



Cultural Heritage Subcommittee (CHSC)

Meeting Date: June 12, 2024

PLANNER: Jonathan Ciampa, Contract Planner

SUBJECT: **Public Hearing Project 24-029, Rimland Residence, 137 W. Avenida Santiago**, a request for a Development Permit (DP 24-041) to allow the demolition of 1,155 square feet of the existing two-story single-family residence, the construction of a first and second story addition totaling 2,229 square feet, and a 344 square foot roof deck abutting a historic resource at 201 Esplanade.

BACKGROUND:

Site Data

The project site is a 6,906 square foot corner lot with an existing 1,924 square foot two-story, single family with an attached 428 square foot two-car garage. The project is located within the Residential Low (RL) Zoning District and the site is adjacent to a historic resource at 201 Esplanade. The site is bordered by similar one- and two-story single-family residences (Attachment 1). Figure 1 below provides an aerial view of the project site and the abutting historic resource (201 Esplanade).

Figure 1 – Project Site and Abutting Historic Resources



201 Esplanade (Abutting Historic Resource)

The historic single-family residence (across the street from the subject development request) was designed and built for the original owner Mrs. M.J. Brew by architect Leo Smith. The design of the single-family residence exemplifies the 1930s and 40s era of San Clemente development. The DPR Form describes the property as “A one-story single-family residence with an irregular plan and wood-frame construction. The residence sits atop a hill and includes concrete steps leading to the entryway. Designed in the Spanish Colonial Revival style, it has various rooflines including a low-pitch front-gable, low-pitch side-gable, and shed roof, all with clay tiles. The exterior walls are clad with original smooth stucco. A garage with an addition including double garage doors and a window opening on the second elevation is located to the rear of the residence.” The DPR form notes the house’s integrity is good but does not reference the integrity of the garage as a result of the second level addition. For more historical data on this property, reference the property’s DPR Survey form in Attachment 2.

Project Description

The applicant proposes to demolish 1,155 square feet of the first and second stories of the westerly portion of the single-family residence and construct an addition of 1,195 square feet on the first story and 1,034 square feet on the second story to bring the structure to 3,725 square feet. The first-floor plan would be reconfigured with a common living, dining, and kitchen area, relocation of the front entrance to the center of the structure, and the conversion of the existing family room into a bedroom, and library room. The mudroom, the bathroom, and two-car garage on the easterly portion of the first level are to remain unchanged.

Figure 2 – Proposed North Elevation



The addition and remodel to the westerly side of the second story floor plan would create two new bedrooms and bathrooms. Along the S. Ola Vista elevation, a new 412 square foot deck is proposed that would also function as a patio cover for the first floor to create outdoor living areas for both floors. The remodel on the easterly side would create a new hallway to access the existing game room and the existing bedroom and bathroom are to remain but would be decreased in size to accommodate for the proposed hallway.

Lastly, the applicant has proposed a 344 square foot roof deck that would be centrally located on the roof. The proposed roof deck would be accessed from an interior staircase. The roof for the addition would be built up around the roof deck to be architecturally integrated into the structure so the edge of the roof also functions as the guardrail.

Why is CHSC Review Required?

A Development Permit may require review by the Cultural Heritage Subcommittee to provide feedback on visual impacts of projects on nearby historic resources and landmarks; and architectural design issues, such as architectural quality and style, massing, scale, proportions, landscaping, materials, design features, and visual impacts on aesthetic resources. This Development Permit request falls under Zoning Administrator review (Process 2) for “[d]evelopment of a single-family dwelling or duplex across a street and abutting a property on the City’s designated historic resources and landmarks list.”¹

ANALYSIS:

Development Standards

The project complies with all development standards of the RL Zone, including height and setbacks, as shown on the consistency table provided in Attachment 4 with the exception to the legal non-conforming garage setback which is 10 feet 9 inches when 18 feet is required.

Design Guidelines

The City’s General Design Guidelines apply to this project. Since Spanish Colonial Revival (SCR) architecture is not proposed, SCR-specific design guidelines from the City’s General Design Guidelines, and the Henry Lenny Design Guidelines are not applicable. In summary, design guidelines suggest the following which have been incorporated into this project:

- Develop compatible relationships between the topography, building placement, and existing open spaces of neighboring properties.
- Respect the privacy, sun, and light exposure of neighboring properties.
- Provide a transition from the existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other appropriate means.
- Development should follow the existing topography.
- Development should demonstrate sensitivity to the contextual influences of adjacent properties and the neighborhood.
- Retain mature trees.

¹ Table 17.16.100—Review Process for Development Permit

- Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.
- Rooftop elements shall blend with the building's architecture.

The subject property is across S Ola Vista to the historic resource and located 110 feet from the detached garage and 145 feet from the rear of the historic house. The different orientation of the lots as depicted in Figure 1 result in only the garage and the rear portion of the historic resource (obstructed by a large tree) are visible from the subject property. The 100-foot separation between the structures and the project's second story deck with a 23-foot 10-inch setback and the main structure's 31-foot setback along the S. Ola Vista frontage further reduces massing impacts to the historic resource. Additionally, the proposed landscape plan (Attachment 5, sheet L1.1) identifies the retention of the existing trees and new trees along the S. Ola Vista frontage to screen the view of the new addition and deck.

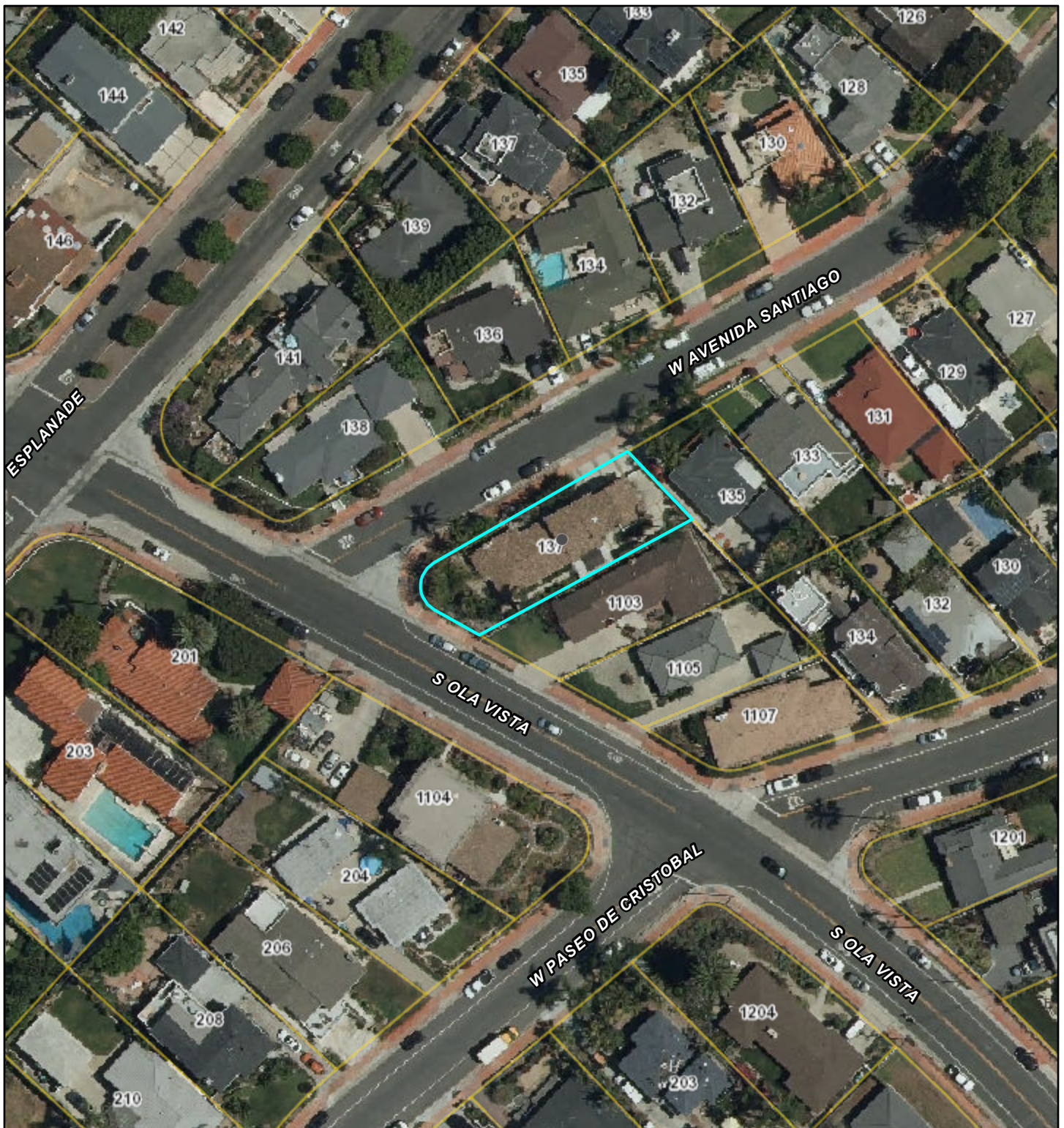
RECOMMENDATIONS:

Staff seek input from the DRSC, related to the project's consistency with design guidelines, and sensitivity to abutting historic resources. Staff also seeks a determination on whether the project is ready for Zoning Administrator review.

