



Design Review Subcommittee (DRSC)

Meeting Date: January 10, 2024

PLANNER: Zach Rehm, Senior Planner

SUBJECT: **Public Hearing Project (PHP) 23-411, Sunset Shores Façade Remodel**, a request to allow exterior improvements, including height increase for false roof extensions and embellishments, to an existing 18-unit condominium building located at 410 Corto Lane within the Pier Bowl Specific Plan area and the Architectural (A) Overlay District.

BACKGROUND:

The project site is a 1.27-acre oceanfront blufftop lot developed with an 18-unit condominium building constructed in 1980. The site is within the Pier Bowl Specific Plan area, with a designated land use of Residential High Density. Surrounding land uses include multi-unit condominium buildings to the north, east and south, with the public beach and Pacific Ocean to the west. The Casa Romantica Cultural Center is located two lots to the south, within 300 feet of the subject site. There is a public beach access stairway to the south of the building and a public viewpoint to the north of the building, both of which would be unaffected by the proposed project.

The proposed exterior improvements consist of the following: 1) stairwells to receive roof extension to create towers; 2) all wood guardrails to be replaced with wrought iron; 3) slump block to be covered with smooth exterior plaster with integral color and mottled finish; 4) one piece "S" tiles to be replaced with authentic two-piece barrel clay tiles; 5) false roofs on both ends of the building to get small roof extensions to make the roof forms look more authentic; 6) framed nonstructural pop-outs to modify some of the forms; 7) replacement of windows on the building ends to incorporate divided lights; 8) surface mounted grills to simulate fenestration; and 9) decorative parapets on the ocean facing façade to cover chimney metal vent exhaust pipes. Attachments include plans, renderings, and materials board. The most significant proposed structural change is the modified roof towers, which would increase the height of the building to 42-feet, with multiple false chimneys exceeding the height as allowed by code.

Within the Pier Bowl Specific Plan area, projects should preserve and where appropriate, revitalize the Area to maintain an attractive and easily accessible, pedestrian-oriented center of resident and visitor activities which capitalizes on its history and coastal location, and which embodies much of the small-town, beach-oriented lifestyle enjoyed by San Clemente residents. Within the Architectural (A) Overlay District, projects should maintain and enhance the unique "Spanish-Village-by-the-Sea" character, and maintain a high quality of design consistent with the City's history, according to the General Plan Urban Design Element and the City's Design Guidelines.

RECOMMENDATIONS:

DRSC review is not required for minor exterior alterations. However, due to the project's location in the Architectural Overlay District, within 300 feet of the Casa Romantica, on a coastal bluff visible from the public beach, Planning Division staff requests Design Review Subcommittee review of the project. Review should relate to the design, scale, and materials in order to ensure architectural quality, style, and consistency with City-adopted guidelines. Following DRSC review, the applicant may elect to make revisions to the project before a public hearing is scheduled. The application requires review by the Zoning Administrator because of the location in the Architectural Overlay District and the height increase. The Zoning Administrator may elect to forward the application to the Planning Commission.

Attachments:

