



# STAFF REPORT

## SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: January 18, 2024

**PLANNER:** Zach Rehm, Senior Planner

**SUBJECT:** **Public Hearing Project (PHP) 23-460, Davis Remodel and Addition**, a request for a Development Permit (DP) 23-459 and Minor Exception Permit (MEP) 23-461 to remodel and expand an existing 3,046 sq. ft. single-family residence. A minor exception permit is required because the residence is non-conforming at the existing canyon edge rear setback, and the project includes an addition of 1,037 sq. ft. of internal floor area and a minor encroachment into the front setback. The project also proposes to remodel and expand decks and construct a second garage, located across the street from a historic property.

**LOCATION:** 316 W Avenida Gaviota

**ZONING/  
GENERAL PLAN:** Residential Low Zoning District and Coastal Zone Overlay District (RL-CZ)

### **PROJECT SUMMARY:**

The project site is a 0.37-acre (approximately 16,000 square foot) parcel that includes a portion of a coastal canyon. The upper portion of the lot is developed with an approximately 3,046 square foot split level, predominantly two-story single-family residence and a 750 square foot attached two-car garage. Surrounding land uses consist of single-family residences to the north, south, and east, with the coastal canyon at the rear of the property to the northwest (Attachment 2: Location Map). A historic residential structure is located across the street to the southeast (Attachment 3: DPR Survey Form).

The applicant proposes a less than 50% remodel and less than 50% addition to the existing Cape Cod/contemporary structure, which was constructed in 1975 (Building Permit No. 15257 issued 7/28/75; Coastal Development Permit No. P-3-24-75-4956 approved 5/19/1975). The resulting structure would be more contemporary, with wood siding and steel and glass elements. See rendering of proposed front elevation below and Attachment 6: Project Plans. The application includes a second garage, to be accessed from a widened curbcut shared with the existing garage access. The plans identify curbs between the applicant's street frontage and the neighbors on either side, to maintain two standard vehicle parking spaces on the street frontage, resulting in no loss of street parking and increased on-site parking. Because the proposed 28-foot wide curbcut is overly wide, Planning staff has recommended a special condition requiring the curbcut to be narrowed subject to the City Planner's and City Engineer's review of the final plans.

### Proposed Front Elevation



- **Approval Authority:** Per Zoning Ordinance Section 17.16.100, the project requires a Development Permit under Review Process 2 (Zoning Administrator) because it is abutting (across the street from) a historic resource<sup>1</sup>. It requires a Minor Exception Permit to construct a cantilevered uncovered deck encroaching up to three-feet into a portion of the front setback.
- **Project Findings:** The project meets required findings and staff supports the proposed request based on the following:
  - The roof height will be maintained in some areas with new roof articulation that will increase portions of the building to 25 feet. The applicant's roof height analysis complies with the 25-foot height limit measured from original grade based on the City's 1966 survey, as required by the Zoning Code. At-grade landscape and hardscape improvements in the front setback will serve to integrate the property with the street and neighboring properties featuring landscaped front yards.
  - The proposed additions and roof articulations allow for differentiation between the split levels of the residence and the varied material treatments are consistent with General Plan Policy LU-1.04, which considers, "varied and distinct building elevations, facades, and masses (avoiding undifferentiated "box-like" structures)" in order to "convey a high level of architectural and landscape quality in accordance with the Urban Design Element and Zoning Code."

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<sup>1</sup> This project was originally submitted and reviewed as a Cultural Heritage Permit (previously CHP 22-215). City of San Clemente Ordinance No. 1759 became effective on November 3, 2023, and a Development Permit now applies to this project. This staff report and resolution reflect the findings and review process under the Development Permit process, as well as findings for the requested Minor Exception Permit.

- The project does not constitute a major remodel that would require it to be consistent with all standards for new development. The plans identify 19% demolition and reconstruction of exterior walls and 26.6% roof demolition. The addition of approximately 1,037 square feet of habitable area to an existing approximately 3,046 square foot home is less than a 50% remodel. The applicant has not stated that substantial foundation changes are proposed and alterations in excess of 50% would require additional planning and engineering review. Because the project is not a major remodel, the proposal to add square footage and make improvements to an existing legal non-conforming structure is consistent with Coastal Land Use Plan policies LU-13 and HAZ-36.
- The new additions will comply with the 20-foot front yard setback. The new garage will comply with the 18-foot front yard setback for garages. A Minor Exception Permit is required to construct a cantilevered uncovered deck approximately 10 feet above grade, encroaching up to three-feet into a portion of the front setback. The cantilevered deck is 13 feet, six inches measured linearly across the setback area, which represents 28.5% of the front building elevation. Zoning Code section 17.24.080 provides that a maximum of 60% of building elevation length may encroach into the front setback subject to the provisions of that section, which require a Minor Exception Permit because the deck is above grade and the main entrance of the residence. An existing non-conforming front setback at the second level of the living area at the northeast corner above the existing garage (approximately six-inch encroachment) will remain, and the exterior wall and roofline will remain the same in that location. The new and remodeled development will comply with the six-foot side yard setbacks.
- The application included a geotechnical review of the property, by Nova Engineering, dated April 20, 2022. The report identifies the canyon edge more than 15 feet from the rear of the existing primary structure and proposed additions, as required by Coastal Land Use Plan policy HAZ-47, Canyon Setbacks. The geotechnical review and report conclude the proposed improvements are feasible from a geotechnical perspective if the existing setbacks are maintained. The existing non-conforming canyon edge rear setback will be maintained, with no new development closer to the canyon than existing structures. The applicant initially proposed cantilevered multi-level decks at the rear of the property, which would have extended into the canyon edge setback and beyond the existing structural setback, but those elements have been removed from the project. No development is proposed in the coastal canyon, consistent with Coastal Land Use Plan policy RES-69.
- The mass, height, and lot coverage of the residence is in character with the adjacent properties and zoning standards. Adjacent development on either side of the project site consists of single-story and multi-story buildings with large front setbacks complemented by landscaping. The massing of the structure will be increased at the center of the property, closer to the south property line, and will comply with the six-foot side yard setback. There is a recently-constructed two-story building to the south, which has also been constructed to the side property setback line, so the new

massing will not overshadow the adjacent residence (Refer to Attachment 5: Photographs of Site and Neighboring Properties and page 3 of the plans).

- The project will change the roof and façade along the north, but will not add massing near the single-story residence to the northeast. Additionally, the additions and façade alterations incorporate architectural elements such as decorative lighting, differentiated material treatments, and windows, that add variety to the new front wall plane and will prevent “canyonization,” consistent with General Plan Policy UD-5.12.
- The project will maintain the existing distance to the historic structure across the street, with the exception of a three-foot encroachment into the front setback for a cantilevered uncovered deck, and this element will be more than 70 feet from the historic structure and will not affect any views of the historic structure from any public right-of-way. The contemporary design of the remodeled home will not detract from the Spanish Colonial Revival design of the historic home across the street or the historic home two lots to the south, and will be smaller in square footage and mass than both historic homes. The front yard landscaping and sidewalk and curb improvements will be consistent with similar improvements at the adjoining properties and improvements adjacent to the historic homes, therefore avoiding any potential visual impacts to the historic structures or their context.
- The project is proposed entirely within private property and does not require an encroachment into the public right-of-way. The project maintains parking resources on the public street and expands parking resources on-site with the new garage and revised curb cut, and therefore alleviates parking congestion on W Avenida Gaviota.
- Conditions of Approval require the property owner to comply with the approved description of the minor exception to the front setback and require the curbcut be narrowed subject to the City Planner’s and City Engineer’s review of the final plans.
- **Coastal Act:** The site is within the Coastal Zone but not within the Categorical Exclusion Order Area and therefore requires review and approval by the California Coastal Commission.
- **CEQA:** The project is Categorically Exempt from the California Environmental Quality Act under Section 15301 of the CEQA Guidelines (14 CCR § 15301, Class 1e: Existing Facilities: Additions to existing structures which do not result in an increase over 2,500 square feet or greater than 10,000 square feet provided public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive). This project would add less than 2,500 square feet to an existing residential property, so the Class 1(e) exemption applies.
- **Public Comment:** Public comments were received by email (Attachment 4) from a neighbor across the street at 315 W Avenida Gaviota, expressing opposition to the second level addition above the new garage which would partially obstruct a private ocean view.

**RECOMMENDATION**

Staff recommends that the Zoning Administrator:

1. Determine the project is Categorical Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1€: Existing Facilities: Additions to existing structures which do not result in an increase over 2,500 square feet, provided public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive); and
2. Adopt Resolution ZA 23-022, approving Development Permit 23-459 and Minor Exception Permit 23-461, subject to attached conditions of approval.

***Attachments:***

1. Resolution ZA 23-022  
Exhibit A - Conditions of Approval
2. Location Map
3. DPR Survey Form – 319 W Avenida Gaviota
4. Public Comment – 315 W Avenida Gaviota
5. Photographs of Site and Neighboring Properties
6. Project Plans

RESOLUTION NO. ZA 23-022

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING DEVELOPMENT PERMIT (DP) 23-459 AND MINOR EXCEPTION PERMIT (MEP) 23-461, DAVIS REMODEL AND ADDITION, A REQUEST FOR A 1,037 SQUARE FOOT ADDITION AND REMODEL TO A SINGLE FAMILY RESIDENCE LOCATED AT 316 W AVENIDA GAVIOTA, WHICH ABUTS A HISTORIC RESOURCE, AND FINDING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT UNDER SECTION 15301 OF THE CEQA GUIDELINES (14 CCR § 15301, CLASS 1(E): EXISTING FACILITIES: ADDITIONS TO EXISTING STRUCTURES.

WHEREAS, on June 27, 2022 an application was submitted by Chris Foerstel on behalf of Lisa and Brent Davis, for Public Hearing Project (PHP) 23-460, and deemed complete on December 18, 2023; a request for a 1,037 square foot addition and remodel to an existing 3,046 square foot single-family residence at 316 W Avenida Gaviota, which abuts a historic resource located across the street. The site is in the Residential Low Zoning District and Coastal Zone Overlay District (RM-CZ). The site's legal description is N TR 718 BLK 18 LOT 7, and Assessor's Parcel Number 692-282-10; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends the Zoning Administrator determine the project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1(e): Existing Facilities). This exemption allows for additions to existing structures which do not result in an increase over 2,500 square feet or greater than 10,000 square feet provided public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. This is recommended because the project consists of a 1,037 square-foot addition and remodel of existing space to a single-family residence within a developed residential neighborhood; and

WHEREAS, on July 13, 2022, October 5, 2023, and December 7, 2023, the City's Development Management Team (DMT) reviewed the proposed project, and staff issued comment letters on July 18, 2022, February 22, 2023, and October 12, 2023, to the applicant to ensure compliance with General Plan, Zoning Ordinance, and other applicable City ordinances, codes, and policies; and

WHEREAS, on January 18, 2024, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Zoning Administrator of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1(e): Existing Facilities: Additions to existing structures which do not result in an increase over 2,500 square feet or greater than 10,000 square feet provided public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive).

The Class 1 exemption specifically exempts from further CEQA review the operation, repair, maintenance, and minor repair of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. This exemption covers, but is not limited to, interior or exterior alterations, additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. Here, the proposed project is a 1,037 square-foot addition and remodel of existing space to a single-family residential building, within a developed residential neighborhood, and will not increase the floor area of the structure by more than 50 percent of the existing floor area, or more than 2,500 square feet. The project does not increase or otherwise change the existing use of the site. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 Categorical Exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time. Minimum setback requirements, height limits, and maximum lot coverage standards maintain a compatible building envelope. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource. The project is on a coastal canyon lot but is consistent with the resource protection policies for coastal canyons and sensitive resources. The historic resource at 319 W Avenida Gaviota is not affected as the project improvements are located entirely within private property. Thus, the Class 1 exemption applies, and no further environmental review is required.

### Section 3. Development Permit Findings

With respect to Development Permit (DP) 23-459, the Zoning Administrator finds as follows:

A. The proposed project is consistent with the General Plan, in that:

1. The proposed development includes improvements to an existing structure with Cape Code and contemporary elements, but no clear architectural style. The resulting structure will be more contemporary, with wood siding and steel and glass elements. The roof height will be generally maintained with new articulation, and complies with the 25-foot height limit measured from original grade, as required by the General Plan. At-grade landscape and hardscape improvements in the front setback will serve to integrate the property with the street and neighboring properties that feature landscaped front setbacks; and
2. The proposed additions and roof articulations allow for differentiation between the split levels of the residence and the varied material treatments are consistent with General Plan Policy LU-1.04. Single-Family Residential Uses, which considers, “varied and distinct building elevations, facades, and masses (avoiding undifferentiated "box-like" structures)” in order to “convey a high level of architectural and landscape quality in accordance with the Urban Design Element and Zoning Code”; and
3. The project does not constitute a major remodel that would require it to be consistent with all standards for new development. The plans identify 19% demolition and reconstruction of exterior walls and 26.6% roof demolition. The addition of approximately 1,037 square feet of habitable area to an existing approximately 3,046 square foot home is less than a 50% remodel. The addition areas are primarily within the envelope of the existing home, with some new massing at the center of the property, closer to the south property line, and will comply with required setbacks. Final foundation plans have not been submitted but the applicant has not stated that substantial foundation changes are proposed and alterations in excess of 50% would require additional planning and engineering review. Because the project is not a major remodel, the proposal to add square footage and make improvements to an existing legal non-conforming structure is consistent with Coastal Land Use Plan policies LU-13 and HAZ-36; and
4. The new additions will comply with the 20-foot front yard setback. The new garage will comply with the 18-foot front yard setback for garages. A Minor Exception Permit is required to construct a cantilevered uncovered deck approximately 10 feet above grade, encroaching up to three-feet into a portion of the front setback. The cantilevered deck is 13 feet, six inches measured linearly across the setback area, which represents 28.5% of the front building elevation. Zoning Code section 17.24.080 provides that a maximum of 60% of building elevation length may encroach into the front setback subject to the



provisions of that section, which require a Minor Exception Permit because the deck is above grade and the main entrance of the residence. An existing non-conforming front setback at the second level of the living area at the northeast corner above the existing garage (approximately six-inch encroachment) will remain, and the exterior wall and roofline will remain the same in that location. The new and remodeled development will comply with the six-foot side yard setbacks; and

5. The application included a geotechnical review of the property, by Nova Engineering, dated April 20, 2022. The report identifies the canyon edge more than 15 feet from the rear of the existing primary structure and proposed additions, as required by Coastal Land Use Plan policy HAZ-47, Canyon Setbacks. The geotechnical review and report conclude the proposed improvements are feasible from a geotechnical perspective if the existing setbacks are maintained. The Land Use Plan policy requires that new development or redevelopment be set back at least 30% of the lot, measured from the canyon, or 15 feet from the canyon edge, or 15 feet from coastal sage scrub, or in line with a stringline from adjacent primary structures, whichever is greater. In this case, based off of the applicant's geotechnical review and site plans, the existing home and proposed primary structure additions would be setback more than 30% of the depth of the canyon, more than 15 feet from the canyon edge, and more than 15 feet from coastal sage scrub; however, some of the existing development is within the structural stringline setback because the home to the northeast is developed considerably further back from the canyon than the home to the southwest. The existing rear patio is set back more than 10 feet from the identified canyon edge and set back beyond the accessory structural stringline because both neighboring properties feature decks extending near the canyon edge. There are existing at-grade pavement and retaining wall are developed to within 0-5 feet of the identified canyon edge, where there is an approximately 55-foot elevation change from the developed area of the property down to the canyon bottom. The existing non-conforming canyon edge rear setback will be maintained, with no new development closer to the canyon than existing structures. The applicant initially proposed cantilevered multi-level decks at the rear of the property, which would have extended into the canyon edge setback and beyond the existing structural setback, but those elements have been removed from the project. The proposal for a minor exception to the setback requirements at the front of the residence, and not to extend non-conforming conditions at the rear of the property is consistent with Coastal Land Use Plan policy GEN-7 Setback Requirements, which provides, "setback requirements from bluff and canyon edges and biological resources shall have priority over street and rights-of-way setback requirements, while maintaining a minimum five feet setback from the property line. In aggregate, because the project is not a major remodel, and because there is no increase in the existing non-conformity, the project is consistent with policy HAZ-47;
6. No development is proposed in the coastal canyon, consistent with Coastal Land Use Plan policy RES-69 Coastal Canyon Areas Protection: "Preserve

coastal canyons as undeveloped areas intended to be open space through implementation of appropriate development setbacks.” The City has not completed final Environmentally Sensitive Habitat Area assessments for all coastal canyons, but if the canyon were determined to be ESHA, the project would still be consistent with policy RES-58 Existing Development, “within an ESHA Buffer. Existing development that was legally permitted and constructed prior to certification of this policy that is located in the required buffers identified in policy RES-54 is allowed to be maintained or remodeled so long as the remodel or maintenance is not considered a Major Remodel and the existing development does not increase the encroachment into the required setback/buffer from the ESHA. Any expansion or addition to existing development shall not increase the nonconformity and conform to the required setback;” and

