEPTION PERMIT 24-172, ANDERSON RESIDENCE, A REQUEST TO EXPAND A NONCONFORMING RESIDENCE OVER 50 PERCENT AND MAINTAIN A NONCONFORMING SINGLE CAR GARAGE ACCORDING TO ZONING STANDARDS LOCATED AT 111 AVENIDA BUENA VENTURA, AND FINDING THE PROJECT IS CLASS 1 AND CLASS 3 CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT UNDER SECTIONS 15301 AND 15303 OF THE CEQA GUIDELINES

WHEREAS, on April 8, 2024, an application was submitted, and completed on May 24, 2024, by Rob Williams on behalf of Jennifer and Scott Anderson, 111 Avenida Buena Ventura, San Clemente, CA, 92672, for Public Hearing Project 24-171, Anderson Residence, a request for Development Permit 24-180 and Minor Exception Permit 24-172 to allow the expansion of a nonconforming residence over 50 percent and maintain a nonconforming single car garage according to zoning standards. The site is located in the Residential Low Density Zone at 111 Avenida Buena Ventura. The site's legal description is Lot 11, Block 5, Tract 900, and Assessor's Parcel Number 060-093-34; and

WHEREAS, the Planning Division completed an initial environmental assessment of the above matter in accordance with California Environmental Quality Act (CEQA) and recommends that the Zoning Administrator determine this project categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction Or Conversion Of Small Structures); and

WHEREAS, on April 25, 2024 and May 2, 2024, the City's Development Management Team (DMT) reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes and staff provided written comments to the applicant on May 6, 2024; and

WHEREAS, on June 20, 2024, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Zoning Administrator of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as

fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction Or Conversion Of Small Structures).

The Class 1 exemption specifically exempts from further CEQA review the operation, repair, maintenance, and minor repair of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. This exemption covers additions to existing structures that do not expand the building's floor area by 10,000 square feet or more if conditions apply. Here, the proposed project adds 714 square feet to an existing 1,120 square foot residence. The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. There are no sensitive resources on the project site or in the vicinity. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource. The site does not involve or is adjacent to historic resources. Thus, the Class 1 exemption applies, and no further environmental review is required.

The Class 3 exemption specifically exempts from further CEQA review the construction and location of limited numbers of new, small facilities or structures. This exemption covers, but is not limited to, accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. Here, the proposed project involves the construction of a 288 sq. ft. roof deck including rooftop spa and sauna, and after-the-fact authorization for a rear yard shed/office, on a residential property, within a developed residential neighborhood, and will not increase the floor area of the primary structure. The project does not increase or otherwise change the existing use of the site. Thus, the project qualifies for the Class 3 exemption.

Furthermore, none of the exceptions to the use of the Class 3 Categorical Exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time. There are no unusual circumstances surrounding the project that result in a

reasonably possibility of a significant effect on the environment. The project will not damage scenic resources, including historic buildings, rock outcroppings, or similar resources. The project proposes to remove one mature tree in the City right-of-way, subject to a finding by the City Manager that the removal of the tree is necessary because the roots are causing damage to sidewalks, driveway, gutters, sewer or water lines, and the damage cannot be effectively repaired or replaced. If the City Manger issues a waiver to remove the tree, the City's Tree Policy would require planting of a replacement tree; the applicant has proposed to plant three mature trees and two smaller trees to comply with the Tree Policy and the zoning code tree spacing requirements. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource. The project will not result in a direct or foreseeable indirect significant impact on the environment. Thus, the Class 3 exemption applies, and no further environmental review is required.

Section 3. Development Permit Findings

With respect to Development Permit 24-180, the Zoning Administrator finds as follows:

- A. The architectural treatment of the project complies with the San Clemente General Plan in that:
 1. The addition maintains a building profile, height, and massing oriented toward the street consistent with neighboring properties and meets development standards in a zone that allows a two-story residence. The addition area provides a varied street-fronting façade. Therefore, the project is consistent with:
 - a. General Plan Land Use Element Residential Land Uses Goal: *“Achieve a mix of residential neighborhoods and housing types that meets the diverse economic and physical needs of residents, that is compatible with existing neighborhoods and the surrounding environmental setting, and that reflects community expectations for high quality”*;
 - b. Land Use Element Policy LU-1.04. Single-Family Residential Uses: *“We require that single-family houses and sites be designed to convey a high level of architectural and landscape quality in accordance with the Urban Design Element and Zoning Code...”*; and
- B. The architectural treatment of the project complies with this title in areas including, but not limited to, height, setbacks, color, etc., in that:
 1. The proposed addition complies with development standards; and
 2. There is a non-conforming greenhouse of unknown origin and a non-conforming shed/office in the rear yard which appears to have been constructed recently. Permit records were not found for either structure, so the applicant proposes to demolish the greenhouse and requests after-the-

fact authorization for the shed/office to remain in place. Zoning Code Section 17.24.040 provides that for lots 6,000 square feet or smaller, one detached accessory building with 450 square feet or less floor area may encroach into the interior-side yard and/or rear yard setback of the zone up to a property line. The structure is less than 450 square feet and does not include a bathroom or kitchenette, so it will not function as a dwelling unit; and

3. There is a fence and pergola/patio cover within the east side yard and front yard that exceed height standards for those accessory structures. The Zoning Code allows hedges and fences up to 3 feet 6 inches high in the front yard and six feet elsewhere. Therefore, the front yard fence and pergola are nonconforming. Condition 5.13 requires the hedge and fence be modified to be in compliance with zoning standards prior to final inspection to the satisfaction of the City Planner; and
 4. The project includes a landscape plan that will add three trees along the front property line, additional smaller trees in the front setback, as well as a row of plantings adjacent to the proposed sidewalk and entryway. Zoning Code Section 17.68.020(A)(2)(a) provides that through the discretionary review process, compliance or partial compliance with the landscape provisions of the code may be required when other improvements are significant enough to warrant landscape improvements. Currently, the amount and type of planting material does not meet standards and the applicant proposes to add new trees, drought tolerant, plants, and permeable pavers where a hardscape pad covered with potted plants currently exists. Condition 1.5 requires a final landscape plan that maximizes permeable area in the front setback area, includes predominantly drought tolerant, native plant species and includes at least one 15-gallon or equivalent tree per 25 feet of street frontage, and any additional trees as may be required to be planted by the City Manager to replace the existing street tree. The condition further provides that the existing tree shall not be removed without the written authorization of the City Manager or their designee and the applicant shall maintain the landscaping which appears to function as a hedge along the front property line at 42" max height.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines. The addition's scale, mass, setbacks, and materials are compatible with adjacent structures and in character with the pattern of development in the neighborhood. There are one-and-two story single-family residential buildings in the neighborhood. The addition continues the building's existing footprint and does not encroach into any setbacks. The building has a maximum height of 21 feet, where the zone allows a maximum height of 25 feet that supports two stories.
- D. The general appearance of the proposal is in keeping with the character of the neighborhood, in that:
1. The addition's scale, mass, setbacks, and materials are compatible with adjacent structures and in character with the pattern of development in the neighborhood. There are one-and-two story single-family residential buildings in the neighborhood. The addition continues the building's existing footprint

and does not encroach into any setbacks. The building has a maximum height of 21 feet, where the zone allows a maximum height of 25 feet that supports two stories; and

2. The roof deck, spa, and sauna are at the rear half of the structure and hidden from the street view by the massing of the building.
- E. The proposal is not detrimental to the orderly and harmonious development of the City in that:
1. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations; and
 2. The proposed addition complies with development standards; and
 3. The addition's scale, mass, setbacks, and materials are compatible with adjacent structures and in character with the pattern of development in the neighborhood. There are one-and-two story single-family residential buildings in the neighborhood. The addition continues the building's existing footprint and does not encroach into any setbacks. The building has a maximum height of 21 feet, where the zone allows a maximum height of 25 feet that supports two stories.

Section 4. Minor Exception Permit Findings

With respect to Minor Exception Permit 24-172, the Zoning Administrator finds as follows:

- A. The proposed Minor Exception Permit is necessary for the general appearance of a project to be in character with the neighborhood.
1. The proposal to expand the nonconforming single-family dwelling, smaller than 1,400 square feet, to a maximum of 2,100 square feet without modifying parking, is consistent with Zoning Code Section 17.72.050(l)(2)(b) and with the character of the neighborhood because it will allow for the preservation of the existing building footprint and massing. The subject site has one existing nonconforming parking space in a garage and is not proposing to add any covered parking because there is no space on the site to do so. Requiring an additional garage parking space to meet the current code would require the majority of the first story of the building to be reconstructed or would require a variance to allow additional parking in the front yard setback area; these alternatives would not benefit the general appearance of the project or the character of the neighborhood.
- B. The requested minor exception will not interfere with the purpose of the zone or the standards of the zone in which the property is located, in that:

1. The project maintains the residential use of the property Residential Low Zoning District; and
 2. The scope of the project is minor and will not increase the degree of nonconformity of the home or the garage; and
 3. The project meets the square footage criteria for existing and additional area as required for a minor exception permit as set forth in the zoning code.
- C. The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the Minor Exception Permit, in that;
1. The project maintains the residential use of the property Residential Low Zoning District; and
 2. The scope of the project is minor and will not increase the degree of nonconformity of the home or the garage; and
 3. The project will maintain the existing front and street side setbacks, and improve the front landscaping on the subject property.
- D. The approval or conditional approval of the Minor Exception Permit will not be detrimental to the health, safety or welfare of the general public, in that;
1. The project will maintain the existing front and street side setbacks, and improve the front landscaping on the subject property.
 2. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations.

Section 5. Zoning Administrator Approval.

Based on the foregoing recitals and findings above, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Development Permit 24-180 and Minor Exception Permit 24-172, Anderson Residence, subject to the above Findings, and the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on June 20, 2024.

Adam Atamian, Zoning Administrator

CONDITIONS OF APPROVAL
ANDERSON RESIDENCE
111 AVENIDA BUENA VENTURA

1.0 GENERAL CONDITIONS OF APPROVAL

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|-----|--|----------------|
| 1.1 | Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner. | Planning |
| 1.2 | The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, City Planner, Zoning Administrator, or City employees or environmental finding. Applicant shall pay all costs upon request by the City. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter at the applicant's expense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at the applicant's cost. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180. | Planning |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. | All |
| 1.5 | The applicant shall submit a final landscape plan to the satisfaction of the City Planner or their designee that maximizes permeable area in the front setback area, includes predominantly drought | Planning*
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tolerant, native plant species and includes at least one 15-gallon or equivalent tree per 25 feet of street frontage, and any additional trees as may be required to be planted by the City Manager or their designee if a compliant sidewalk is required which results in the removal of the existing mature tree on the City right-of-way. The existing tree shall not be removed without the written authorization of the City Manager or their designee. The applicant shall call out the maximum height of the landscaping which appears to function as a hedge along the front property line as 42" max height and the plants shall be maintained at that height for the life of the development.

4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. Planning
- 4.15 In the event the project valuation is \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following: Public Works*
- A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach and street tree to meet current City standards (2% cross fall) when adequate right-of-way exists, unless a waiver is applied for and approved by the City Manager. Since the street right-of-way varies and is approximately 7-7.5 feet behind the curb face, a sidewalk easement is anticipated to be required to be granted to the City unless a waiver is approved.
 - B. Removal of the street tree for sidewalk requires is subject to the approval of the City Manager, therefore a waiver will be necessary for either the tree removal or installation of the sidewalk as noted in 4.15.A above.
 - C. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector. This includes reconstructing the existing damaged curb drain to meet City Standards.
- (SCMC Chapter 15.36 and Sections 12.08.010, and 12.24.050)

5.0 PRIOR TO FINAL INSPECTION

- 5.13 The applicant shall remove or modify the overheight fence within the front setback along the east property line, remove the existing pergola within the front setback as noted on the plans, and shall not install a firepit or benches in the front setback area. Low walls up to 42-inches in height shall be called out on the final plans in Planning*

compliance with zoning standards to the satisfaction of the City Planner or their designee.

7.0 OPERATIONAL CONDITIONS OF APPROVAL

7.17 The Applicant (including any property owners and managers, and their designees) understands and acknowledges that short-term lodging and boarding house uses are not permitted with the approval of this permit. Short-term lodging units (STLUs) and boarding houses require City-approval, and any unpermitted STLU or boarding house operations are prohibited. Applicant, property owner, and any successors in interest of the property shall be responsible for ensuring that all residential uses abide by the City’s zoning requirements for the subject zone. *[Citation - Section 17.04.060(B) & 17.32.030/17.36.020/17.40.030/17.52.030 of the SCMC]*

Code
Comp
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7.19 The Applicant (including any property owners and managers, and their designees) shall use her/his best judgment and best management practices to ensure the residential activities on the premises will be conducted in a manner that will not be disruptive to neighbors. The property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, “It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval,” and any subsequent revision of this section of the code. *[Citation - Section 8.52.030(Y) of the SCMC]*

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* Denotes a modified Standard Condition of Approval

** Denotes a project-specific Condition of Approval

Attachment 2: Location Map



Attachment 3: Photos



Attachment 3: Photos



ANDERSON RESIDENCE
SAN CLEMENTE, CALIFORNIA

SPECIAL INSPECTION FORM PERMIT NO.:
City of San Clemente
Project Address: 111 Avenida Buena Vista
Inspector: LARRY CLERK

STUDIO 6 ARCHITECTS, INC.
ARCHITECTURE + PLANNING
2753 GAMINO CAPISTRANO, SUITE A-100
SAN CLEMENTE, CA 92672

PROJECT CONTACT:
ROBERT WILLIAMS
PHONE: (949) 388-5300
FAX: (949) 388-3330

PROJECT TEAM:
PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
SCOTT & JENNIFER ANDERSON
111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA 92672

PROJECT MANAGER:
PHONE NUMBER:
FAX NUMBER:
EMAIL:

ABBREVIATIONS

Table of abbreviations for building materials and components, including AND ANGLE, EA EACH, LAB LABORATORY, S SOUTH, etc.

DESIGN DATA

THIS PROJECT SHALL COMPLY WITH ALL REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES AS WELL AS THE FOLLOWING:

- CODE: 2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BLDG STANDARDS CODE
CITY OF SAN CLEMENTE AMENDMENTS

JURISDICTION: CITY OF SAN CLEMENTE
ZONE: RL
CONSTRUCTION TYPE: V-B (NON-SPRINKLERED)
OCCUPANCY: R-3

LEGAL DESCRIPTION

APN: 060-093-34
LOT: 11
TRACT: 900
BLOCK 5
CITY: SAN CLEMENTE
COUNTY: ORANGE

SQUARE FOOTAGE CALCULATIONS:

Table showing gross lot area (6,591 S.F.), livable area, and proposed additions for 1st, 2nd, and roof deck levels.

DEFERRED SUBMITTALS:

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL.

FIRE SPRINKLERS:

A FIRE SPRINKLER SYSTEM CONFORMING TO THE LATEST N.F.P.A. 13D STANDARD SHALL BE INSTALLED. DESIGN UNDER SEPERATE SUBMITTAL.

HOA NOTE:

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF DANA POINT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.

PROJECT TEAM:

OWNER: SCOTT & JENNIFER ANDERSON
111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA 92672
ARCHITECT: STUDIO 6 ARCHITECTS, INC.

SURVEYOR: RDM SURVEYING
23016 LAKE FOREST DRIVE, SUITE #409
LAGUNA HILLS, CA 92653

STRUCTURAL ENGINEER: ESI/FME, INC
STRUCTURAL ENGINEERS
1800 E. 16TH ST, SUITE #B
SANTA ANA, CA 92701

TITLE 24 ENGINEER: PACIFIC INTEREST ENERGY CONSULTANTS
3002 DOW AVENUE, SUITE 302
TUSTIN, CA 92780

SOILS ENGINEER: GEO-ETKA, INC
1801 E. HEIM AVE., #202
ORANGE, CA 92665

PROJECT SCOPE:

REMODEL EXISTING 1,120 SF SINGLE STORY RESIDENCE. REMODEL EXISTING KITCHEN, LIVING, DINING AND BEDROOM AREAS. PROVIDE A NEW LAUNDRY ROOM. CONSTRUCT A NEW SECOND FLOOR AND NEW DECK AREA.