1. Location Map
2. Plans
3. Renderings
4. Materials

Exhibit 1: Location Map

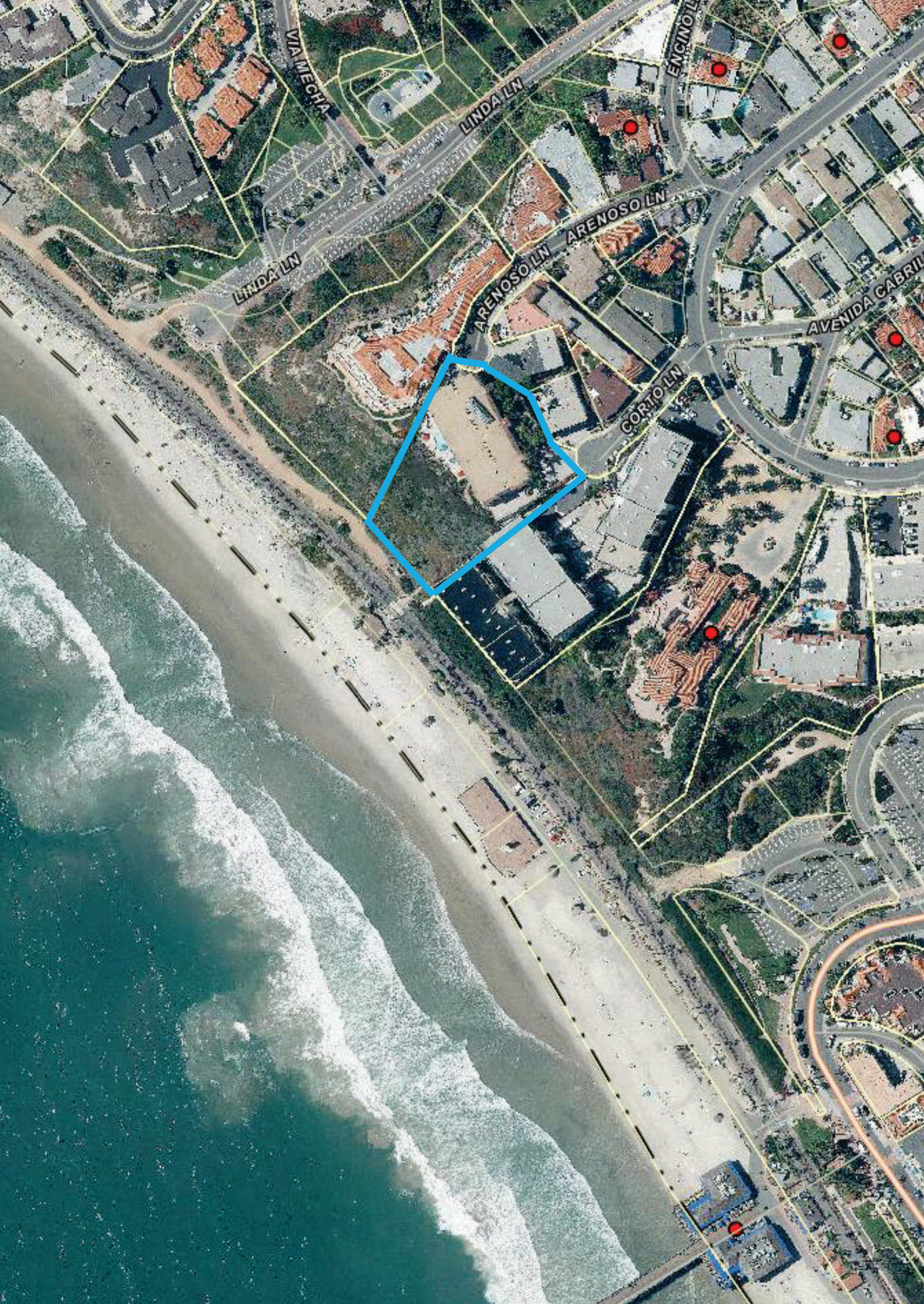
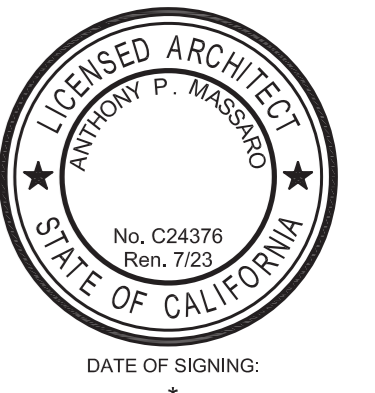


Exhibit 2: Plans

SUNSET SHORES

FACADE REMODEL 410 CORTO LANE SAN JUAN CAPISTRANO, CA

MARSHILL
ARCHITECTURE
STUDIO
MARS HILL STUDIO, INC.
2533 Greenbriar Lane
Costa Mesa, CA 92626
(714) 556-8299 Phone
(714) 556-8351 Fax
www.marshillstudio.com



Revisions

No.	Description

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE BUILDING SITE AND SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SHORING, EXCAVATIONS, TEMPORARY STRUCTURES AND PARTIALLY COMPLETED PORTIONS OF WORK TO ASSURE SAFE WORKING CONDITIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO APPLICABLE PROVISIONS IN THE LATEST EDITIONS OF CALIFORNIA BUILDING CODE, LOCAL ORDINANCES SUCH AS BUT NOT LIMITED TO CITY, COUNTY, FIRE AND ZONING CODES AND WITH THE BEST PRACTICES OF THE TRADE. GENERAL CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY CODE DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC., TO PROVIDE FULL STRUCTURAL STABILITY. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL THE PERMANENT BRACING HAS BEEN COMPLETELY INSTALLED AND SECURED AND THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING THE DESIGN LOADING. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- ASBESTOS REMOVAL AND DISPOSAL WHERE REQUIRED SHALL BE PERFORMED BY FIRMS DULY LICENSED FOR SUCH WORK AND SHALL COMPLY WITH ALL APPLICABLE AGENCY REQUIREMENTS.
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
- AFTER INSTALLING THE INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION COMPLIES WITH THE REQUIREMENTS OF TITLE 24. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE AND WEIGHT PER SQUARE FOOT.
- ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT OF WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

PROPOSED PROJECT:
EXTERIOR FACADE REMODEL. NO NEW FOOTPRINT OR FLOOR AREA PROPOSED. ALL PROPOSED WORK TO BE PERFORMED FROM THE EXTERIOR OF STRUCTURE.