7. The mass, height, and lot coverage of the residence is in character with the adjacent properties and zoning standards. Adjacent development on either side of the project site consists of single-story and multi-story buildings with large front setbacks complemented by landscaping. The massing of the structure will be increased at the center of the property, closer to the south property line, and comply with the six-foot side yard setback. There is a recently-constructed two-story building to the south, which has also been constructed to the side property setback line, so the new massing will not overshadow the adjacent residence. The project will change the roof and façade along the north, but will not add massing near the single-story residence to the northeast. Additionally, the additions and façade alterations incorporate architectural elements such as decorative lighting, differentiated material treatments, and windows, that add variety to the front wall plane and will prevent “canyonization,” consistent with General Plan Policy UD-5.12 which states, “To prevent “canyonization” and preserve village character, second- and third-story building facades shall be horizontally and vertically setback, with differential setbacks between adjacent buildings for variety and architectural interest”; and
8. The project will maintain the existing distance to the historic structure across the street, with the exception of a three-foot encroachment into the front setback for a cantilevered uncovered deck, this element will be more than 70 feet from the historic structure and will not affect any views of the historic structure from any public right-of-way. The contemporary design of remodeled home will not detract from the Spanish Colonial Revival design of the historic home across the street or the historic home two lots to the south, and will be smaller in square footage and mass than both historic homes. The front yard landscaping and sidewalk and curb improvements will be consistent with similar improvements at the adjoining properties and improvements adjacent to the historic homes, therefore avoiding any potential visual impacts to the historic structures or their context.

B. The proposed project complies with zoning regulations, in that:

1. The new additions will comply with the 20-foot front yard setback, with the exception of the cantilevered uncovered deck which requires a Minor Exception Permit to encroach three feet into the front setback area. The new garage will comply with the 18-foot front yard setback for garages. The existing non-conforming 19-foot, six-inch setback will be maintained at the existing garage and residential area above the garage at the northeast corner of the residence. The existing non-conforming development at the canyon edge rear setback will not be extended and the structure is not subject to a major remodel, so the retention of that portion of the residence is consistent with Zoning Code Section 17.56.050, Coastal Zone Overlay District. The new and remodeled development will comply with the six-foot side yard setbacks. With the exception of the development subject to the Minor Exception Permit request, the project will comply with the front yard setback and side yard setback in the subject Residential Low zone; and
2. The height of the roof articulation and addition area is 25 feet from original grade, measured based on the City of San Clemente 1966 survey, which is the maximum height limit for the zone; and
3. The proposed front landscape and hardscape improvements comply with the City's Model Water Efficient Landscaping Ordinance in that 50% of the front setback area will be permeable, with deer grass in decomposed granite along the sides and turf block within a portion of the driveway. No landscape or hardscape improvements are proposed at the rear of the property adjacent to the canyon. The landscape plan is consistent with Zoning Code Section 17.68.040.

C. The proposed project is consistent with the City's Design Guidelines, in that:

1. The project will maintain the existing distance to the historic structure across the street, with the exception of a three-foot encroachment into the front setback for a cantilevered uncovered deck, this element will be more than 70 feet from the historic structure and will not affect any views of the historic structure from any public right-of-way. The contemporary design of remodeled home will not detract from the Spanish Colonial Revival design of the historic home across the street or the historic home two lots to the south, and will be smaller in square footage and mass than both historic homes. The front yard landscaping and sidewalk and curb improvements will be consistent with similar improvements at the adjoining properties and improvements adjacent to the historic homes. Thus, the project is consistent with Design Guideline DG.II.B., which states "All development proposals should demonstrate sensitivity to the contextual influences of adjacent properties and the neighborhood" and DG.II.B.3., which states "Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood"; and

2. The mass, height, and lot coverage of the residence is in character with the adjacent properties and zoning standards. Adjacent development on either side of the project site consists of single-story and multi-story buildings with large front setbacks complemented by landscaping. The massing of the structure will be increased at the center of the property, closer to the south property line, and comply with the six-foot side yard setback. There is a recently-constructed two-story building to the south, which has also been constructed to the side property setback line, so the new massing will not overshadow the adjacent residence. The project will change the roof and façade along the north, but will not add massing near the single-story residence to the northeast. Additionally, the additions and façade alterations incorporate architectural elements such as decorative lighting, differentiated material treatments and windows, that add variety to the front wall plane, consistent with the Design Guidelines; and
  3. The project incorporates the property's natural topography by incorporating landscaping and hardscape at grade rather than constructing retaining walls in the front setback. The proposed addition nearer to the southern neighboring home is broken up with landscape and hardscape in the side and front yards, consistent with Design Guideline II.2.i., which states, "Develop compatible relationships between the topography, building placement, and existing open spaces of neighboring properties."
- D. The proposed development will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity, in that:
1. The project consists of a remodel and an addition which does not exceed the maximum building height allowed for the zone. The project incorporates the property's natural topography by incorporating landscaping and hardscape at grade rather than constructing retaining walls in the front setback. The proposed addition nearer to the southern neighboring home is broken up with landscape and hardscape in the side and front yards and is set back from the required front and side property lines, in line with surrounding residential buildings which have similar building elements; and
  2. The project is proposed entirely within private property and does not require an encroachment into the public right-of-way; and
  3. The project maintains parking resources on the public street and expands parking resources on-site with the new garage and revised curb cut, and therefore alleviates parking congestion on W Avenida Gaviota; and
  4. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations.
- E. The proposed project is in character and compatible with the properties in the neighborhood, in that:

1. The mass, height, and lot coverage of the residence is in character with the adjacent properties and zoning standards. The multi-level residence will comply with the height limit and the massing and including the 1,037 square foot addition, the proposed square footage of the new residence will be similar to other multi-level residences on both sides of the block; and
  2. The request does not preclude neighboring properties from being used as intended by the Residential Low Zone and Coastal Zone Overlay District; and
  3. The project is proposed entirely within private property and does not require an encroachment into the public right-of-way; and
  4. The project maintains parking resources on the public street and expands parking resources on-site with the new garage and revised curb cut, and therefore alleviates parking congestion on W Avenida Gaviota; and
  5. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations.
- F. The proposed project will not have negative visual or physical impacts upon the historic structure(s), in that:
1. The project will maintain the existing distance to the historic structure across the street, with the exception of a three-foot encroachment into the front setback for a cantilevered uncovered deck, this element will be more than 70 feet from the historic structure and will not affect any views of the historic structure from any public right-of-way. The contemporary design of remodeled home will not detract from the Spanish Colonial Revival design of the historic home across the street or the historic home two lots to the south, and will be smaller in square footage and mass than both historic homes. The front yard landscaping and sidewalk and curb improvements will be consistent with similar improvements at the adjoining properties and improvements adjacent to the historic homes; and
  2. The project will result in a contemporary architectural style, which improves the street appeal and complements the historic properties; and
  3. The project is proposed entirely within private property and does not require an encroachment into the public right-of-way.

#### Section 4. Minor Exception Permit Findings

With respect to Minor Exception Permit 23-461, the Zoning Administrator finds as follows:

- G. The requested minor exception will not interfere with the purpose of the zone or the standards of the zone in which the property is located, in that:

1. The mass, height, and lot coverage of the residence is in character with the adjacent properties and zoning standards. The residential use of the property will continue as intended by the Residential Low Zone and Coastal Zone Overlay District, and the exception does not significantly alter the neighborhood's street scene consisting of distinct architectural styles, landscaped front yards, and sidewalk pavers; and
  2. The property is subject to all development standards of the Residential Low Zone and Coastal Zone Overlay District as neighboring properties in the same zone. The proposed cantilevered uncovered deck encroaching three feet into a portion of the front setback will add articulation and will not add massing or habitable space; and
  3. The additions of habitable space to the structure will entirely comply with the required 20-foot front setback, six-foot side yard setbacks, and will not increase the existing non-conforming canyon edge rear setback.
- H. The neighboring properties will not be adversely affected as a result of the conditional approval of the Minor Exception Permit, in that:
1. Maintaining the existing non-conforming setbacks will not have any impact on neighboring properties. The construction of a cantilevered deck encroaching three feet into the 20-foot front setback will not obstruct any views because it is uncovered and will not impact privacy because it is in the center of the lot facing the street; and
  2. The additions of living area to the structure will comply with the required 20-foot front setback, six-foot side yard setbacks, and will not increase the existing non-conforming canyon edge rear setback; and
  3. The request does not preclude neighboring properties from being used as intended by the Residential Low Zone and Coastal Zone Overlay District;
  4. The exception maintains neighborhood compatibility and street appeal since the property is subject to landscape requirements that maintain a softened buffer between the public right-of-way and the primary structure, consistent with neighboring properties; and
  5. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations.
- I. The approval or conditional approval of the Minor Exception Permit will not be detrimental to the health, safety or welfare of the general public, in that:
1. No development is proposed in the canyon or other environmentally sensitive habitat areas; and

2. The exception maintains neighborhood compatibility and street appeal since the portion of the front setback area underneath the cantilevered deck will include permeable surfaces and the entire front setback area will comply with Model Water Efficient Landscape Ordinance requirements that include greater than 50% permeable surfaces and maintain a soft buffer between the public right-of-way and the primary structure, consistent with neighboring properties; and
3. Prior to the issuance of a building permit, the project is required to meet the California Building Code and Orange County Fire Authority regulations.

Section 5. Zoning Administrator Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Development Permit 23-459 and Minor Exception Permit 23-461, Davis Remodel and Addition, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on January 18, 2024

---

Adam Atamian, Zoning Administrator

CONDITIONS OF APPROVAL  
DEVELOPMENT PERMIT 23-459 AND MINOR EXCEPTION PERMIT 23-461  
DAVIS REMODEL AND ADDITION

**1.0 GENERAL CONDITIONS OF APPROVAL**

- |     |  |              |
|-----|--|--------------|
| 1.1 | Within 30 days of approval of this application, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City. Failure to submit this acknowledgement may be grounds to revoke this approval.  | Planning     |
| 1.2 | The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, City Planner, Zoning Administrator, or City employees or environmental finding. Applicant shall pay all costs upon request by the City. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter at the applicant's expense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at the applicant's cost. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning     |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval.   | Planning     |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws.   | All          |
| 1.5 | Use of the subject property shall conform to all occupancy requirements, including posting of signs related to the maximum occupancy limitations.  | Code<br>Comp |
| 1.6 | Development Permit 23-459 and Minor Exception Permit 23-461 shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the  | Planning     |



approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150.

- 1.7 The front yard setback exception is exclusively granted for the construction of a cantilevered deck extending three feet into the setback area up to 17 feet from the front property line. Any other new development proposed within the reduced front yard setback shall require an amendment to Minor Exception Permit 23-461, pursuant to Zoning Ordinance Section 17.12.180, Applicant Requests to Change Approved Applications. Planning  
\*\*

#### 4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

- 4.1 Working drawings consisting of the proposed work under Development Permit 23-459, in conjunction with any other improvement, shall include within the first four pages a list of all conditions of approval included in this resolution. Planning  
\*\*

- 4.15 In the event the project valuation is \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following: Public  
Works\*\*

- A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach, utilities, and trees to meet current City standards (2% cross fall) when adequate right-of-way exists, unless a waiver is applied for and approved by the City Manager.
- B. Only one curbcut shall be authorized to serve the on-site parking and accessed from a single driveway. The curbcut shall be narrowed to the minimum width necessary to serve the on-site parking, subject to the City Planner's and City Engineer's review of the final plans.
- C. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector.
- D. Improvements such as garden walls, etc. within the street right of way require the approval of an Administrative Encroachment Permit to be approved by the City Engineer prior to the issuance of building permits.

(SCMC Chapter 15.36 and Sections 12.08.010, and 12.24.050)

- 4.4 The applicant shall demonstrate to the City Planner that the project has secured approval from the California Coastal Commission. Planning  
\*\*
- 4.45 The applicant shall submit payment for all required planning fees prior to final approval. Planning  
\*\*

- 4.5 The applicant shall submit, and must obtain approval from the City’s Consulting Landscape Architect, a detailed landscape and irrigation plan incorporating drought tolerant plants, prepared by a registered landscape architect, and in compliance with all pertinent requirements. (SCMC Section 17.68.020) Planning  
\*\*

**7.0 OPERATIONAL CONDITIONS OF APPROVAL**

- 7.17 The Applicant (including any property owners and managers, and their designees) shall use her/his best judgment and best management practices to ensure residential activities on the premises will be conducted in a manner that will not be disruptive to neighbors. The property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, *“It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval,”* and any subsequent revision of this section of the code. Code  
Comp  
\*\*

- 7.19 The Applicant (including any property owners, managers, and/or their lessees) understands and agrees that no vehicle parking or any other obstruction is permitted over any current or future sidewalk improvements within the public right-of-way or a future private sidewalk easement. The Orange County Sheriff’s Department may issue a citation in the event of non-compliance with this Condition of Approval. Planning  
\*\*

\* Denotes a modified Standard Condition of Approval

\*\* Denotes a project-specific Condition of Approval



# Attachment 2: Location Map





**PRIMARY RECORD**

Other Listings

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

Resource Name or #: 319 W AVENIDA GAVIOTA

**P1. Other Identifier:**

**P2. Location:**  Not for Publication  Unrestricted a. County Orange  
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 319 W Avendia Gaviota City San Clemente Zip 92672

d. UTM: Zone; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 692-281-12

**P3a. Description:**

The property contains a one-story single family residence with a irregular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a low-pitch front-gable roof with clay tiles and exposed rafter tails. The exterior walls are clad with smooth stucco. The primary (west) facade is approached via a stairwell alongside the garage leading to the main entrance. The slightly recessed entry includes the original door. A stucco chimney punctuates the north elevation. The fenestration consists of original wood casement and fixed windows throughout the residence. The residence is in good condition. Its integrity is good.

**P3b. Resources Attributes:** 02 Single Family Property

**P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other



**P5b. Description of Photo:**

West elevation, east view. May 2006.