PLUMBING FIXTURES:

ON & AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES.

HERS INSPECTION FEATURES:

- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD
- MINIMUM AIRFLOW
- VERIFIED HER/HER2
- VERIFIED REFRIGERANT CHARGE
- FAN EFFICACY WATTS/CFM

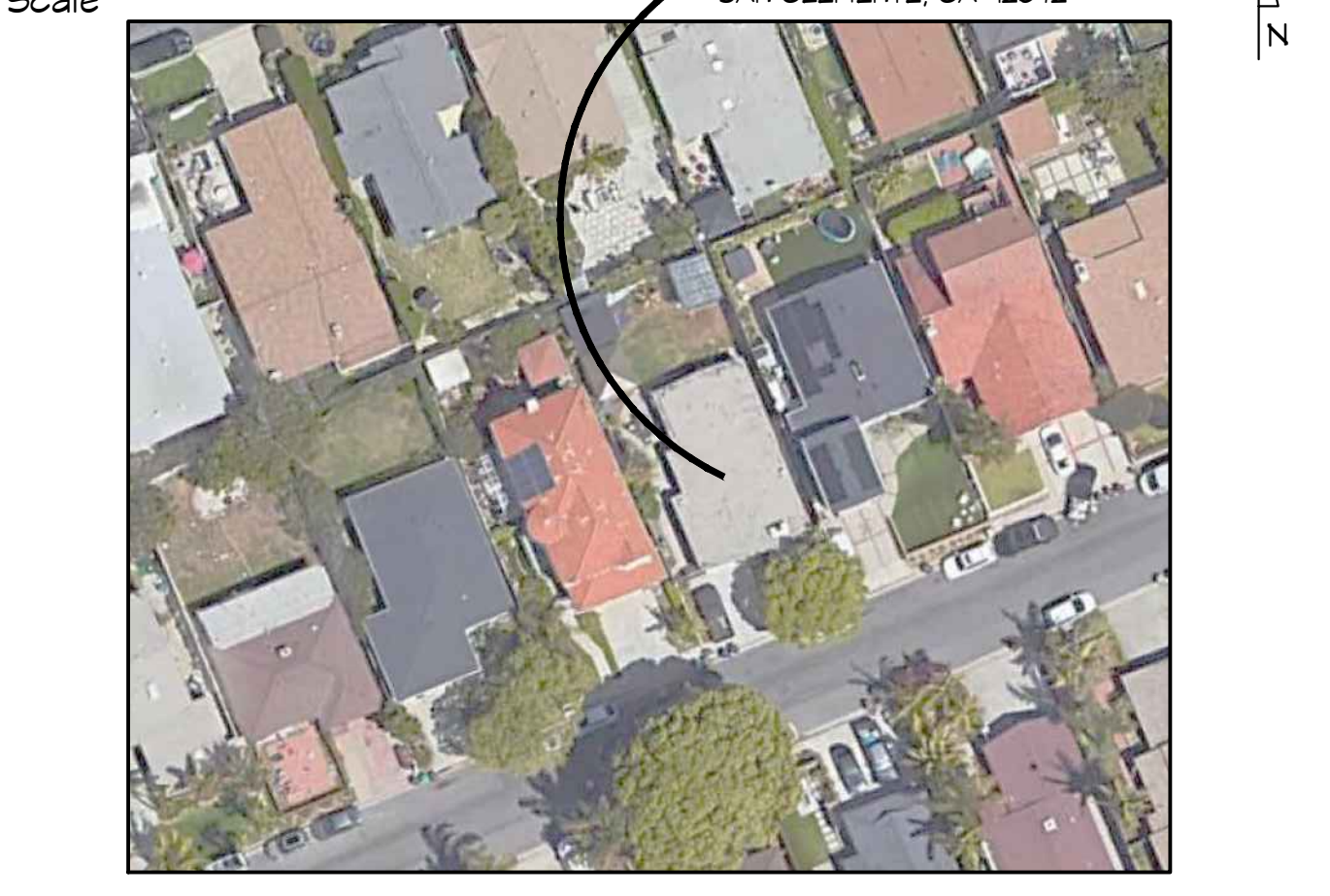
SHEET INDEX

Table listing sheets including ARCHITECTURE (T-1, GN-1, GN-2, etc.), STRUCTURAL (SGN, S1, S2, etc.), and TITLE 24 (T24.1, T24.2, T24.MM).

ENERGY INSTALLATION CERTIFICATION:

- 1. CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG & CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES.
2. CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED, REGISTERED AND SIGNED CERTIFIED BY THE HERS RATER.

VICINITY MAP



PROJECT NOTES:

- 1. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, FIRE FITS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
2. PROVIDE PORTABLE TOILET & HAND WASHING STATION PER OSHA REGULATIONS.

GENERAL CONTRACTOR / SUBCONTRACTOR RESPONSIBILITY:

- 1. ALL POTENTIAL DESIGN, ENGINEERING AND SPECIFICATION CHANGES PROPOSED DURING CONSTRUCTION ARE REQUIRED TO BE PRESENTED TO AND APPROVED BY THE ARCHITECT PRIOR TO IMPLEMENTING CHANGES.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO REVIEW AND BECOME FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL & STRUCTURAL DETAILS, REFLECTED CEILING PLANS, ELECTRICAL PLANS AND SCHEDULES, PRIOR TO BIDDING AND CONSTRUCTION.
3. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ALL SUBCONTRACTORS BIDDING & CONTRACTED TO PERFORM WORK OR SUPPLY MATERIALS HAS RECEIVED AN ENTIRE SET OF CONSTRUCTION DOCUMENTS FOR THIS PROJECT.
4. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ONLY COPIES OF THE CITY AND/OR COUNTY STAMPED APPROVED CONSTRUCTION DOCUMENTS ARE ON SITE AND USED FOR CONSTRUCTION. BID SETS ARE NOT ALLOWED FOR CONSTRUCTION.

ANDERSON RESIDENCE
111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA 92672

PROJECT NUMBER: 2022024

Table with columns NO., DATE, and DESCRIPTION for milestones like 01.08.24 BLDG DEPT SUB and 03.25.24 CLIENT REVISION.

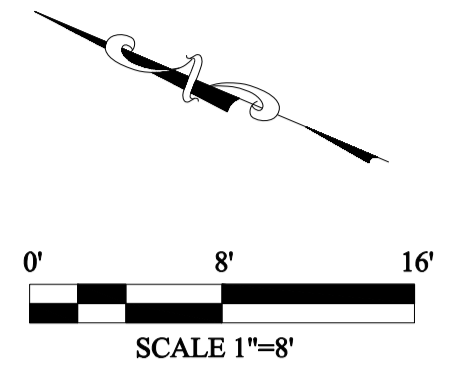
Table with columns NO., DATE, and DESCRIPTION for license stamp entries.

LICENSE STAMP: (Signature and official seal)

SHEET TITLE: TITLE SHEET

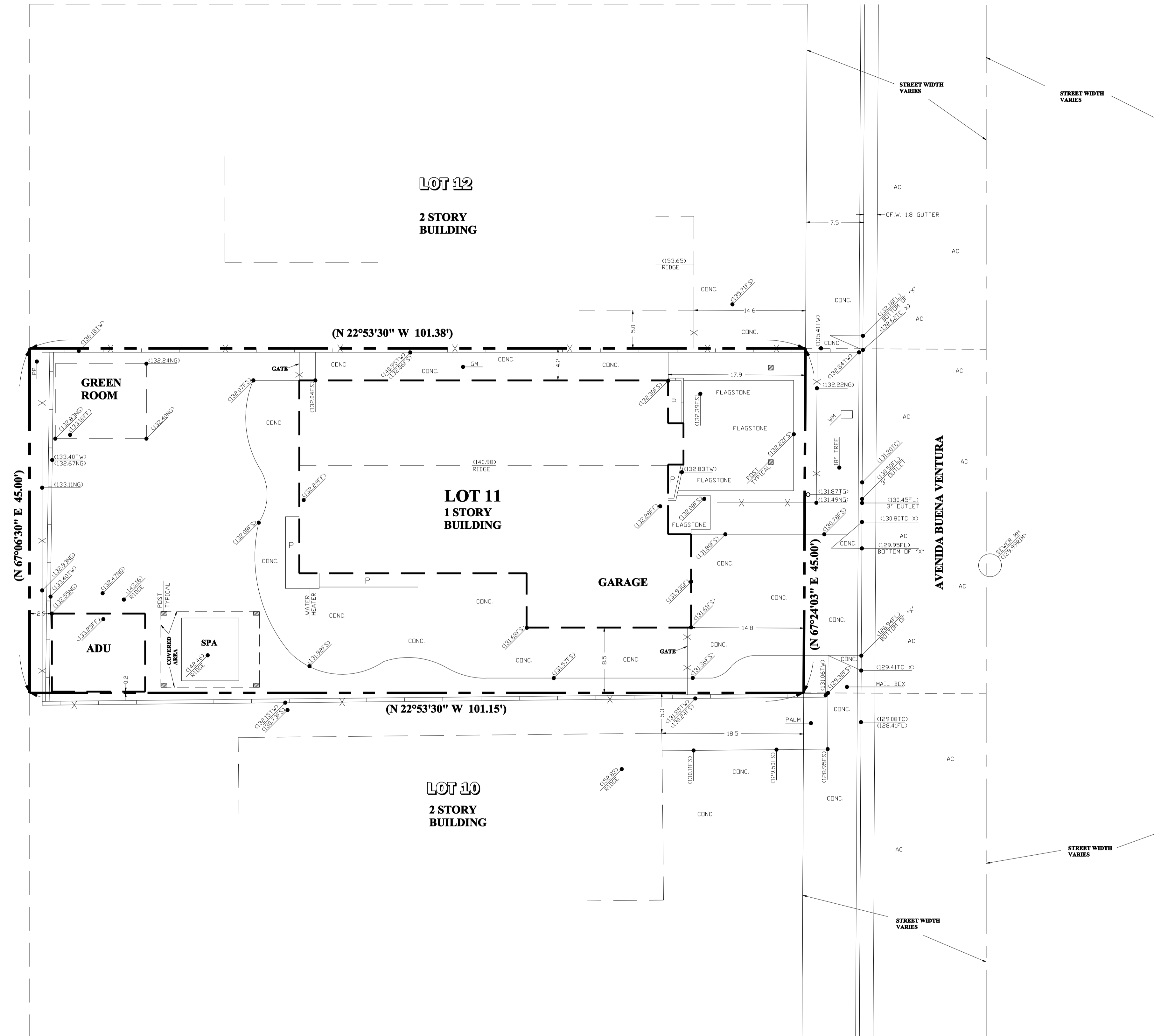
SHEET NUMBER: T-1

Attachment 4: Plans



SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.



LEGEND

SYMBOL	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK
≡	DECK
▬	WALL
▬▬▬	BUILDING
- - - -	PROPERTY LINE
- x - x -	FENCE
•	BENCH MARK
AC	ASPHALT
CF	CURB FACE
CONC.	CONCRETE
CP	CONTROL POINT
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
L&T	LEAD & TAG
MH	MAN-HOLE
NG	NATURAL GRADE
P	PLANTER
PP	POWER POLE
TC	TOP OF CURB
TG	TOP-GRADE
TOR	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER
WV	WATER VALVE

ADDRESS OF PROJECT

111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA

OWNER

SCOTT AND JENNIFER ANDERSON

LEGAL DESCRIPTION

LOT 11, BLOCK 5 OF TRACT NO. 900

APN 060-093-34

BENCH MARK

BENCH MARK #3B-112-05
DATUM: NAVD88
ELEVATION: 131.43

TOPOGRAPHIC SURVEY

JOB: 88-50 DATE: 11/3/22

RdM SURVEYING INC.

RON MIEDEMA L.S. 4653
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 422-1869 CELL
RDMSURVEYING@COX.NET



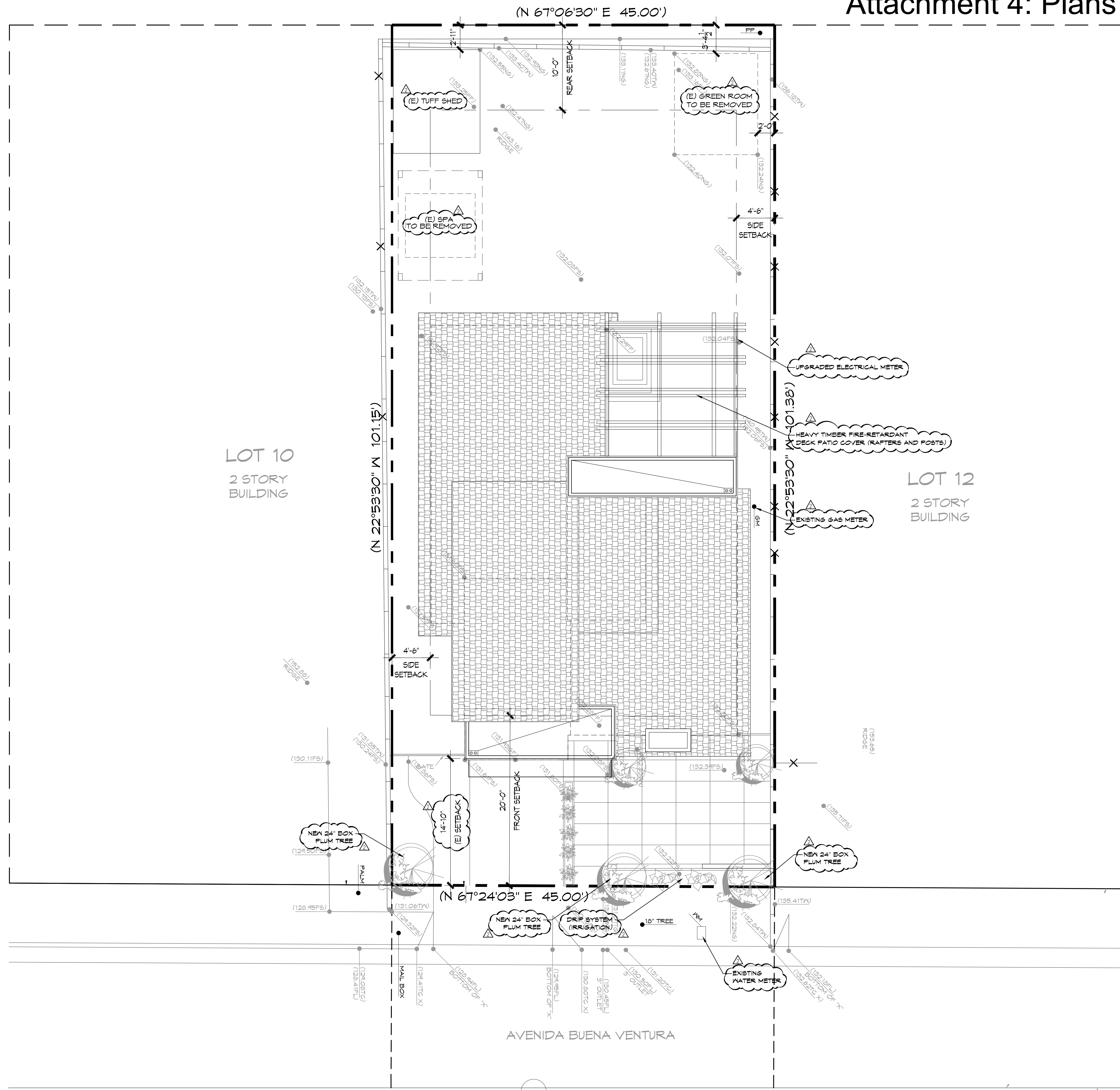
Attachment 4: Plans

SITE PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRED SEPARATE REVIEW AND PERMIT.
- REFER TO THE ARCHITECTURAL FLOOR PLANS AND GENERAL NOTES FOR ADDITIONAL ARCHITECTURAL INFORMATION.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY PRIOR TO ANY WORK.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY / STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 SANITATION SEWER CONTRACTOR OR AN LICENSED GENERAL ENGINEERING CONTRACTOR.
- OBTAIN PERMIT FROM CAL/OSHA FOR SHORING, UNDERPINNING AND EXCAVATIONS 5 FEET OR DEEPER AND/OR CONSTRUCTION OF BUILDING OR SCAFFOLDING MORE THAN 9 STOREYS (26 FEET) HIGH. (CAL/OSHA CCR TITLE 8 DIV. 1, CHAPTER 3.2, SUBCHAPTER 2, SECTION 341)
- PRIOR TO THE RELEASE OF THE FOOTING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION BY SURVEY OR OTHER APPROPRIATE METHOD, THAT THE STRUCTURES WILL BE CONSTRUCTED IN COMPLIANCE WITH THE DIMENSIONS SHOWN AND IN COMPLIANCE WITH THE SETBACKS OF THE APPLICABLE COMMUNITY ASSOCIATION GUIDELINES (IF ANY) AND LOCAL ZONING CODE.
- THE DISCHARGE OF POLLUTANTS TO STORM DRAINAGE SYSTEM (IF ANY) IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM (IF ANY).
- FINISHED GRADE AROUND THE NEW STRUCTURE SHALL SLOPE AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. (CRC 1403.1.T.5)
- REFER TO BMP NOTES ON SHEET GN-2 FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO SCOPE AND INSPECT EXISTING SEWER LINE FROM HOUSE TO SEWER MAIN. AUGER, REPAIR OR REPLACE AS NEEDED.