PROJECT DATA

APPLICANT: SUNSET SHORES CONDOMINIUM ASSOC.
KELLY SHAW
(949) 218-1248

PROJECT ADDRESS: 1410 CORTO LANE
SAN CLEMENTE, CA

PROJECT ZONING: PBSP

APN: 692-012-42

LOT AREA: 1.27 AC

APPLICABLE CODES:
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA UNIFORM ADMINISTRATIVE CODE
2022 CALIFORNIA FIRE CODE

OCCUPANCY GROUP: A3 / S-2

No. OF STORIES: 4 STORIES

CONSTRUCTION TYPE: TYPE III-B, SPRINKLERED

SCOPE OF WORK: EXTERIOR FACADE REMODEL - NO NEW AREA PROPOSED

EXISTING BUILDING AREA TOTALS:	
1ST FLOOR PARKING GARAGE (S-2):	14,900 SF
2ND FLOOR CONDITIONED SPACE (R-2)	12,000 SF
3RD FLOOR CONDITIONED SPACE (R-2)	12,000 SF
4TH FLOOR CONDITIONED SPACE (R-2)	12,000 SF
TOTAL BUILDING AREA:	50,900 SF

R-2 OCCUPANCY ANALYSIS		
TYPE III-B (SPRINKLERED)	ALLOWABLE	ACTUAL
HEIGHT PER CBC TABLE 504.3	75'	42'
STORIES PER CBC TABLE 504.4	5	4
AREA PER CBC TABLE 506.2	48,000 S.F.	36,000 S.F.

S-2 OCCUPANCY ANALYSIS		
TYPE III-B (SPRINKLERED)	ALLOWABLE	ACTUAL
HEIGHT PER CBC TABLE 504.3	75'	42'
STORIES PER CBC TABLE 504.4	4	4
AREA PER CBC TABLE 506.2	78,000 S.F.	14,900 S.F.

SHEET INDEX

ARCHITECTURAL:
A-0.1 TITLE SHEET
A-1.1 SITE PLAN
A-2.0 BASEMENT FLOOR PLAN
A-2.1 TYP. 1ST-3RD FLOOR PLAN
A-3.1 ROOF PLAN
A-4.0 ELEVATIONS PHOTO MONTAGE
A-4.0 EXISTING EXTERIOR ELEVATIONS
A-4.0 PROPOSED EXTERIOR ELEVATIONS
A-4.0 PROPOSED EXTERIOR ELEVATIONS

PROJECT TEAM

PROJECT ARCHITECT:
MARS HILL STUDIO, INC.
ANTHONY P. MASSARO
2533 GREENBRIAR LANE
COSTA MESA, CA 92626
P: (714) 556-8299
F: (714) 556-8351