**P6. Date Constructed/Sources:**

Historic  Both  
 Prehistoric

1929 (E) Tax Assessor

**P7. Owner and Address:**

Donoho, Bruce Alan  
319 W Avendia Gaviota

**P8. Recorded by:**

Historic Resources Group, 1728  
Whitley Avenue, Hollywood, CA  
90028

**P9. Date Recorded:** 9/19/2006

**P10. Survey Type:**

City of San Clemente Historic  
Resources Survey Update

**P11. Report Citation:** None.

**Attachments:**  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code 3D

Resource Name or #: 319 W AVENIDA GAVIOTA

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved?  No  Yes  Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: (Unknown)

b. Builder: (Unknown)

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This one-story single family residential building was built in 1929. It is a typical example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on/addition to the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

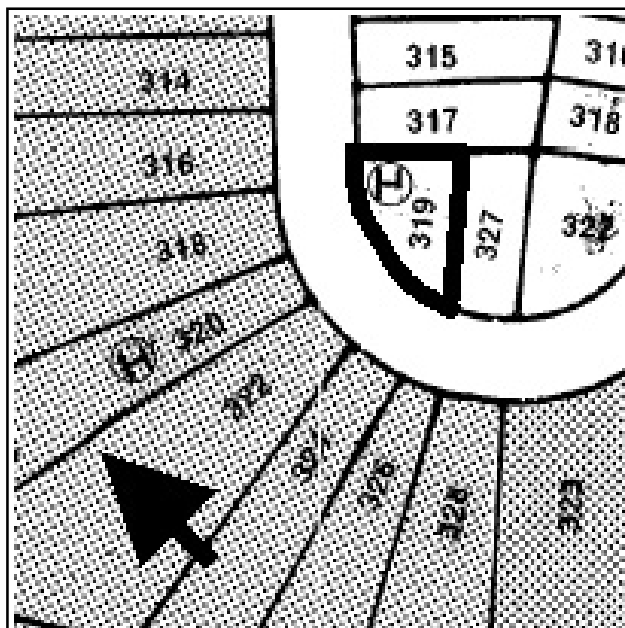
B12. References: Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/19/2006

(This space reserved for official comments.)



**CONTINUATION SHEET**

Page 3 of 3

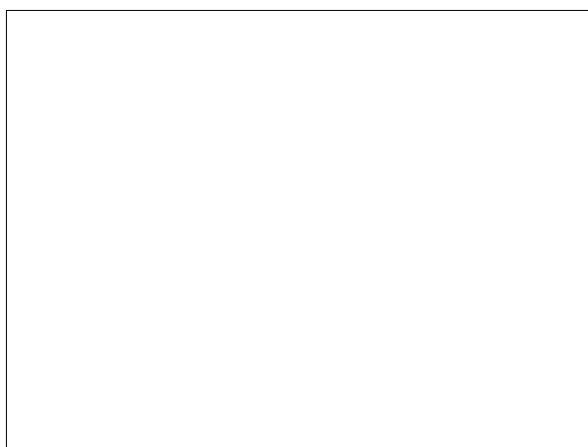
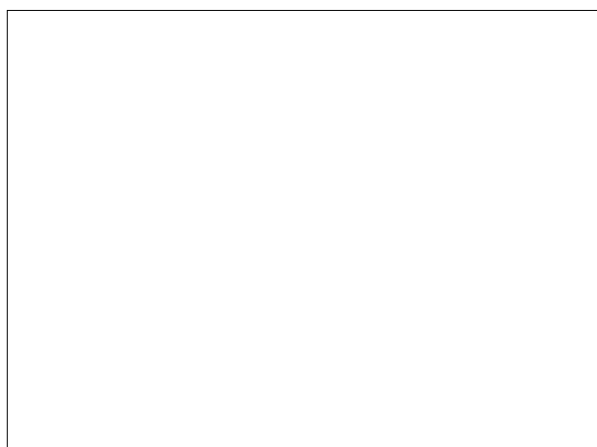
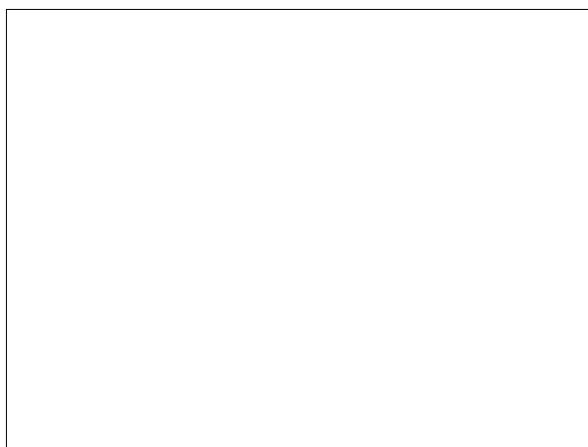
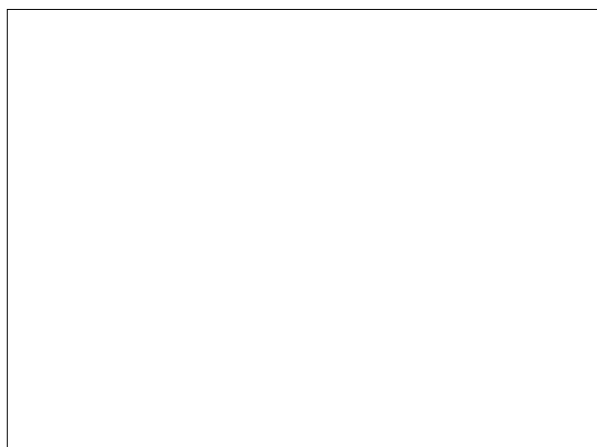
Resource Name or #: 319 W AVENIDA GAVIOTA

Recorded by: Historic Resources Group

Date: 9/19/2006

Continuation  Update

**Photographs of the Subject Property:**



# Attachment 4: Public comment and photos

**From:** Jim Benton

**Sent:** Tuesday, January 9, 2024 10:55 AM

**To:** Rehm, Zach

**Subject:** Re: Project #PHP23-460

Hi Zach,

Can you provide me with planning's staff report on this project?

I'm also attaching 2 more photos that show how the Davis addition will affect our views from our dining and family rooms.

Thanks,

Jim

On Tue, Jan 2, 2024 at 10:52 AM Jim Benton wrote:

Called 361-6190 but it went to voicemail and the voicemail is full.

In any event the 2nd floor of the new garage is going to take away most of our ocean view. I've included a before/after photo from our front deck.

Is the "minor encroachment into the front setback" that's mentioned in the public hearing where the new garage is?

If we have any say in the matter we would certainly ask that the new garage be one story only. As the 2nd story will ruin our ocean view. We were very appreciative of the new residence at 318 Gaviota, the Giobbi residence, that they went to great lengths to keep our ocean view intact.

Thanks,

Jim

315 W Avenida Gaviota

949-292-2802

# Attachment 4: Public comment and photos





Attachment 4: Public comment and photos





Attachment 4: Public comment and photos





# Attachment 5: Photos of Site and Neighboring Properties





**SCOPE OF WORK:**

All Type vb construction, R3/U occupancy, wood frame and stucco wall framing on concrete floor slabs. FIRE SPRINKLERS REQUIRED

PORTABLE TOILET AND HANDWASH STATION PER OSHA REGULATIONS ARE TO BE PROVIDED. OR: FACILITY IN RESIDENCE MAY BE UTILIZED.

HOUSE NUMBER SHALL BE MOUNTED TO THE HOUSE AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRASTING COLOR, 4" TALL, MIN.

"I have verified the subject property's grant deed and title report and have found no easements in the area of construction. I acknowledge that I am responsible and accountable for not constructing in any easements".

Signed: Chris Foerstel

**SCOPE OF WORK :**

**LOWER LEVEL / FIRST FLOOR :**

1. REMODEL GAME ROOM AREA
2. REMODEL LAUNDRY
3. REMODEL BA. 2
4. REMOVE INTERIOR STAIRWAY
5. REMODEL / ADD TO MASTER BEDROOM
6. ADD "OUTDOOR ROOM" UNDER NEW GARAGE

**2ND LEVEL / GREAT ROOM :**

TO BECOME MAIN LEVEL ( BY REMOVING CRAWLSPACE IN FLOOR)

**MAIN LEVEL / SECOND FLOOR :**

1. REMOVE CRAWLSPACE TO CREATE ONE LEVEL
2. COMPLETE KITCHEN REMODEL / RELOCATION
3. ADD NEW INTERIOR STAIR
4. REPLACE EXISTING DECK ( like for like)
5. REMODEL / ENLARGE DECK @ FRONT ENTRY
6. REMODEL ACCESS TO GARAGE
7. RELOCATE GARAGE DOORS
8. ADD ATTACHED 1 CAR GARAGE

**UPPER LEVEL / THIRD FLOOR**

1. REMODEL BED 2 AND BED 3
2. REMODEL DECK AT FRONT
3. ADD BED 5 OVER NEW GARAGE

**DEMOLITION TABULATION:**

**EXISTING FIRST FLOOR :**

LINEAL FEET : .....214 L.F.  
DEMOLITION : .....50 L.F. = 23.3%

**EXISTING SECOND FLOOR :**

LINEAL FEET : .....98 L.F.  
DEMOLITION : .....12 L.F. = 12.2%

**EXISTING THIRD FLOOR :**

LINEAL FEET : .....123 L.F.  
DEMOLITION : .....24 L.F. = 19.5%

**EXISTING FOURTH FLOOR :**

LINEAL FEET : .....107 L.F.  
DEMOLITION : .....16 L.F. = 15%

**EXISTING GARAGE :**

LINEAL FEET : .....95 L.F.  
DEMOLITION : .....17 L.F. = 18%

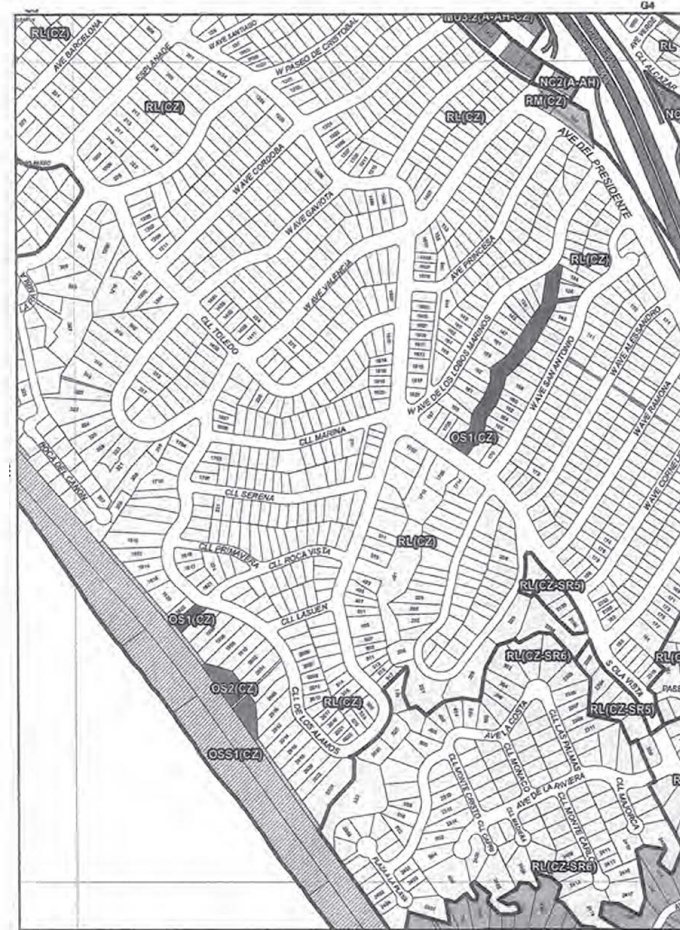
**EXISTING WALL TOTALS :**

LINEAL FEET : .....637 L.F.  
DEMOLITION : .....119 L.F. = 19%

**ROOF DEMOLITION :**

EXISTING ROOF AREA : .....3,216 SQ.FT.  
ROOF DEMOLITION : .....858 SQ.FT. = 26.6%

# Attachment 6: Project Plans



VICINITY MAP / ZONING MAP



AERIAL

**PROJECT DESCRIPTION AND TABULATION :**

**LEGAL DESCRIPTION :**

LOT (s): 7 BLK : 18 TRACT : 822  
A.P.N. : 692 - 282 - 10

**PROJECT ADDRESS :**

316 w. Ave. Gaviota  
San Clemente Ca., 92672

**PREPARED BY:**

**jonsson and foerstel architects**

CONTACT : Chris Foerstel  
946 CALLE AMANECER, UNIT C, SAN CLEMENTE, CA. 92673  
949 - 228 - 4810  
jonssanandfoerstel@gmail.com

**SPECIAL INSPECTIONS :**

City registered inspector:  
rick paquette , 949-291-3912  
www.dcpulvinspector.com

**OWNER :**

**The Davis Family**, Lisa and Brent

316 W. Gaviota  
San Clemente Ca., 92672

[Brentdavis2020@gmail.com](mailto:Brentdavis2020@gmail.com)

909-260-3382

**BUILDER : t.b.d.**

**TABULATION**

**SITE**..... 15,925 sq.ft.

**Existing tabulation:**

(E) 1<sup>st</sup> floor.....1,386 sq.ft.  
(E) 2<sup>nd</sup> floor deck.....200.12 sq.ft.  
(E) 3<sup>rd</sup> floor.....818 sq.ft.  
(E) 4<sup>th</sup> floor.....842 sq.ft.  
(E) 4<sup>th</sup> floor deck.....88 sq.ft.  
(E) Garage (attached).....750sq.ft.  
**HABITABLE SPACE**.....3,796 sq.ft.

**REMODEL / ADDITION :**

**FIRST FLOOR :**

1. REMODEL : .....1,386 sq.ft.  
2. ADDITION : .....635 sq.ft.

**SECOND FLOOR :**

1. (E) GARAGE (attached)REMODEL : .....750 sq.ft.  
2. GARAGE ADDITION (attached) : .....420 sq.ft.  
3. REMODEL LIVING AREAS : .....1,568 sq.ft.

**THIRD FLOOR :**

1. REMODEL 2 BEDROOMS : .....382 sq.ft.  
2. ADD ONE BEDROOM : .....402 sq.ft.

**DECKS :**

1. SECOND FLOOR DECK REMODEL : .....100 sq.ft.  
2. ENTRY DECK REMODEL/ ADD : .....150 sq.ft.  
3. THIRD FLOOR DECK ADD/REMODEL : .....115 sq.ft.

**HABITABLE SPACE :**

BUILDING FOOTPRINT : .....4,341 sq.ft.  
LOT COVERAGE : .....21.2%

**REMODEL TOTAL :** .....2,768 sq.ft.

**ADDITION TOTAL :** .....1,722 sq.ft.

**CODE DATA :**

2022 CALIFORNIA BUILDING CODE ( CBC )  
2022 CALIFORNIA PLUMBING CODE (CPC)  
2022 CALIFORNIA MECHANICAL CODE (CMC)  
2022 CALIFORNIA ELECTRICAL CODE (CEC).  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA FIRE CODE (CFC)  
2022 CALIFORNIA GREEN BUILDING STANDARDS

CBC, R301.2.1,R301.2.2 , ASCE 7-16

AND ALL LOCAL / MUNICIPAL ORDINANCES.