Attachments:

1. Vicinity Map
2. 201 Esplanade DPR Historic Survey Form
3. Site Photographs
4. RL Development Standards
5. Conceptual Plans

City of San Clemente Community Map

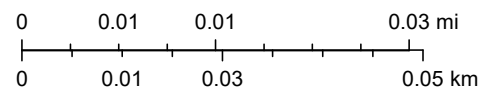


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1:1,128

- Parcel Labels
- Parcels
- World Boundaries and Places
- City Boundary

- Eagle 1ft Tiled 2019
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3



Esri, HERE, Garmin, iPC, Maxar, Eagle Aerial

PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 201 ESPLANADE

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted **a. County** Orange

and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____ **Date** _____ **T; R;** 1/4 of 1/4 of Sec ; **B.M.**

c. Address 201 Esplanade **City** San Clemente **Zip** 92672

d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 692-242-10

P3a. Description:

The property contains a one-story single family residence with an irregular plan and wood-frame construction. The residence sits atop a hill and includes concrete steps leading to the entryway. Designed in the Spanish Colonial Revival style, it has various rooflines including a low-pitch front-gable, low-pitch side-gable, and shed roof, all with clay tiles. The exterior walls are clad with original smooth stucco. The residence is asymmetrical in character, with various projecting bays. The fenestration consists of original wood casement and fixed windows throughout the residence. Other openings include decorative wood vents. The residence also includes its original entrance door. The entryway of the residence is enclosed by a low stucco wall. Spanish Colonial Revival elements of the residence include exposed rafter tails and a brick chimney with a decorative brick cap. A side courtyard is enclosed with a stucco wall. A garage with an addition including double garage doors and a window opening on the second elevation is located to the rear of the residence. The residence is in good condition. Its integrity is good.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

North elevation, south view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1938 (F) Building Permit

P7. Owner and Address:

Redmond, Michael J. & Georgia, W.
201 Esplanade

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/19/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

BUILDING, STRUCTURE, AND OBJECT RECORD

Resource Name or #: 201 ESPLANADE

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved? No Yes Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: Leo Smith

b. Builder: Leo Smith

B10. Significance: Theme San Clemente in the '30s and '40s Area City of San Clemente

Period of Significance 1937-1949 Property Type Residential Applicable Criteria A

This one-story single family residence was built for Mrs. M.J. Brew in 1938. It was designed and constructed by Leo Smith. This property is a typical example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential local historic district under Criterion A for its association with San Clemente in the '30s and '40s. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

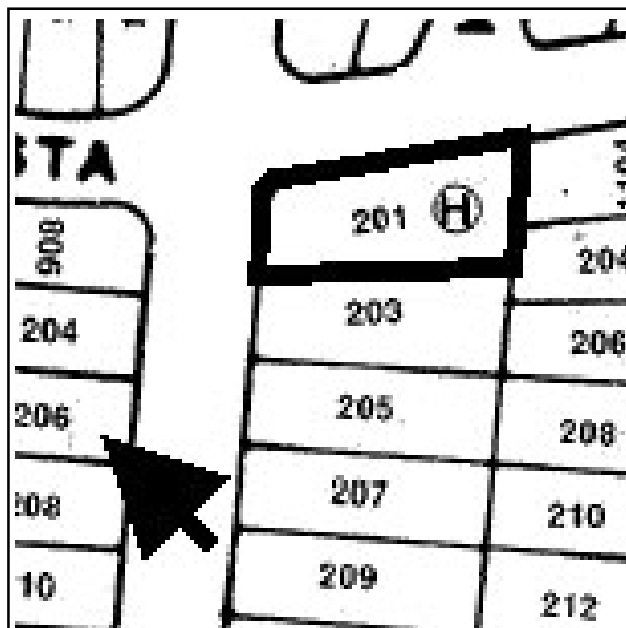
B12. References: San Clemente Building Permits; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/19/2006

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3

Resource Name or #: 201 ESPLANADE

Recorded by: Historic Resources Group

Date: 9/19/2006

Continuation Update

Photographs of the Subject Property, Continued:

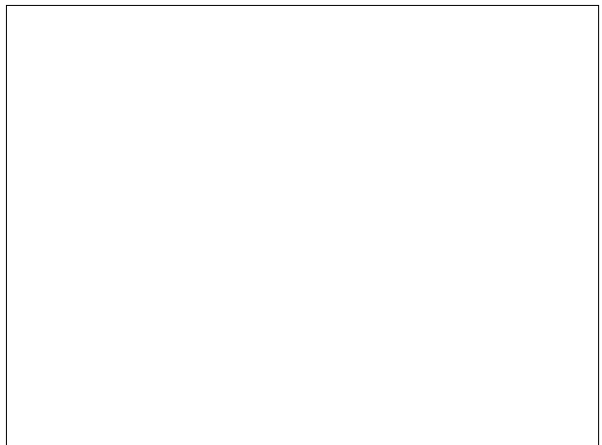
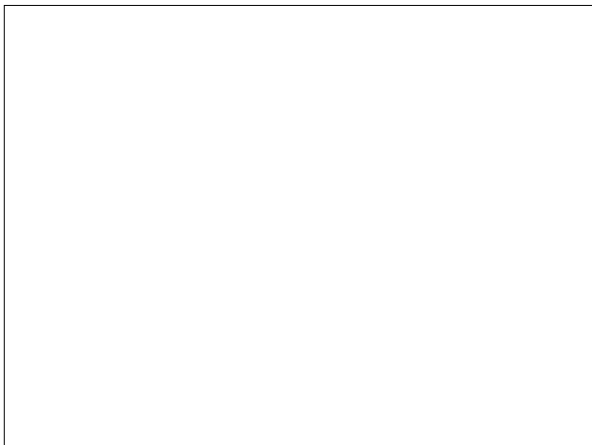
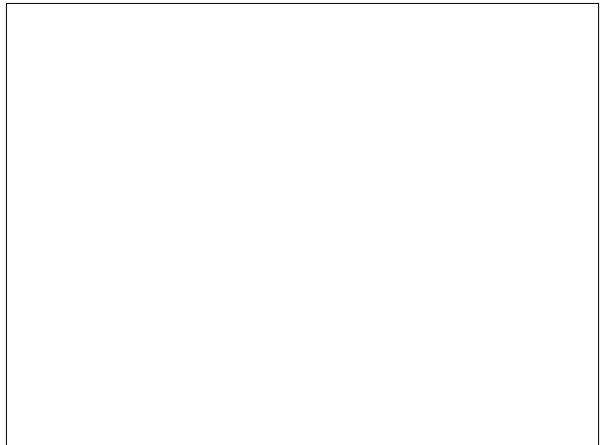
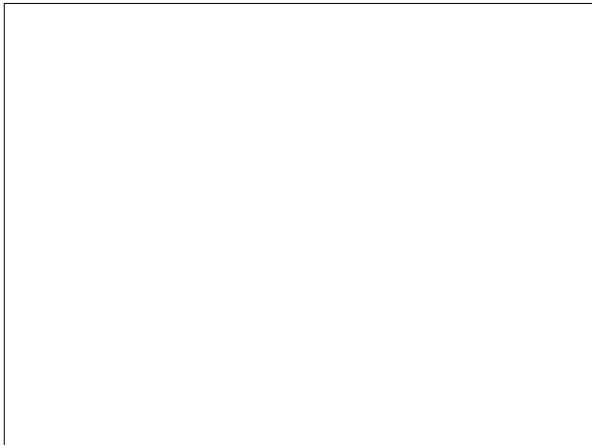


Photo 1: View of the West portion of the subject property



Photo 2: View of the Northwest portion of the subject property



137 W Avenida Santiago (subject property)

Photo 3: View of the North portion of the subject property



Photo 4: View of the Northeast portion of the subject property



137 W Avenida Santiago (subject property)

Photo 5: View of the East portion of the subject property



Photo 6: View of the Southeast portion of the subject property



137 W Avenida Santiago (subject property)

Photo 7: View of the South portion of the subject property



Photo 8: View of the South portion of the subject property



137 W Avenida Santiago (subject property)

Photo 9: View of the Southwest portion of the subject property



Photo 10: View of the Southwest portion of the subject property



137 W Avenida Santiago (subject property)

Photo 11: View of the West portion of the subject property



Photo 12: View of the North portion of the subject property



135 W Avenida Santiago (neighbor to the East of the subject property)

Photo 13: View of the Northwest portion of the neighboring property to the East



**1103 S Ola Vista
(neighbor to the South of the subject property)**

Photo 14: View of the West portion of the neighboring property to the South



201 Esplanade – historic structure (neighbor to the West of the subject property)

Photo 15: View of the Northeast portion of the neighboring property to the West



Photo 16: View of the East portion of the neighboring property to the West



201 Esplanade – historic structure (neighbor to the West of the subject property)

Photo 17: View of the Southeast portion of the neighboring property to the West



RESIDENTIAL LOW (RL) DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS		
ZONE: 'RL' RESIDENTIAL, LOW		
STANDARD	REQUIREMENT	PROVIDED
FRONT STBK TO PRIMARY STUCTURE	20 FT.	23'-7"
SIDE STBK TO STREET FACING ROLL-UP GARAGE	18 FT.	10'-9" EXIST'G LEGAL NON-CONFORMING
SIDE STBK INTERIOR	10% AVE OR 6 FT, WHICHEVER IS SMALLER = 4'-11 $\frac{1}{2}$ "	7'-1"
SIDE STBK STREET	10 FT.	10'-1"
REAR STBK	10 FT.	10'-11"
LOT COVERAGE	50 %	37.0 %
BUILDING HT	25 FT.	23'-11"

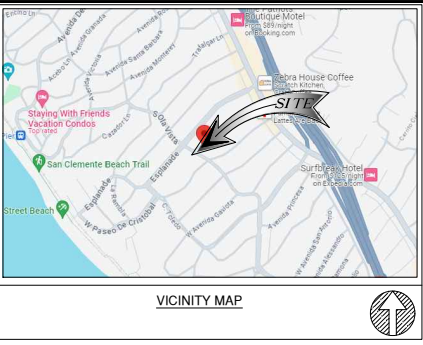
TOPOGRAPHIC SURVEY

137 WEST AVENIDA SANTIAGO

BOUNDARY NOTE

THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS

- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY, THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN ARE BASED ON RECORD INFORMATION AS NOTED HEREON. THE TOPOGRAPHIC SURVEY HAS BEEN TRANSLATED TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
 - THE HEIGHTS AND ELEVATIONS FOR TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
 - FIELD SURVEY COMPLETED ON NOVEMBER 22, 2023.



