



Design Review Subcommittee (DRSC)

Meeting Date: July 29, 2024

PLANNER: Jonathan Lightfoot, City Planner

SUBJECT: **Public Hearing Project (PHP) 24-246, Rasta Taco Mixed-Use, 424 N El Camino Real**, a request to develop a new mixed-use building with two ground floor commercial spaces, including a restaurant with beer, wine, and alcohol sales for indoor and outdoor consumption, and a residential unit and an ADU on the second floor above. The project includes a Development Permit (DP 24-247) and a Conditional Use Permit (CUP 22-246).

BACKGROUND:

The property at 424 N. El Camino Real is within the Mixed Use 3.0 zoning district and the Architectural and Pedestrian/ Central Business overlay zoning districts (MU3.0-CB-A). The property was developed with a 390 square foot building on a 6065 square foot property, most recently utilized by a salon business. The property currently provides vehicular access both from El Camino Real and from the rear alley. The site is adjacent to a property on the City's local register of historic resources located at 420 N. El Camino Real. The applicant proposes to demolish the existing salon building and replace it with a mixed-use building, consisting of two ground floor commercial suites (702 sf) with adjacent patio (584 sf) and a second story residence (986 sf) with an accessory dwelling unit (779 sf). Each unit would have an attached deck, and the primary unit would have a 351 sf roof deck. This permit was originally submitted as a Site Plan Permit and a Cultural Heritage Permit. After adoption of the 2023 Streamlining Ordinance, the appropriate permit type is now a Development Permit.

ANALYSIS:

Site Plan

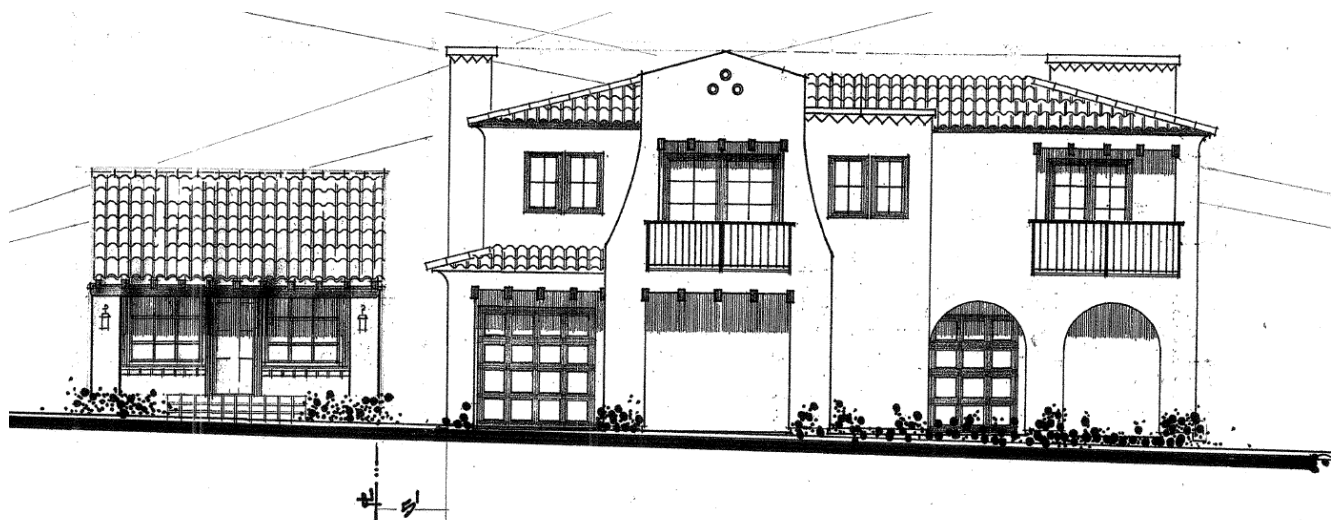
The applicant proposes to close the El Camino Real frontage to vehicular access, which improves the pedestrian orientation of the street scene. Similarly, the project locates the building close to the primary street while tucking parking behind with access from the alley, which is consistent with site layout standards of the City's Design Guidelines. Pedestrian access is maintained along the side property lines. This pedestrian access also serves to provide a 5-foot buffer, where no setback is required. This setback provides spacing from the historic property to the south, "a one-story commercial building with a rectangular plan and wood-frame construction" (refer to DPR Form, Attachment 3).

At the front of the property, the applicant proposes a covered patio up to the property line. This is consistent with the pattern of development along the street. These properties appear to have a front setback of about 7-feet because the back of sidewalk does not extend the

full width of the right of way. Within this additional 7 feet of public property, other properties have installed landscaping, or extended paving or ramps into the business entrance. The subject development proposes to infill this space with decomposed granite (DG) material, and requests to use this space for additional outdoor dining, which can be permitted pursuant to SCMC 17.28.205¹. Because of the minimal landscaping proposed on site, particularly at the front of the development, staff recommends that a portion of this encroachment area be dedicated to landscaping. Finally, 36 seats are shown for shared use of the two food and beverage tenants. Based on the provided parking, a maximum of 33 seats are permitted as there are 5 parking stalls dedicated to the commercial uses (25 seats parked + 8 “free” outdoor seats, per SCMC 17.28.205).

At the rear, there is one-way vehicular access from the alley. The design is driven in part by an existing-to-remain SDGE power pole. The area around the pole serves as the turning radius and the primary landscape bed. Currently, deer grass is the only proposed plant material for the property. There are seven parking stalls, three of which are covered, to support the commercial and residential uses, and additional on-street space will be created through the removal of the existing driveway on El Camino Real. The applicant is looking for an exception to a couple of non-codified standards due to the site constraints and limited parking: use of an interior trapzilla grease interceptor instead of an underground grease interceptor and use of trash carts in a narrow enclosure (5' by 18') instead of three-yard bins (which would require a minimum 9' by 13'). From the rear, there is an ADA accessible path to the commercial spaces fronting on El Camino Real, and there is a stairwell providing access to the residential units.

Architecture



ECR ELEVATION

The project's location within the Architectural Overlay requires a Spanish Colonial Revival (SCR) architectural design. The project does provide SCR elements, including stucco siding, tile roofing at a 3:12 pitch, fenestration with divided lites, and an asymmetrical elevation that

¹ [SCMC 17.28.205](#)

clearly identifies the primary entry through a pronounced wall plane. The project also provides transitional outdoor space by bringing entry through a semi enclosed, roofed patio area. The primary area of concern on the front elevation is the width of the columns around the arched elements. Similarly, the patio area has open access on the side elevations that create the same visual issue of showing full massing above narrow supporting structures. This is a result of squeezing stairs and an ADA lift on the southern side elevation; the lift provides a required connection to the ADA path to the parking lot and trash enclosure. However, the stairs could be removed in favor of providing standard pedestrian access via the sidewalk in front of the property. The west elevation could utilize a door instead of a building opening to accomplish access to the non-ADA pathway on that side of the building. The window of the coffee shop also appears to be partially blocked by the location of the lift. The plan sets have been annotated to identify the location of potential areas of improvement or where clarifying information is needed.

At the rear, site constraints have led to a lower quality SCR representation. Typically, residential parking is required to be covered. This is not an explicit code requirement when residences are a component of Mixed-Use development. However, the owner has tried to incorporate covered spaces as a portion of the off-street parking for the project. The resulting elevation includes arched openings on the lower level. This again results in the undesirable effect of narrow columns supporting heavy massing above. The worst element is the far left portion of the elevation with the narrow rectangular opening. Again, a door could be incorporated to give the appearance of more solid massing. Another option could be to pull back the roof line above the second level deck space. Reducing the “weight” of full roofing over the deck(s) could also help to bring better balance to the rear elevation.

Finally, the project is adjacent to a historic resource and must be compatible with that existing building. The applicant provided an elevation that incorporates the proposed project alongside the historic building. While the proposed structure is larger, it matches the front setback and complies with the height of the zone while also providing a side setback that allows for separation from the historic building. It incorporates a first floor eyebrow roof element that helps to break up the massing on the side of the development closest to the historic building. The building materials and details are compatible.

RECOMMENDATIONS:

Staff recognizes that creativity is required when working on Mixed-Use projects with site constraints. The project has good potential, and staff seeks recommendations from the DRSC, related to design and architecture, to further improve the project before it advances to the Planning Commission.