PLANNING SUBMITTAL 1

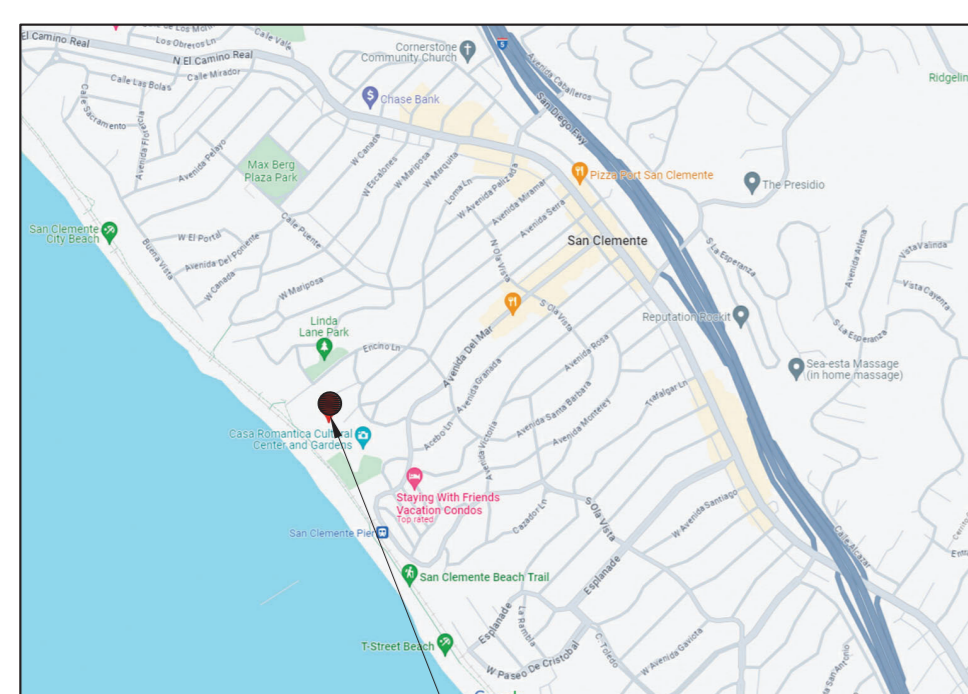
Issue Date 11/17/23

Title
TITLE SHEET & SITE KEY PLAN

Sheet No.