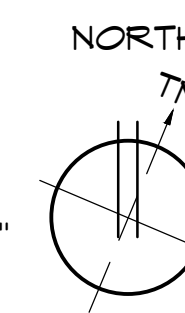
DEMOLITION NOTES:

- ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
- STREETS AND SIDEWALKS ARE TO REMAIN CLEAR AND CLEAN.



ARCHITECTURAL SITE PLAN

SCALE: 3/16" = 1'-0"



ANDERSON RESIDENCE

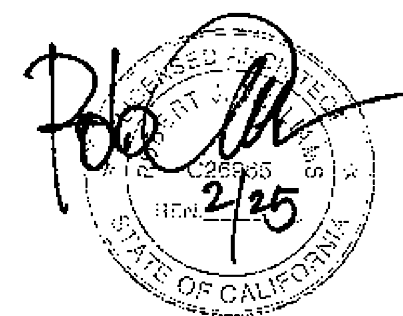
111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA 92672

PROJECT NUMBER:
2022024

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
01	08.24	BLDG DEPT SUB
03	25.24	CLIENT REVISION
04	25.24	BLDG/PLNG CORR

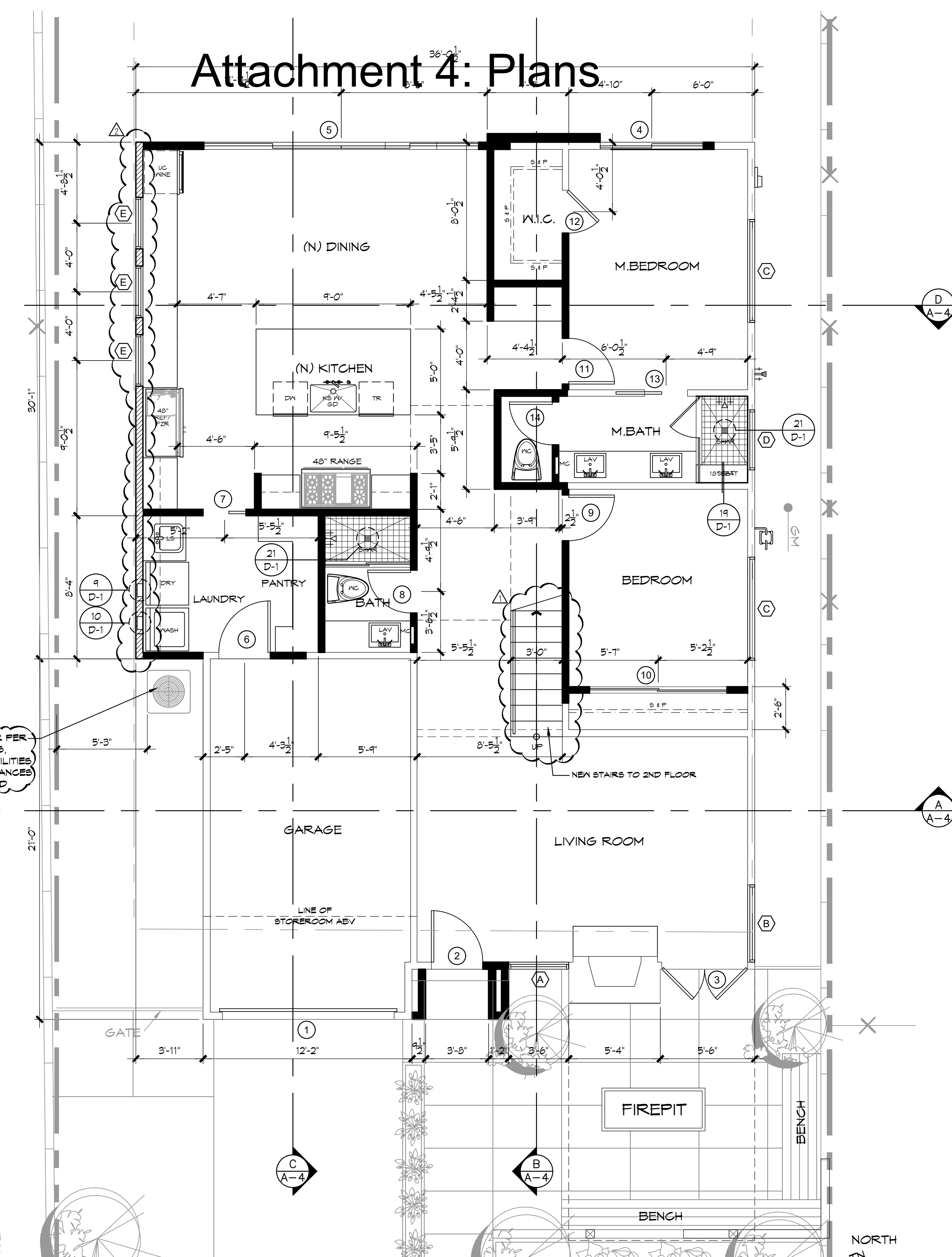
LICENSE STAMP:



SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NUMBER:

NO.	DATE	DESCRIPTION
01	08.24	BLDG DEPT SUB
03	25.24	CLIENT REVISION
04	25.24	BLDG/PLNG CORR

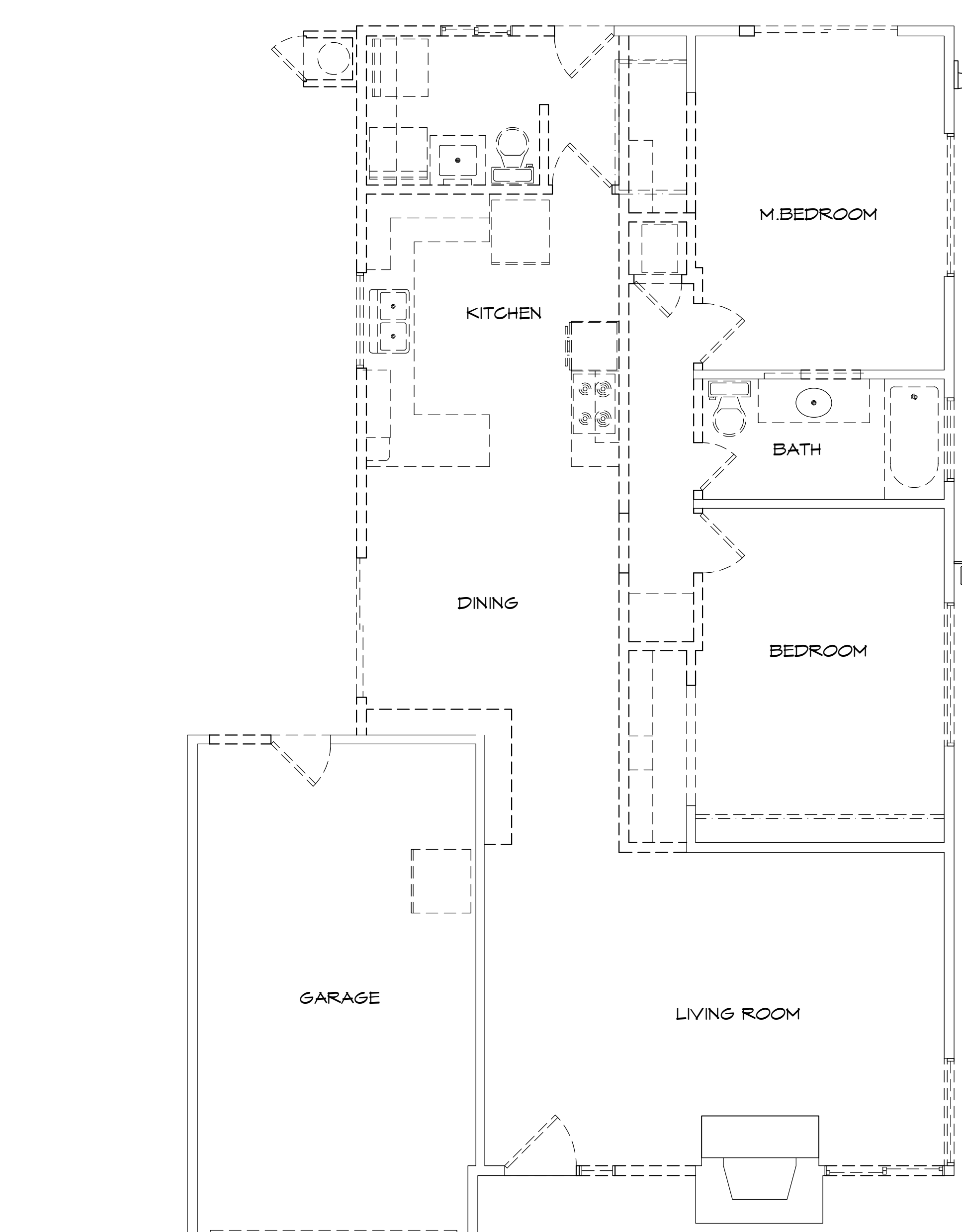


1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN LEGEND:

- DENOTES EXIST'G WALL TO REMAIN
- DENOTES NEW WALL
- DENOTES 1 HOUR RATED WALL
- (E) - EXISTING TO REMAIN



AS-BUILT / DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

A.B. / DEMO PLAN LEGEND:

- DENOTES EXIST'G WALL TO REMAIN
- DENOTES EXIST'G ELEMENT TO BE REMOVED (WALLS, WINDOWS, DOORS, CABINETS, ETC.)

DEMOLITION PLAN NOTES:

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
3. REFER TO THE REFLECTED CEILING PLANS FOR STRUCTURAL POSTS, BEAMS AND INTERIOR BEARING WALLS SUPPORTING EXIST'G ROOF & CEILINGS PRIOR TO DEMOLITION. SHORE & BRACE EXIST'G STRUCTURE AS REQUIRED.

FLOOR PLAN NOTES

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CLEARANCES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
3. REFER TO FINISH SCHEDULE FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING, FIXTURES AND APPLIANCES WITH MANUFACTURER SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
4. REFER TO OWNER FOR LOCATION(S) AND HEIGHT(S) OF ALL BATHROOM ACCESSORIES (I.E. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC.). PROVIDE 2" X 10" BLOCKING FOR REQUIRED SUPPORT PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES:
5. **A. WATER CLOSETS:**
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.25 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. PROVIDE A MIN. CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2022 C.P.C. URINALS.
B. WALL MOUNTED 0.125 GAL/FLUSH ALL OTHERS 0.5 GAL/FLUSH
6. **SINGLE SHOWERHEADS:**
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.5 GALLONS PER MINUTE AT 80 P.S.I.. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
7. **MULTIPLE SHOWERHEADS SERVING ONE SHOWER:**
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 P.S.I., OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
8. **RESIDENTIAL LAVATORY FAUCETS:** THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.5 GALLONS PER MINUTE AT 20 P.S.I.
9. **KITCHEN FAUCETS:** THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 P.S.I. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 80 P.S.I. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE AT 80 P.S.I. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE

10. **PLUMBING FIXTURES & FITTINGS** SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE & SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
11. SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 12" ABOVE THE DRAIN INLET. TILE-LINED SHOWER RECEPTORS SHALL COMPLY WITH IAPMO S-4-2008 AND 2022 CFC SECTION 408.7.
12. REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET 804-1 FOR ALL DOOR AND WINDOW TYPES AND SIZES.
13. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. REFER TO SHEET 804-1 FOR GLAZING VALUES. (CALIFORNIA ENERGY CODE SECTION 116(B)(4) AND 10-11(B)(1))
14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. BILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ FT WITH A MINIMUM OPERABLE WIDTH OF 20" AND A MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS PER 2022 C.F.C. SECTION R303.4.
15. WINDOWS (GLAZING) SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED RIGID PLASTIC PER 2022 C.F.C. SECTION R303.4.
16. **1. GLAZING SHALL IN ALL FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND PIVOT DOORS:**
17. **2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR:** WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR, IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
18. **3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:**
A. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THE 4.5 SF.
B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
C. THE TOP EDGE OF THE GLAZING IS MORE THAN 56 INCHES ABOVE THE FLOOR.
D. ONE OF MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
19. **4. GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILL PANELS, AND REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.**
20. **5. GLAZING IN WALL ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WINDPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.** THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
21. **6. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP.**

22. **7. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.** EXCEPTIONS ARE AS STATED IN THE CALIFORNIA RESIDENTIAL CODE AS AMENDED BY LOCAL AMENDMENTS.
23. **SHOWER ENCLOSURES** MUST BE OF APPROVED TEMPERED OR SAFETY GLAZING AND DOOR MUST swing OUT OF SHOWER.
24. **THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 12" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS.** PER 2019 C.F.C. SECTION R312.2, OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
25. **INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE.**
26. **A MINIMUM OF TWO LAYERS OF GRADE 'D' BUILDING PAPERS SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.**
27. **PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.** (CHAPTER 1, DIVISION II, SECTION R106.1.2 OF THE C.F.C.)
28. **WALL AND FLOOR FRAMING** SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBER EXCEEDS 10% MOISTURE CONTENT. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. (CSBEC 4.503.3)
29. **AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER AT THE TIME OF FINAL INSPECTION.** (CSBEC 4.410)
30. **DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.** THIS APPLIES TO ADHESIVES, SEALANTS, GASKETS, PAINT, STAINS, CARPET, RESILIENT FLOOR COVERING, ETC. (CSBEC 4.504.2.4 & 4.504.3) REFER TO SHEET 804-1 FOR VOC REQUIREMENTS.
31. **INSTALLATION CERTIFICATES (CF-6R-ENV, CF-6R-LTG-01, CF-1R-MECH) MUST BE PROVIDED TO THE BUILDING INSPECTOR DURING CONSTRUCTION.**
32. **INSTALLATION CERTIFICATES, OPERATING INFORMATION, MAINTENANCE INFORMATION AND VENTILATION INFORMATION MUST BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.**
33. **BATHROOMS** SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" AT THE CENTER OF THE 21" MINIMUM REQUIRED CLEARANCE AREA IN FRONT OF THE FIXTURES. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE SUCH THAT THE FIXTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A TUB OR SHOWER EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" ABOVE A MINIMUM AREA 30" X 30" AT THE SHOWERHEAD. (CFC SECTION R303.1, EXCEPTION 2)
34. **DOMESTIC KITCHEN RANGE VENTILATION SYSTEM** SHALL BE INSTALLED OVER COOKING FACILITIES AND EXHAUSTED OUTSIDE OF THE BUILDING. AN APPROVED DOWNDRAFT GRILL RANGE VENTILATION SYSTEM MAY BE USED. (CFC SECTION 403.2 & 504C 15.16.020 B)
35. **EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS** SHALL BE INSTALLED WITH THE PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE GARAGE FLOOR. (CFC 307.1 & CFC 503.14(2))
36. REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS

37. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATION(S), SPECIAL INSPECTION CERTIFICATION(S), AND/OR TESTING FORMS.
38. REFER TO SHEET 1724.1 FOR THE TITLE 24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS FOR ENERGY COMPLIANCE.
39. APPLIANCES INSTALLED IN GARAGE SHALL BE LOCATED OR PROTECTED SO THEY ARE NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. (CFC 307.1 & CFC 503.14(2)) ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-SIPHON BACKFLOW PREVENTION DEVICE. (CFC 603.3, 603.2.3 & 603.4.7)
40. A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE GAS APPLIANCE TRAP VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE EITHER A TEE-FITTING WITH A CAPPED NIPPLE IN THE BOTTOM OUTLET OR OTHER RECOGNIZED DEVICE. (CFC 1212.1)
41. GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE. ANY WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS AS WELL AS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULES.
42. DUST OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
43. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
44. WHEN A WATER HEATER IS LOCATED IN THE ATTIC, ATTIC - CEILING ASSEMBLY, FLOOR - CEILING ASSEMBLY, OR FLOOR - SUBFLOOR ASSEMBLY WHERE DAMAGE MAY RESULT FROM A LEAKING WATER HEATER, A WATER TIGHT PAN OF CORROSION RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM 3/4" DIA. DRAIN TO AN APPROVED LOCATION. (CFC 503.4)
45. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. (CFC 503.2) TRAP CONVENTIONAL TANK TYPE WATER HEATER PER DETAIL 1/2-2. ANCHOR TANKLESS TYPE WATER HEATER PER MANUFACTURER'S RECOMMENDATIONS.
46. FERROUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE SEWER. ALL FERROUS MATERIALS SHALL BE CAPABLE OF BEING USED FOR ITS CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (S.C.M.C. 15.20.020 & CFC 601.1)
47. SHOWERHEAD, CFC SECTION R303.1, EXCEPTION 2)
48. FERROUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE GROUND UNLESS A SOILS ANALYSIS IS PROVIDED TO SHOW THAT SOILS CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (L.N.M.C. 15.20.020 & CFC 701.1.1)

TANKLESS WATER HEATER MEASURES:

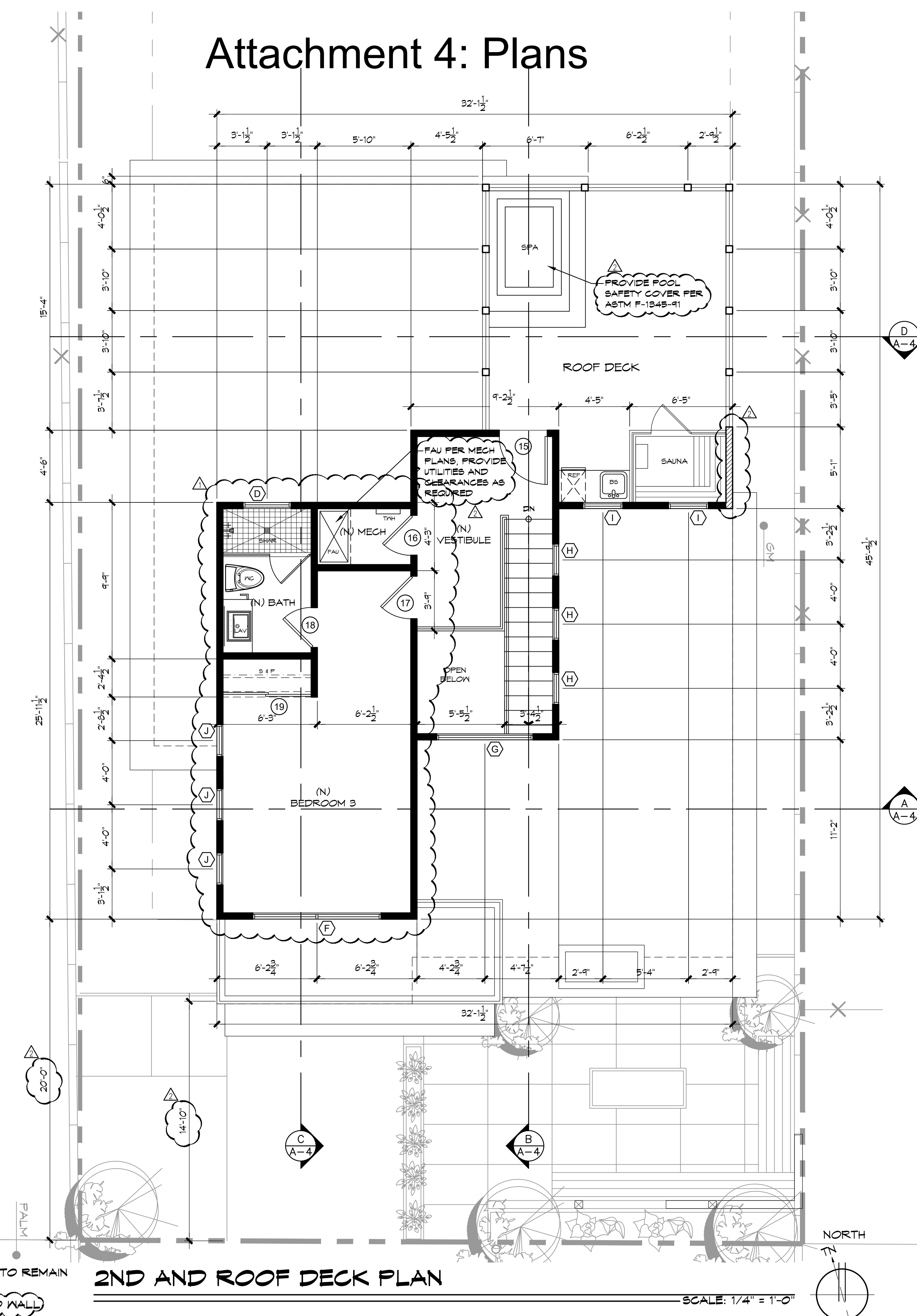
- PROVIDE A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 36" OF THE WATER HEATER & ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. REFER TO WATER HEATER MANUFACTURER FOR EXACT POWER REQUIREMENTS.
- PROVIDE A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED. REFER TO WATER HEATER MANUFACTURER FOR EXACT VENTING REQUIREMENTS.
- PROVIDE A COMPENSATE DRAIN THAT IS NO MORE THAN 2" HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOW NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE. REFER TO WATER HEATER MANUFACTURER FOR EXACT DRAIN LOCATION.
- PROVIDE A GAS SUPPLY LINE WITH THE CAPACITY OF AT LEAST 200,000 BTU/HR TO THE WATER HEATER.

KITCHEN EXHAUST HOOD:

A KITCHEN EXHAUST WITH A MINIMUM RATE OF 180 CFM AND A MAXIMUM SOUND RATING OF 5 SONE FOR INTERMITTENT OPERATION IS REQUIRED. THE KITCHEN HOOD SHALL BE DUCTED TO THE OUTSIDE REGARDLESS OF FUEL OR HOOD TYPE.



Attachment 4: Plans



2ND AND ROOF DECK PLAN

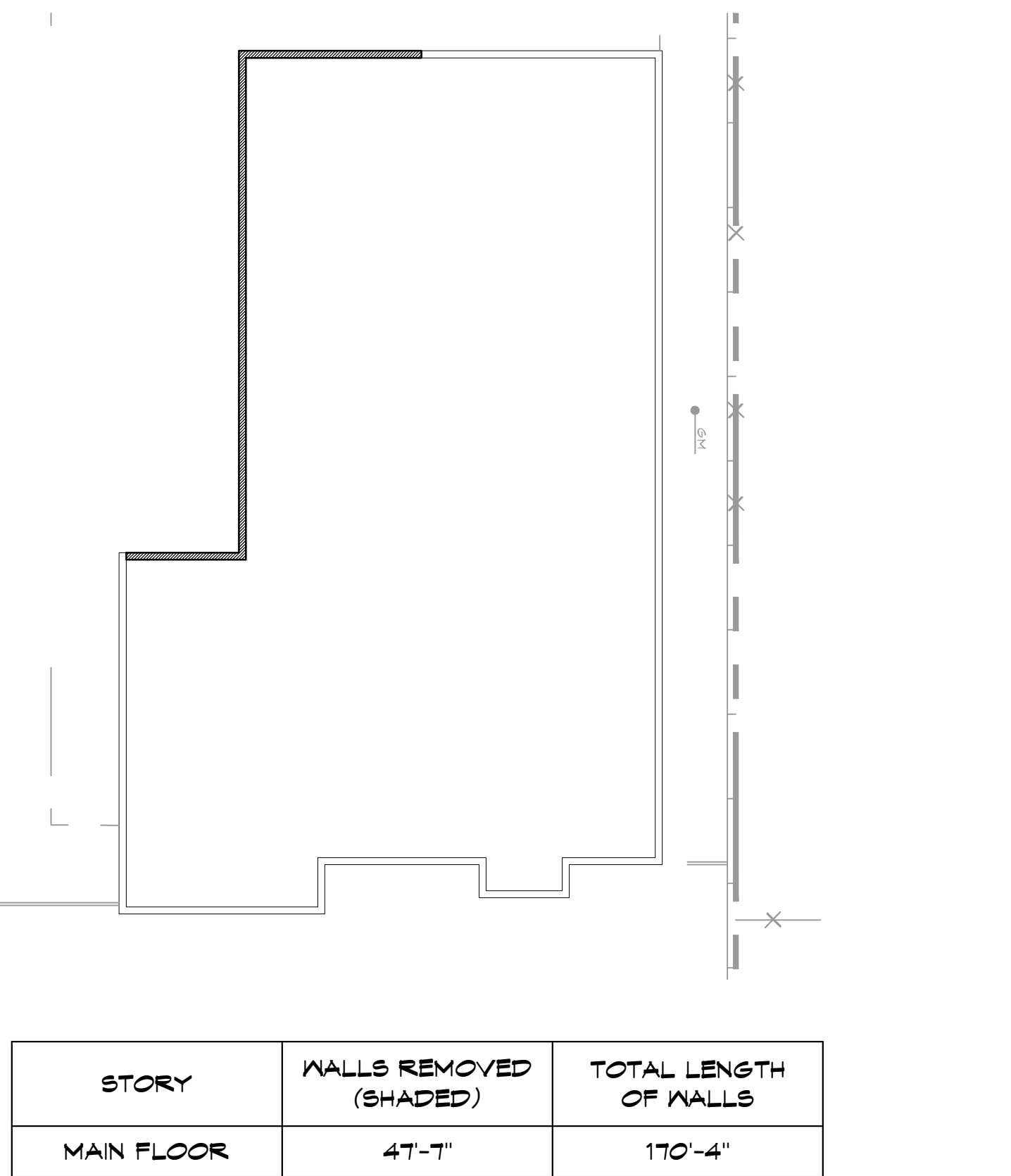
SCALE: 1/4" = 1'-0"

STORY	EXISTING FLOOR AREA	ADDITION (SHADED)	TOTAL SQUARE FEET
1ST STORY	1,120	326	1,446
2ND STORY	0	326	326
TOTAL	1,120	714	1,834

CALCULATIONS:
714 SQ. FT. TOTAL WALLS ADDED
1,120 SQ. FT. TOTAL EXISTING FLOOR AREA X 100 = 64%

MEASURING ADDITIONS

SCALE: 1/8" = 1'-0"



STORY	WALLS REMOVED (SHADED)	TOTAL LENGTH OF WALLS
MAIN FLOOR	47'-7"	170'-4"

CALCULATIONS:
47'-7" FEET OF WALLS REMOVED X 100 = 28%
170'-4" TOTAL FEET OF WALLS

EXTERIOR WALL LINEAL MEASUREMENTS

SCALE: 1/8" = 1'-0"

PLAN LEGEND:

- DENOTES EXIST'G WALL TO REMAIN
- DENOTES NEW WALL
- DENOTES 1 HOUR RATED WALL
- (E) - EXISTING TO REMAIN

FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CLEARANCES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- REFER TO FINISH SCHEDULE FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING, FIXTURES AND APPLIANCES WITH MANUFACTURER SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO OWNER FOR LOCATION(S) AND HEIGHT(S) OF ALL BATHROOM ACCESSORIES (I.E. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC.). PROVIDE 2 X 7/8" BLOCKING FOR REQUIRED SUPPORT.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES:
 - WATER CLOSETS:
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.25 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. PROVIDE A MIN. CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2022 C.F.C. URINALS.
WALL MOUNTED: 0.125 GAL/FLUSH
ALL OTHERS: 0.5 GAL/FLUSH
 - SINGLE SHOWERHEADS:
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.5 GALLONS PER MINUTE AT 80 P.S.I. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
 - MULTIPLE SHOWERHEADS SERVING ONE SHOWER:
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 P.S.I., OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
 - RESIDENTIAL LAVATORY FAUCETS: THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 P.S.I.
 - KITCHEN FAUCETS:
THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 P.S.I. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 80 P.S.I. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE AT 80 P.S.I. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE

- PLUMBING FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE. SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATH-TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET. TILE-LINED SHOWER RECEPTORS SHALL COMPLY WITH IRC 904.2 AND 2022 C.F.C. SECTION 402.7.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET 804-1 FOR ALL DOOR AND WINDOW TYPES AND SIZES.
- ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. REFER TO SHEET 804-1 FOR GLAZING VALUES.
- ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. REFER TO SHEET 804-1 FOR GLAZING VALUES.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. BILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE A MINIMUM OPERABLE AREA OF AT LEAST 5.7 SQ. FT. WITH A MINIMUM OPERABLE WIDTH OF 20" AND A MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. PER 2022 C.F.C. SECTION R310.
- WINDOWS (GLAZING) SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED RIGID PLASTIC, PER 2022 C.F.C. SECTION R303.4
- GLAZING SHALL BE:
 - GLAZING SHALL BE IN ALL FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BI-FOLD DOORS.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR, WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR, IN A FIXED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
A. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 9 S.F.
B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
C. THE TOP EDGE OF THE GLAZING IS MORE THAN 56 INCHES ABOVE THE FLOOR.
D. ONE OF MORE WALKING SURFACES ARE WITHIN 56 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
 - GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, AND REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
 - GLAZING IN WALL ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WALKING POOLS, SAUNAS, STEAM ROOMS, BATH TUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANELS IN MULTIPLE GLAZING.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP.

- GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD. EXCEPTIONS ARE AS STATED IN THE CALIFORNIA RESIDENTIAL CODE AS AMENDED BY LOCAL AMENDMENTS.
- SHOWER ENCLOSURES MUST BE OF APPROVED TEMPERED OR SAFETY GLAZING AND DOOR MUST swing OUT OF SHOWER.
- THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 12" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS. PER 2019 C.F.C. SECTION R312.2, OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
- INSPECTION OF WALLS IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED.
- A MINIMUM OF TWO LAYERS OF GRADE 1' BUILDING PAPERS SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. (CHAPTER 1, DIVISION II, SECTION R106.1.2 OF THE C.F.C.)
- WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBER EXCEEDS 18% MOISTURE CONTENT. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. (CSBCC 4.303.3)
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER AT THE TIME OF FINAL INSPECTION. (CSBCC 4.410)
- DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. THIS APPLIES TO ADHESIVES, SEALANTS, CAULKS, PAINT, STAINS, CARPET, RESILIENT FLOOR COVERING, ETC. (CSBCC 4.304.2 & 4.304.3) REFER TO SHEET 804-2 FOR VOC REQUIREMENTS.
- INSTALLATION CERTIFICATES (CF-6R-ENV, CF-6R-LTS-01, CF-1R-MECH) MUST BE PROVIDED TO THE BUILDING INSPECTOR DURING CONSTRUCTION.
- INSTALLATION CERTIFICATES, OPERATING INFORMATION, MAINTENANCE INFORMATION AND VENTILATION INFORMATION MUST BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" AT THE CENTER OF THE 21' MINIMUM REQUIRED CLEARANCE AREA IN FRONT OF THE FIXTURES. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE SUCH THAT THE FIXTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A TUB OR SHOWER EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" ABOVE A MINIMUM AREA 30' X 30' AT THE SHOWERHEAD. (C.F.C. SECTION R303.1, EXCEPTION 2)
- DOMESTIC KITCHEN RANGE VENTILATION SYSTEM SHALL BE INSTALLED OVER COOKING FACILITIES AND EXHAUSTED OUTSIDE OF THE BUILDING. AN APPROVED DOWNDRAFT GRILL RANGE VENTILATION SYSTEM MAY BE USED. (C.M.C. SECTION 15.04.2 & 15.04.3)
- EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE GARAGE FLOOR. (C.M.C. 307.1 & C.F.C. 303.14.2)
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.

- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATION(S), SPECIAL INSPECTION CERTIFICATION(S), AND/OR TESTING FORMS.
- REFER TO SHEET 1724.1 FOR THE TITLE 24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS FOR ENERGY COMPLIANCE.
- APPLIANCES INSTALLED IN GARAGE SHALL BE LOCATED OR PROTECTED SO THEY ARE NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. (C.M.C. 307.1 & C.F.C. 303.14.2)
- ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-SIPHON BACKFLOW PREVENTER DEVICE. (C.F.C. 603.3 & 603.4.7)
- A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE GAS APPLIANCE SHUTOFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE EITHER A TEE-FITTING WITH A CAPPED NIPPLE IN THE BOTTOM OUTLET OR OTHER RECOGNIZED DEVICE. (C.F.C. 1212.7)
- GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE. ANY WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS AS WELL AS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULES.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- WHEN A WATER HEATER IS LOCATED IN THE ATTIC, ATTIC - CEILING ASSEMBLY, FLOOR - CEILING ASSEMBLY, OR FLOOR - SUBFLOOR ASSEMBLY WHERE DAMAGE MAY RESULT FROM A LEAKING WATER HEATER, A WATER-TIGHT PAN OF CORROSION RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM 3/4" DIA. DRAIN TO AN APPROVED LOCATION. (C.F.C. 303.4)
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE TO RESIST HORIZONTAL DISTURBANCE DUE TO EARTHQUAKE MOTION. (C.F.C. 303.2)
- CONVENTIONAL TANK TYPE WATER HEATER PER DETAIL 1/2-2 ANCHOR TANKLESS TYPE WATER HEATER PER MANUFACTURER'S RECOMMENDATIONS.
- THE MINIMUM SIZE WATER HEATERS SHALL BE IN ACCORDANCE WITH THE FIRST HOUR RATINGS LISTED IN C.F.C. TABLE E-1.
- FERRICUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE GROUND UNLESS A SOIL ANALYSIS IS PROVIDED TO SHOW THAT SOIL CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (S.C.M.C. 15.20.020 & C.F.C. 304.1)
- SHOWERHEADS, C.F.C. SECTION R303.1, EXCEPTION 2)
- FERROUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE GROUND UNLESS A SOIL ANALYSIS IS PROVIDED TO SHOW THAT SOIL CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (L.N.M.C. 15.20.020 & C.F.C. 101.1.7)

TANKLESS WATER HEATER MEASURES:

- PROVIDE A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 36" OF THE WATER HEATER & ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. REFER TO WATER HEATER MANUFACTURER FOR EXACT POWER REQUIREMENTS.
- PROVIDE A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED. REFER TO WATER HEATER MANUFACTURER FOR EXACT VENTING REQUIREMENTS.
- PROVIDE A COMPENSATE DRAIN THAT IS NO MORE THAN 2' HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND PROVIDE NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE. REFER TO WATER HEATER MANUFACTURER FOR EXACT DRAIN LOCATION.
- PROVIDE A GAS SUPPLY LINE WITH THE CAPACITY OF AT LEAST 200,000 BTU/HR TO THE WATER HEATER.

KITCHEN EXHAUST HOOD:

A KITCHEN EXHAUST WITH A MINIMUM RATE OF 150 CFM AND A MAXIMUM SOUND RATING OF 5 SONE FOR INTERMITTENT OPERATION IS REQUIRED. THE KITCHEN HOOD SHALL BE DUCTED TO THE OUTSIDE REGARDLESS OF FUEL OR HOOD TYPE.

Attachment 4: Plans



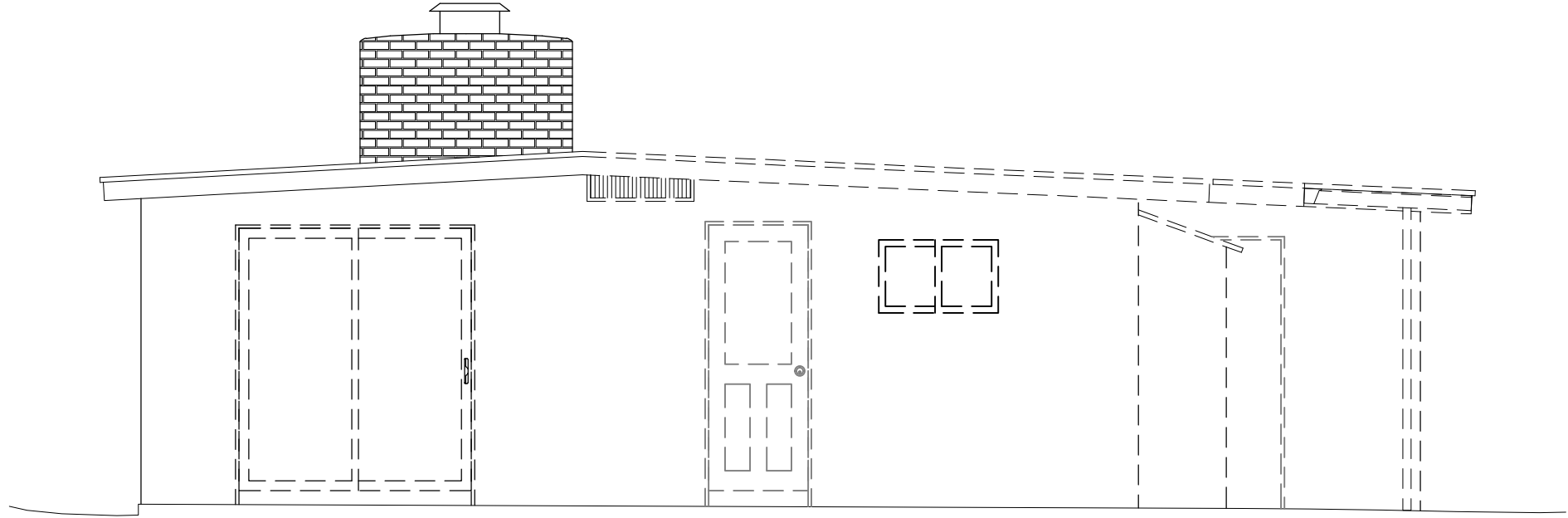
STUDIO 6 ARCHITECTS, INC.
 ARCHITECTURE + PLANNING
 2753 CAMINO CAPISTRANO, SUITE A-100
 SAN CLEMENTE, CA 92672
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 STUDIO6ARCHITECTS.COM

PROJECT CONTACT:
 ROBERT WILLIAMS
 PHONE: (949) 388-5300
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 brian@studio6architects.com

PROJECT TEAM:
 PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
 DESIGN ARCHITECT: ROBERT WILLIAMS

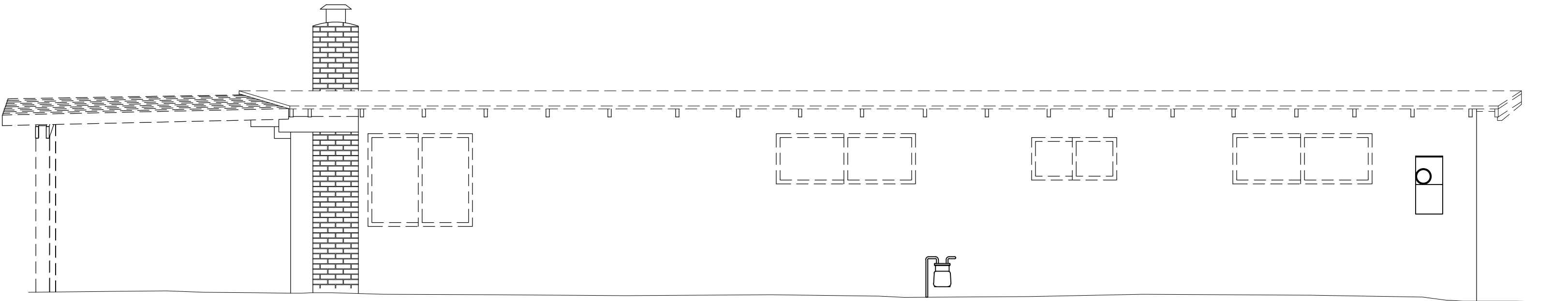
CLIENT:
 SCOTT & JENNIFER ANDERSON
 111 AVENIDA BUENA VENTURA
 SAN CLEMENTE, CA 92672

PROJECT MANAGER:
 PHONE NUMBER:
 FAX NUMBER:
 EMAIL:



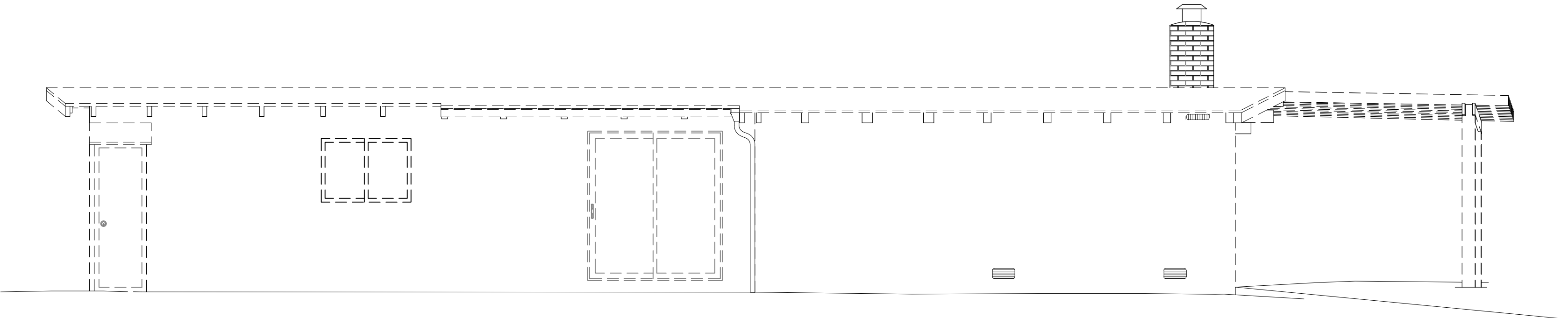
AS-BUILT NORTH ELEVATION

SCALE: 1/4" = 1'-0"



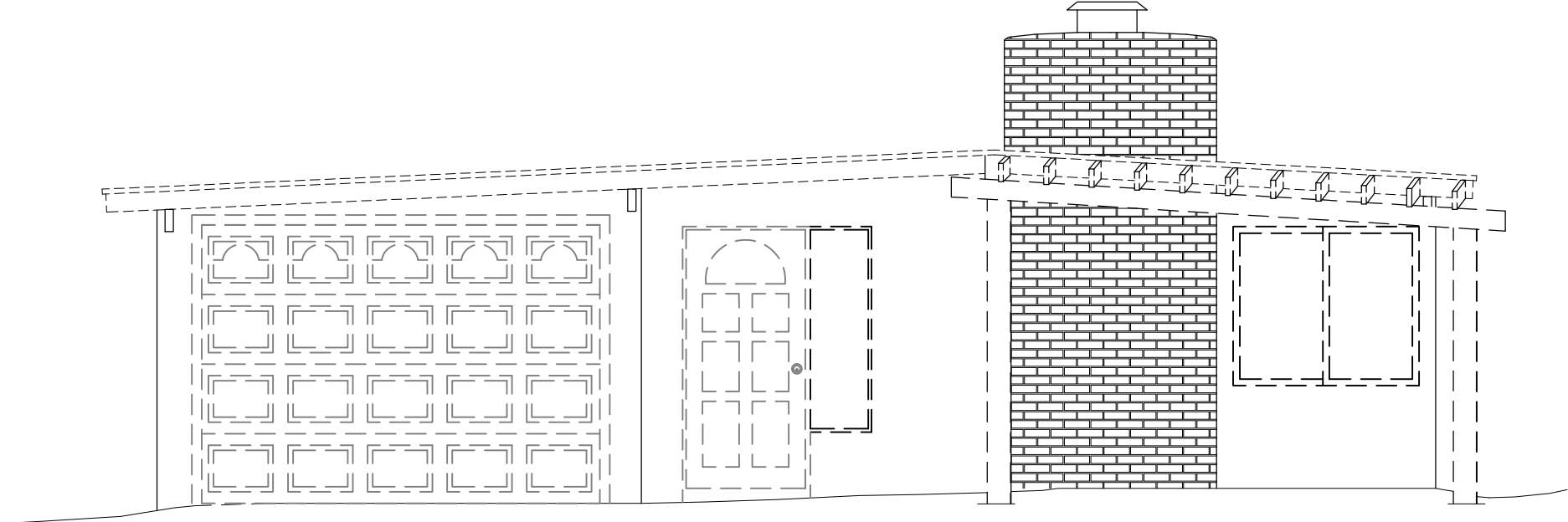
AS-BUILT EAST ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT WEST ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT SOUTH ELEVATION

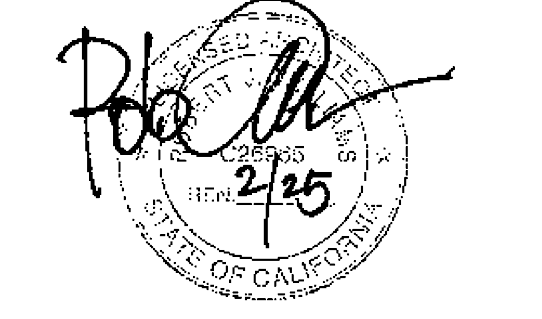
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ANDERSON RESIDENCE
 111 AVENIDA BUENA VENTURA
 SAN CLEMENTE, CA 92672

PROJECT NUMBER:
 2022024

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION
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△	03.25.24	CLIENT REVISION
△	04.25.24	BLDG/PLNG CORR

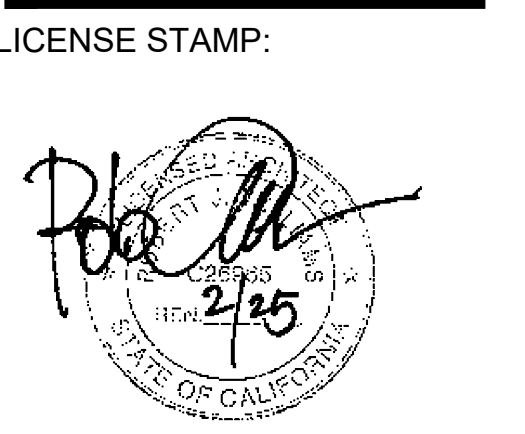
LICENSE STAMP:



SHEET TITLE:
 A.B. AND DEMO
 ELEVATIONS

SHEET NUMBER:

MILESTONES / REVISIONS		
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▲	03.25.24	CLIENT REVISION
▲	04.25.24	BLDG/PLNG CORR



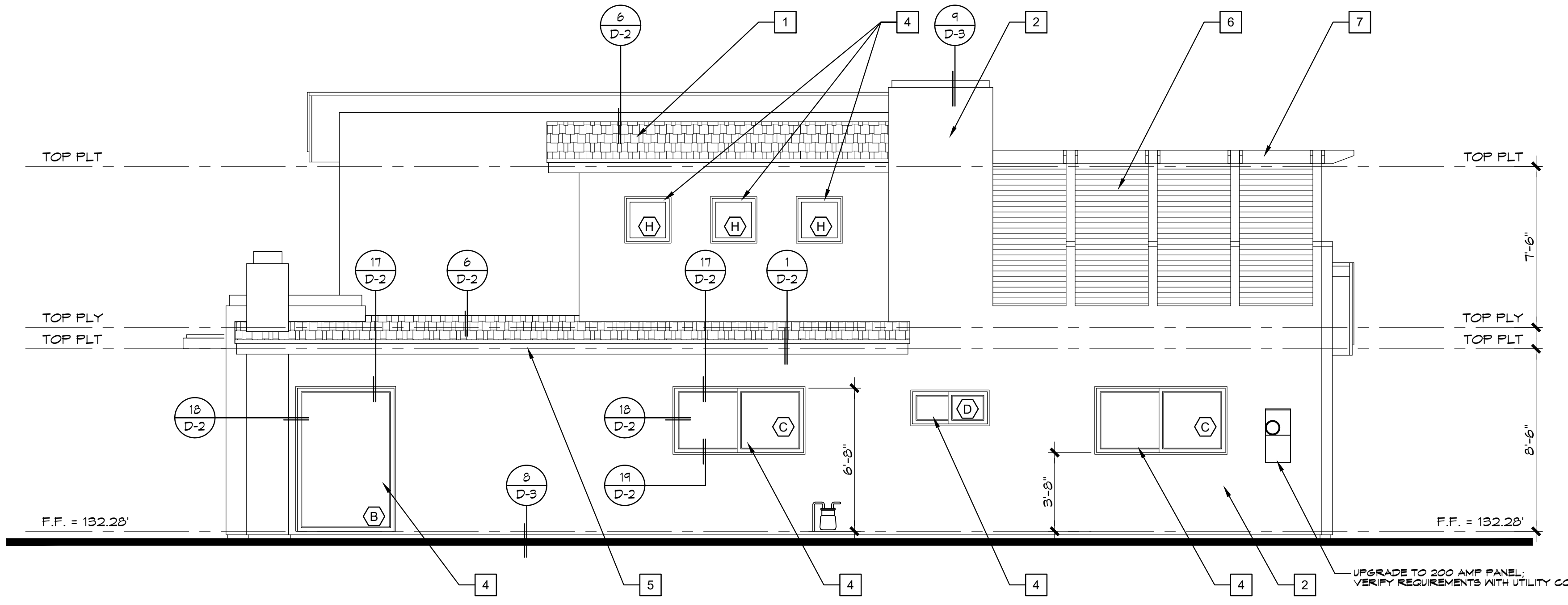
Attachment 4: Plans

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS.
- REFER TO SITE PLAN FOR GRADE ELEVATIONS.
- REFER TO SHEET SCH-1 FOR DOOR AND WINDOWS SPECIFICATIONS.
- INSTALL ALL FINISH MATERIAL PER MANUFACTURER'S RECOMMENDATIONS.