Attachments:

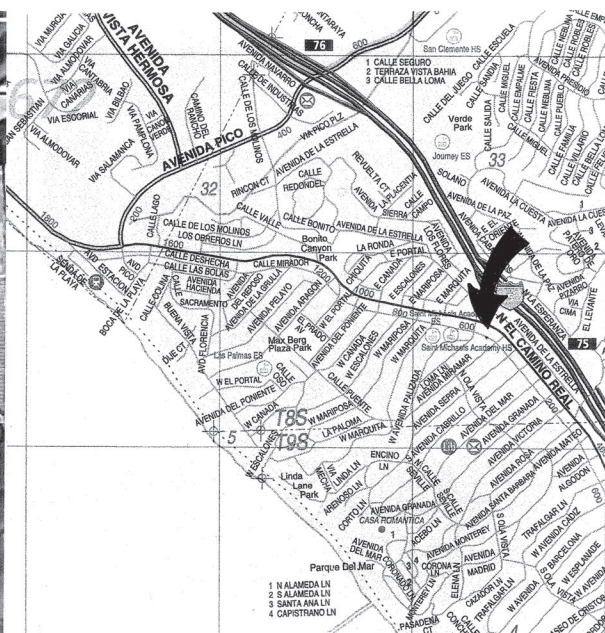
1. Annotated Plans



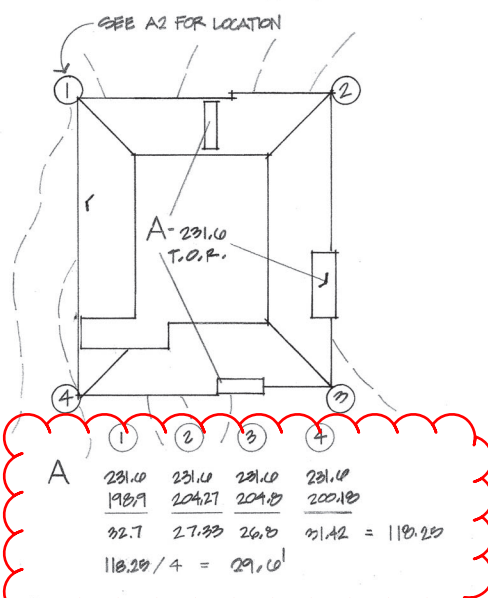
(E) BLDG. REFERENCE



SITE REFERENCE

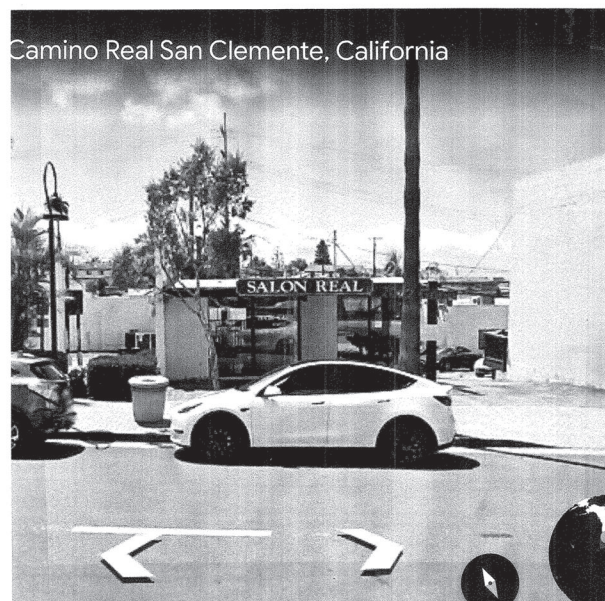


VICINITY MAP



HEIGHT ANALYSIS

Plate height allowed: 26'
TOR: 33'



STREET REFERENCE

TABULATION

SITE :6,065 sq.ft.

DEMO (E) BLDG:403 sq.ft.

NEW CONST FIRST FLOOR:

424-A :344 sq.ft.

424-B :302 sq.ft.

R.R. :56 sq.ft.

PATIO:584 sq.ft.

(PARKING UNDER BUILDING).....924 sq.ft.

FOOTPRINT:2,455 sq.ft.

LOT COVERAGE :40.4%

NEW CONST. SECOND FLOOR:

424-C ADU:779 sq.ft.

ADU DECKS:114 sq.ft.

424-D RES:986 sq.ft.

RES. DECKS:162 sq.ft.

ROOF DECK :351 sq.ft.

COMMON SPACE:108 sq.ft.

FLOOR AREA RATIO :

424-A:5.0%

424-B:4.6%

R.R. :0.9%

424-C:12%

424-D :15%

F.A.R. COMBINED:37.5%

URBAN OPEN AREA :

FIRST FLOOR PATIO:584 sq.ft.

WEST WALK:272 sq.ft.

EAST WALK:274 sq.ft.

PLANT'G:114 sq.ft.

U.O.A. =20.5%

URBAN OPEN AREA:

FIRST FLOOR PATIO.....584 sq.ft.

WEST WALK.....272 sq.ft.

EAST WALK.....274 sq.ft.

PLANTING.....460 sq.ft.

Planting percentage.....40%

PROJECT DESCRIPTION :

LEGAL DESCRIPTION :
LOT (s): 4 & a por. of 5 BLK: 2 TRACT: 779
A.P.N. : 058-071-41/ 058-071-21

PROJECT ADDRESS :
242 N. El Camino Real
San Clemente Ca., 92672

PREPARED BY:
jonsson and foerstel architects
CONTACT : Chris Foerstel
940 CALLE AMANECER, unit j, SAN CLEMENTE, CA. 92673
949 - 228 - 4810
jonssonandfoerstel@gmail.com

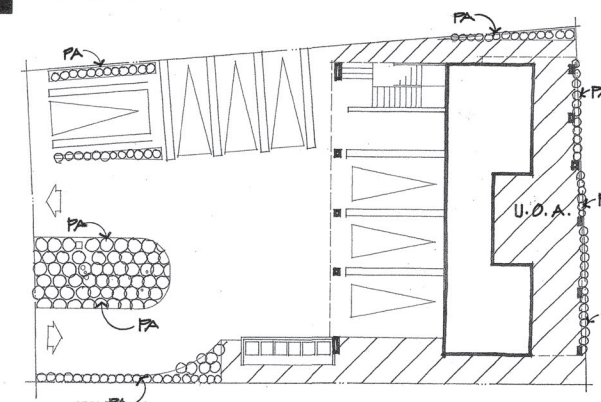
SPECIAL INSPECTIONS :
City registered inspector :
rick paquette , 949-291-3912
www.depulvininspector.com

OWNER :
Mario Melendez
424 N. El Camino Real
San Clemente Ca. 92672

Contact:
Mario : 949 - 842-6936
mario@rastataco.com

SCOPE OF WORK:
Zone: Mixed use 3.0 zone
Architectural & Central Bus./Pedestrian overlay.
Existing single story building, currently used as small business to be removed. This plan reflects a major conversion to a mixed use, two businesses at first floor, street level and a single family residence with an ADU above them on the second floor.
All type v construction, B and R3 occupancy.
SPRINKLERED.
PORTABLE TOILET AND HANDWASH STATION PER OSHA REGULATIONS ARE TO BE PROVIDED.
ADDRESS NUMBERS SHALL BE MOUNTED AT THE FRONT AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRASTING COLOR, 4" TALL, MIN.

FAR = .415 (Interior space / lot area)



PRELIM. LANDSCAPE PLAN
FINAL PLAN TO BE SUBMITTED AFTER SITE/PARKING PLAN FINALIZED

CODE DATA :

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC).
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE, (CFC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS

CBC, R301.2.1, R301.2.2, ASCE 7-16
AND ALL LOCAL / MUNICIPAL ORDINANCES.