LEGEND

---	MINOR CONTOURS	☐	TREE
- - -	MAJOR CONTOURS	☐	EXISTING CONCRETE
---	CENTER LINE	▨	LANDSCAPE
- - -	RIGHT OF WAY LINE	▨	AC PAVEMENT
---	PROPERTY LINE		
---	CHAIN-LINK FENCE		
---	WOOD FENCE		
---	BRIDGE RAILING		
---	RETAINING WALL		
---	EDGE OF PAVEMENT		
---	ELECTRICAL MANHOLE		
---	FIRE HYDRANT		
---	CATCH BASIN		
---	PEDESTRIAN SIGNAL LIGHT		
---	EXISTING STREET LIGHT		
---	EXISTING TRAFFIC SIGNAL		
---	EXISTING SIGN		
---	GUY WIRE ANCHOR (GWA)		

ABBREVIATIONS

HT	HEIGHT	PNL	PANEL
TC	TOP OF CURB	SS	SANITARY SEWER MANHOLE
TW	TOP OF WALL	SD	STORMWATER DRAIN MANHOLE
EG	EXISTING GRADE	GV	GAS VALVE
FS	FINISH SURFACE	WV	WATER VALVE
HH	HAND HOLE	TM	TELECOM MANHOLE
JB	JUNCTION BOX	TP LM	TOP OF LUMINAIRE
TR	TRANSFORMER	TP PL	TOP OF POLE
WM	WATER METER	BW	BACK OF CONC WALK
CLST	CLOSET	LIT	LIGHT
VT	VAULT	GP	GUARD POST
PB	PULL BOX	S	SION
MP	METER PEDESTAL	AC	ASPHALT CONCRETE PAVEMENT
CL	CENTERLINE	COND	CONDUIT
ESTAB	ESTABLISHED	SFN	SEARCHED, FOUND NOTHING
CTR	CENTER		

BASIS OF BEARING: (NAD83: EPOCH 2011)

THE BEARINGS SHOWN HEREON ARE BASED FROM THE CENTERLINE OF WEST AVENIDA SANTIAGO, BEING S60°10'09"W, RECORDED IN TRACT MAP NO. 822, MAP BOOK NO. 25, PAGES 21-26, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

BASIS OF ELEVATIONS: (NAVD 1988)

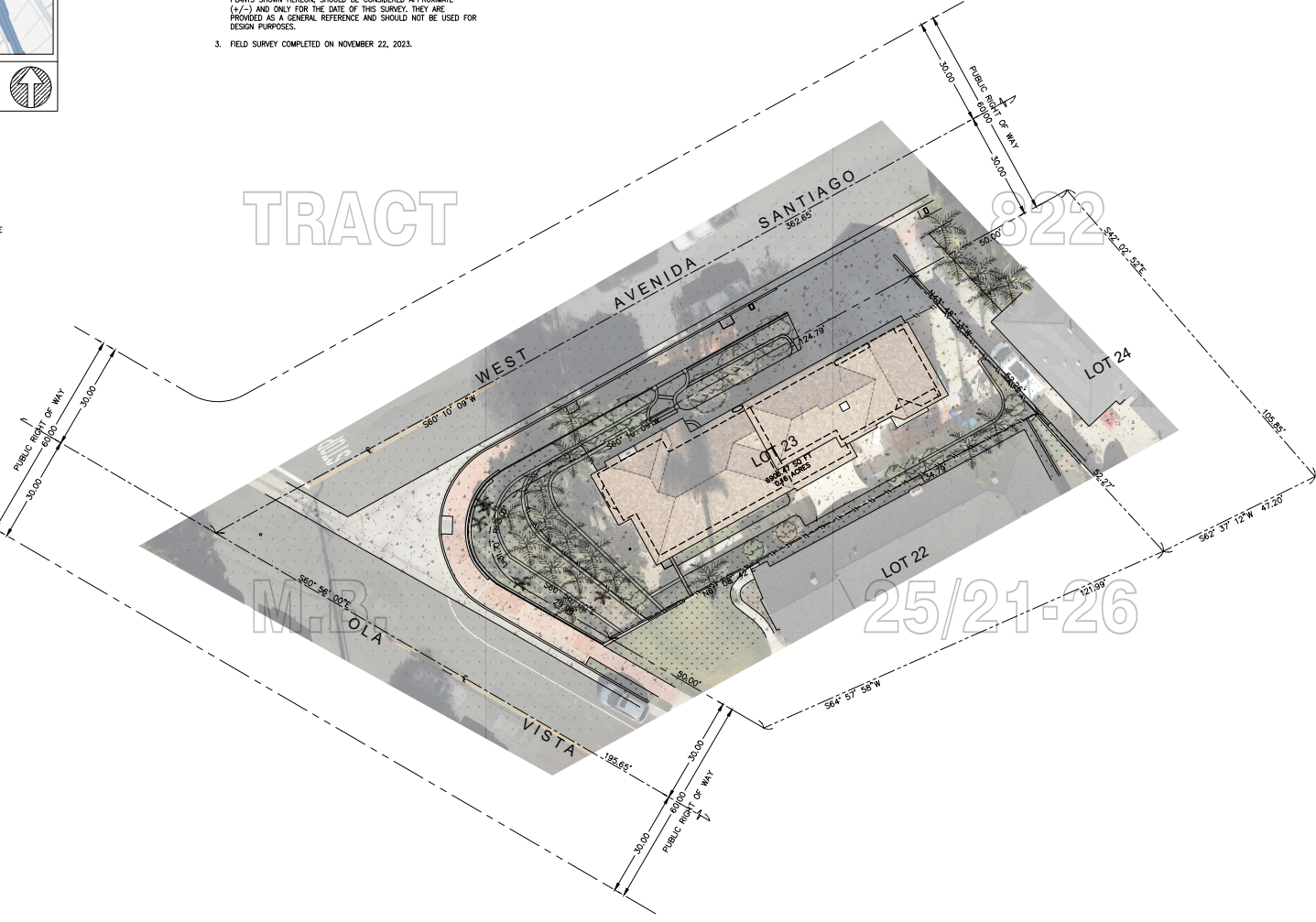
ELEVATIONS ARE BASED ON CALVRS G.P.S. BROADCAST COORDINATE VALUES FOR 2017, NAVD 88.

BENCH MARK

ORANGE COUNTY BENCHMARK '29-114-05', A 3 3/4" OCS ALUMINUM BENCHMARK DISK, LEVELED IN YEAR 2005 @ 215.369 FEET A.M.S.L., DESCRIBED AS FOLLOWS "IN THE TOP SOUTHWESTERLY CORNER OF A 4.0 FT. BY 15.0 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY PORTION OF THE INTERSECTION OF EL CAMINO REAL AND AVENIDA VALENCIA, 36 FT. NORTHERLY OF THE CENTERLINE OF EL CAMINO AND 33 FT. EASTERLY ALONG THE NORTHERLY CURB OF EL CAMINO FROM THE WESTERLY EDGE OF THE I-5 FREEWAY OVERCROSSING. MONUMENT IS SET LEVEL WITH THE SIDEWALK."

MONUMENTS

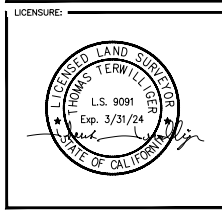
- FOUND MONUMENT



REV	DATE	DESCRIPTION
1	12/18/23	FF ADDITION

ISSUED DATE: **DECEMBER 18, 2023**

ISSUED FOR: **TOPOGRAPHIC SURVEY**

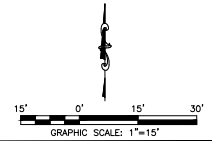


PROJECT INFORMATION:
137 WEST AVENIDA SANTIAGO
137 W. Avenida Santiago
San Clemente, CA 92672

DRAWN BY: **GTG**
 CHECKED BY: **TMT**

SHEET TITLE: **TOPOGRAPHIC SURVEY**

SHEET NUMBER: _____



COVER

BASIS OF BEARING: (NAD83: EPOCH 2011)

THE BEARINGS SHOWN HEREON ARE BASED FROM THE CENTERLINE OF WEST AVENIDA SANTIAGO, BEING S60°10'00" W, RECORDED IN TRACT MAP NO. 822, MAP BOOK NO. 24, PAGES 21-26, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN BERNARDO, STATE OF CALIFORNIA.

BASIS OF ELEVATIONS: (NAVD 1988)

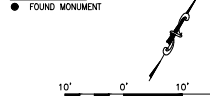
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BENCH MARK

ORANGE COUNTY BENCHMARK '3B-114-05', A 3.3/4" OCS ALUMINUM BENCHMARK DISK, LEVELLED IN YEAR 2005 @ 215.369 FEET A.M.S.L., DESCRIBED AS FOLLOWS: IN THE TOP SOUTHWESTERLY CORNER OF A 4.0 FT. BY 15.0 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY PORTION OF THE INTERSECTION OF EL CAMINO REAL AND AVENIDA VALENCIA, 36 FT. NORTHERLY OF THE CENTERLINE OF EL CAMINO AND 33 FT. EASTERLY ALONG THE NORTHERLY CURB OF EL CAMINO FROM THE WESTERLY EDGE OF THE I-5 FREEWAY OVERCROSSING. MONUMENT IS SET LEVEL WITH THE SIDEWALK."