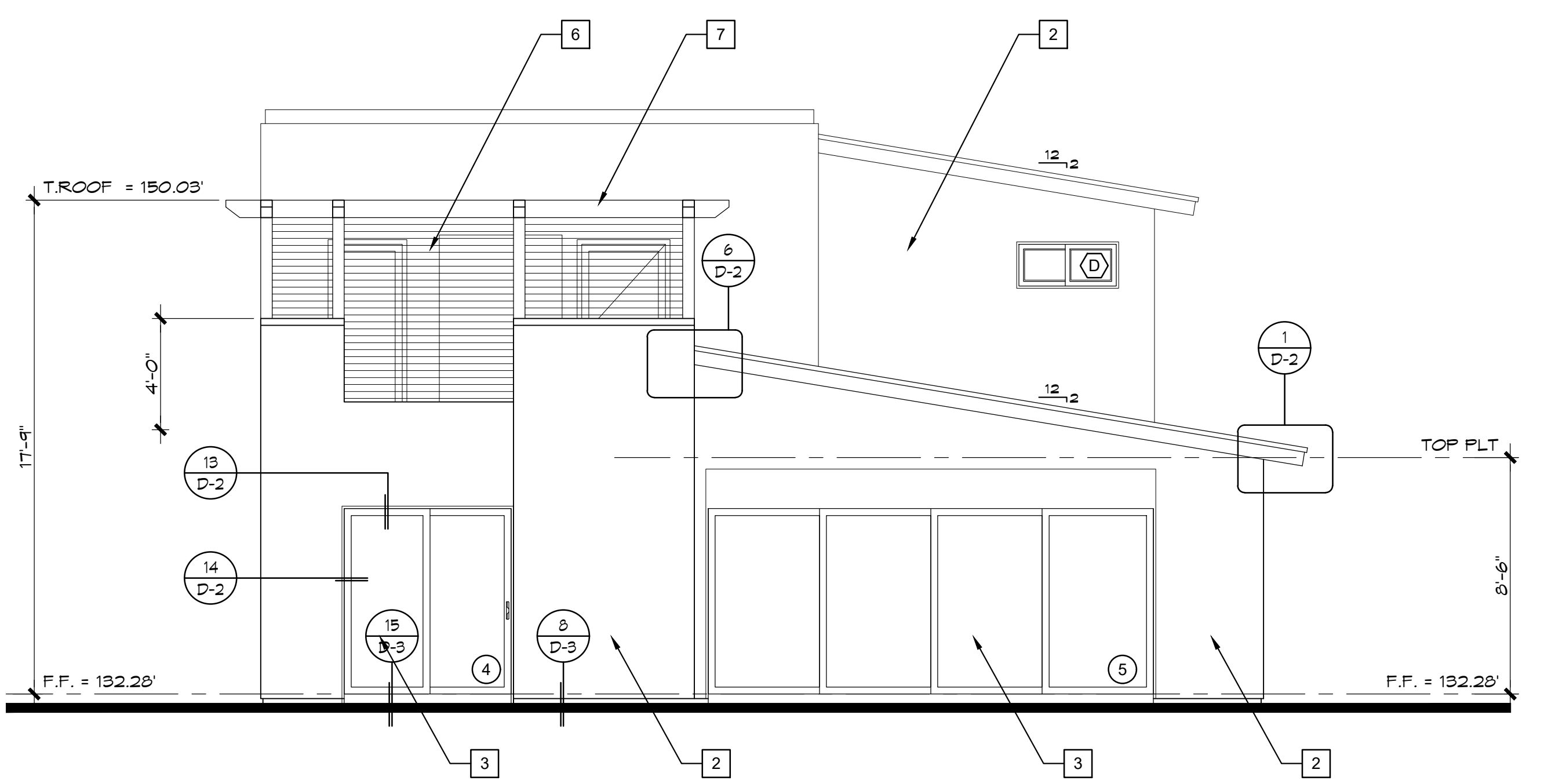
ELEVATION KEYNOTES:

- COMPOSITION SHINGLES:**
MANUFACTURER: CERTANTEED LUXURY
COLLECTION: LANDMARK TL
SERIES: TED
COLOR: UL CLASS A
COMPLIANCE REPORT: ICC-ES-ESR-1889
- STUCCO:**
MANUFACTURER: OMEGA
SYSTEM: THREE COAT W/ CRACK ISOLATION COLORTEK
FINISH: MATCH EXISTING
TEXTURE: MATCH EXISTING
COLOR: (SAMPLE TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION)
COMPLIANCE REPORT: ICC-ES-ESR 1194
- DOORS:**
MANUFACTURER: FELLA ARCHITECT
SERIES: ALUMINUM
CLAD: MATCH EXISTING
COLOR: DOUGLAS FIR
WOOD: MATCH EXISTING
HARDWARE: PER OWNER
GLAZING: LOW E2
TINT: SOLAR GRAY
- WINDOWS:**
MANUFACTURER: FELLA ARCHITECT
SERIES: ALUMINUM
CLAD: MATCH EXISTING
COLOR: DOUGLAS FIR
WOOD: MATCH EXISTING
HARDWARE: PER OWNER
GLAZING: LOW E2
TINT: SOLAR GRAY
- GUTTER & DOWNSPOUT:**
MATERIAL: 18 OZ COPPER
GUTTER: 6" HALF-ROUND
DOWNSPOUT: 3" DIA.
- LOUVERS:**
MANUFACTURER: ARCHITECTURAL LOUVERS OR BETTER
SERIES: EIDS - 4" DEEP 45° DRAINABLE D BLADE ALUMINUM LOUVER
MATERIAL: ANODIZED ALUMINUM
COLOR: AS SELECTED
RATING: AMCA 500-L
- PATIO COVER:**
MANUFACTURER: AS SELECTED
MATERIAL: HEAVY TIMBER FIRE RETARDANT POSTS AND RAFTERS



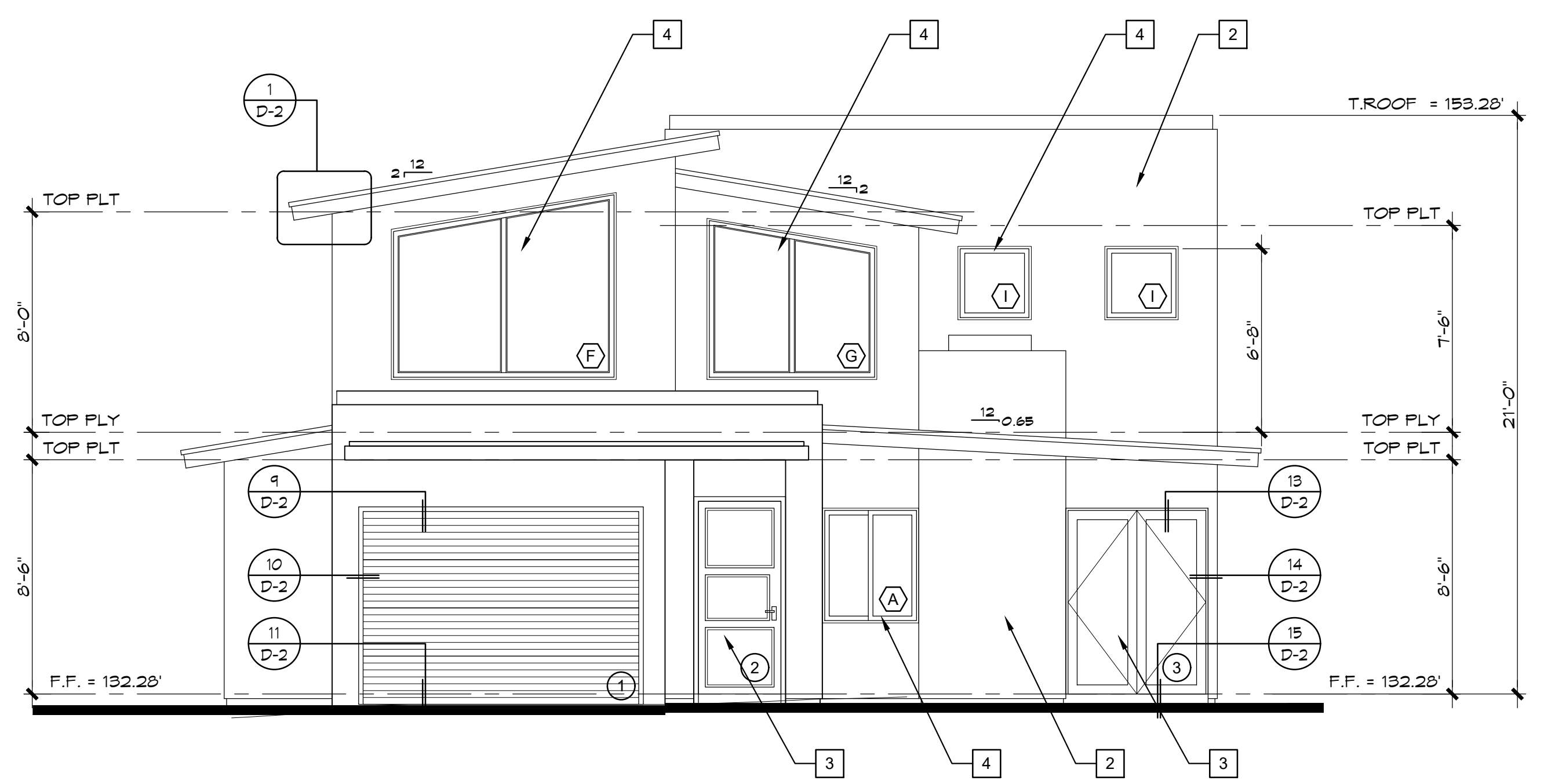
EAST ELEVATION

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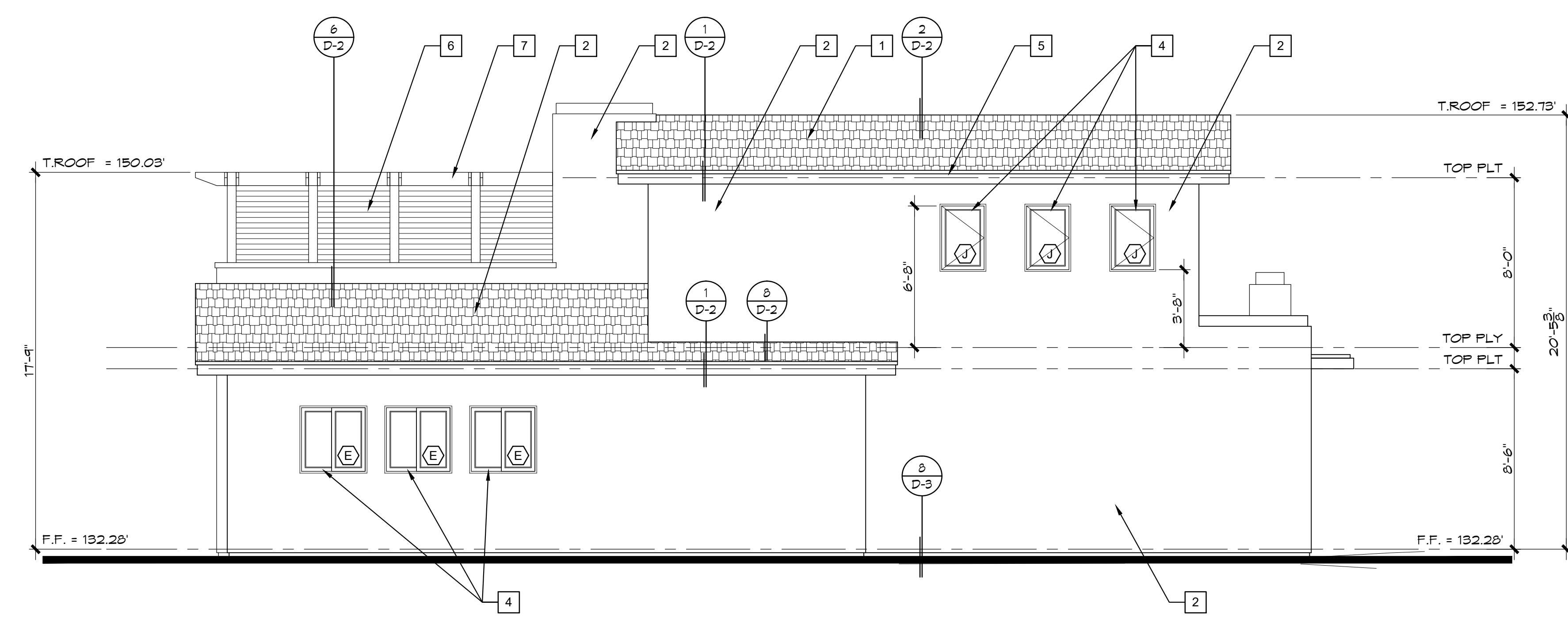
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



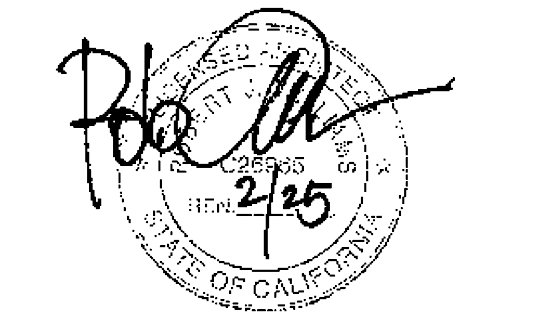
WEST ELEVATION

SCALE: 1/4" = 1'-0"