SCALE: 1/8"=1'

PLANS PREPARED BY:
TOAL
 ENGINEERING, INC.
 CIVIL ENGINEERING
 LAND SURVEYING
 STORMWATER QUALITY
 139 Avenida Navarro
 San Clemente, CA 92672
 949.492.8586
 www.toalengineering.com



V. Meum
 VIKTOR P. MEUM
 P.L.S. 8882
 DATE: 10-21-22

PREPARED FOR:
 MARIO MELENDEZ

NO.	DATE	APPROVED	BY

TOPOGRAPHIC SURVEY
 LOT 4 AND A POR. OF LOT 5, BLOCK 2, TRACT 779, APN 068-071-41, -21
 424 N. EL CAMINO REAL, SAN CLEMENTE, CALIFORNIA

DATE: 10-21-22	H. SCALE: 1/8"=1'
SURVEY DATE: 9-27-22	V. SCALE: -
DRN: AR	DWG. NO. TP-01
CHD: MSF	APPD: VM
JOB NO. 22215	SHEET 1 OF 1

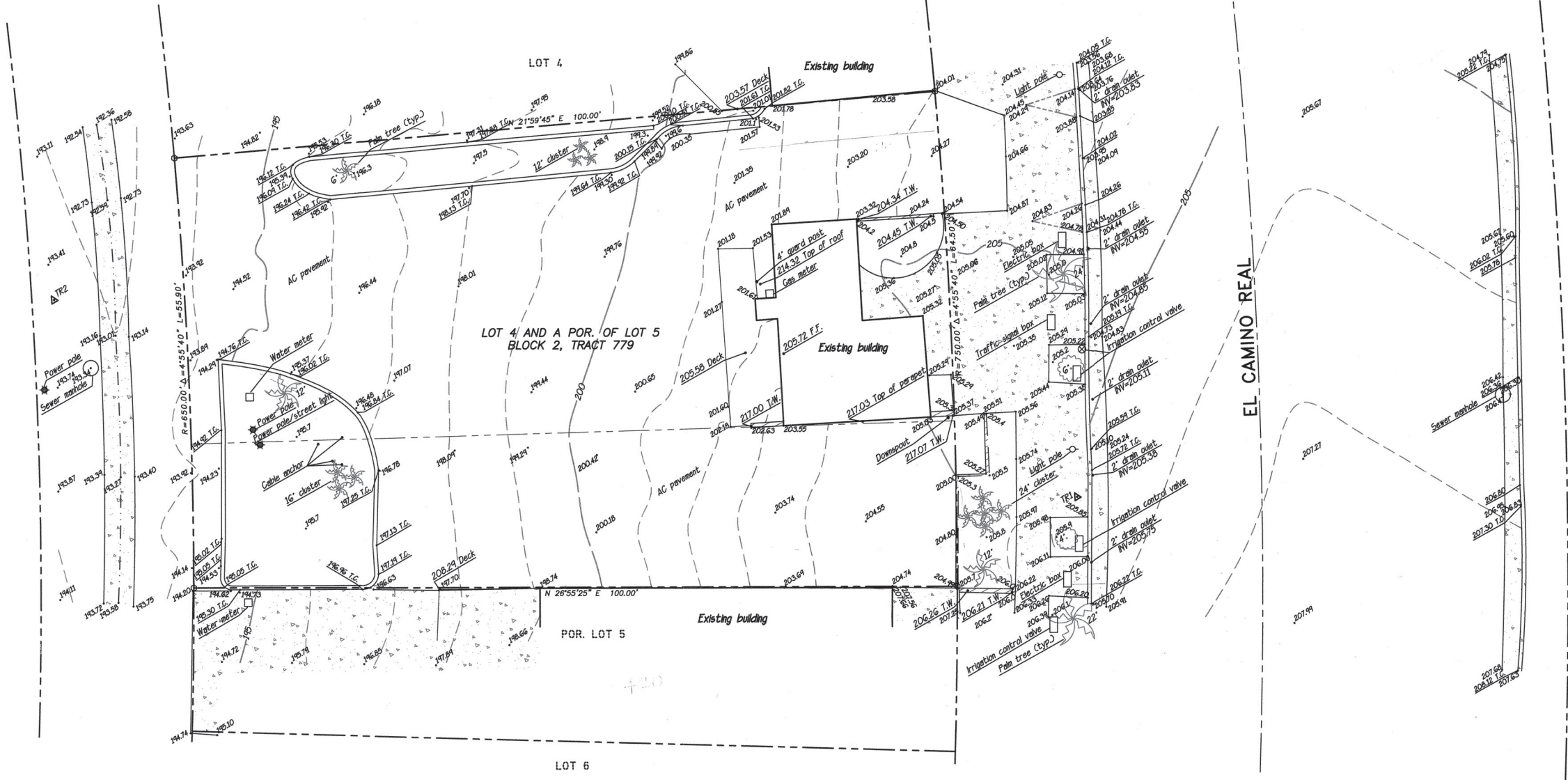
11' grade differential, front to back

- LEGEND**
- GRADE BREAK LINE
 - INDEX CONTOUR LINE
 - INTERMEDIATE CONTOUR LINE
 - ESTIMATED PROPERTY LINE
 - X-X FENCE
 - [Brick pattern] MSE WALL
 - [Stippled pattern] CONCRETE SURFACE
 - [Hatched pattern] MASONRY WALL
 - [Diagonal lines] WOOD WALL
 - [Dotted pattern] ROCK WALL
 - F.F. FINISHED FLOOR
 - F.S. FINISHED SURFACE
 - T.G. TOP OF GRATE
 - INV INVERT OF PIPE
 - T.C. TOP OF CURB
 - E.P. EDGE OF PAVEMENT
 - T.W. TOP OF WALL
 - FOUND MONUMENT
 - ▲ SURVEY CONTROL POINT

BENCHMARK NOTE:
 OCSBM 3B-116-05
 ELEV=163.295
 NAVD88 DATUM, 2005 ADJ.

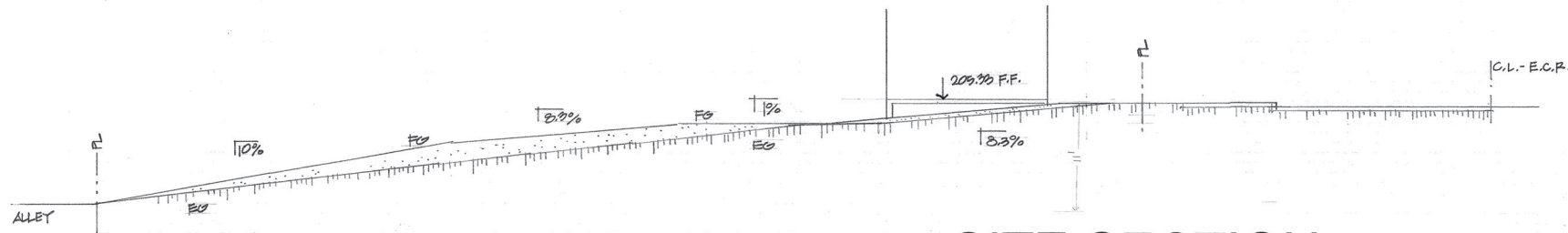
EASEMENT NOTE:
 THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.
 UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:
 THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.



0210 GRADING AND EARTHWORK

1. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LOCAL GRADING CODES AND ORDINANCES. SEE SOILS AND GEOLOGICAL REPORTS (IF PROVIDED) FOR RECOMMENDED SOIL BEARING PRESSURE, FOUNDATION, MATERIAL AND SITE GRADING, AND GRADING PLAN FOR SPECIFIC GRADING EARTHWORK REQUIREMENTS. PERFORM NECESSARY SPRINKLING AND WETTING OF CONSTRUCTION SITE TO ALLAY DUST. NOTIFY ARCHITECT/DESIGNER/ENGINEER IF EXISTING UTILITY LINES ARE ENCOUNTERED IN THE WORK. PROTECT LINES FROM ANY DAMAGE.
2. CONTRACTOR TO EXAMINE SITE PRIOR TO BIDDING TO CONFIRM THE ESTABLISHMENT OF FINISH GRADES AND DRAIN LINES AS SHOWN ON PLAN. ANY UNUSUAL OR CONFLICTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER/ENGINEER.
3. FILL AND FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY AN APPROVED SOILS ENGINEER. FIELD REPORTS SHALL BE SUBMITTED TO THE CITY AND ARCHITECT/DESIGNER/ENGINEER PRIOR TO POUR.
4. SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR OTHER DANGEROUS CONDITION BE ENCOUNTERED DURING THE EXCAVATION FOR NEW FOUNDATIONS, ALL WORK SHALL CEASE IMMEDIATELY AND THE ARCHITECT/DESIGNER/ENGINEER NOTIFIED.
5. ALL BACKFILLING SHALL BE DONE ONLY WITH CLEAN MATERIAL AND COMPACTED. CLEAN PEA GRAVEL OR #30 SAND.
6. ALL FILLING AND BACKFILLING SHALL BE COMPACTED TO 90% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM TEST DESIGNATION D-1557 - 70. FLOODING IS NOT PERMITTED.
7. EXCAVATED AREAS IN EXCESS OF 6" TO RECEIVE CONCRETE SLAB, SHALL BE THOROUGHLY AND MECHANICALLY COMPACTED TO A MINIMUM DENSITY OF 90% AND TESTED BY SOILS ENGINEER.
8. CARE SHALL BE TAKEN NOT TO OVER EXCAVATE FOUNDATION AT LOWER ELEVATIONS AND PREVENT DISTURBING SOILS AROUND FOOTINGS AT HIGHER ELEVATIONS.
9. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT. EROSION CONTROL DEVICES AND SANDBAGS SHALL BE PROVIDED PER CITY GRADING ORDINANCES AT CONTRACTOR'S EXPENSE.
10. THE SITE PREPARATION FOR THE CONSTRUCTION SHALL INCLUDE ANY OTHER DEBRIS THAT WOULD BE DETRIMENTAL TO THE FOUNDATION OF THE STRUCTURE.
11. ALL EXCAVATION IN EXCESS OF (5) FIVE FEET, SHALL BE MADE AT A 2 HORIZONTAL TO 1 VERTICAL OR AT THE RECOMMENDATION OF A SOILS ENGINEER.