REVISIONS	BY

**jonsson and foerstel architects**  
 940 calle amanecer, unit c, san clemente, ca.  
 jonssanandfoerstel@gmail.com 949-228-4810

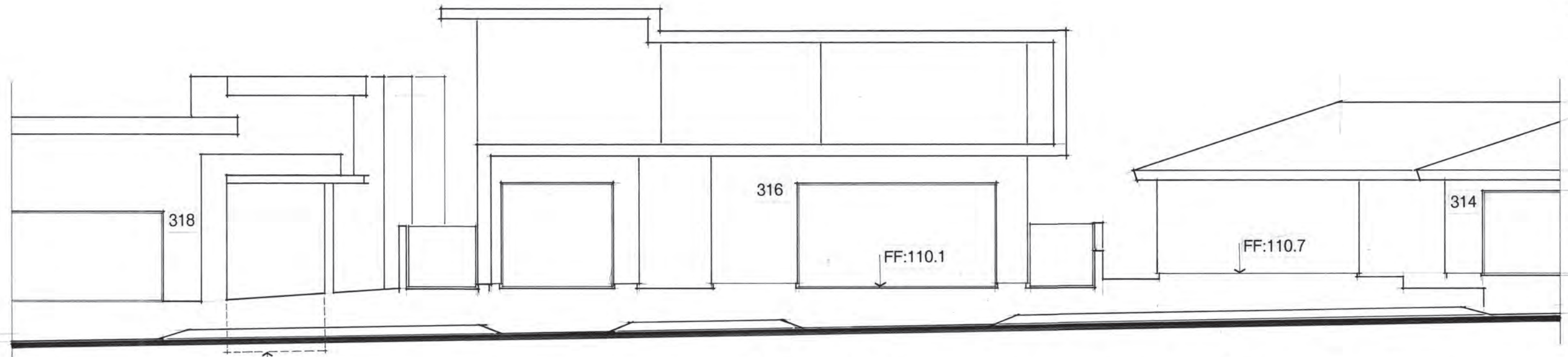
**Davis remodel / addition**  
 316 W. Ave. Gaviota , San Clemente Ca. 92672

DRAWN: CF  
 CHECKED: CF  
 DATE: 10/20  
 SCALE: AS NOTED  
 JOB NO: 24-123  
 SHEET: **A1**







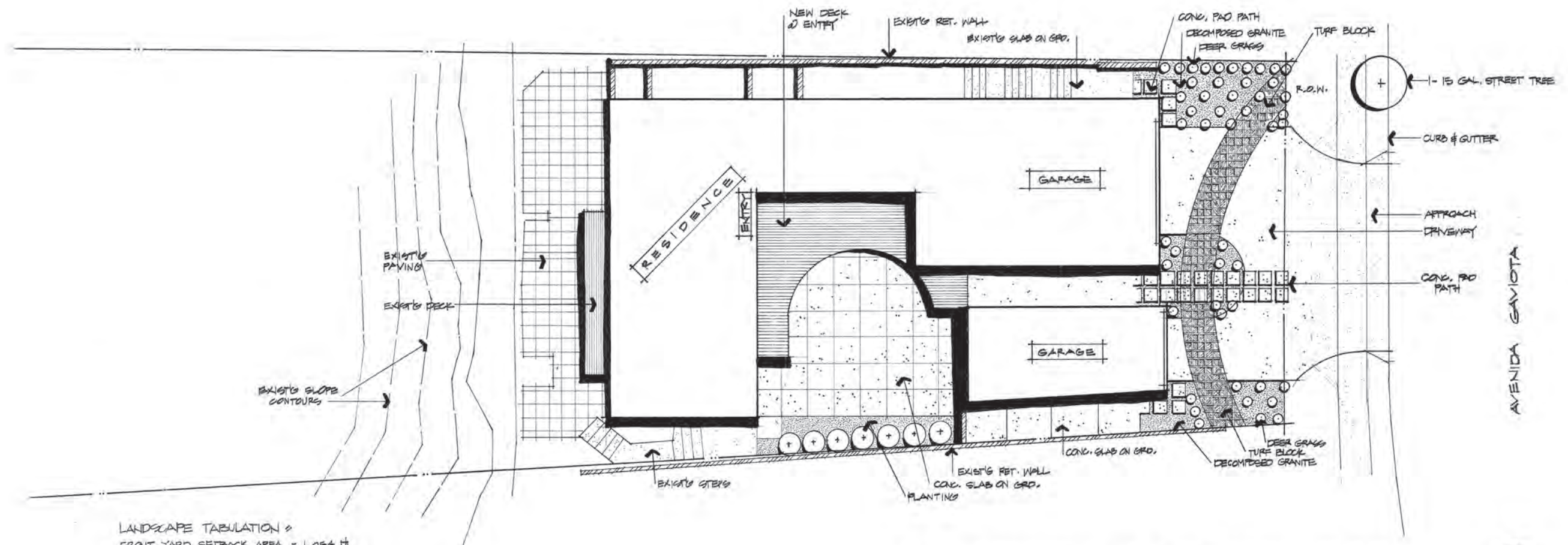


# ADJACENT RESIDENCE EXHIBIT

PLAN PREPARED BY:  
CHRIS FORSTEL  
940 CALLE AMARCEER J SAN CLEMENTE CA,  
JENKINSANDFORSTEL.COM

DAVIS RESIDENCE  
910 N. AVENIDA GAVIOTA, SAN CLEMENTE CALIFORNIA 92072

PLAN PREPARED BY:  
 CHRIS FOERSTEL  
 940 CALLE AMANECER, J SAN CLEMENTE CA,  
 JUANMANFOERSTEL@GMAIL.COM



LANDSCAPE TABULATION

FRONT YARD SETBACK AREA = 1,054 #	
LANDSCAPE PROVIDED:	
2 NORTH = 160 #	
2 SOUTH = 105 #	
2 CENTERS = 125 #	
OUT-IN TURF BLOCK	
THRU DRIVEWAY = 135 #	TOTAL: 525 #
1,054 x .50 = 527 #	REQD - 150.09% PROVIDED
MWELD =	
NEW = 225.00 #	REHABILITATED = 298 #

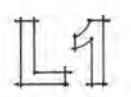
# LANDSCAPE PLAN

PRELIMINARY / CONCEPTUAL ONLY

1/8" = 1'-0"



DAVIS RESIDENCE  
 510 N. AVENIDA GAVIOTA, SAN CLEMENTE CALIFORNIA 92672

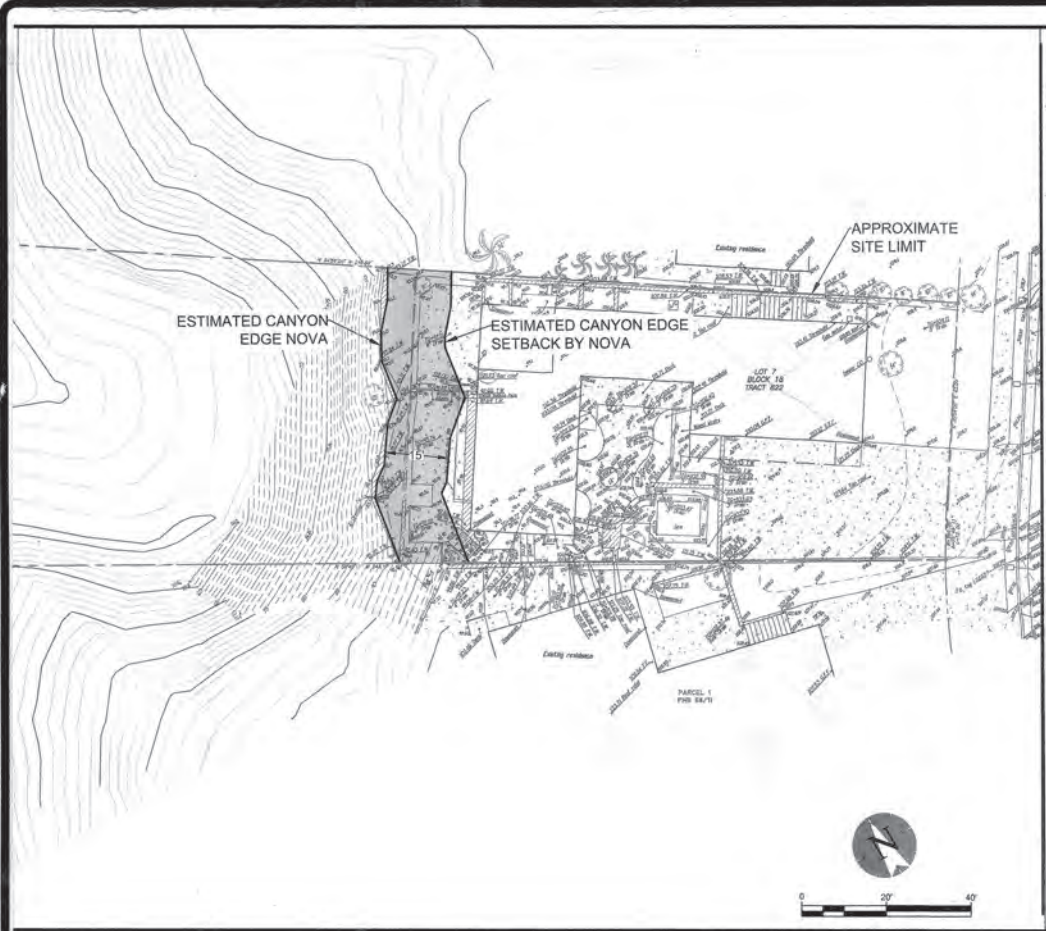








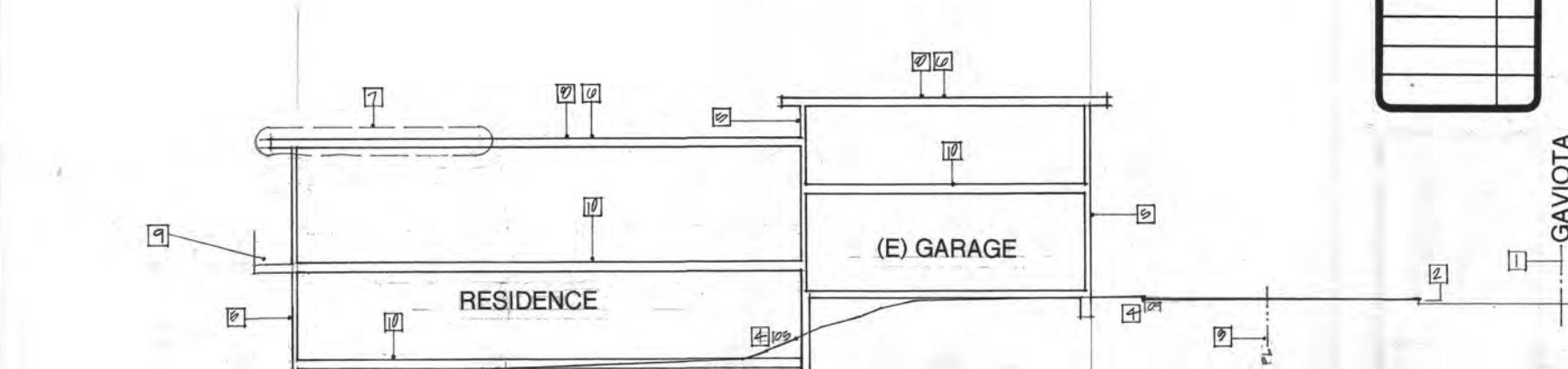
REVISIONS	BY



**NOVA**  
PROFESSIONAL MATERIALS SPECIAL INSPECTION  
 844 Calle Arroyo, Suite F  
 San Clemente, CA 92672  
 P: 949.366.7710  
 4373 Vesperidge Avenue, Suite B  
 San Diego, CA 92123  
 P: 619.292.7975  
 www.usb-nova.com

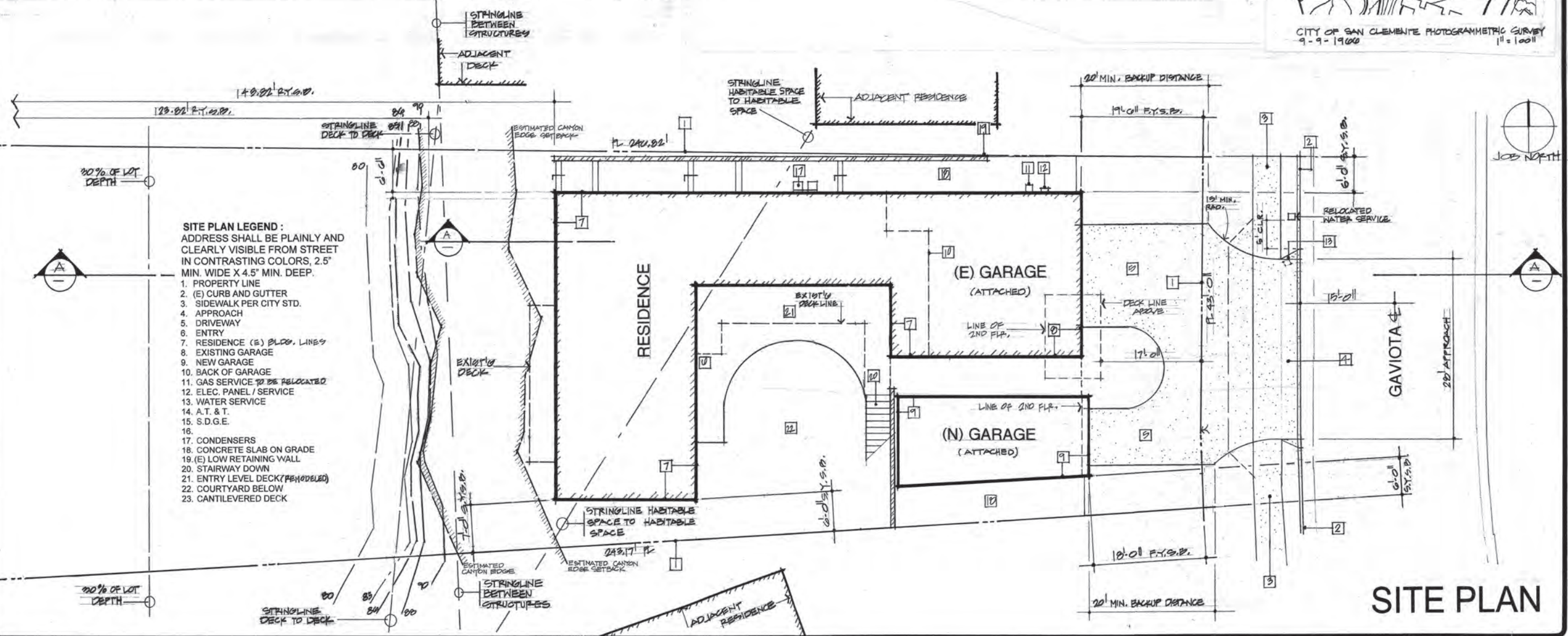
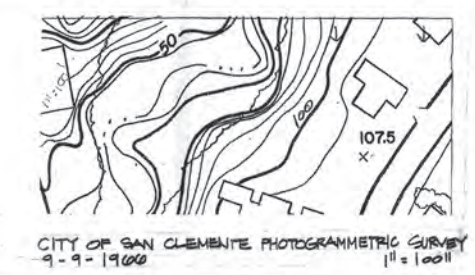
**PROPOSED IMPROVEMENTS**  
 316 W AVENIDA GAVIOTA  
 SAN CLEMENTE, CALIFORNIA

PROJECT NO. 3021970  
 DATE APRIL 2022  
 DRAWN BY: CHU  
 REVIEWED BY: CHU  
 SCALE: 1"=20'  
 DRAWING TITLE:  
 CANYON EDGE SETBACK EXHIBIT  
 PLATE NO. 1 OF 1



- SITE SECTION DRAWING LEGEND :**
1. C.L. OF GAVIOTA
  2. CURB AND GUTTER
  3. PROPERTY LINE
  4. (E) GRADE
  5. (E) BLDG. LINE
  6. (E) ROOF HEIGHT
  7. NEW RAISED ROOF HEIGHT
  8. CLASS A ROOFING
  9. REM. & REP. (E) DECK, LIKE FOR LIKE
  10. FLOOR SYSTEM
  11. EXTERIOR SLAB / FLATWORK

**SITE SECTION A**



- SITE PLAN LEGEND :**  
 ADDRESS SHALL BE PLAINLY AND CLEARLY VISIBLE FROM STREET IN CONTRASTING COLORS, 2.5" MIN. WIDE X 4.5" MIN. DEEP.
1. PROPERTY LINE
  2. (E) CURB AND GUTTER
  3. SIDEWALK PER CITY STD.
  4. APPROACH
  5. DRIVEWAY
  6. ENTRY
  7. RESIDENCE (E) BLDG. LINES
  8. EXISTING GARAGE
  9. NEW GARAGE
  10. BACK OF GARAGE
  11. GAS SERVICE TO BE RELOCATED
  12. ELEC. PANEL / SERVICE
  13. WATER SERVICE
  14. A.T. & T.
  15. S.D.G.E.
  - 16.
  17. CONDENSERS
  18. CONCRETE SLAB ON GRADE
  19. (E) LOW RETAINING WALL
  20. STAIRWAY DOWN
  21. ENTRY LEVEL DECK (REMODELED)
  22. COURTYARD BELOW
  23. CANTILEVERED DECK