A-0.1

VICINITY MAP

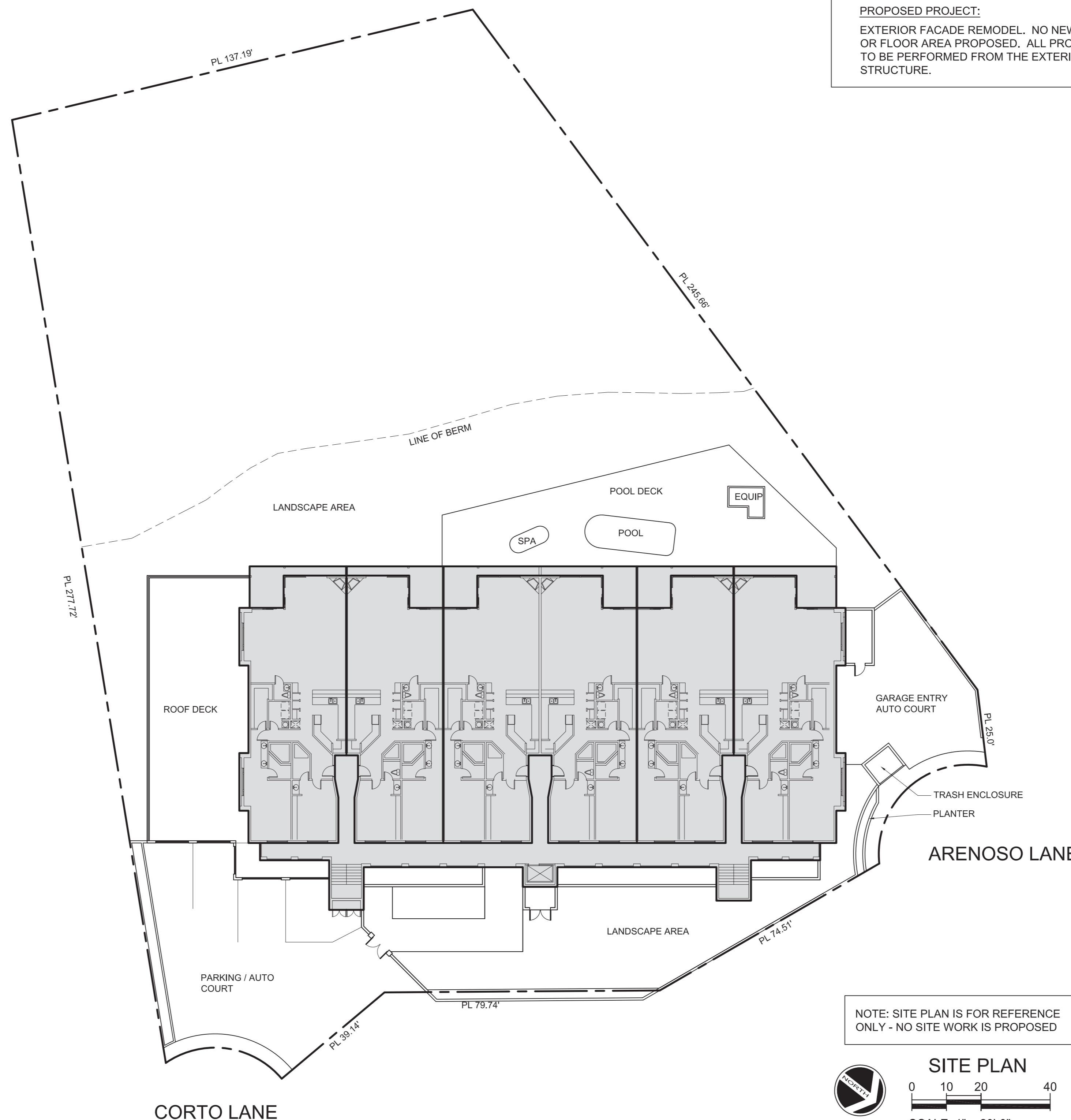


PROJECT LOCATION



SYMBOLS

DETAIL REFERENCE	①	DETAIL REFERENCE
	A-1	SHEET NUMBER
ELEVATION REFERENCE	①	ELEVATION NUMBER
	A-1	SHEET NUMBER
SECTION REFERENCE	①	SECTION NUMBER
	A-1	SHEET NUMBER
REVISION REFERENCE	△	REVISION NUMBER