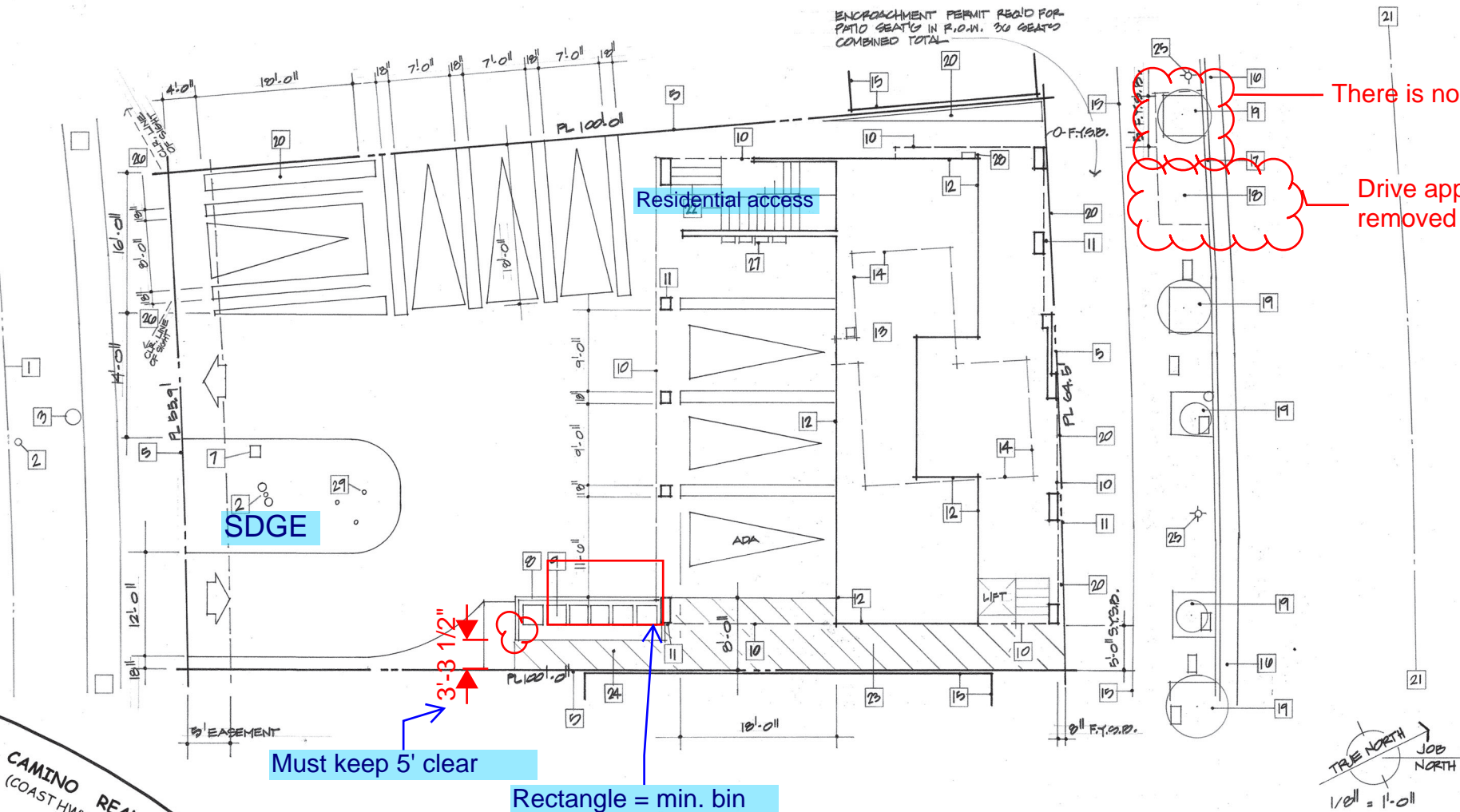
SITE SECTION concept

0120 SITE PLAN

1. CONSTRUCTION SHALL CONFORM TO CHAPTER 33, SECTION 3306 OF THE 2322 C.B.C. REGARDING PROTECTION OF PEDESTRIANS DURING DEMOLITION OR CONSTRUCTION.
2. THE PROJECT SHALL CONFORM TO THE STATE OF CALIFORNIA TITLE 24 ENERGY CODES. SEE PLANS AND / OR SUPPORTING DOCUMENTS ATTACHED TO CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES:
 - a. INSTALL TEMPORARY TOILET FACILITY ON SITE.
 - b. PROVIDE TEMPORARY ELECTRICITY AND WATER FOR THE EXPRESS PURPOSE OF THE CONSTRUCTION. (NOTE: CONTRACTOR/PLUMBER MAY USE EXISTING FACILITIES ON SITE)
4. ALL WORK SHALL BE DONE IN A PROFESSIONAL WORKMANLIKE MANNER AND BE SAFE FOR ALL WORKMEN.
5. ALL EXPOSED CONCRETE FINISHES TO BE DETERMINED BY OWNER/ARCHITECT/DESIGNER/CONTRACTOR PRIOR TO POUR.
6. ALL SURFACES SHALL SLOPE AWAY FROM THE FOUNDATION AT 2% FOR IMPERVIOUS SURFACES AND 5% FOR PERVIOUS SURFACES.
7. FINISH GRADE AROUND THE NEW STRUCTURE SHALL BE SLOPED AWAY FROM THE BUILDING 2% FOR IMPERVIOUS, AND 5% FOR PERVIOUS PURPOSES.
8. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
9. FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

SITE PLAN LEGEND :
 ADDRESS SHALL BE PLAINLY AND CLEARLY VISIBLE FROM STREET IN CONTRASTING COLORS, 2.5" MIN. WIDE X 4.5" MIN. DEEP.

1. P.L. @111 PALIZADA
2. POWER POLE
3. MANHOLE
4. CONC. SWALE CENTER OF ALLEY
5. PROPERTY LINE
6. CONCRETE CURB
7. WATER METER
8. TRASH ENCLOSURE
9. 3-TRASH, 2-RECYCLE, 1- GREENWASTE
10. LINE OF SECOND FLOOR
11. BUILDING COLUMN
12. BUILDING LINE
13. RELOCATE GAS METER
14. LINE OF BLDG. REMOVED
15. BACK OF SIDEWALK
16. CURB AND GUTTER
17. REMOVE CURB CUT AND APPROACH
18. NEW SIDEWALK AREA
19. EXISTING STREET TREE/PLANTING
20. NEW PLANTING AREA
21. CENTERLINE OF EL CAMINO REAL
22. STAIRS UP
23. ADA PATH OF TRAVEL
24. ADA ACCESS TO TRASH ENCLOSURE
25. LIGHT POLE
26. NO LINE OF SIGHT OBSTRUCTIONS
27. ELEC. PANEL LOCATIONS
28. MAILBOX LOCATION