MONUMENTS

● FOUND MONUMENT



GRAPHIC SCALE: 1"=10'

TOPOGRAPHIC SURVEY

137 WEST AVENIDA SANTIAGO

LEGEND	
(--- ---)	MINOR CONTOURS
(___ ___)	MAJOR CONTOURS
(— — —)	CENTER LINE
(--- ---)	RIGHT OF WAY LINE
(--- ---)	PROPERTY LINE
(--- ---)	CHAIN-LINK FENCE
(--- ---)	WOOD FENCE
(--- ---)	BRIDGE RAILING
(--- ---)	RETAINING WALL
(--- ---)	EDGE OF PAVEMENT
(--- ---)	ELECTRICAL MANHOLE
(--- ---)	FIRE HYDRANT
(--- ---)	CATCH BASIN
(--- ---)	PEDESTRIAN SIGNAL LIGHT
(--- ---)	EXISTING STREET LIGHT
(--- ---)	EXISTING TRAFFIC SIGNAL
(--- ---)	EXISTING SIGN
(--- ---)	GOY WIRE ANCHOR (GWARE)

ABBREVIATIONS			
HT	HEIGHT	PNL	PANEL
TC	TOP OF CURB	SS	STORMY SEWER MANHOLE
TW	TOP OF WALL	SD	STORMWATER DRAIN MANHOLE
EG	EXISTING GRADE	GV	GAS VALVE
FS	FINISH SURFACE	WV	WATER VALVE
HH	HAND HOLE	TM	TELECOM MANHOLE
JR	JUNCTION BOX	TP	TOP OF LUMINAIRE
TB	TRANSFORMER	TP PL	TOP OF POLE
WM	WATER METER	BT	BACK OF CONC WALK
CLST	CLOSET	LI	LIGHT
VT	VALVE	GP	GUARD POST
PB	PULL BOX	S	SIGN
MP	METER PEDESTAL	AC	ASPHALT CONCRETE PAVEMENT
CL	CENTERLINE	CNDT	CONDUIT
ESTAB	ESTABLISHED	SFN	SEARCHED, FOUND NOTHING
CTR	CENTER		

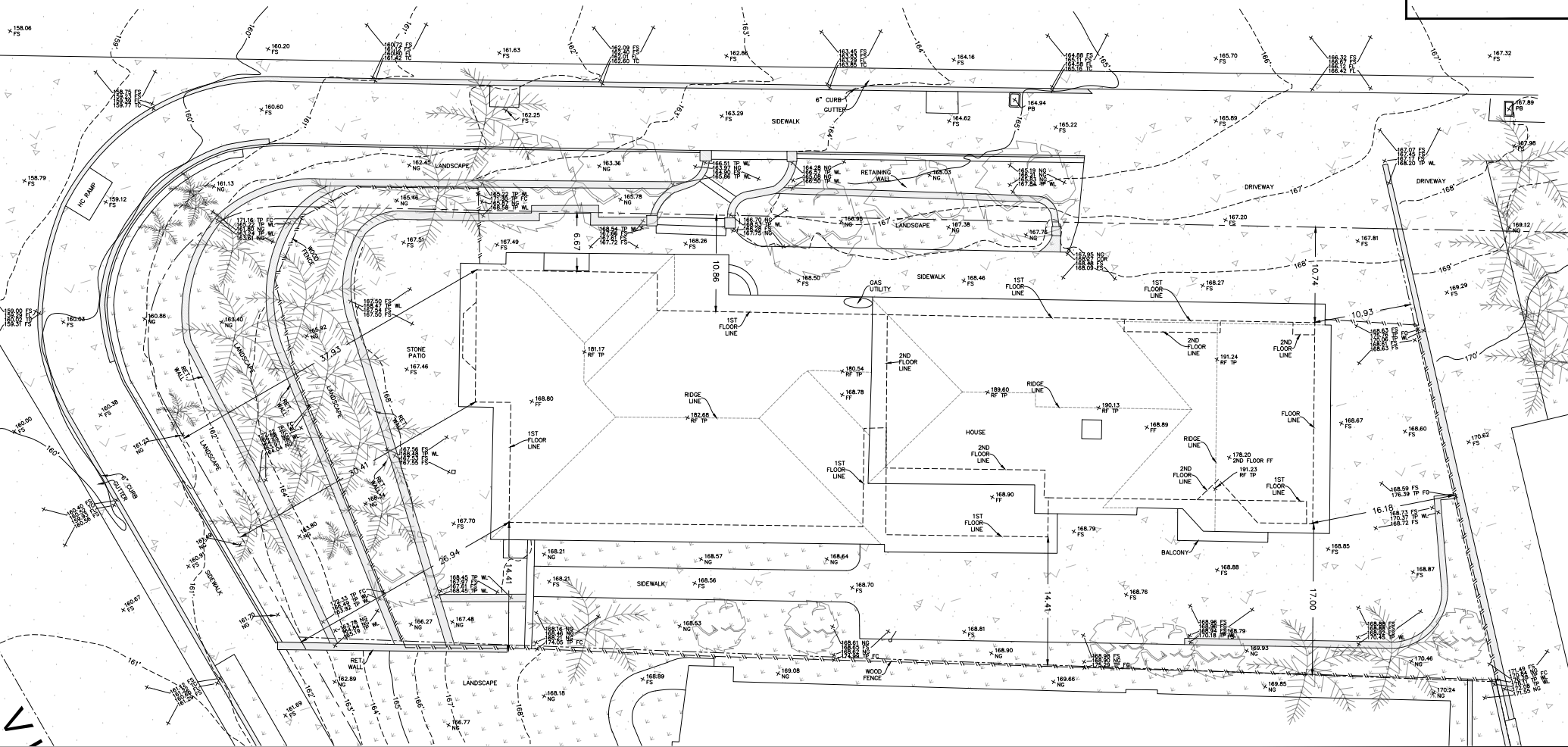
PROJECT INFORMATION:
 137 WEST AVENIDA SANTIAGO
 137 W. Avenida Santiago
 San Clemente, CA 92672
 ISSUED DATE:
 DECEMBER 18, 2023

LICENSEE:

REV	DATE	DESCRIPTION
1	12/18/23	FF ADDITION

ISSUED FOR:
 TOPOGRAPHIC SURVEY

DRAWN BY: GTG
 CHECKED BY: TMT
 SHEET TITLE:
TOPOGRAPHIC SURVEY
 SHEET NUMBER:
COVER



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STORM WATER POLLUTION CONTROL

1. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE, OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
6. TRASH AND CONSTRUCTION - RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED ON THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
8. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
9. WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.

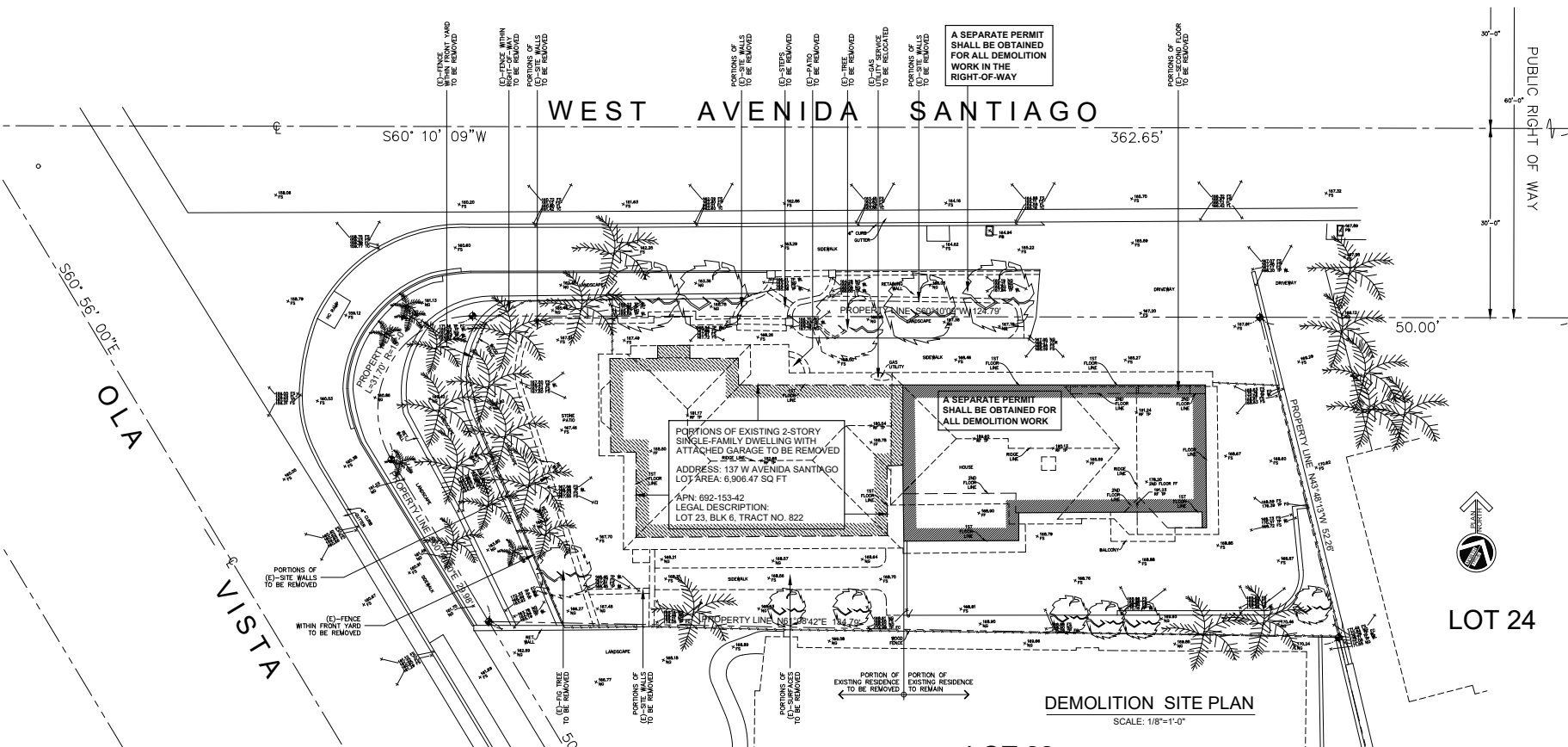
EROSION CONTROL NOTES

1. 1- LAYER LAPPED SANDBAGS ALONG FRONT, REAR, AND SIDEYARD PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. DURABLE TEMPORARY FENCING (CHAIN LINK FENCING) TO BE INSTALLED AT PERIMETER OF PROPERTY WITHIN PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. TEMPORARY POND SEDIMENT TRAP CREATED BY EARTHEN EMBANKMENTS WITHIN LOW LYING AREA OF SITE, AWAY FROM CONSTRUCTION ACTIVITY, TO BE CREATED TO COLLECT AND ALLOW FOR THE SETTLING OF SEDIMENT FROM STORMWATER VOLUMES.
4. ON-SITE VEHICLE LOADING AREA, TO BE MULCHED OR GRAVELED WHERE SLAB DOES NOT OCCUR TO PREVENT TRACKING OF LOOSE SOILS DURING THE DURATION OF CONSTRUCTION.
5. ON-SITE STORAGE TO BE LOCATED IN BUILDING ONCE FOUNDATION AND SLAB ARE INSTALLED. ON-SITE STORAGE TO BE LOCATED IN FRONTYARD PRIOR TO INSTALLATION OF FOUNDATION AND SLAB.
6. ALL GRADING SHALL BE DONE WITH CONTINUOUS WATERING TO CONTROL DUST. PRIOR TO ANY EXCAVATION THE AREA SHALL BE SATURATED WITH WATER TO CONTROL DUST.
7. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND MANAGED IN A MANNER TO MINIMIZE THE POTENTIAL OF POLLUTANTS TO ENTER THE STORMDRAIN.
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.