KEYNOTE REFERENCE	□	KEYNOTE NUMBER
WINDOW REFERENCE	①	WINDOW NUMBER
DOOR REFERENCE	①	DOOR NUMBER



NOTE: SITE PLAN IS FOR REFERENCE ONLY - NO SITE WORK IS PROPOSED

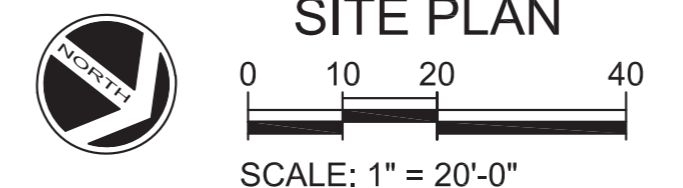
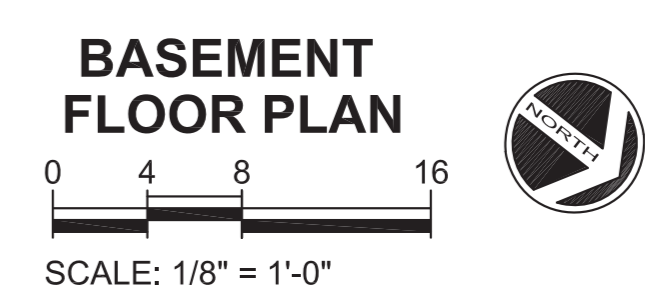
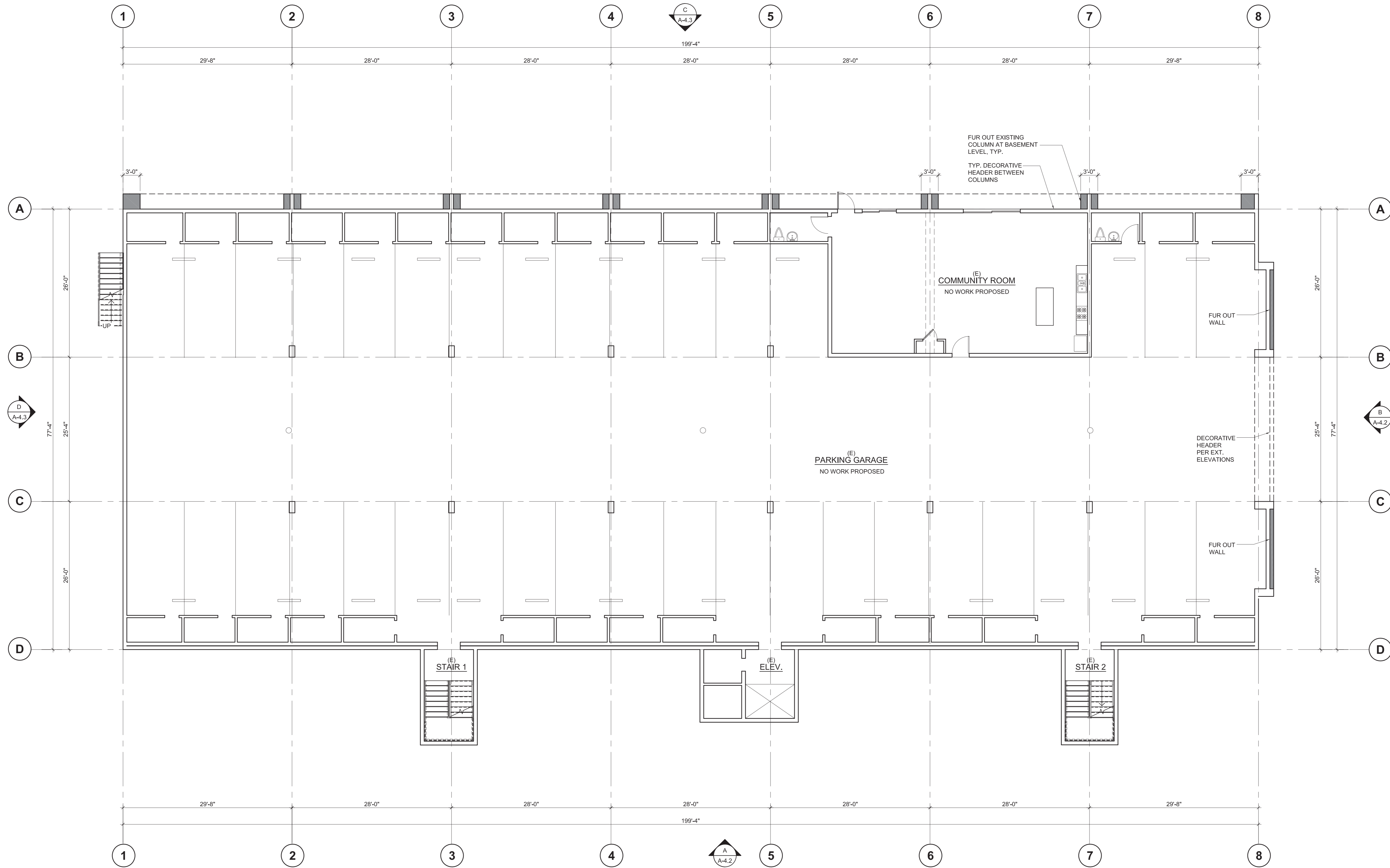