**SITE PLAN**

**Davis remodel / addition**  
 316 W. Ave. Gaviota, San Clemente Ca. 92672

DRAWN BY: CHU  
 CHECKED: CHU  
 DATE: 10/20  
 SCALE: 1/8" = 1'-0"  
 JOB NO.: 20-180  
 SHEET: **A6**  
 OF SHEETS

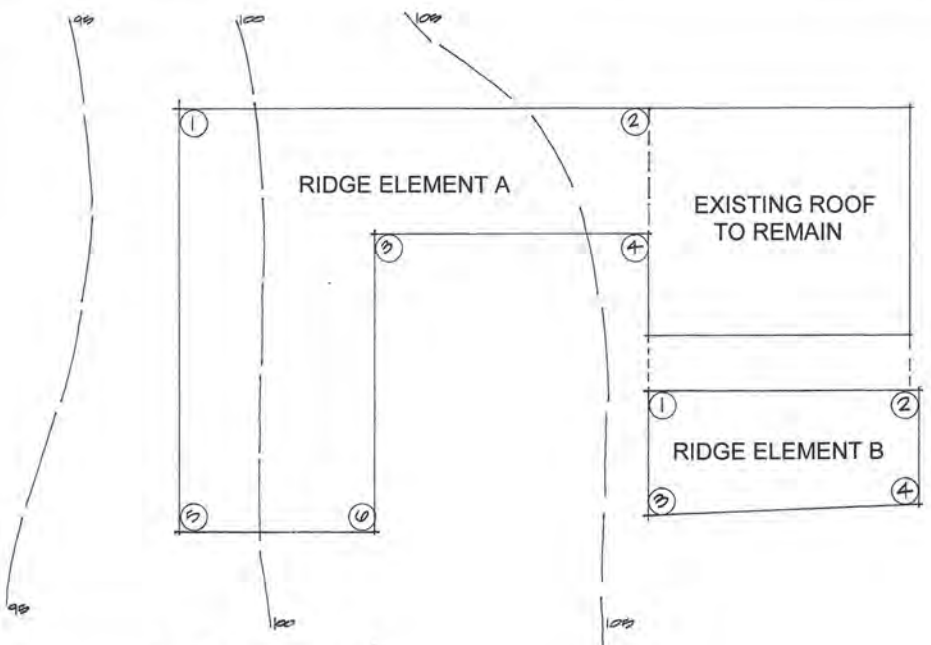


REVISIONS	BY

**jonsson and foerstel architects**  
 940 calle amanecer, unit 1,  
 san clemente ca. 92673 949-228-4810

**Davis remodel / addition**  
 316 W. Ave. Gaviota, San Clemente Ca. 92672

DRAWN  
 CHECKED  
 DATE 1/22  
 SCALE 1/8" = 1'-0"  
 JOB NO. 21-122  
 SHEET  
**A7**  
 OF SHEETS



**RIDGE A = 24.39'**

RIDGE ELEV.	ORIG. GRD.	
① 120.5	100.3	= 20.2
② 120.5	100.57	= 19.93
③ 120.5	102.4	= 23.1
④ 120.5	102.4	= 23.1
⑤ 120.5	98.75	= 27.75
⑥ 120.5	101.0	= 24.7
		<u>146.38</u>

146.38 / 6 = 24.39



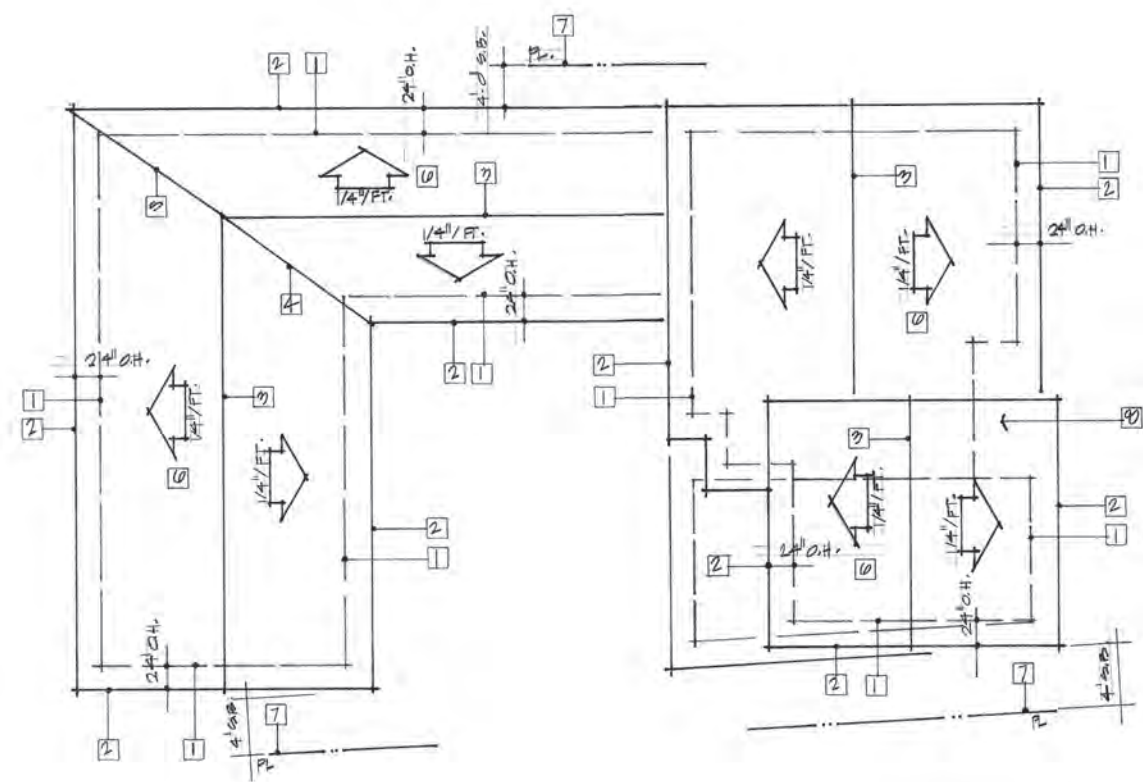
CITY OF SAN CLEMENTE PHOTOGRAMMETRIC SURVEY  
 9-9-1966

**RIDGE B = 22.2'**

RIDGE ELEV.	ORIG. GRD.	
① 132	109.9	= 22.1
② 132	109.89	= 22.11
③ 132	109.66	= 22.34
④ 132	109.37	= 23.4
		<u>89.18</u>

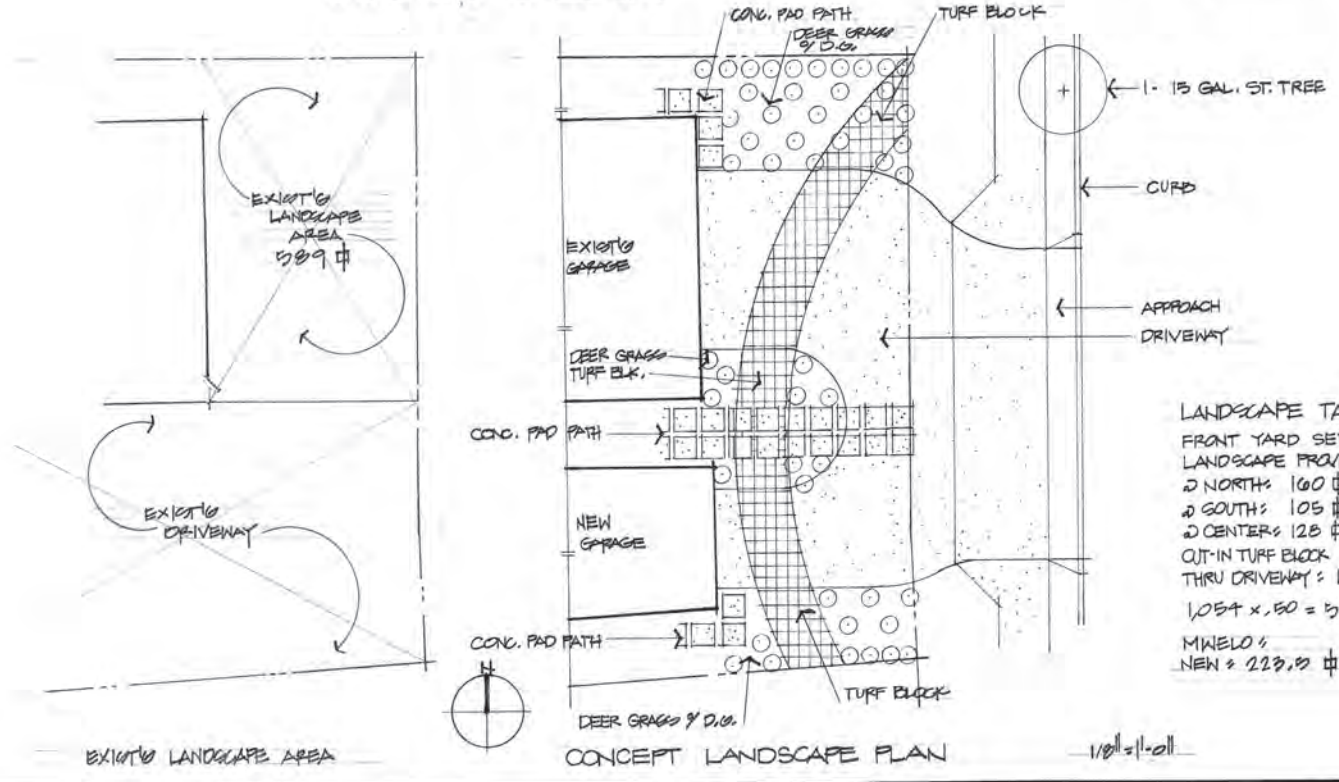
89.18 / 4 = 22.2

**HEIGHT ANALYSIS**



- ROOF PLAN LEGEND:**  
 NEW ROOF TILE USE TO BE BORAL, ICC-ESR-1017
1. LINE OF RESIDENCE
  2. LINE OF OVERHANG
  3. RIDGE LINE
  4. VALLEY
  5. HIP
  6. NEW ROOFING: FIRESTONE TPO
  7. PROPERTY LINE
  8. DECKS:  
 WESTCOAT WATERPROOF MEMBRANE  
 WALKING DECK SURFACE  
 ICC-ESR-2201  
 CLASS A