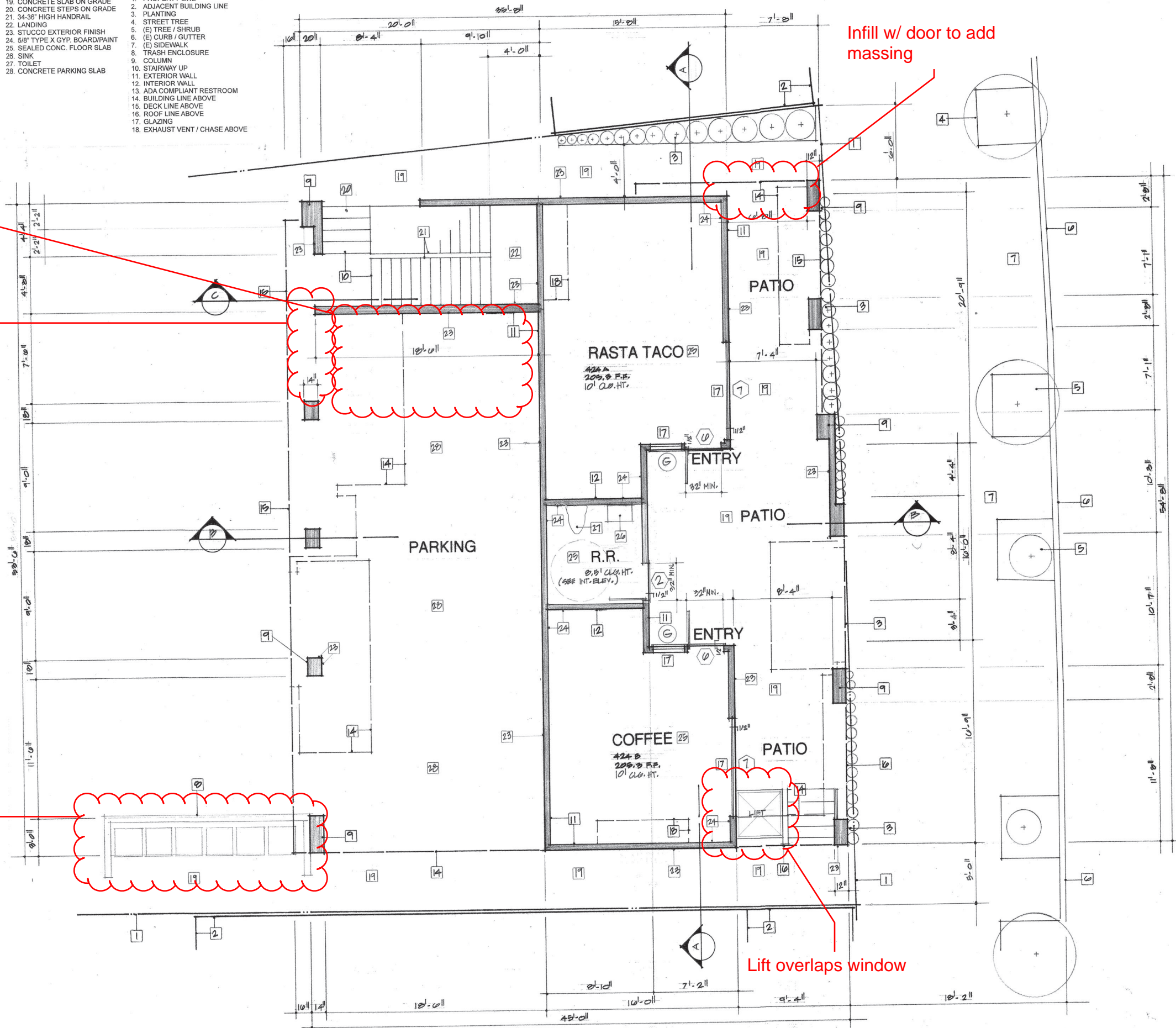


SITE PLAN



TRACT No. 779
 M.M. 23 / 19 - 25

- FLOOR PLAN LEGEND :
- 19. CONCRETE SLAB ON GRADE
 - 20. CONCRETE STEPS ON GRADE
 - 21. 34-36" HIGH HANDRAIL
 - 22. LANDING
 - 23. STUCCO EXTERIOR FINISH
 - 24. 5/8" TYPE X GYP. BOARD/PAINT
 - 25. SEALED CONC. FLOOR SLAB
 - 26. SINK
 - 27. TOILET
 - 28. CONCRETE PARKING SLAB
 - 1. PROPERTY LINE
 - 2. ADJACENT BUILDING LINE
 - 3. PLANTING
 - 4. STREET TREE
 - 5. (E) TREE / SHRUB
 - 6. (E) CURB / GUTTER
 - 7. (E) SIDEWALK
 - 8. TRASH ENCLOSURE
 - 9. COLUMN
 - 10. STAIRWAY UP
 - 11. EXTERIOR WALL
 - 12. INTERIOR WALL
 - 13. ADA COMPLIANT RESTROOM
 - 14. BUILDING LINE ABOVE
 - 15. DECK LINE ABOVE
 - 16. ROOF LINE ABOVE
 - 17. GLAZING
 - 18. EXHAUST VENT / CHASE ABOVE



Use this space for bike parking or residential trash carts

Infill w/ wall or door to add massing

Infill w/ door to add massing

Currently: both businesses share 1/ea trash/recycle/green & both residential units share 1/ea trash/recycle/green

Lift overlaps window

FIRST FLOOR PLAN

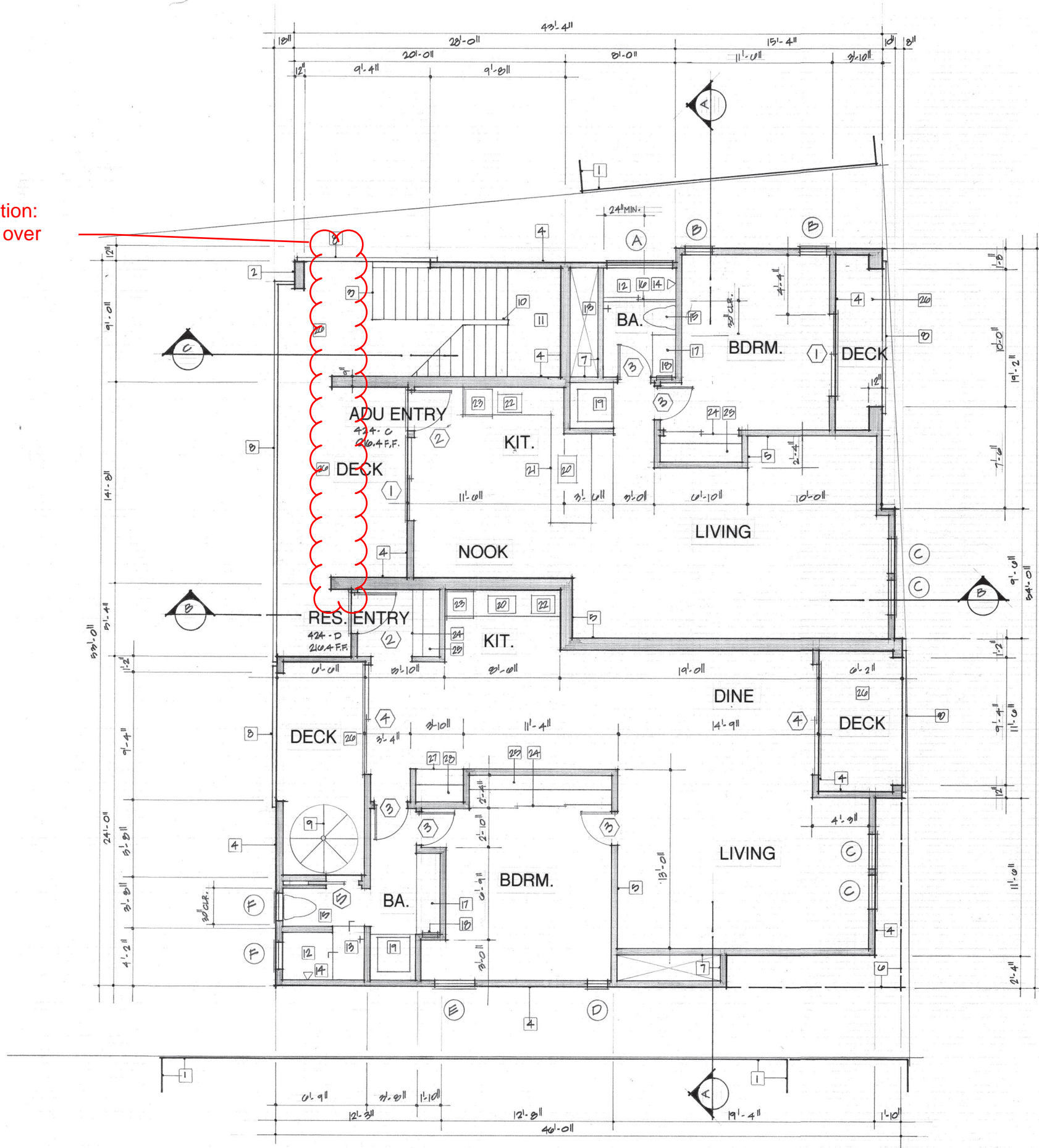
EL CAMINO REAL

Melendez mixed use building
424 N. El Camino Real, San Clemente Ca. 92672

A4

Jonsson and foerstel architects
940 calle amanecer, unit j,
san clemente ca. 92673 949-228-4810