Exhibit 2: Plans



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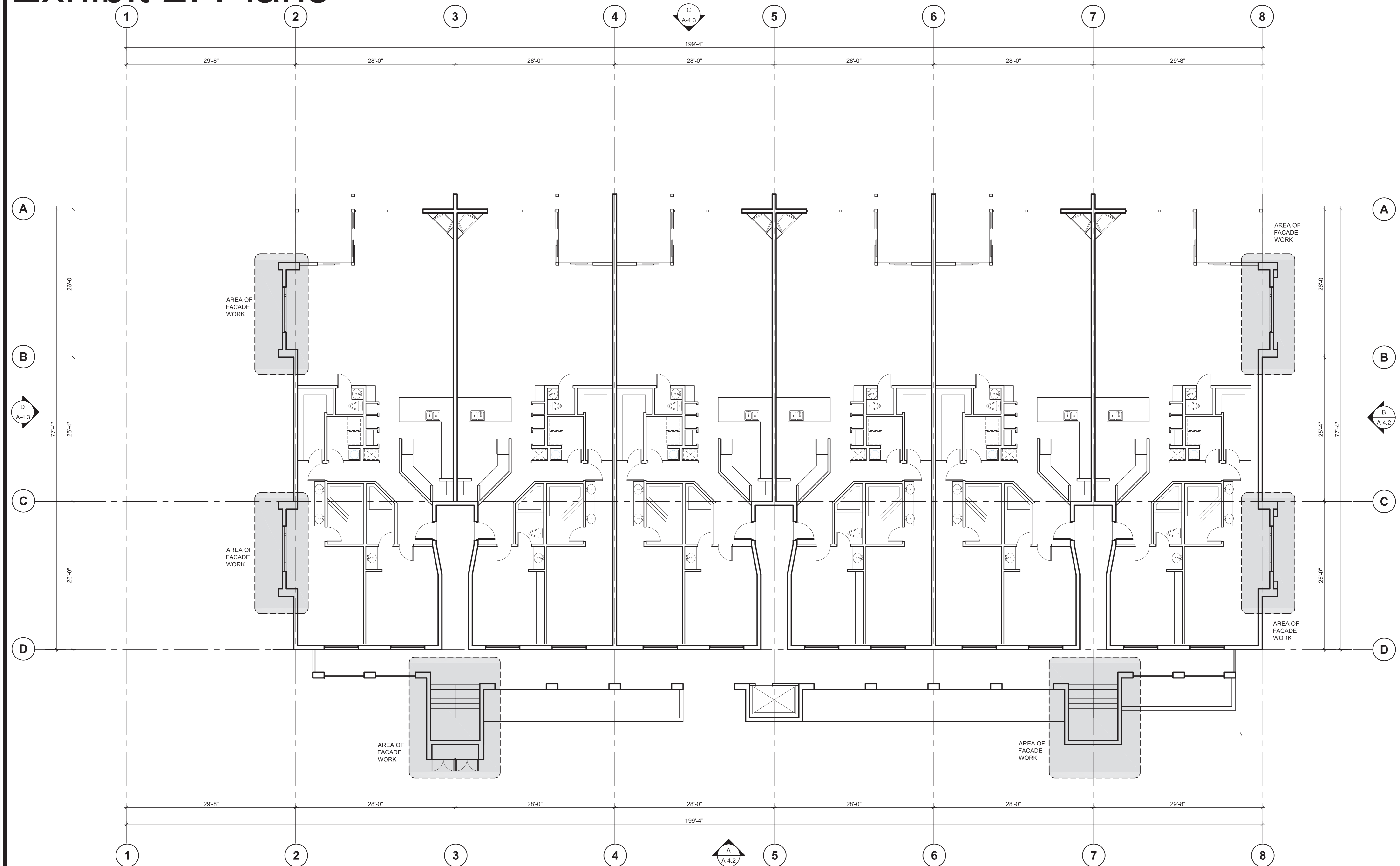
Revisions