**ROOF PLAN**

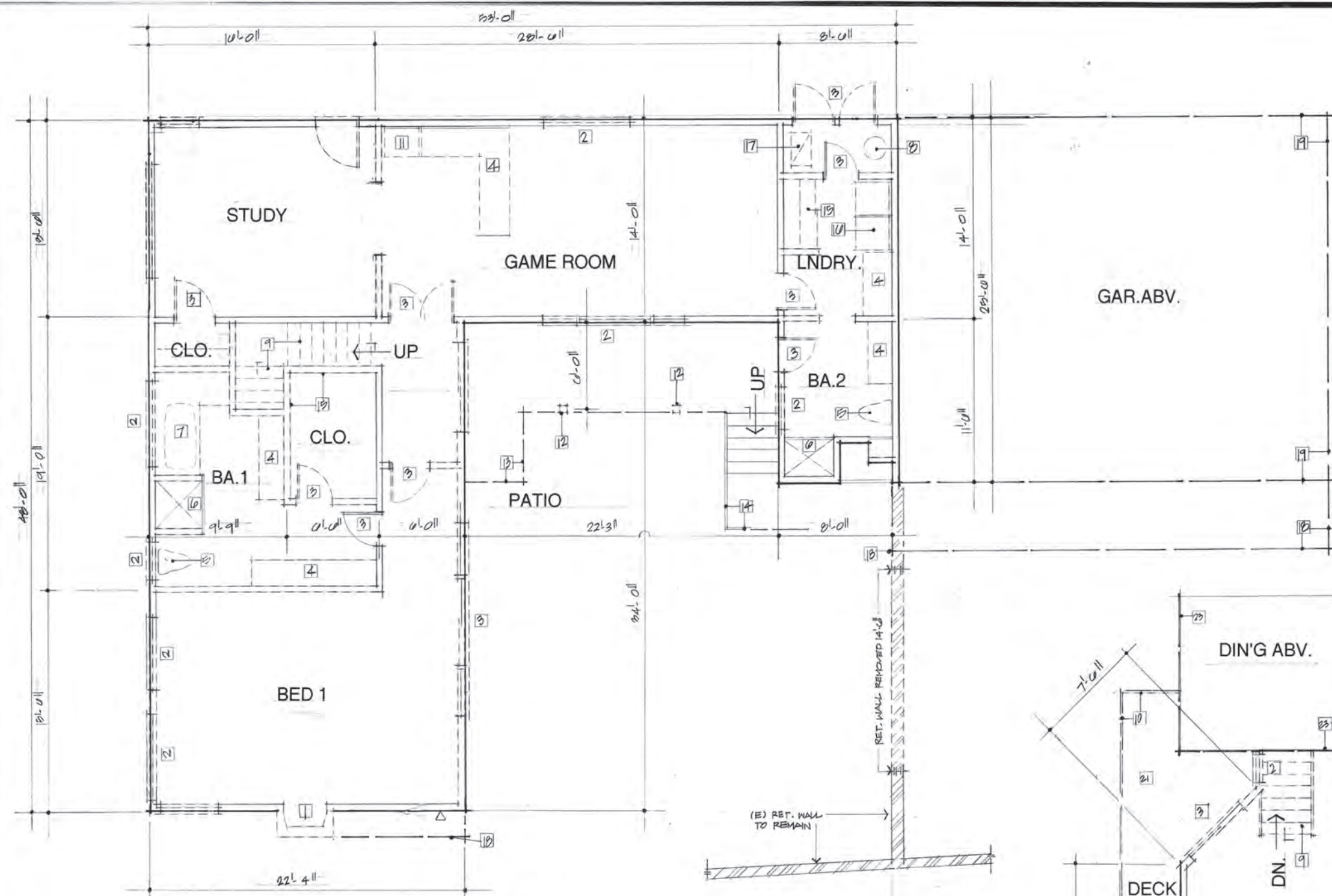


**LANDSCAPE TABULATION**

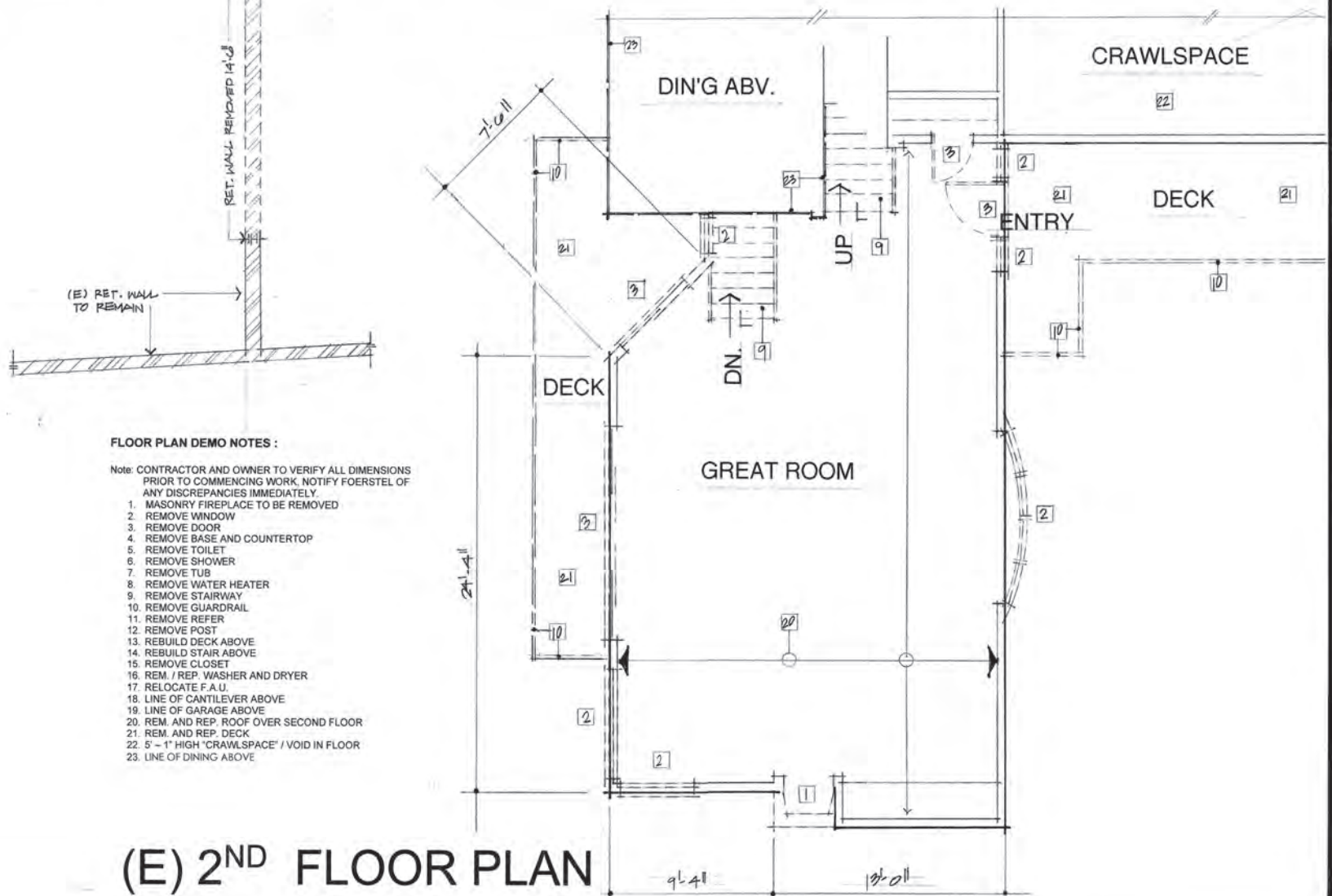
LANDSCAPE PROVIDED:	REQUIREMENT
2 NORTH: 160 #	1,054 #
2 SOUTH: 105 #	
2 CENTERS: 128 #	
QTY IN TURF BLOCK THRU DRIVEWAY: 135 #	TOTAL: 528 #
1,054 x .50 = 527 #	REQ'D - 50.09% PROVIDED
MIXED:	
NEW: 223.8 #	REHABILITATED: 298 #

CONCEPT LANDSCAPE PLAN 1/8" = 1'-0"





(E) FIRST FLOOR PLAN



(E) 2<sup>ND</sup> FLOOR PLAN

FLOOR PLAN DEMO NOTES :

Note: CONTRACTOR AND OWNER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK. NOTIFY FOERSTEL OF ANY DISCREPANCIES IMMEDIATELY.

1. MASONRY FIREPLACE TO BE REMOVED
2. REMOVE WINDOW
3. REMOVE DOOR
4. REMOVE BASE AND COUNTERTOP
5. REMOVE TOILET
6. REMOVE SHOWER
7. REMOVE TUB
8. REMOVE WATER HEATER
9. REMOVE STAIRWAY
10. REMOVE GUARDRAIL
11. REMOVE REFER
12. REMOVE POST
13. REBUILD DECK ABOVE
14. REBUILD STAIR ABOVE
15. REMOVE CLOSET
16. REM. / REP. WASHER AND DRYER
17. RELOCATE F.A.U.
18. LINE OF CANTILEVER ABOVE
19. LINE OF GARAGE ABOVE
20. REM. AND REP. ROOF OVER SECOND FLOOR
21. REM. AND REP. DECK
22. 5' - 1" HIGH 'CRAWLSPACE' / VOID IN FLOOR
23. LINE OF DINING ABOVE

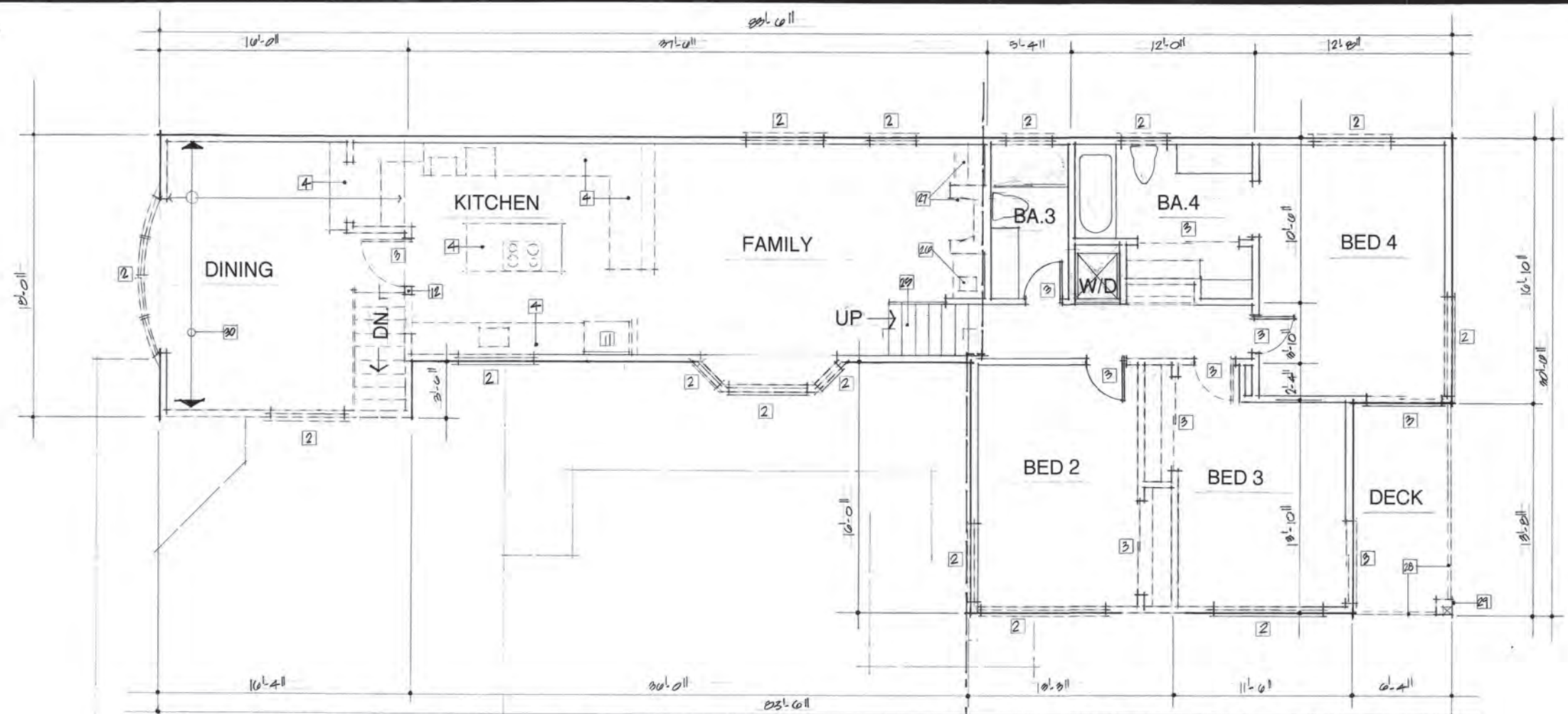
REVISIONS	BY

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 jonsonandfoerstel@gmail.com 949-228-4810

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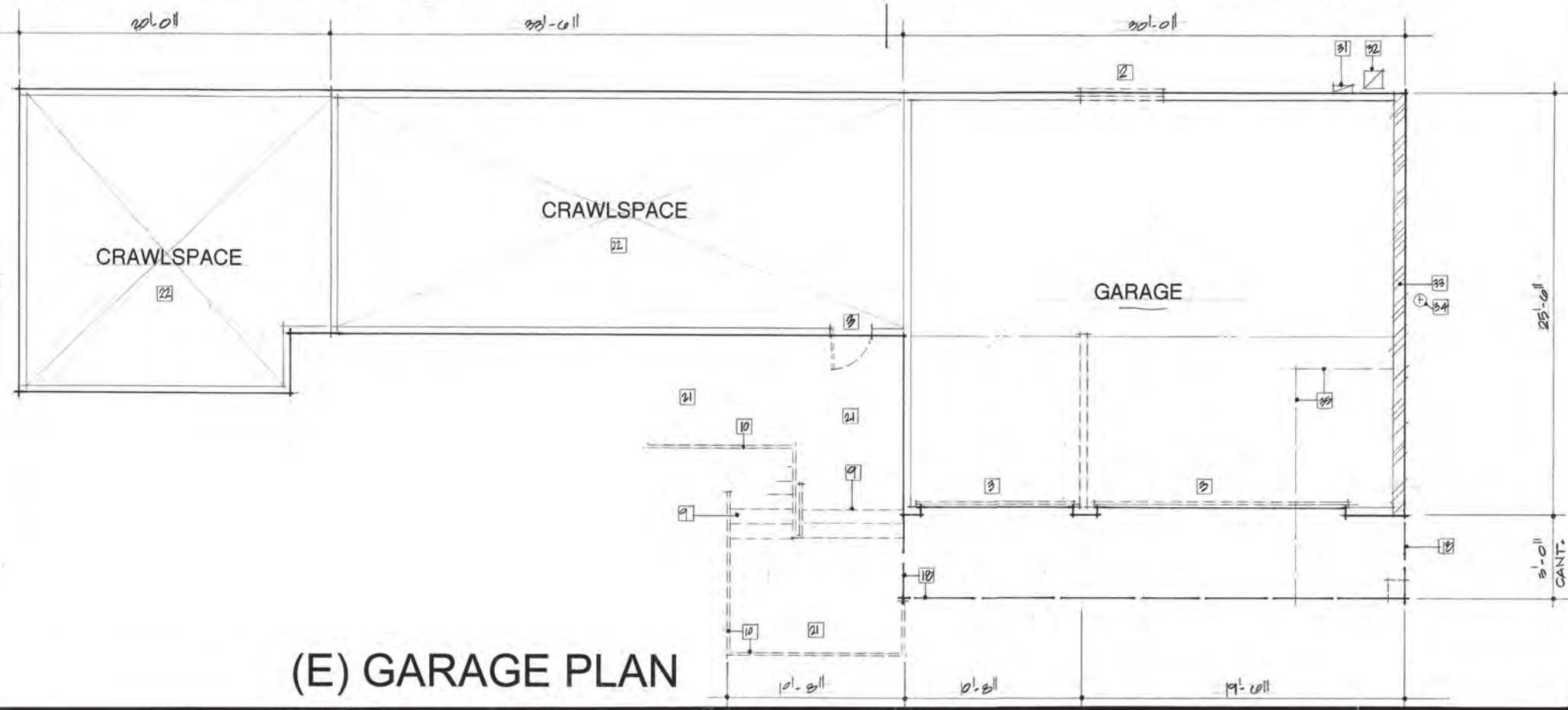
DRAWN **CF**  
 CHECKED  
 DATE 10/22  
 SCALE 1/4" = 1'-0"  
 JOB NO. 20-123  
 SHEET  
**A8**  
 OF SHEETS





(E) 3<sup>RD</sup> FLOOR PLAN

(E) 4<sup>TH</sup> FLOOR PLAN



(E) GARAGE PLAN

- FLOOR PLAN DEMO NOTES :**
- Note: CONTRACTOR AND OWNER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK. NOTIFY FOERSTEL OF ANY DISCREPANCIES IMMEDIATELY.
1. MASONRY FIREPLACE TO BE REMOVED
  2. REMOVE WINDOW
  3. REMOVE DOOR
  4. REMOVE BASE AND COUNTERTOP
  5. REMOVE TOILET
  6. REMOVE SHOWER
  7. REMOVE TUB
  8. REMOVE WATER HEATER
  9. REMOVE STAIRWAY
  10. REMOVE GUARDRAIL
  11. REMOVE REFER
  12. REMOVE POST
  13. REBUILD DECK ABOVE
  14. REBUILD STAIR ABOVE
  15. REMOVE CLOSET
  16. REM. / REP. WASHER AND DRYER
  17. RELOCATE F.A.U.
  18. LINE OF CANTILEVER ABOVE
  19. LINE OF GARAGE ABOVE
  20. REM. AND REP. ROOF OVER SECOND FLOOR
  21. REM. AND REP. DECK
  22. 5" - 1" HIGH "CRAWLSPACE" / VOID IN FLOOR
  23. LINE OF DINING ABOVE
  24. REMODEL SHOWER
  25. REMODEL STAIRWAY
  26. REMOVE BAR
  27. REMOVE METAL FIREPLACE AND CABINET
  28. REM. AND REP. GUARDRAIL
  29. REMOVE SURROUND / POST TO REMAIN
  30. LOWER ROOF AND FLOOR AT DINING
  31. (E) ELEC. PANEL
  32. (E) GAS SERVICE
  33. (E) CMU BUILDING WALL
  34. (E) SEWER CLEANOUT
  35. EXTERIOR DECK ABOVE

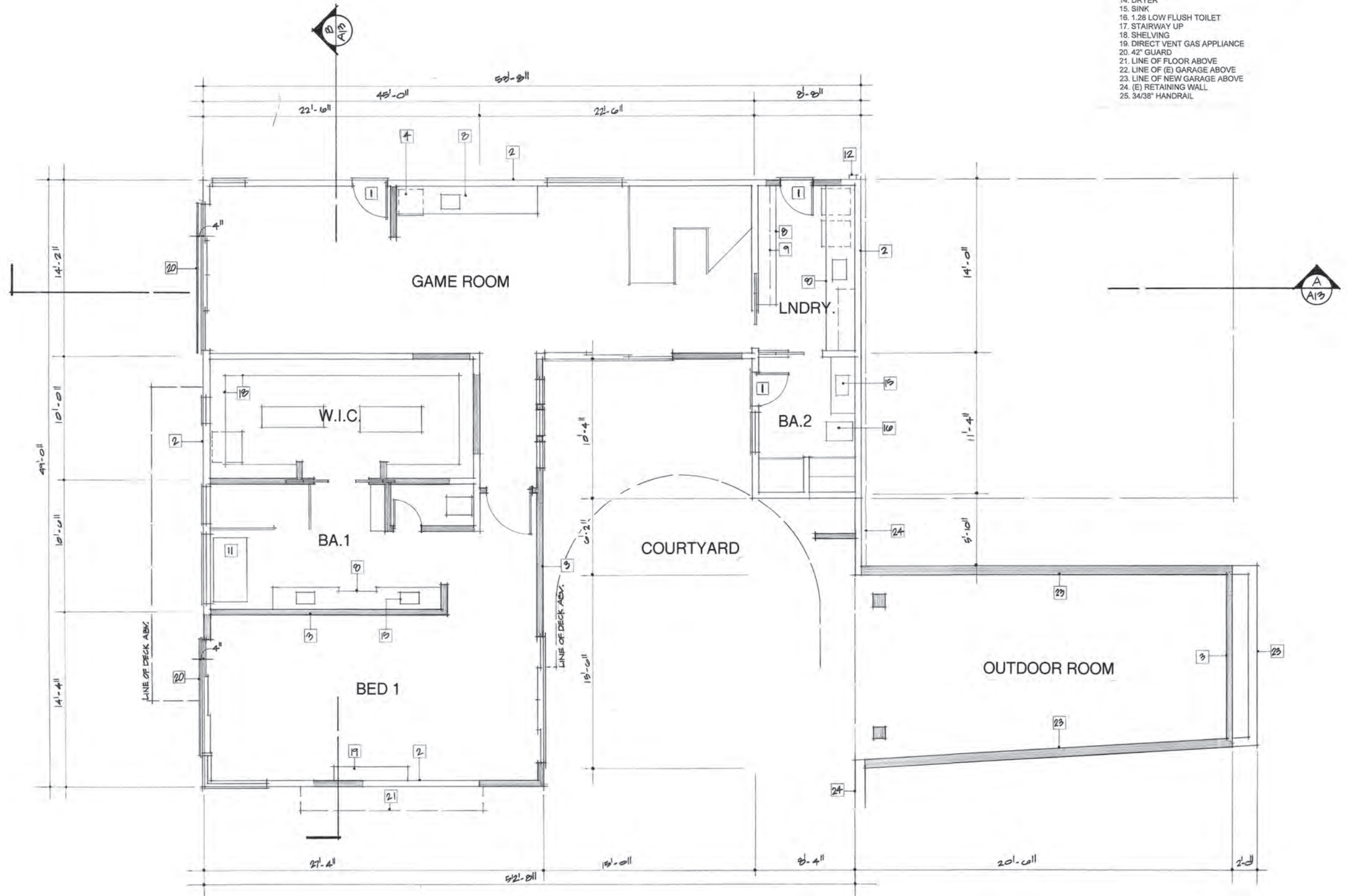
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 CHECKED BY: [Signature]  
 DATE: 10/20  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 20-123  
 SHEET: **A9**  
 OF SHEETS: [Total]