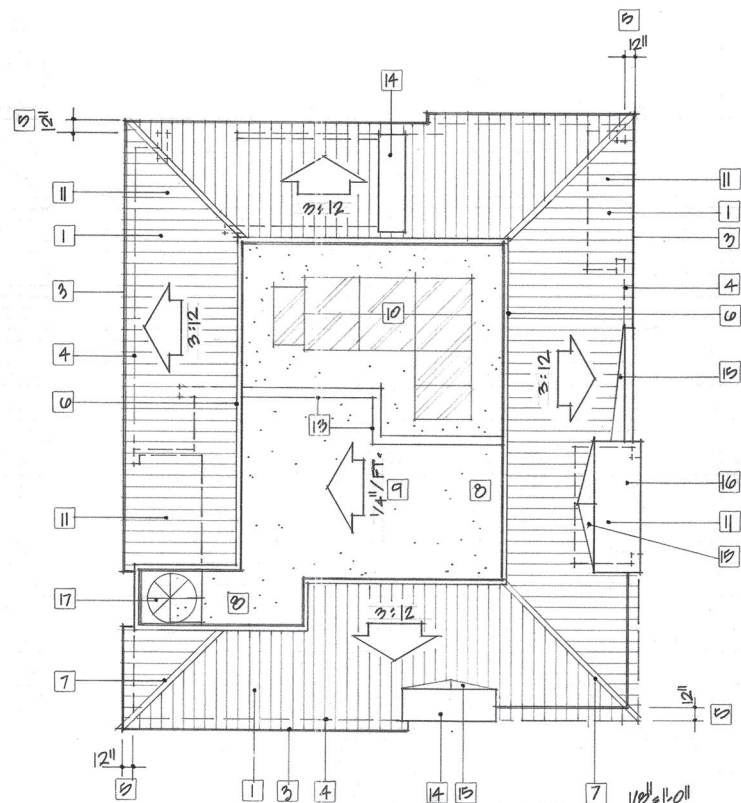
Recommendation:
Pull back roof over
this deck



FLOOR PLAN LEGEND

- 1. ADJACENT BUILDING LINE
- 2. COLUMN
- 3. STAIRWAY DOWN
- 4. EXTERIOR WALL
- 5. INTERIOR WALL
- 6. BUILDING LINE BELOW
- 7. EXHAUST VENT / CHASE
- 8. 42" HIGH GUARDRAIL
- 9. SPIRAL STAIR TO ROOF DECK
- 10. 34-36" HIGH HANDRAIL
- 11. LANDING
- 12. SHOWER
- 13. VALVE
- 14. HEAD
- 15. 1.25 GAL TOILET
- 16. T.G. ENCLOSURE
- 17. BASE CAB SINK & COUNTER
- 18. MEDICINE CABINET
- 19. STACKING WASHER / DRYER
- 20. SINK
- 21. PENINSULA
- 22. COOKTOP
- 23. REFER
- 24. WARDROBE DOORS
- 25. SHELF AND POLE
- 26. WESTCOAT WATERPROOF DECKING
- 27. CABINET DOOR
- 28. SHELVING

SECOND FLOOR PLAN



- ROOF PLAN LEGEND:**
 ALL ROOFING PRODUCTS TO BE CLASS A GAF-1475
1. CLASS A ROOF TILE
 2. ALL ROOF SLOPES 3:12
 3. GUTTER AND DOWNSPOUT/TIGHTLINE TO CURB/SEE CIVIL PLAN
 4. BUILDING LINE BELOW
 5. LINE OF ROOF OVERHANG
 6. RIDGE LINE
 7. HIP LINE
 8. FLAT ROOF DECK AREA
 9. WESTCOAT WATERPROOF DECKING
 10. SOLAR ARRAY AREA
 11. DECK BELOW
 12. DOWNSPOUT LOCATION
 13. FIREWALL
 14. SHEET METAL CAP OVER VENT CHASE
 15. CRICKET TO DRAIN
 16. LA HABRA WATERPROOF ADMIXTURE NON VERT. LOCATIONS
 17. SPIRAL STAIR BY THE IRON SHOP

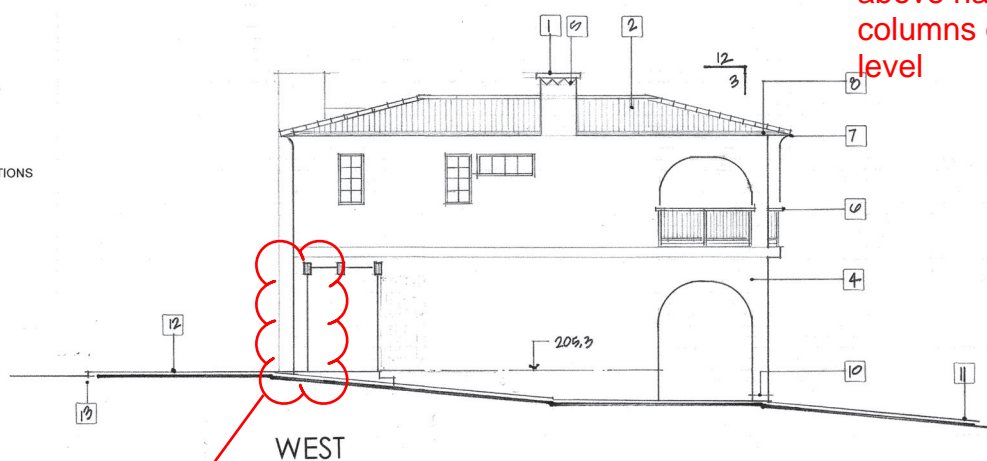
ROOF PLAN



Awkward termination of arched opening

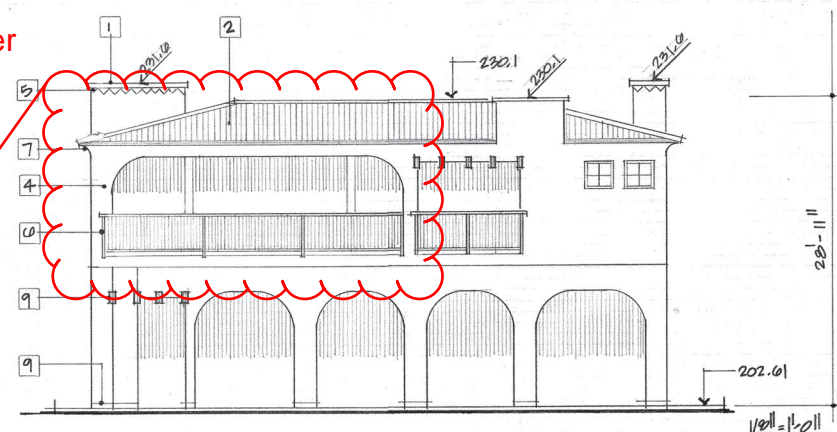
NORTH

Pull back roof: varied plane & less weight above narrow columns on lower level



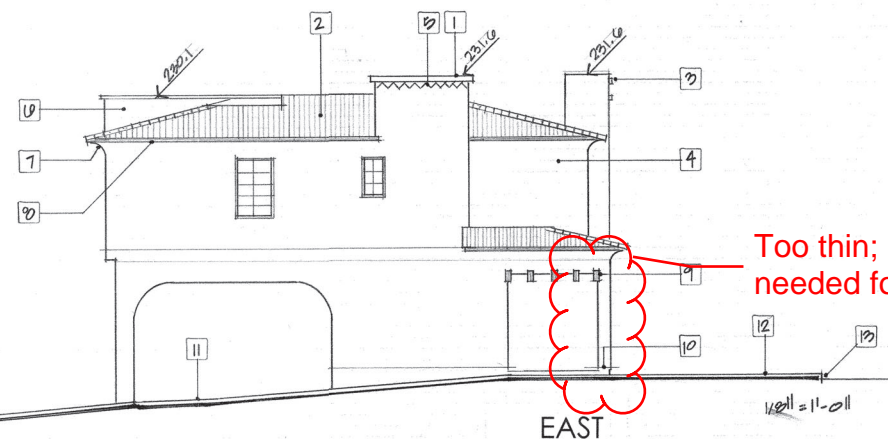
WEST

Too thin; does not comply w/ Design Guidelines. Fill in w/ door.