DEMOLITION NOTES

1. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL DEMOLITION WORK.
2. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.
3. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION.
3. NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.
4. AADM NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
5. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.
6. CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION PLANS, WHEN REQUIRED, PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.
7. CONTRACTOR SHALL PROVIDE 30-DAY MIN. WRITTEN NOTICE TO OWNER AND/OR TENANT OF NEIGHBORING PROPERTY PRIOR TO DEMOLISHING AND/OR REPLACING SEWER LATERAL(S) AND CLEANOUT(S), WATER SERVICE, GAS SERVICE, OR ANY OTHER EASTERLY PROPERTY UTILITY(S) THAT PASSES THROUGH SUBJECT PROPERTY.
8. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES PRIOR TO REMOVING ANY EQUIPMENT OR FEATURES RELATED TO UTILITIES.
9. ALL CONSTRUCTION WASTE TO COMPLY WITH MINIMUM CITY REQUIREMENTS FOR RE-USE AND/OR RECYCLING.
10. ALL UTILITIES IN NEW CONSTRUCTION TO BE LOCATED UNDERGROUND.
11. OBTAIN CAL-OSHA PERMIT FOR ANY DEMOLITION WORK THAT INVOLVES ASBESTOS/HAZARDOUS WASTE REMOVAL/DISPOSAL/ABATEMENT.

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DEMOLITION SITE PLAN

A-1.1

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INTERIOR STREET SIDE MINIMUM SETBACK CALC

INTERIOR SIDE MINIMUM SETBACK: 10% OF AVE LOT WIDTH OR 6 FT, WHICHEVER IS LESS.
 = AVE LOT WIDTH x 10%
 = 49'-4" x 10% = 49.59' x 10%
 = 4.94' = 4'-11"

LOT COVERAGE

LOT AREA: ASSESSOR'S LOT AREA = 6,700.00 S.F.
 SURVEYOR'S LOT AREA = 6,906.47 S.F.
 MAXIMUM LOT COVERAGE
 = 50% OF LOT AREA
 = 50% X 6,906.47 S.F.
 = 3,453.23 S.F.

PROPOSED LOT COVERAGE
 = 2,558.76 S.F. = 37.0%
 EXISTING CALCULATED LOT COVERAGE
 = 2,272.0 S.F. = 32.9%

MUNICIPAL CODE SEC 17.88.030 - DEFINITIONS:

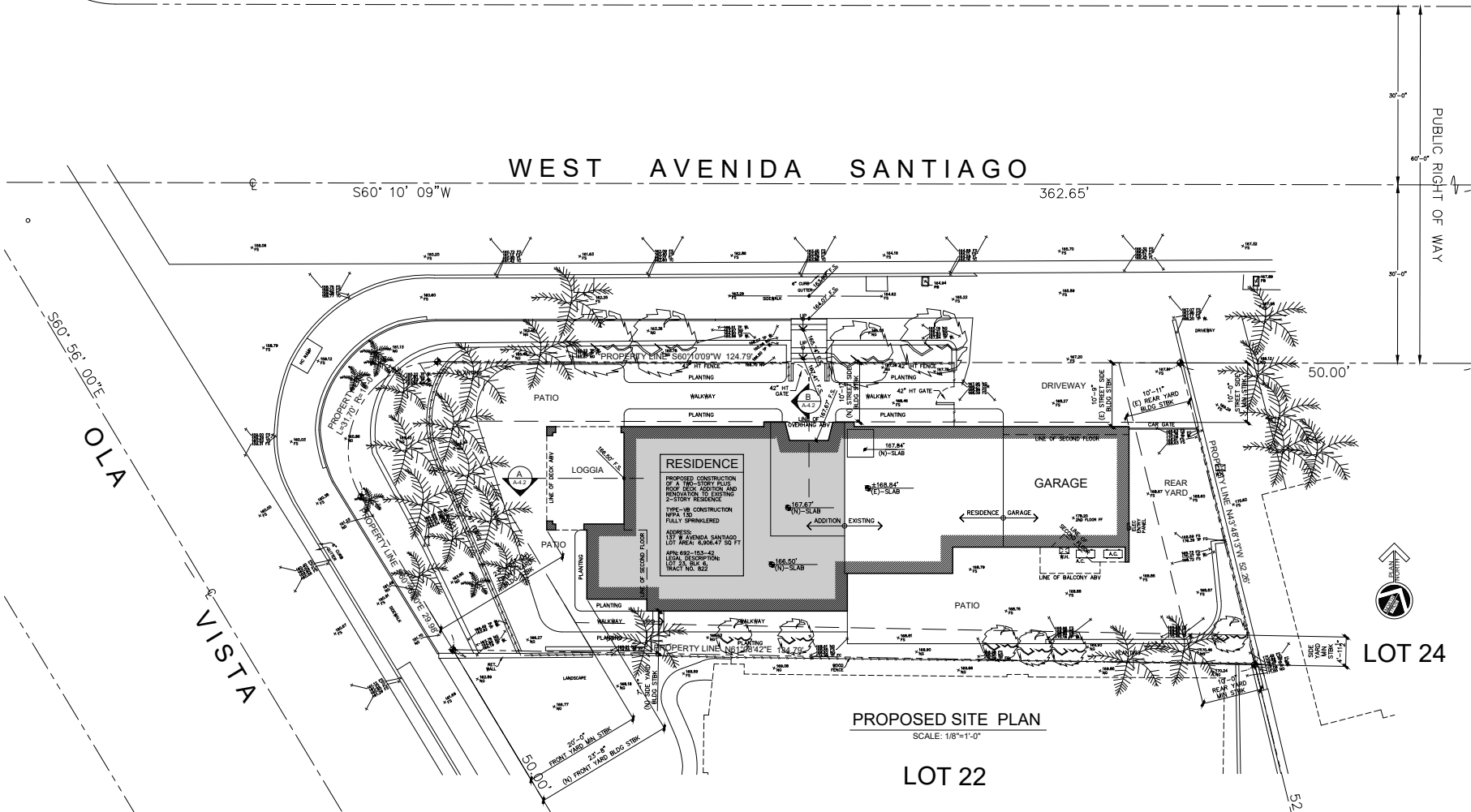
LOT COVERAGE MEANS THE PERCENT OF THE LOT AREA THAT MAY BE COVERED BY ALL BUILDINGS OR ROOFED STRUCTURES. THIS INCLUDES GARAGES, ACCESSORY BUILDINGS, BALCONIES, COVERED PATIOS, DECKS, COVERED ENTRYWAYS, AND ANY SIMILAR STRUCTURES THAT REDUCE THE AMOUNT OF LOT AREA OPEN TO THE SKY.
 FOR THE PURPOSE OF THIS DEFINITION, LOT COVERAGE SHALL BE MEASURED:
 1. TO THE FOUNDATION LINE, FOR BUILDINGS, PATIO COVERS, AND SIMILAR STRUCTURES; AND
 2. TO THE EDGE OF THE STRUCTURE, BALCONIES, AND SIMILAR STRUCTURES.

SITE PLAN LEGEND

GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
[Symbol]	PROPOSED BUILDING FOOTPRINT ADDITION	[Symbol]	DRAINAGE CATCH BASIN
[Symbol]	PROPOSED TOTAL BUILDING FOOTPRINT	[Symbol]	AREA DRAIN-6" DIA. OR 50. SHEET FLOW DIRECTION
[Symbol]	PROPOSED CONCRETE RET. WALL	[Symbol]	EXTERNAL DOWNSPOUT
[Symbol]	EXISTING CONCRETE WALL	[Symbol]	F.S. FINISHED SURFACE
[Symbol]	PROPERTY LINE	[Symbol]	T.O.C. INDICATES TOP OF CURB
[Symbol]	SETBACK LINE	[Symbol]	F.L. INDICATES FLOW LINE
[Symbol]	LINE OF FLOOR ABOVE	[Symbol]	F.S. FINISH SURFACE
[Symbol]	NEW FENCE	[Symbol]	T.O.W. TOP OF WALL
[Symbol]	EXISTING FENCE	[Symbol]	T.O.R. TOP OF RAIL
[Symbol]	SEWER LINE	[Symbol]	+0.00 EXISTING POINT ELEVATION
		[Symbol]	PROPOSED SURFACE ELEVATION
		[Symbol]	POINT ELEVATION
		[Symbol]	STAIRS UP/DOWN



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PROPOSED SITE PLAN
 SCALE: 1/8"=1'-0"