- FLOOR PLAN NOTES:**  
 Note: CONTRACTOR AND OWNER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK, NOTIFY FOERSTEL OF ANY DISCREPANCIES IMMEDIATELY.
1. ENTRY
  2. EXISTING WALL
  3. NEW WALL
  4. REFER
  5. COOKTOP
  6. HOOD
  7. SINK AND DISPOSAL
  8. BASE CABINET AND COUNTERTOP
  9. UPPER CABINETS
  10. SHOWER
  11. TUB
  12. DRYER VENT AND BACKDRAFT DAMPER
  13. WASHER
  14. DRYER
  15. SINK
  16. 1.28 LOW FLUSH TOILET
  17. STAIRWAY UP
  18. SHELIVING
  19. DIRECT VENT GAS APPLIANCE
  20. 42" GUARD
  21. LINE OF FLOOR ABOVE
  22. LINE OF (E) GARAGE ABOVE
  23. LINE OF NEW GARAGE ABOVE
  24. (E) RETAINING WALL
  25. 34/38" HANDRAIL

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SCALE 1/4" = 1'-0"
JOB NO. 20-123
SHEET <b>A10</b>
OF SHEETS

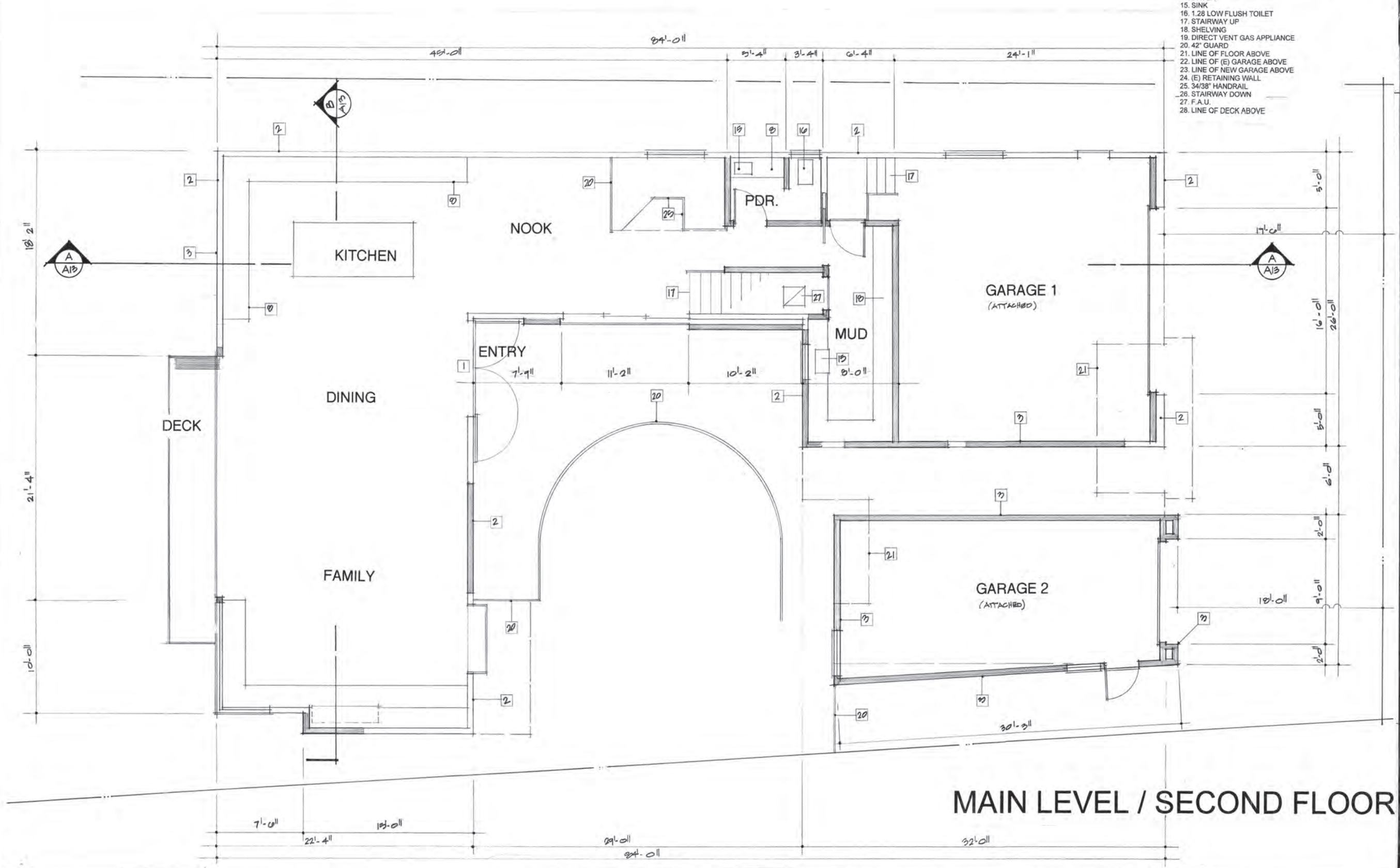
**LOWER LEVEL / 1<sup>ST</sup> FLOOR**

**FLOOR PLAN NOTES :**  
 Note: CONTRACTOR AND OWNER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK, NOTIFY FOERSTEL ANY DISCREPANCIES IMMEDIATELY.

1. ENTRY
2. EXISTING WALL
3. NEW WALL
4. REFER
5. COOKTOP
6. HOOD
7. SINK AND DISPOSAL
8. BASE CABINET AND COUNTERTOP
9. UPPER CABINETS
10. SHOWER
11. TUB
12. DRYER VENT AND BACKDRAFT DAMPER
13. WASHER
14. DRYER
15. SINK
16. 1.28 LOW FLUSH TOILET
17. STAIRWAY UP
18. SHELVING
19. DIRECT VENT GAS APPLIANCE
20. 42" GUARD
21. LINE OF FLOOR ABOVE
22. LINE OF (E) GARAGE ABOVE
23. LINE OF NEW GARAGE ABOVE
24. (E) RETAINING WALL
25. 34/38" HANDRAIL
26. STAIRWAY DOWN
27. F.A.U.
28. LINE OF DECK ABOVE

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**MAIN LEVEL / SECOND FLOOR**

DRAWN	
CHECKED	
DATE	1/21
SCALE	1/4" = 1'-0"
JOB	20-122
SHEET	A11
OF SHEETS	



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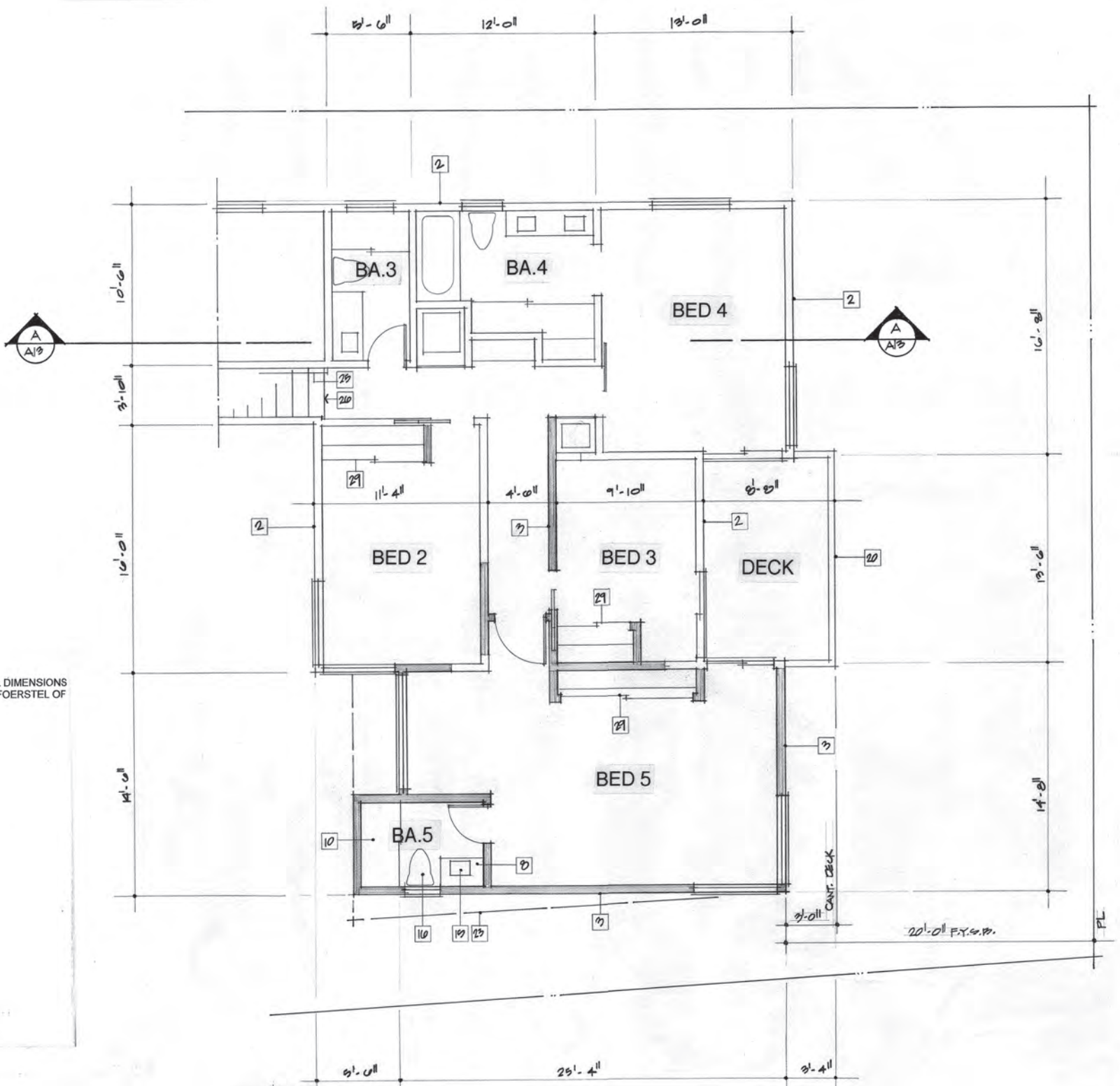
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DATE	11/21
SCALE	1/4" = 1'-0"
JOB NO.	20-178
SHEET	
<b>A12</b>	
OF	SHEETS

- FLOOR PLAN NOTES :**  
 Note: CONTRACTOR AND OWNER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK, NOTIFY FOERSTEL OF ANY DISCREPANCIES IMMEDIATELY.
1. EXISTING WALL
  2. NEW WALL
  3. NEW WALL
  4. REFER
  5. COOKTOP
  6. HOOD
  7. SINK AND DISPOSAL
  8. BASE CABINET AND COUNTERTOP
  9. UPPER CABINETS
  10. SHOWER
  11. TUB
  12. DRYER VENT AND BACKDRAFT DAMPER
  13. WASHER
  14. DRYER
  15. SINK
  16. 1.28 LOW FLUSH TOILET
  17. STAIRWAY UP
  18. SHELVING
  19. DIRECT VENT GAS APPLIANCE
  20. 42" GUARD
  21. LINE OF FLOOR ABOVE
  22. LINE OF (E) GARAGE ABOVE
  23. LINE OF NEW GARAGE BELOW
  24. (E) RETAINING WALL
  25. 34/38" HANDRAIL
  26. STAIRWAY DOWN
  27. F.A.U.
  28. LINE OF DECK ABOVE
  29. SLIDING WARDROBE DOORS