Attachment 4: Plans

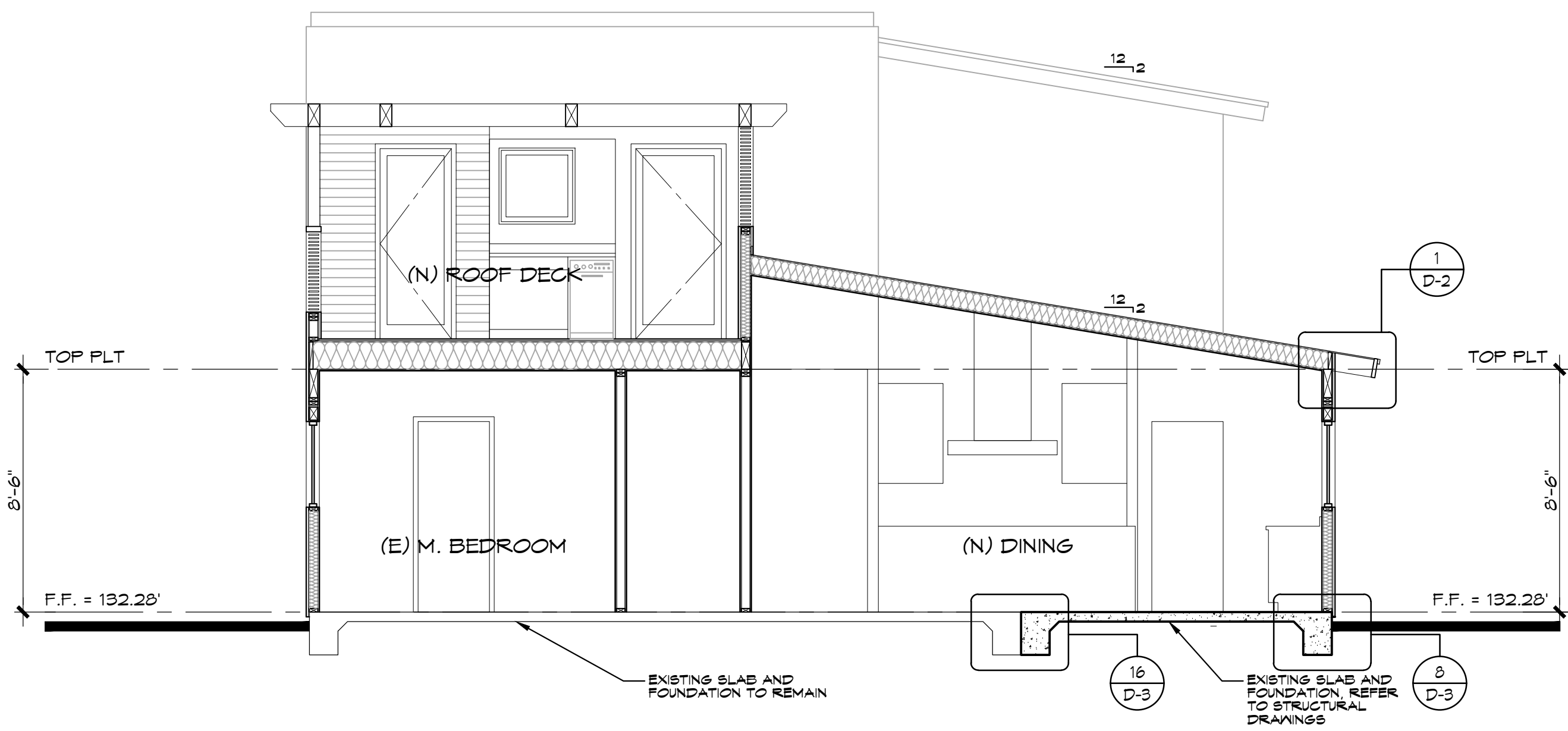
MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION
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△	03.25.24	CLIENT REVISION
△	04.25.24	BLDG/PLNG CORR

LICENSE STAMP:



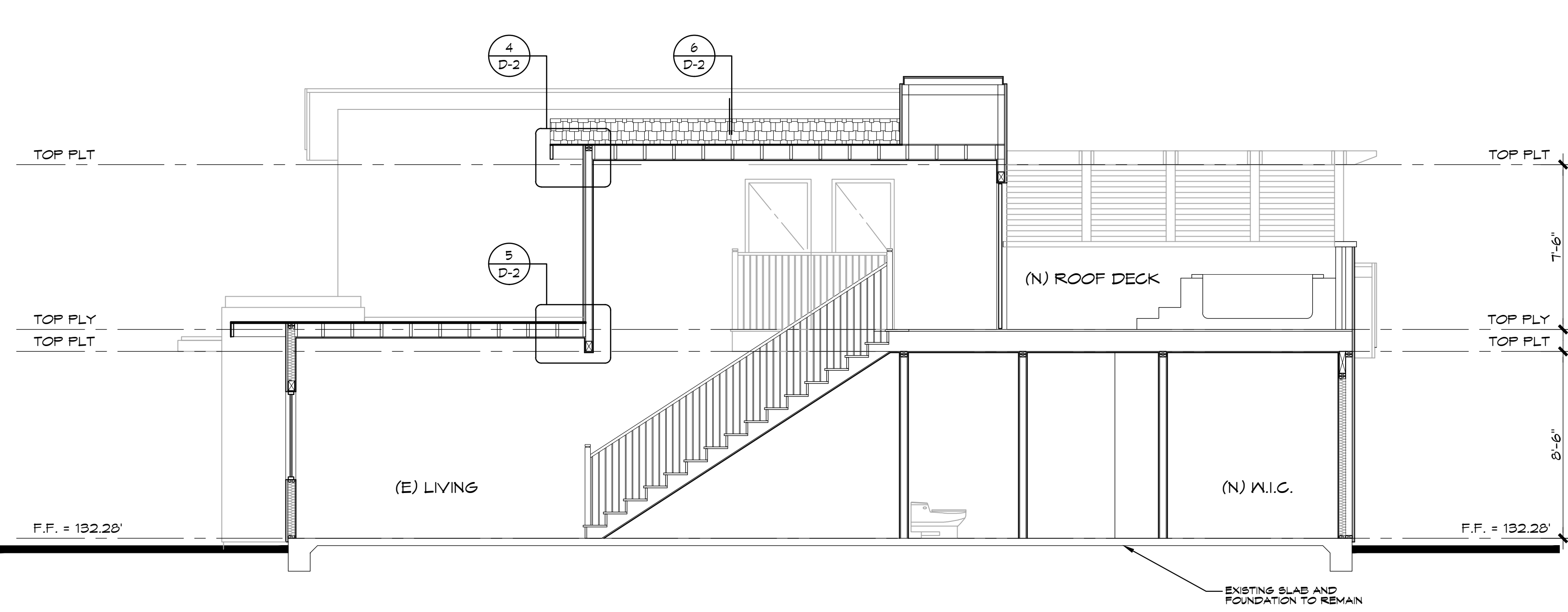
SHEET TITLE:
SECTIONS
A, B, C, & D

SHEET NUMBER:



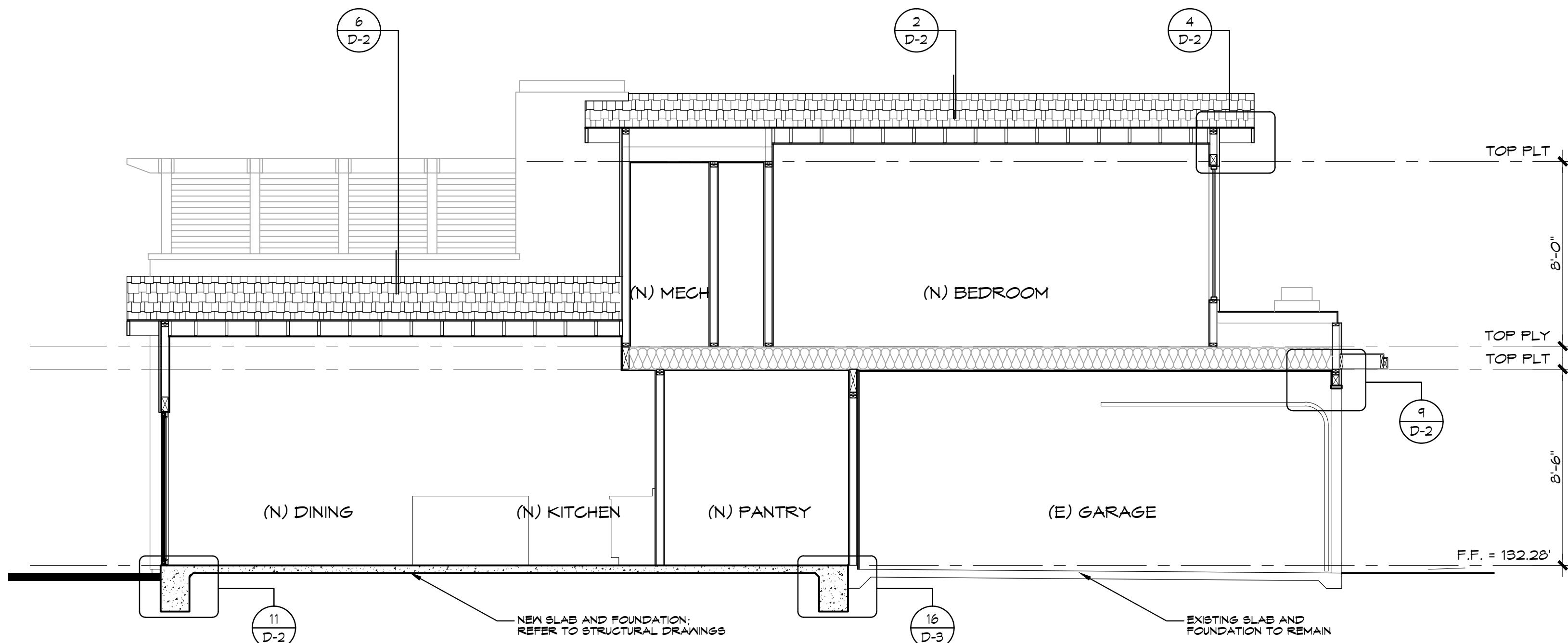
SECTION D

SCALE: 1/4" = 1'-0"



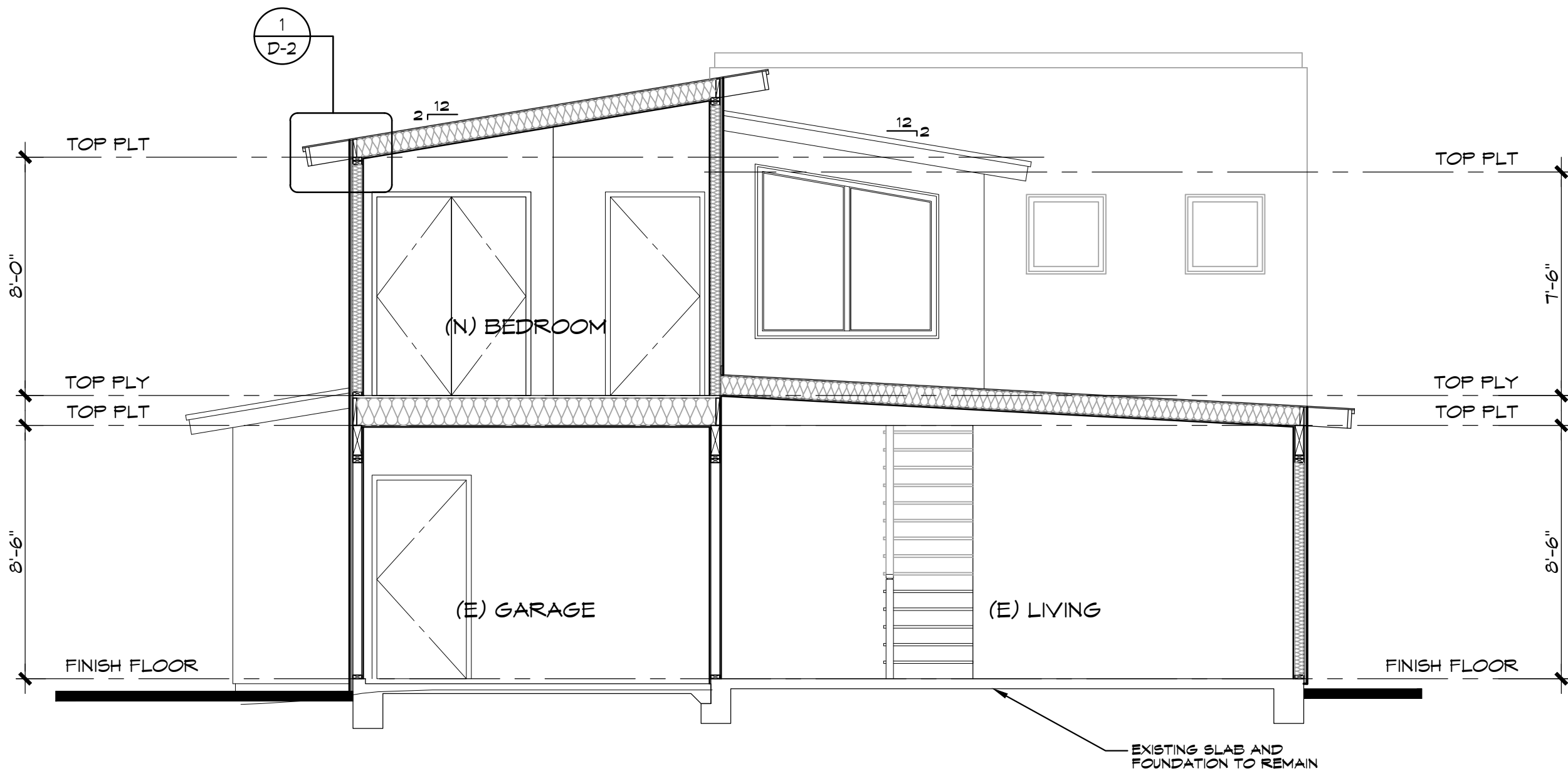
SECTION B

SCALE: 1/4" = 1'-0"



SECTION C

SCALE: 1/4" = 1'-0"



SECTION A

SCALE: 1/4" = 1'-0"

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION
01	08.24	BLDG DEPT SUB
03	25.24	CLIENT REVISION
04	25.24	BLDG/PLNG CORR

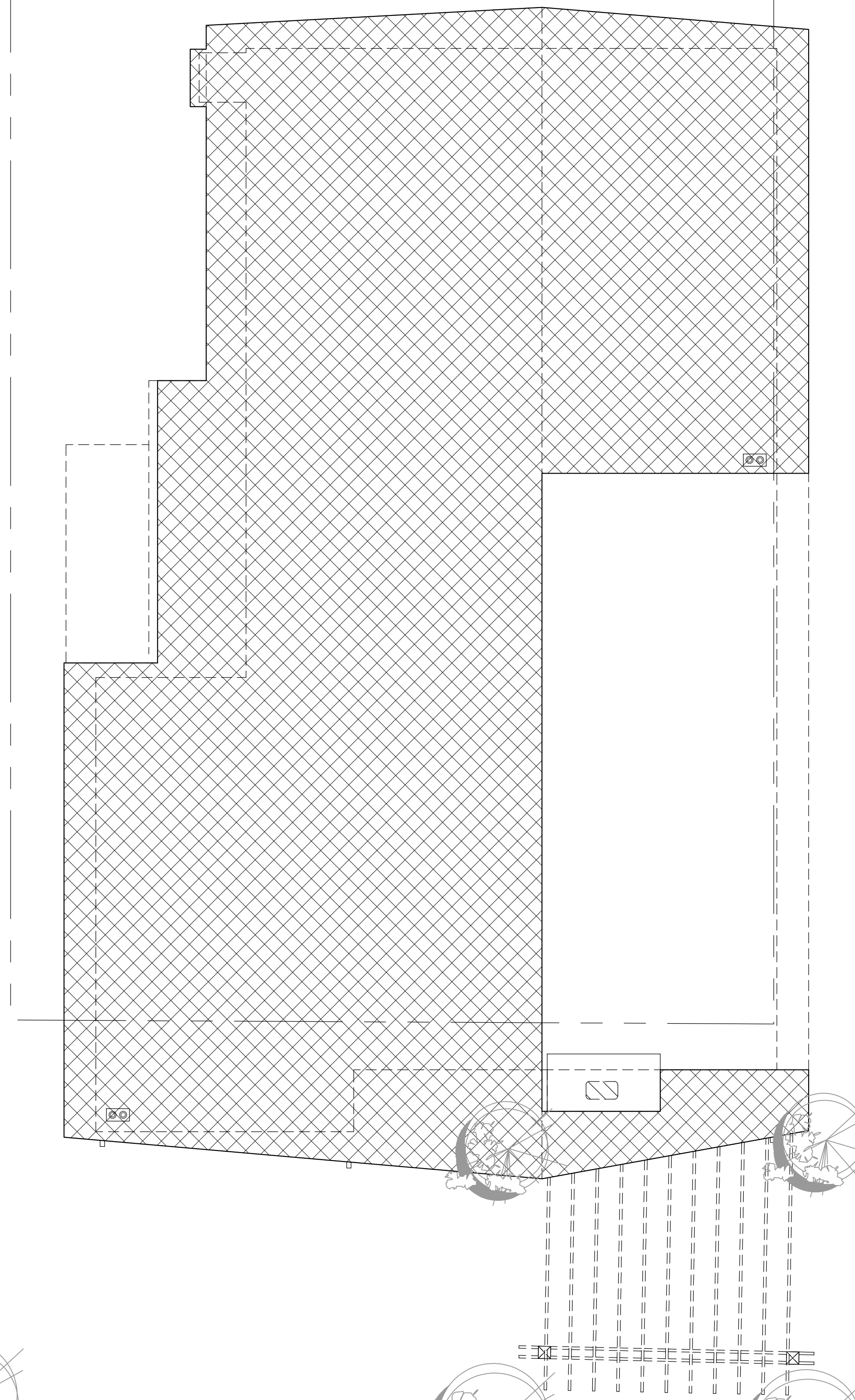
LICENSE STAMP:



SHEET TITLE:
A.B. / DEMO AND
NEW ROOF PLAN

SHEET NUMBER:

Attachment 4: Plans



AS-BUILT / DEMOLITION ROOF PLAN

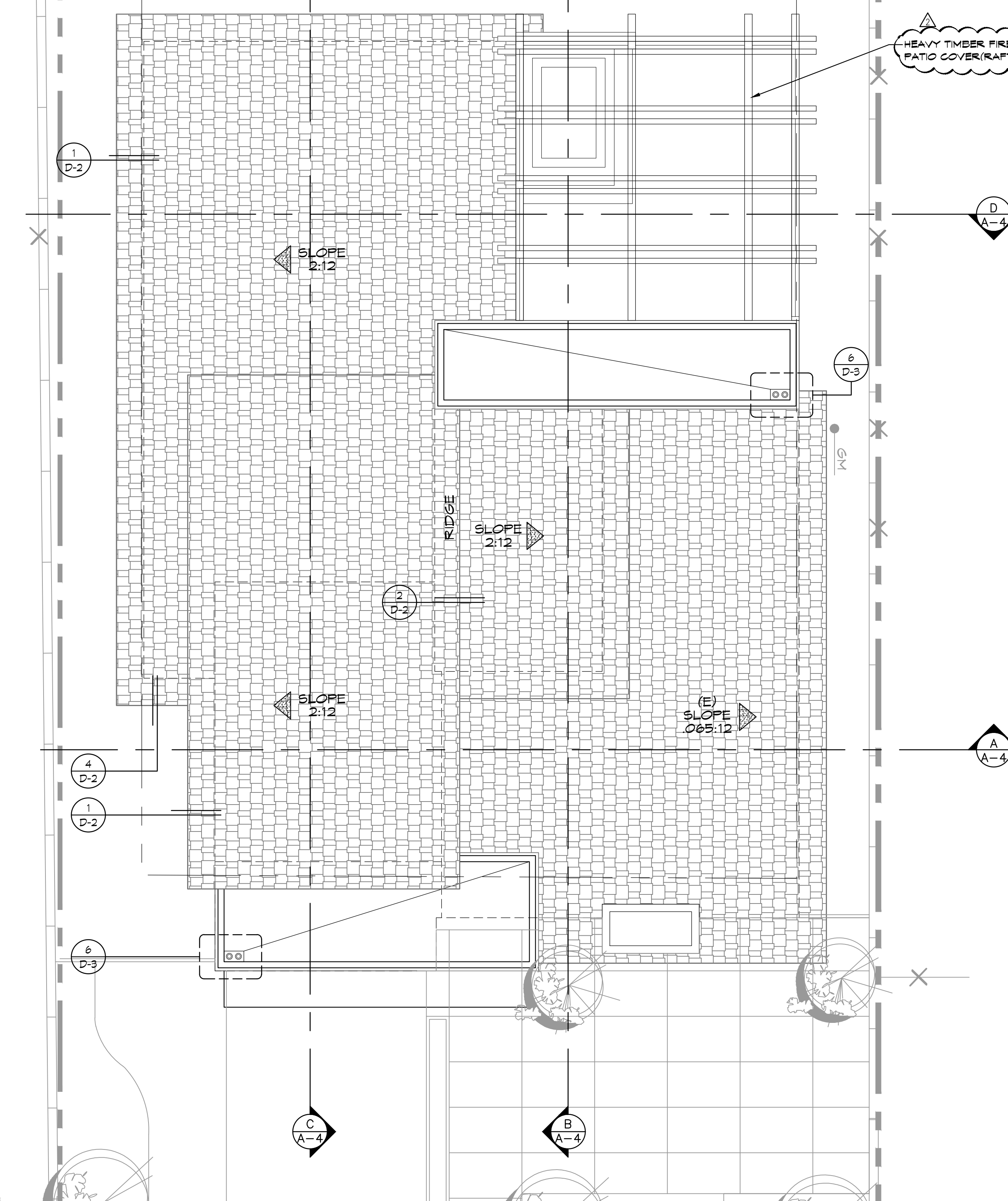
SCALE: 1/4" = 1'-0"

ROOF DEMOLITION LEGEND:

HATCHED AREA DENOTES LOCATION OF EXISTING ROOF TO BE REMOVED - REFER TO AS-BUILT / DEMO ROOF PLAN

ROOF PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- ▲ INDICATES ROOF PITCH AS NOTED ON THE ROOF PLAN.
- ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSOLIDATED AND LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE.
- ALL FLASHING, SHEET METAL, VENT STACKS AND PIPES SHALL BE 26 GA. GALV. SHEET METAL.
- PROVIDE 26 GA. GALV. SHEET METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS. REFER TO DETAILS.
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION.
- IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30" HEADROOM PROVIDE A 20" x 30" MIN. ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND POP-OUTS SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- AT ALL AREAS WITHIN THE ROOF ATTIC WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 20" x 30" MIN. ATTIC ACCESS TO THOSE AREAS. ATTICS WITH APPLIANCES OR F.A.U. UNITS INSTALLED IN THEM, PROVIDE A 30" x 30" MIN. ATTIC ACCESS, (PROVIDED F.A.U. MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
- PRIOR TO THE RELEASE OF THE ROOF SHEATHING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY A SURVEY OR OTHER APPROPRIATE METHOD, THAT THE HEIGHT OF THE STRUCTURES IS IN COMPLIANCE WITH THE ADOPTED APPROVAL RESOLUTION, AND THE HEIGHT LIMITATIONS (IF ANY) OF THE APPLICABLE ZONING DISTRICT.
- ALL ROOF EAVE GUTTERS SHALL BE 3" SQUARE, NON-EXTRUDED, CONTINUOUS ALUMINUM WITH NO SEAMS. ALL DOWNSPOUTS SHALL BE ALUMINUM, 3" DIA. ROUND WITH WELDED SEAMS. REFER TO ROOF PLAN AND EXTERIOR ELEVATIONS FOR LOCATIONS.
- COORDINATE CONNECTION OF CONTINUOUS ROOF EAVE GUTTERS AND DOWNSPOUTS TO ALLOW WATER TO FLOW AWAY FROM THE STRUCTURE. DOWNSPOUTS SHOULD BE CONNECTED TO CLOSED PIPES THAT DISCHARGE INTO SITE STORM DRAIN SYSTEM OR ONTO PAVED SURFACES THAT CARRY THE WATER AWAY AT LEAST 5'-0" FROM THE BUILDING'S FOUNDATION.
- ANY FORCED AIR UNITS LOCATED IN THE ATTIC MUST BE POSITIONED IN SUCH A MANNER THAT THE REQUIRED DISTANCE FROM THE VENT OUTLET TO THE TOP OF THE FLUE CAP IS WITHIN THE ATTIC, ALLOWING THE EXTERIOR HEIGHT OF THE FLUE CAP ABOVE THE FINISHED ROOFING TO BE THE MINIMUM ALLOWED BY CODE.
- VENTING SHALL EXTEND ABOVE THE ROOF AND SHALL TERMINATE IN VENT CAP. TERMINATION POINTS SHALL BE AT LEAST 4 FEET BELOW OR HORIZONTALLY FROM AND 1 FOOT ABOVE ANY OPENING INTO THE BUILDING, BE AT LEAST 3 FEET ABOVE ANY FORCED AIR INLET INTO THE BUILDING LOCATED WITHIN 10 FEET, AND SHALL BE 4 FEET AWAY FROM THE PROPERTY LINE, PER 2010 C.M.C. AND 2010 C.P.C.
- ROOF ELEVATIONS ARE TO TOP OF FINISHED MATERIAL, TYP. U.N.O.
- DS - DENOTES DOWNSPOUT LOCATION.



NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

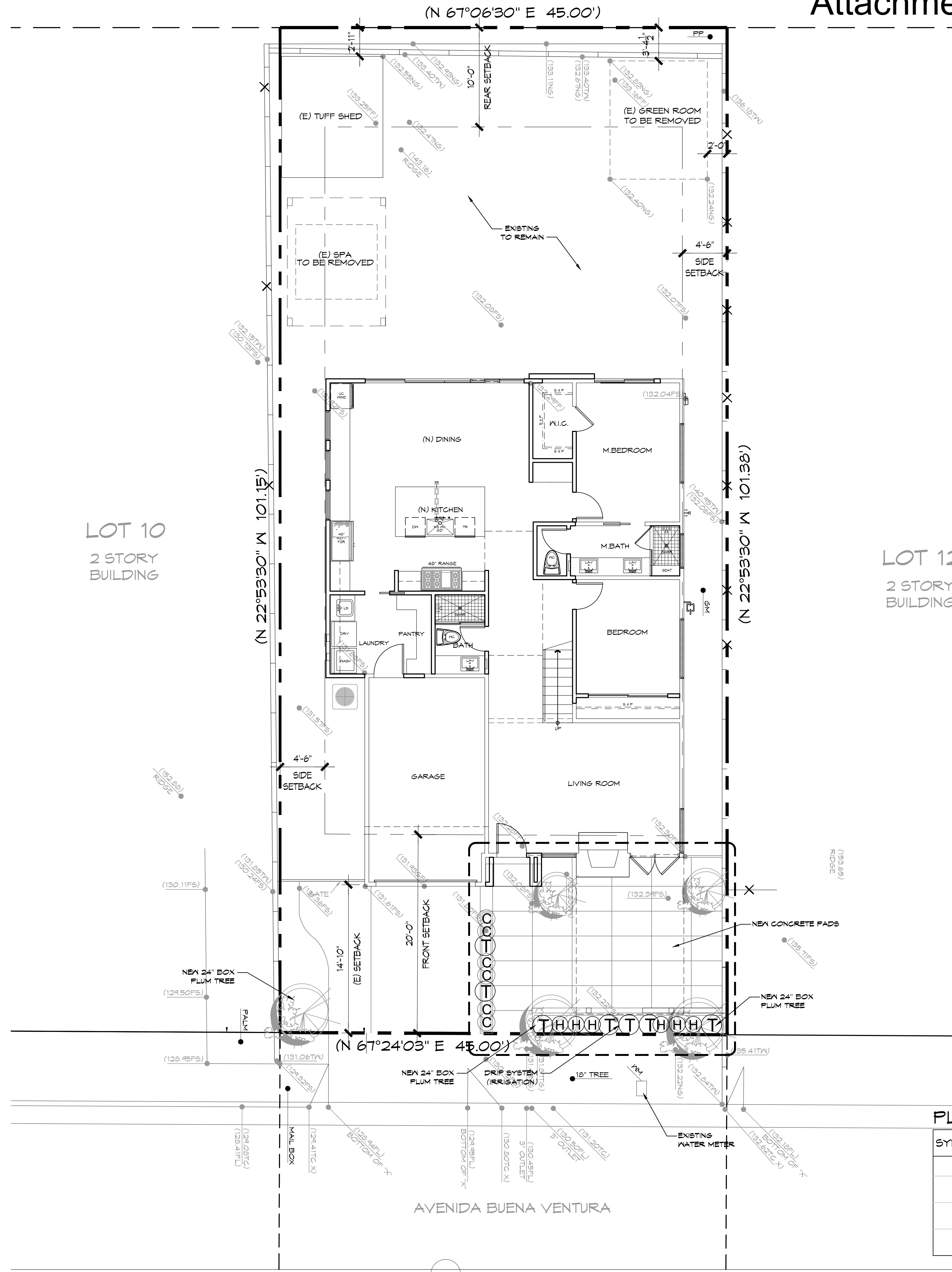
ATTIC VENTILATION NOTES:

- PER 2022 C.R.C. SECTION R306 - ENCLOSED ATTICS AND ENCLOSED SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/8" INCH MINIMUM AND 1/4" INCH MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R302.1.
MINIMUM VENT AREA
THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF VENTED SPACE.
EXCEPTION:
THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF VENTED SPACE PROVIDE ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ROOFING SPECIFICATIONS:

MANUFACTURER: MATCH EXISTING
SERIES: MATCH EXISTING
TYPE: ASPHALT SHINGLES
COLOR: MATCH EXISTING
FIRE RATING: CLASS A
COMPLIANCE REPORT: ICC-ES-ESR xxxxx

Attachment 4: Plans



WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and is a required item of the Landscape Documentation Package.
One worksheet complete for point of connection (water meter)*

Water Efficient Landscape Worksheet

Fill in all colored cells.

Select your city: San Clemente
Reference Evapotranspiration (ET₀): 26.2

Project name or address: 111 Avenida Buena Ventura
Parcel/lot: 101.38

Hydrozone #/Planting Description	Location	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU)
1 Low water use plant	Front	0.2	Subsurface drip	0.8	0.25	15	4	107
2 Low water use plant	Front	0.2	Subsurface drip	0.8	0.25	15	9	249
3								
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
						Average	Total	Total
						0.25	50	37

add # of drops on # of description location

Average ETAF for Regular Landscape Area: In Compliance

Special Landscape Area	Select	Area (sq ft)	ETAF	ETWU
S1A.1				
S1A.2				
S1A.3				
S1A.4				
S1A.5				
		Total		
		Total Landscape Area	50	
		Sitewide ETAF	0.25	
		ETWU Total		355
		Maximum Allowed Water Allowance (MAWA)		293

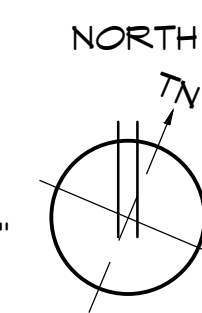
* If multiple points of connection worksheets are submitted after 11 each must be in compliance or 2 worksheets for the total project area must be in compliance.

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QTY.	SIZE	WATER USE FACTOR
SHRUBS (PER NUCOLS REGION 3)					
⊙	DIA CAE	DIANELLA CAERULEA / BLUE FLAX LILY	6	1 GALLON	LOW PLANT FACTOR 0.3
⊙	DIA VAR	DIANELLA TAS. 'VARIEGATA' / VARIEGATED FLAX LILY	7	5 GALLON	LOW PLANT FACTOR 0.3
⊙	HES PAR	HESPERALOE PARVIFLORA 'BRAKELIGHT' / RED YUCCA	6	5 GALLON	LOW PLANT FACTOR 0.3

LANDSCAPE PLAN

SCALE: 3/16" = 1'-0"



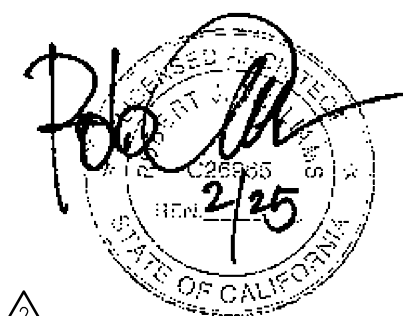
ANDERSON RESIDENCE
111 AVENIDA BUENA VENTURA
SAN CLEMENTE, CA 92672

PROJECT NUMBER:
2022024

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
01.08.24	BLDG DEPT SUB	
03.25.24	CLIENT REVISION	
04.25.24	BLDG/PLNG CORR	

LICENSE STAMP:



SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-1