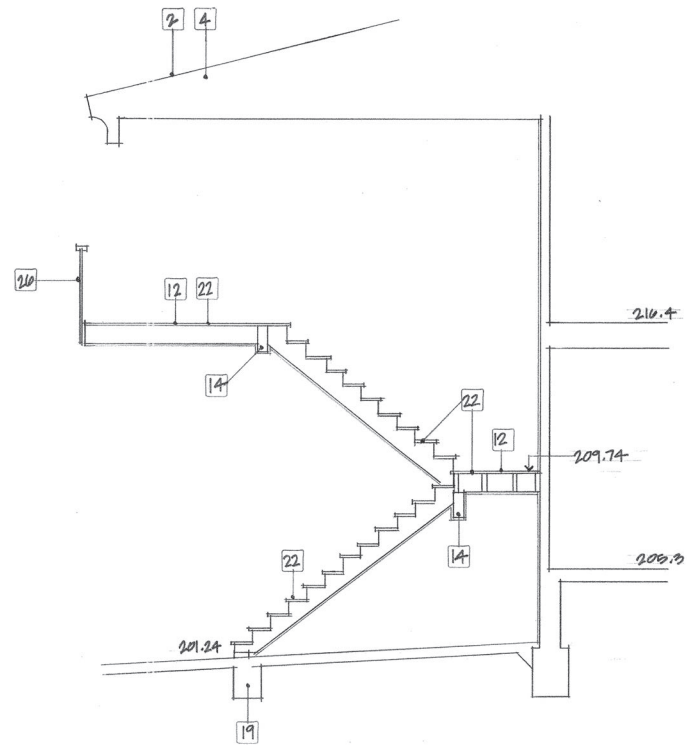
SOUTH

- ELEVATION NOTES :**
1. SHEET METAL CAP @ VENT CHASE
 2. CLASS A ROOF TILE
 3. FALSE CLAY PIPE VENT DETAIL
 4. SMOOTH STUCCO FINISH
 5. DIAGONAL CUT RED TILE DETAIL
 6. 42" HIGH GUARDRAIL
 7. FOAM RADIUS EAVE DETAIL
 8. 2" X FACIA/GUTTER & DOWNSPOUT
 9. FALSE 6" X OUTLOOKER
 10. G.I. WEEP SCREED
 11. PARKING AREA
 12. CITY SIDEWALK
 13. CURB AND GUTTER