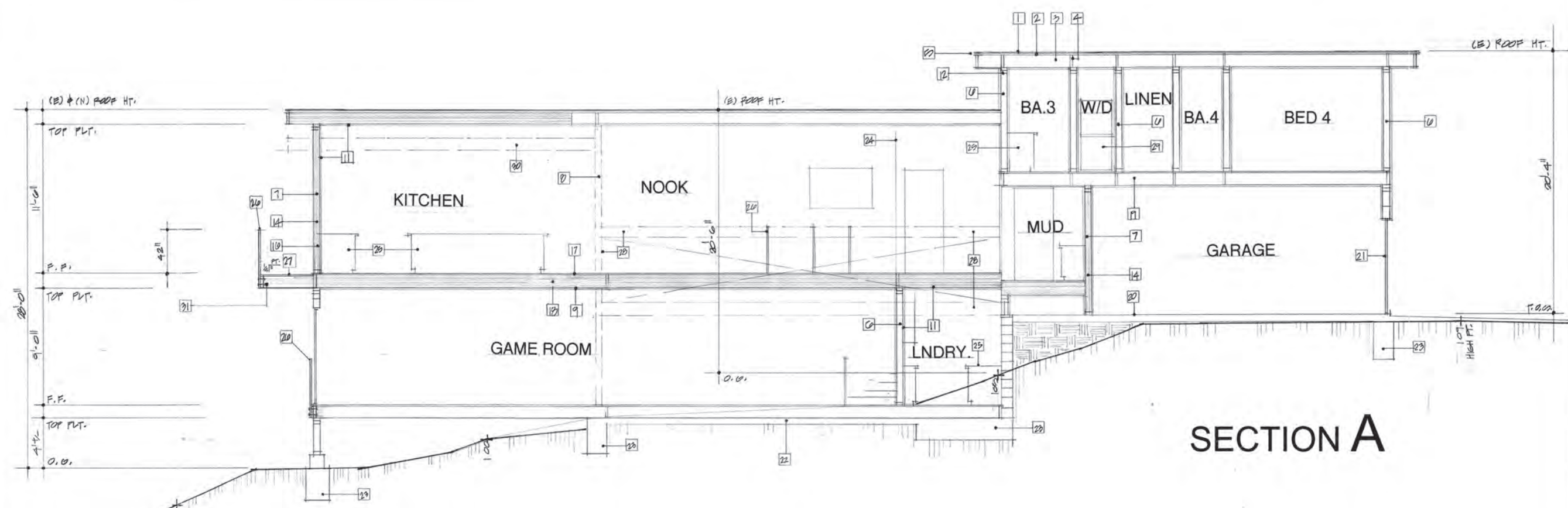
**UPPER LEVEL / THIRD FLOOR**

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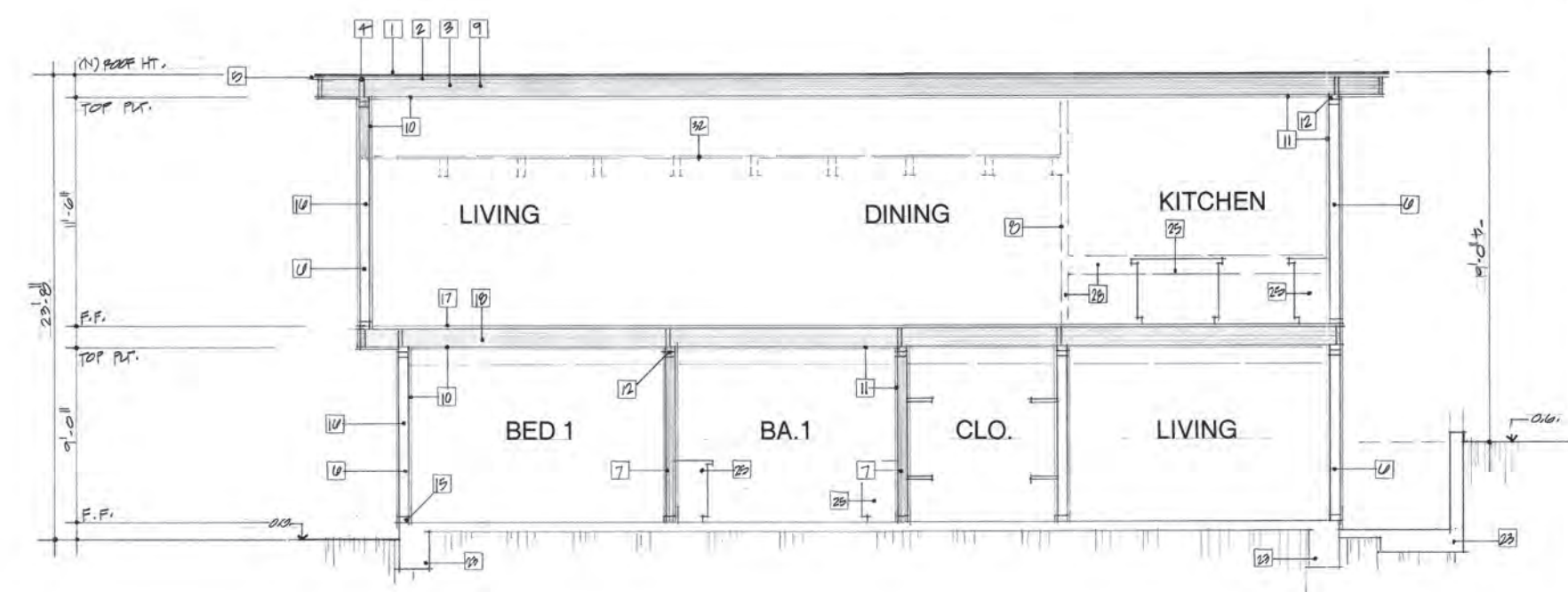
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DATE	1/22
SCALE	1/4" = 1'-0"
JOB NO.	20-123
SHEET	
<b>A13</b>	
OF	SHEETS



**SECTION A**

**SECTION DRAWING LEGEND :**

1. CLASS A ROOFING :
2. ROOF DIAPHRAM
3. ROOF RAFTER
4. SOLID BLOCKING
5. EDGE METAL
6. EXISTING WALL
7. NEW/REMODELED WALL
8. WALL REMOVED/REMODELED
9. R - 30 IN ROOF
10. 5/8" GYP. BD.
11. 5/8" TYPE X GYP. BD.
12. DBL. TOP PLT
13. 2X4 @ 16 STUD WALL FRAMING
14. PARALLAM STUD WALL FRAMING
15. P.T.D.F. SILL PLT.
16. R - 15 IN EXTERIOR WALLS
17. FLOOR DIAPHRAM
18. FLR. JST. @ 16
19. R-19 IN FLOOR ABOVE GARAGE
20. (E) GARAGE FLOOR SLAB
21. ROLL UP GARAGE DOOR
22. EXT. SLAB ON GRADE
23. (E) CONT. FOOTING
24. WALL LINE BEYOND
25. BASE CABINET AND COUNTERTOP
26. 42" HIGH GUARDRAIL
27. WESTCOAT WATERPROOF SURFACE
28. ATTIC / CRAWL SPACE TO BE REMOVED
29. STACKING WASHER/DRYER
30. ROOF JOISTS REMOVED
31. CANTILEVERED DECK (EXISTING)
32. (E) ROOF TO BE RAISED / (N) ROOF



**SECTION B**

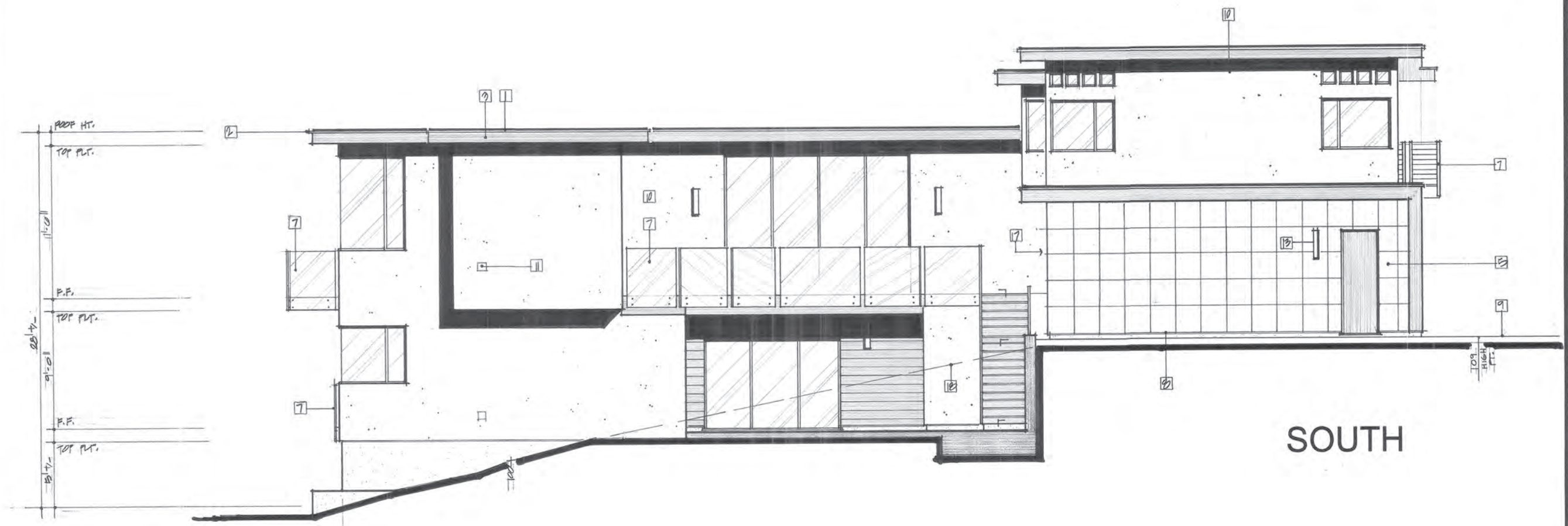


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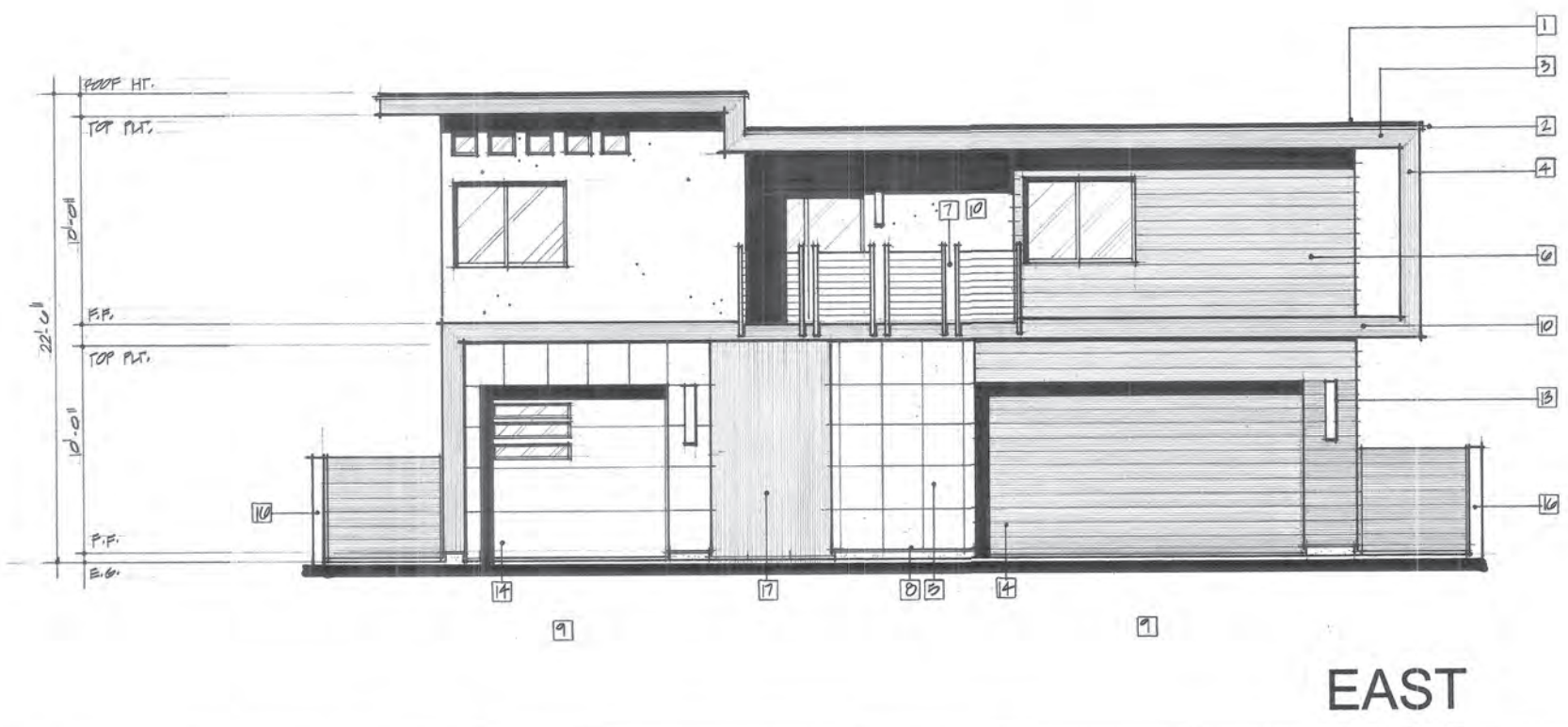
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DATE	1/22
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JOB NO.	21-123
SHEET	
<b>A14</b>	
OF	SHEETS



- ELEVATION NOTES :**
1. FIRESTONE CLASS A TPO ROOFING-ICC-ESR-2831
  2. EDGE METAL
  3. FACIA BOARD
  4. TURN DOWN FACIA BOARD
  5. STONE SLAB MATERIAL VENEER
  6. WOOD SIDING
  7. 42" HIGH GUARDRAIL
  8. WEEP SCREED
  9. DRIVEWAY
  10. SMOOTH /HARD TROWELED/STUCCO FINISH
  11. DIRECT VENT GAS APPLIANCE EXHAUST
  12. FR / REGLET STUCCO EXPANSION JOINT
  13. LIGHT FIXTURE
  14. ROLL UP GARAGE DOOR
  15. EXISTING RETAINING WALL
  16. FENCEWALL
  17. "BREEZEWAY" TO ENTRY
  18. ORIGINAL GRADE CONTOUR



**EAST**

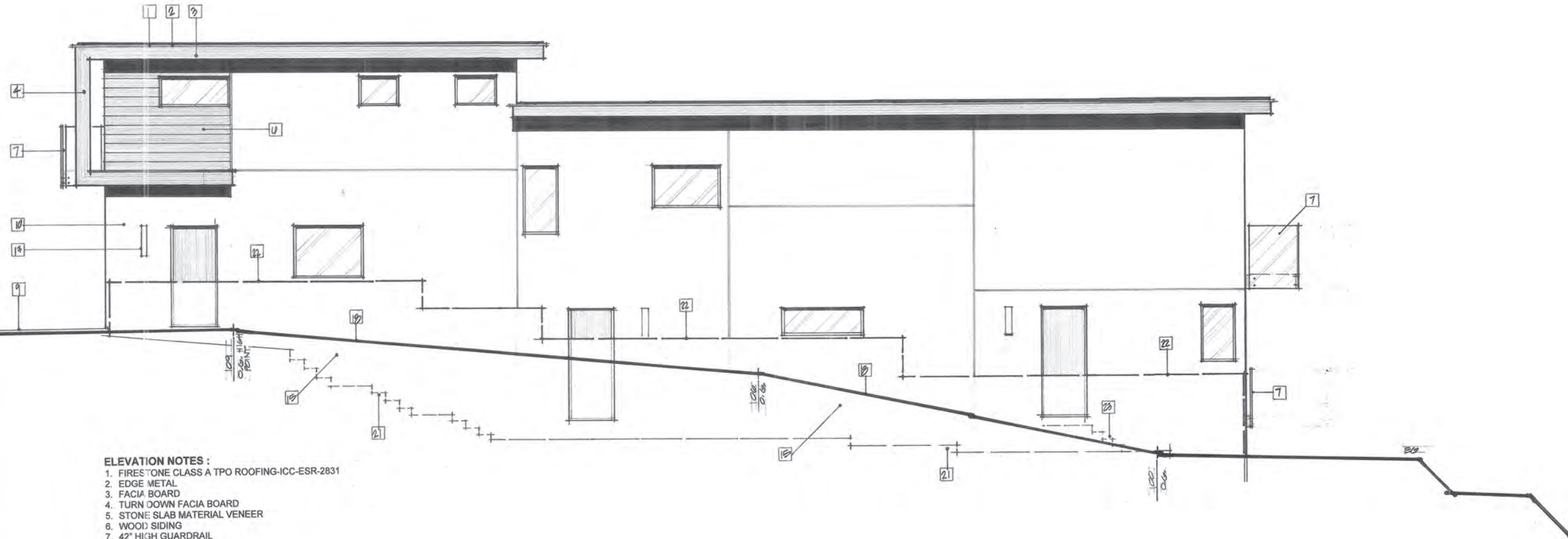


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CHECKED	
DATE	1/22
SCALE	1/4" = 1'-0"
JOB NO.	21-123
SHEET	
<b>A15</b>	
OF	SHEETS



- ELEVATION NOTES :**
1. FIRESTONE CLASS A TPO ROOFING-ICC-ESR-2831
  2. EDGE METAL
  3. FACIA BOARD
  4. TURN DOWN FACIA BOARD
  5. STONE SLAB MATERIAL VENEER
  6. WOOD SIDING
  7. 42" HIGH GUARDRAIL
  8. WEEP SCREED
  9. DRIVEWAY
  10. SMOOTH / HARD TROWELED/STUCCO FINISH
  11. DIRECT VENT GAS APPLIANCE EXHAUST
  12. FRY REGLET STUCCO EXPANSION JOINT
  13. LIGHT FIXTURE
  14. ROLL UP GARAGE DOOR
  15. EXISTING RETAINING WALL
  16. FENCEWALL
  17. "BREEZEWAY" TO ENTRY
  18. ORIGINAL GRADE CONTOUR
  19. CRAWLSPACE
  20. (E) CONC. GRADE BEAM
  21. (E) STEPS ON GRADE
  22. (E) TOP OF CMU WALL IN FOREGROUND
  23. (E) WOOD STEPS
  24. (E) UNDERFLOOR ACCESS