LOT 22

LOT 24

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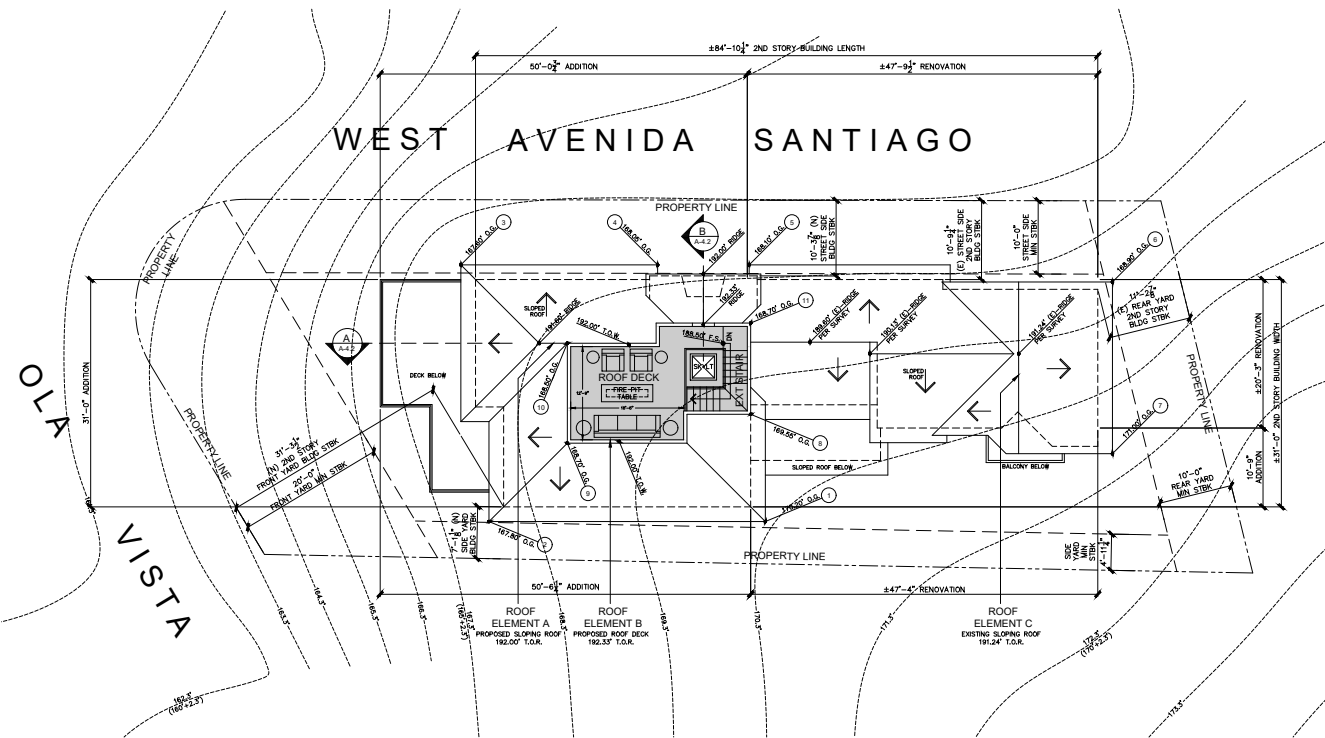
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PROPOSED SITE PLAN
A-1.2

ROOF ELEMENT HEIGHT ANALYSIS				
MAXIMUM ALLOWABLE ROOF ELEMENT HEIGHT = 25.00'				
HEIGHT OF ROOF ELEMENT 'A' (AT PROPOSED WESTERLY ROOF)				
CORNER NUMBER	①	②	③	④
TOP OF ROOF	192.00'	192.00'	192.00'	192.00'
ORIGINAL GRADE	170.90'	197.00'	191.80'	188.00'
CORNER HEIGHT	21.80'	24.20'	24.40'	23.96'
	= 94.35'/4 = 23.59'			
HEIGHT OF ROOF ELEMENT 'B' (AT PROPOSED ROOF DECK)				
CORNER NUMBER	①	②	③	④
TOP OF ROOF	192.33'	192.33'	192.33'	192.33'
ORIGINAL GRADE	169.55'	168.70'	168.50'	168.70'
CORNER HEIGHT	22.78'	23.63'	23.83'	23.63'
	= 93.87'/4 = 23.47'			
HEIGHT OF ROOF ELEMENT 'C' (AT EXISTING EASTERLY ROOF)				
CORNER NUMBER	①	②	③	④
TOP OF ROOF	191.24'	191.24'	191.24'	191.24'
ORIGINAL GRADE	168.10'	168.90'	171.00'	169.85'
CORNER HEIGHT	23.14'	22.34'	20.24'	21.69'
	= 87.41'/4 = 21.85'			

HEIGHT LEGEND	
GRAPHIC	DESCRIPTION
	ROOF ELEMENT AND CORNER NUMBER
	NAVBSE TOP OF CORNER ELEVATION NAVBSE ORIGINAL GRADE ELEVATION
	5' INTERVAL CONTOUR LINE AND NAVBSE ELEVATION NOTE: ORIGINAL NAVBSE DATA FROM 1988 DATUM CONVERTED TO CURRENT NAVBSE DATUM USING THE FORMULA: NEW ELEVATION = ORIGINAL ELEVATION + NAVBSE NEW ELEVATION = ORIGINAL ELEVATION + NAVBSE NEW ELEVATION = ORIGINAL ELEVATION + NAVBSE USING A CONVERSION FACTOR OF 2.3'
	1' INTERPOLATED INTERVAL CONTOUR LINE WITH NAVBSE ELEVATION

FLOOR AREA LEGEND	
	ADDITION (POCHE)
	EXISTING (NO POCHE)



PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"

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PROPOSED
ROOF PLAN

A-2

EXISTING EXTERIOR WALLS

STORY (SHADED)	WALL REMOVED LENGTH	TOTAL WALL LENGTH
1ST STORY	156.68 FT	263.33 FT
2ND STORY	34.52 FT	144.08 FT
TOTAL	190.10 FT	407.41 FT

CALCULATION FOR PERCENTAGE OF EXISTING WALLS TO BE REMOVED =

$$\frac{\text{TOTAL LENGTH OF WALLS TO BE REMOVED} \times 100}{\text{TOTAL FEET OF EXISTING WALLS}}$$

TO BE UNDER 50%, LESS THAN $(407.41' \times 50\%) = 203.70'$ OR LESS

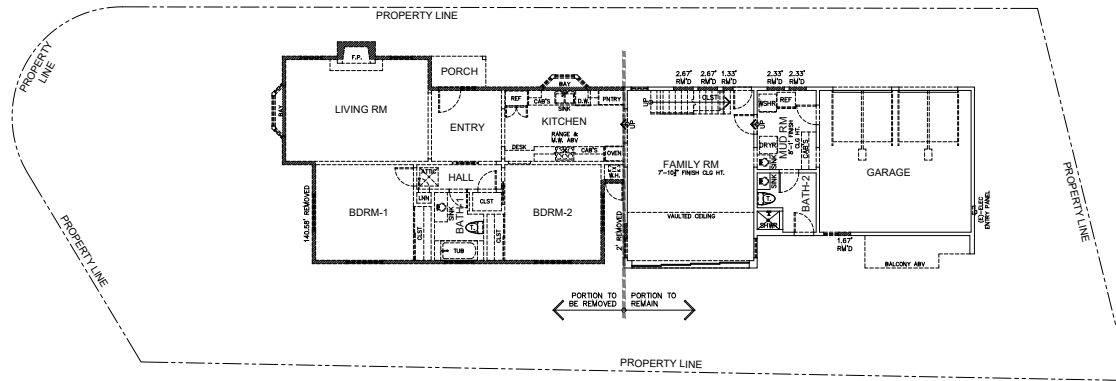
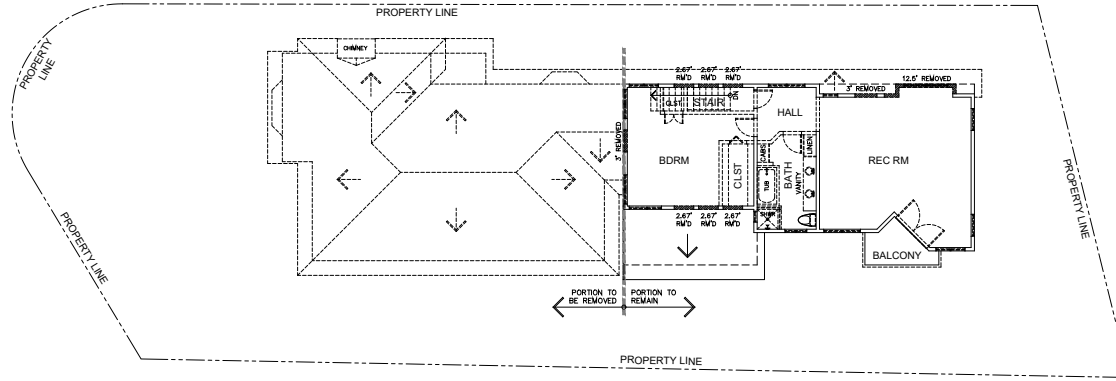
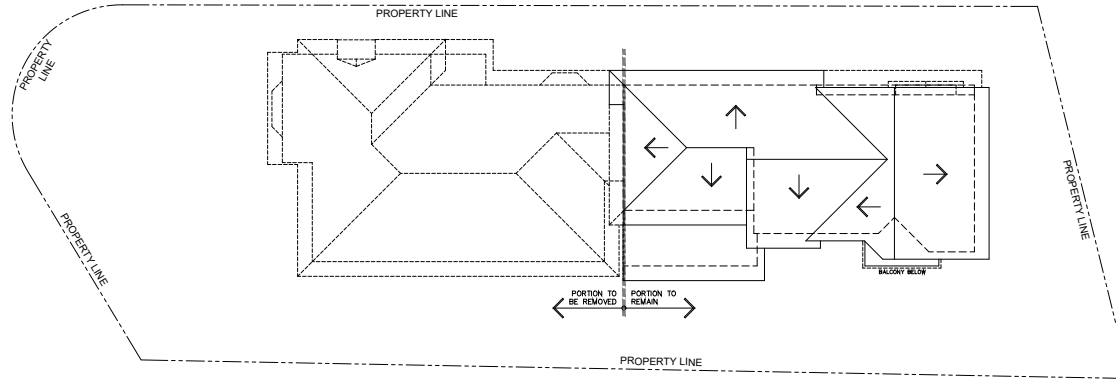
ACTUAL PERCENTAGE

$$= \frac{190.10}{407.41} \times 100 = 46.68\%$$

SEC 17.72.0501
 NONCONFORMING STATUS MAY BE CONTINUED. A NONCONFORMING STRUCTURE MAY CONTINUE TO BE NONCONFORMING IF A PROJECT:
 A. REMOVED THE STRUCTURAL FRAME IN LESS THAN 50% OF A STRUCTURE'S EXTERIOR WALLS.
 B. ALTERS THE STRUCTURAL FRAME IN LESS THAN 50% OF A STRUCTURE'S EXTERIOR WALLS.