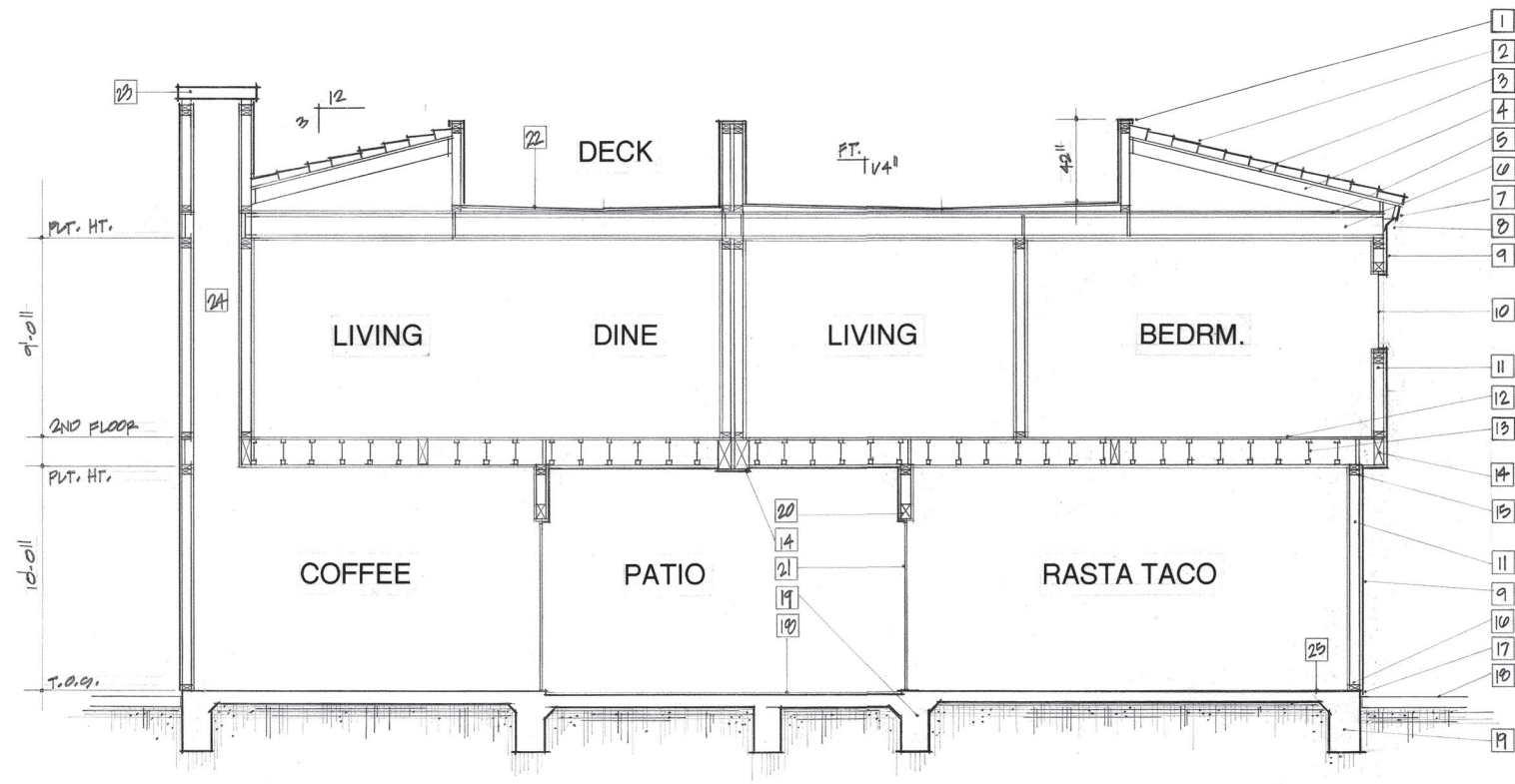


EAST

Too thin; bud width needed for stairs + lift



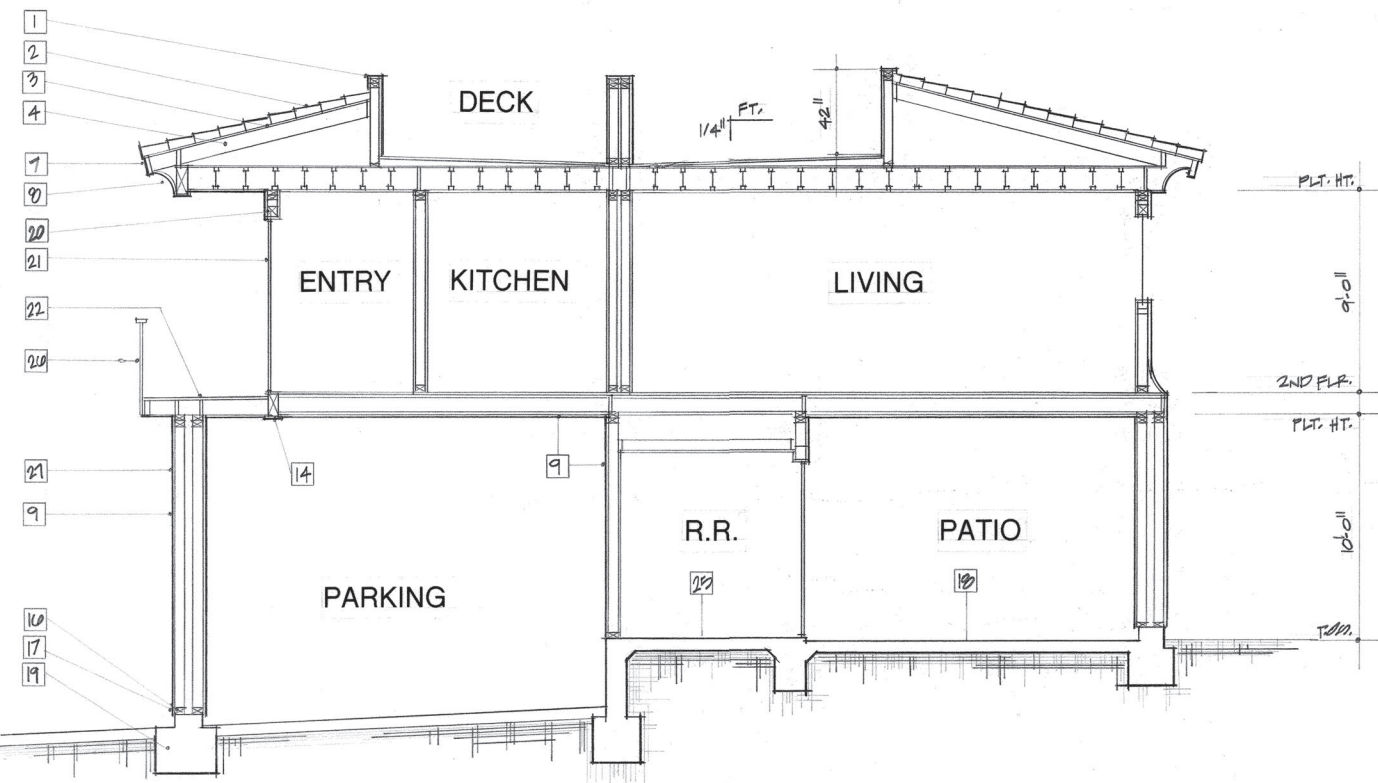
SECTION C



SECTION A

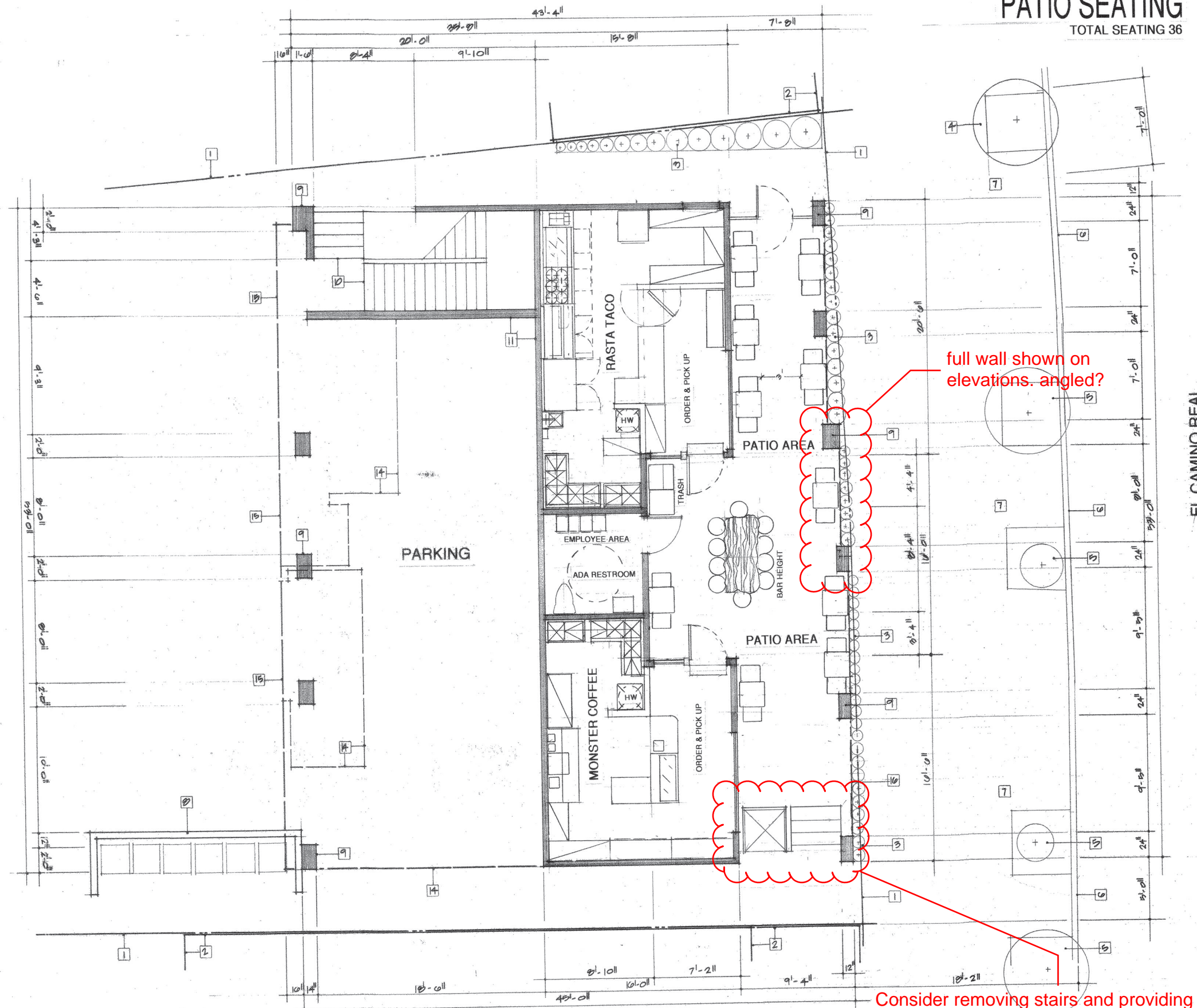
SECTION DRAWING LEGEND :

1. SHT. MTL. FLASH'G - CAP
2. CLASS A ROOF TILE
3. ROOF DIAPHRAM
4. MANSARD RAFTER
5. MAIN ROOF DIAPHRAM
6. TJI ROOF JOIST
7. FACIA BOARD
8. FOAM CORBEL
9. STUCCO FINISH
10. WINDOW
11. WALL FRAMING
12. FLOOR DIAPHRAM
13. TJI FLOOR JOIST
14. FLOOR BEAM
15. DBL. TOP PLATE
16. P.T.D.F. SILL PLATE
17. WEEP SCREED
18. EXT. CONG. SLAB
19. CONCRETE FOOTING
20. HEADER
21. DOOR
22. WESTCOAT WATERPROOF DECKING
23. SHT. MTL. VENT CAP
24. VENT SHAFT
25. CONG. FLOOR SLAB
26. 42" GUARDRAIL
27. COLUMN



SECTION B

PATIO SEATING
 TOTAL SEATING 36



EL CAMINO REAL

full wall shown on elevations. angled?

Consider removing stairs and providing pedestrian access from sidewalk so that this narrow opening and conflict w/ coffee window can be mitigated

NOTES

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY DIMENSIONS SHOWN ON THE DRAWINGS. ALL CONTRACTORS SHALL VERIFY THE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. SEE CONTRACT DOCUMENTS FOR ALL DIMENSIONS. ALL PLUMBING, ELECTRICAL, AND VENT OUTLETS HAVE BEEN LOCATED AND ACCURATELY SHOWN. ALL AREAS ARE INTENDED TO BE EQUIPPED TO BE SUPPLIED. WE WILL NOT ACCEPT RESPONSIBILITY FOR ANY WORK DONE BY THIRD CONTRACTORS AND WILL NOT BE RESPONSIBLE FOR CONSEQUENCES. NECESSARY BY LOCAL AND STATE CODES. CONTRACTORS MUST VERIFY ALL DIMENSIONS AND SPECIFICATIONS ARE CORRECT. THESE PLANS, DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF RESTAURANT DESIGN, INC. AND DO NOT BE REPRODUCED, COPIED, OR CIRCULATED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF RESTAURANT DESIGN, INC. RESTAURANT DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT AND OTHER PROPRIETARY RIGHTS IN THESE PLANS. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RESTAURANT DESIGN, INC. THIS AGREEMENT IS SUBJECT TO LEGAL ACTION.

REVISIONS

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PROJECT TITLE

RASTA TACO
 02/23/23

SHEET NO.

Melendez mixed use building
424 N. El Camino Real, San Clemente Ca. 92672



ECR ELEVATION