WALL LEGEND

WALL	DESCRIPTION
(Solid line)	EXISTING WALL TO REMAIN
(Dashed line)	EXISTING INTERIOR WALL TO BE REMOVED
(Dotted line)	EXISTING EXTERIOR WALL TO BE REMOVED



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DEMOLITION ROOF & FLOOR PLANS

A-3.1



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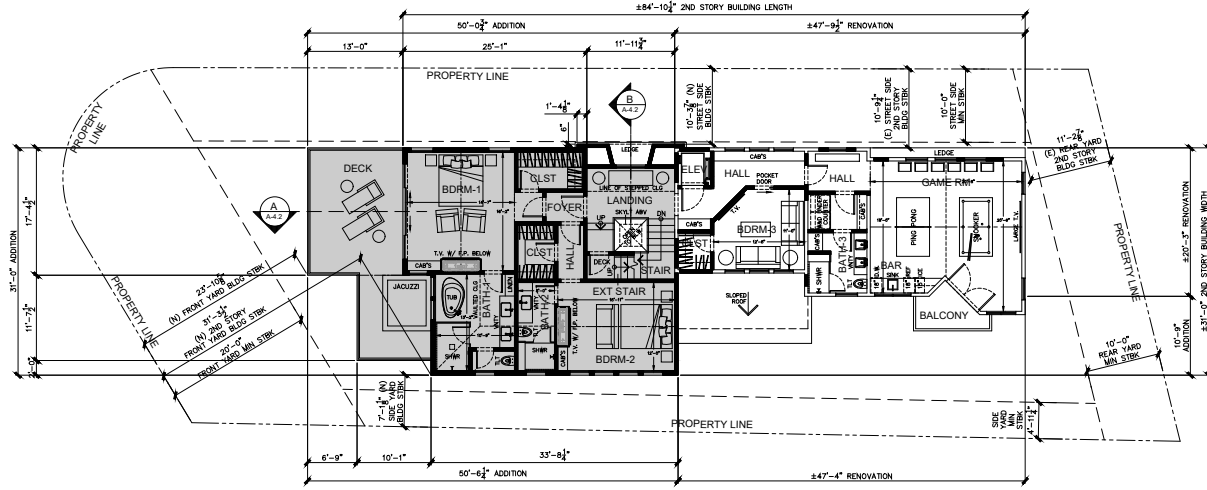
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FLOOR AREAS					
FLOOR AREAS:	*EXISTING CALCULATED	PROPOSED EXISTING TO REMOVE	PROPOSED EXISTING TO REMAIN	PROPOSED ADDITION	PROPOSED TOTALS
1ST FLOOR LIVING	1,743 S.F.	1,143 S.F.	620 S.F.	1,195 S.F.	1,815 S.F.
2ND FLOOR LIVING	908 S.F.	32 S.F.	676 S.F.	1,034 S.F.	1,910 S.F.
TOTAL LIVING	2,651 S.F.	1,175 S.F.	1,496 S.F.	2,229 S.F.	3,725 S.F.
GARAGE AREA	428 S.F.	0	428 S.F.	0	428 S.F.
2ND BALC-DECK	48 S.F.	0	48 S.F.	364 S.F.	412 S.F.
ROOF BALC-DECK	0 S.F.	0	0	296 S.F.	344 S.F.
TOTAL BALC-DECK	48 S.F.	0	48 S.F.	660 S.F.	708 S.F.

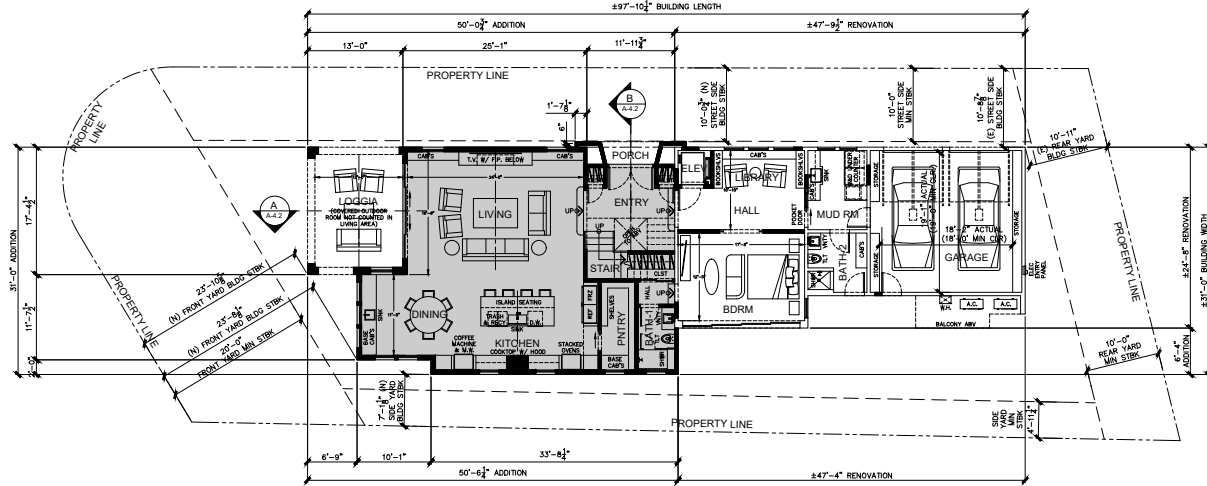
*EXISTING CALCULATED FLOOR AREAS ARE DETERMINED BY UTILIZING INFORMATION IN SURVEY AND ARCHITECT'S EXISTING FLOOR PLANS.

FLOOR AREA LEGEND	
	ADDITION (POCHE)
	EXISTING (NO POCHE)

WALL LEGEND	
	WALL DESCRIPTION
	EXISTING WOOD STUD WALL
	ADDED WOOD STUD WALL



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

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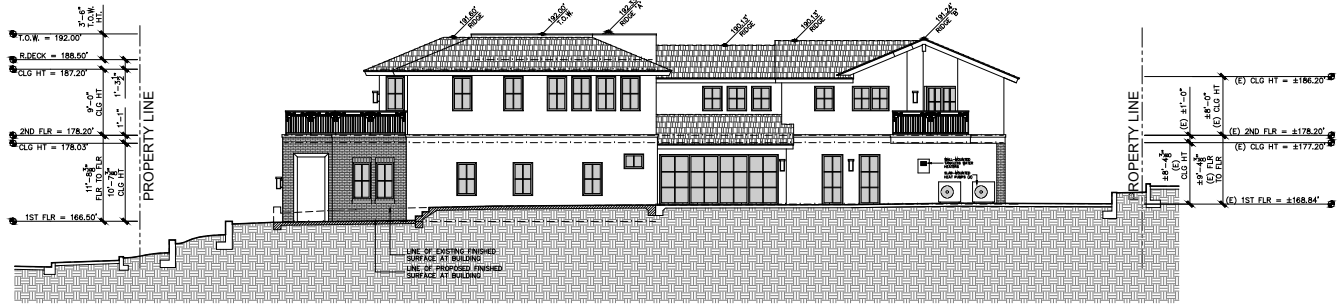


**PROPOSED
FLOOR PLANS**

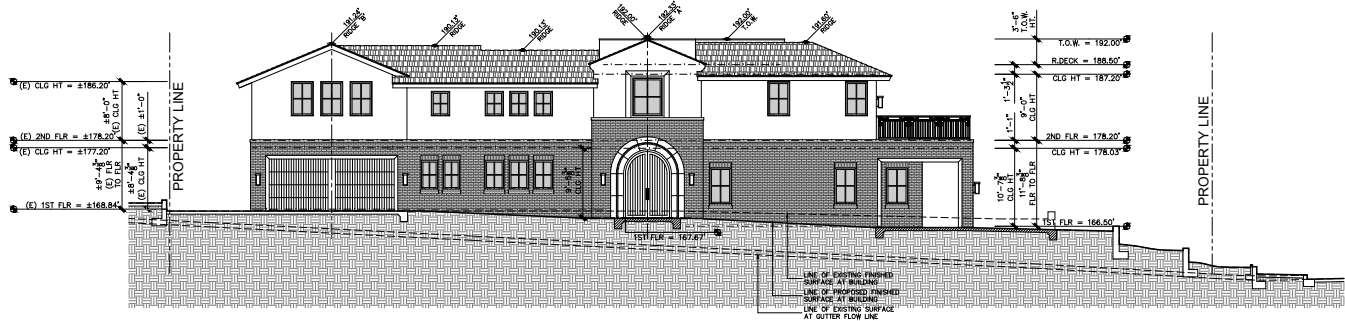
A-3.2

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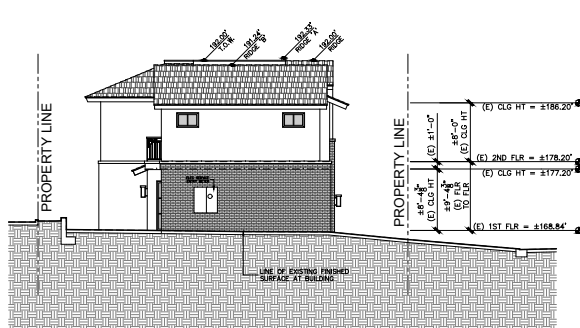
EXTERIOR MATERIALS	
SLOPE ROOFING	FLAT TERRAZZOTA CLAY TILE ROOFING
ROOF EAVE	EXPOSED RAFTERS TAILS WITH EXPOSED BEADING
ROOF OUTER	COPPER GUTTERS AND DOWNSPOUTS
BRICK VENEER	ELONGATED KILN-FIRED CLAY BRICK
STUCCO SIDING	HAND-TROWELED LIGHT-TEXTURED LIGHT SAND-TONE STUCCO SIDING
ENTRY DOORS	SOLID NATURAL STAIN WOOD ENTRY DOOR
PATIO DOORS	METAL SLIM FRAME AND SASH DIVIDED LIGHT PATIO DOORS.
WINDOWS	FIBERGLASS SLIM FRAME AND SASH DIVIDED WINDOWS.
RAILING	METAL VERTICAL SPINDLE RAIL ASSEMBLY
LIGHTING	BRONZE & CLEAR GLASS L.E.D. LIGHT FIXTURES



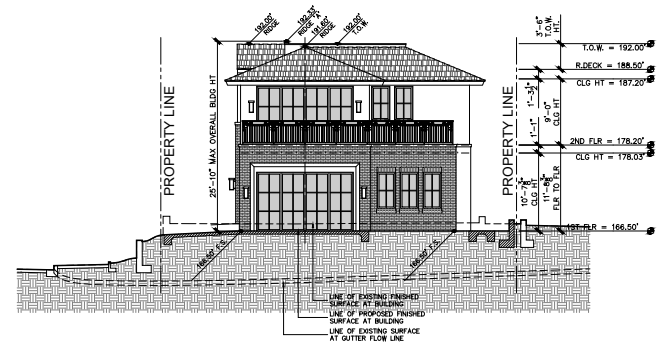
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

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ELEVATIONS

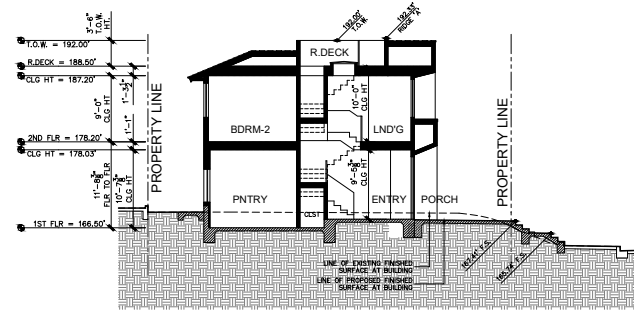
A-4.1

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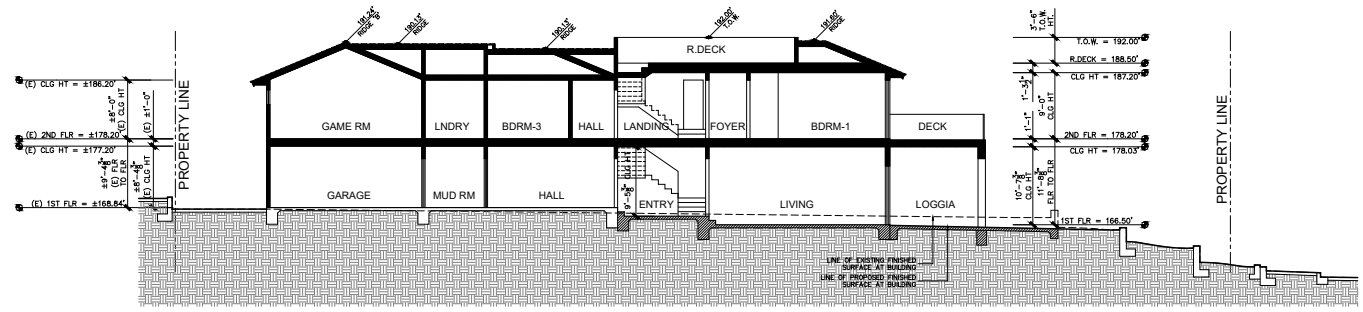


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SECTION B
SCALE: 1/4"=1'-0"



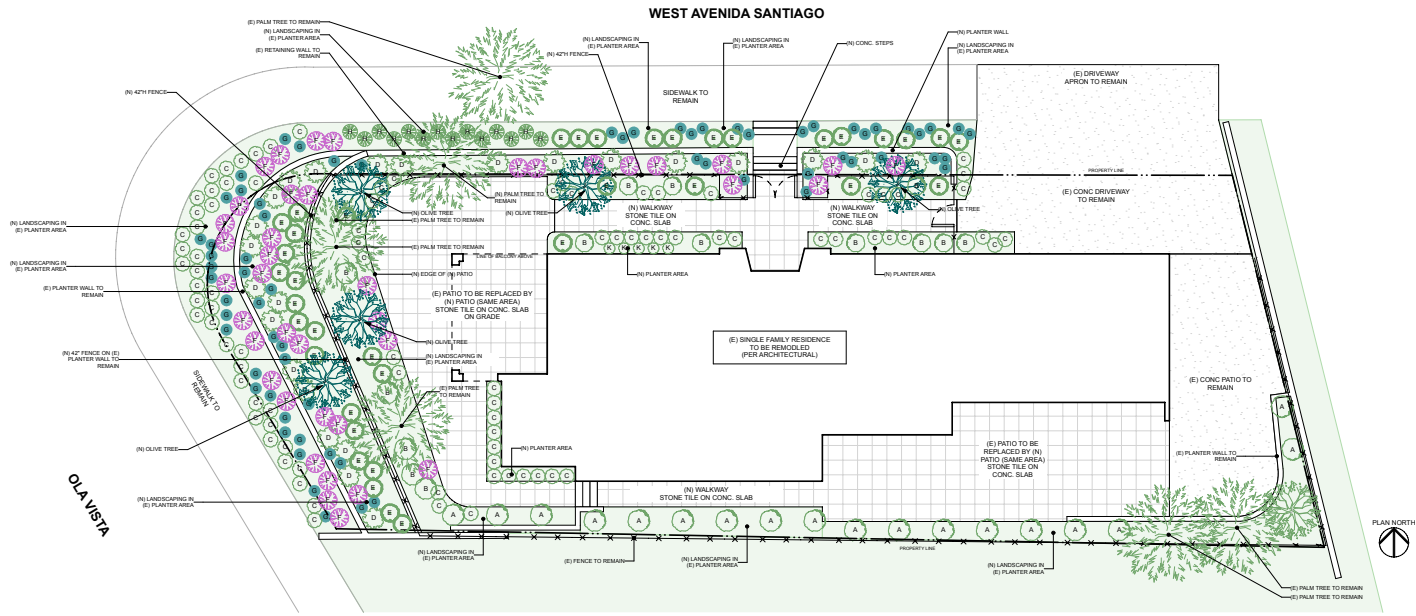
SECTION A
SCALE: 1/4"=1'-0"

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SECTIONS
A-4.2



LANDSCAPE PLAN
SCALE: 1/8" = 1'-0" **1**

PROJECT NAME
RIMLAND RESIDENCE

CLIENT
ANTHONY & CAROL RIMLAND
(714) 746-1356

PROJECT ADDRESS
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SAN CLEMENTE, CA 92672

DESIGNER
Eugene Chang
Chang Design
PO Box 2256
Redondo Beach, CA 90278
eugene@changdesign.co
310.344.8086

SUBMITTALS

MARK	DATE	DESCRIPTION
1	3/28/24	Plan Check Submittal / V1
2	5/22/24	Plan Check Submittal / V2

REVISIONS

MARK	DATE	DESCRIPTION

PROJECT NO.: 2426
DATE: 5/22/24
DRAWN BY: EC
CHECKED BY:
COPYRIGHT: 2024

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-1.1

NOTES

- A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 - FOR SOILS LESS THAN 4% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE REA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- ALL IRRIGATION IN PLANTING AREAS SHALL BE SUBSURFACE DRIP IRRIGATION.

PLANT LEGEND

SYM	SCIENTIFIC NAME	COMMON NAME	WATER USAGE	SIZE
A	LAURUS NOBILIS	LAUREL	LOW	5 GAL
B	BUXUS SEMPERVIRENS	DWARF ENGLISH BOXWOOD	LOW	3 GAL
C	TEUCORIUM FRUTICOSUM AZUREUM	AZURE BUSH GERARD	LOW	1 GAL
D	ROSMARINUS OFFICINALIS HUNTINGTON	HUNTINGTON CARPET ROSEMARY	LOW	3 GAL
E	OLEA EUROPAEA MONIKA	LITTLE OLIVE	LOW	3 GAL
F	LAVENDULA STOECHAS	DEEP-ROSE SPANISH LAVENDER	LOW	3 GAL
G	FESTUCA GAUJACI 'ELLARY'	ELLARY BLUE FESCUE	LOW	1 GAL
H	ASPIDISTRALATOR	CAST IRON PLANT	LOW	1 GAL
J	OLEA EUROPAEA 'MONHEF'	FRUITLESS OLIVE TREE	LOW	34" BOX
K	ROSA X CECILE BRUNNER	CECIL BRUNNER CLIMBING ROSE	LOW	3 GAL

PROJECT SUMMARY

PROJECT ADDRESS: 137 AVENIDA SANTIAGO
SAN CLEMENTE, CA 92672

LEGAL DESCRIPTION: LOT 23, BLOCK 6, TRACT NO. 822

ASSESSORS PARCEL NUMBER: 692-153-42

AREA DISTRICT: RL

LOT AREA: 6,906.47 PER SURVEY

EXISTING LANDSCAPE AREAS 1,673 SF

PROPOSED LANDSCAPE AREAS 1,726 SF (+53 SF / +3.1%)



VICINITY MAP