SUNSET SHORES
410 CORTO LANE
 SAN CLEMENTE, CA

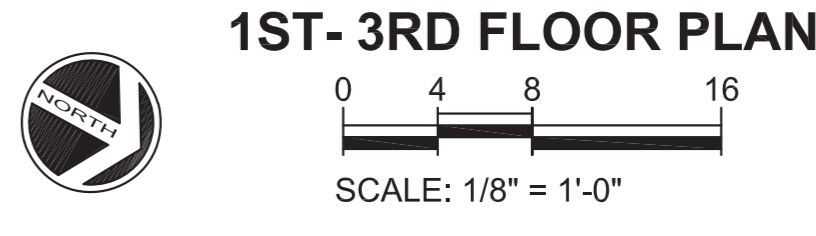
PLANNING
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 Issue Date 11/17/23
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**BASEMENT
 FLOOR PLAN**

Sheet No.
A-2.0

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NOTE: FLOOR PLAN IS FOR REFERENCE ONLY - EXTERIOR FACADE WORK ONLY PROPOSED



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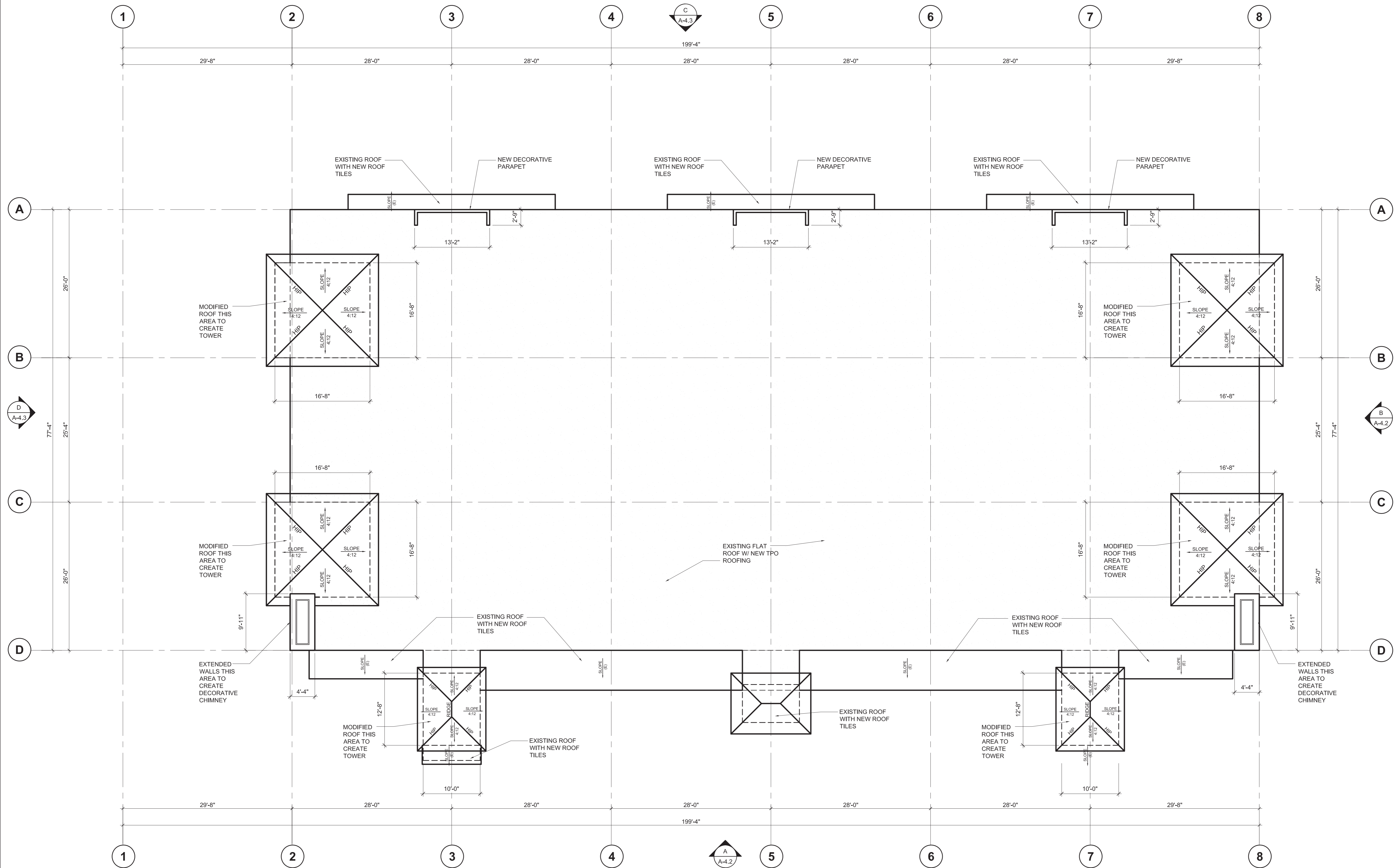
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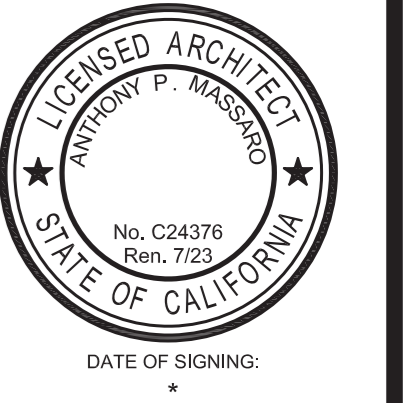
Title
1ST- 3RD FLOOR PLAN

Sheet No.
A-2.1

Exhibit 2: Plans



ROOF PLAN
 0 4 8 16
 SCALE: 1/8" = 1'-0"



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Issue Date 11/17/23

Title
 ROOF PLAN

Sheet No.

A-3.1

Exhibit 2: Plans



Revisions

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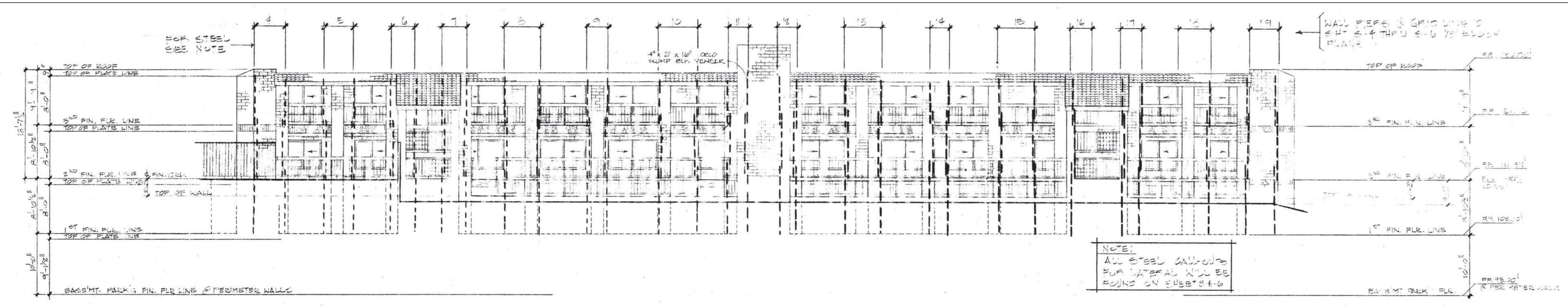
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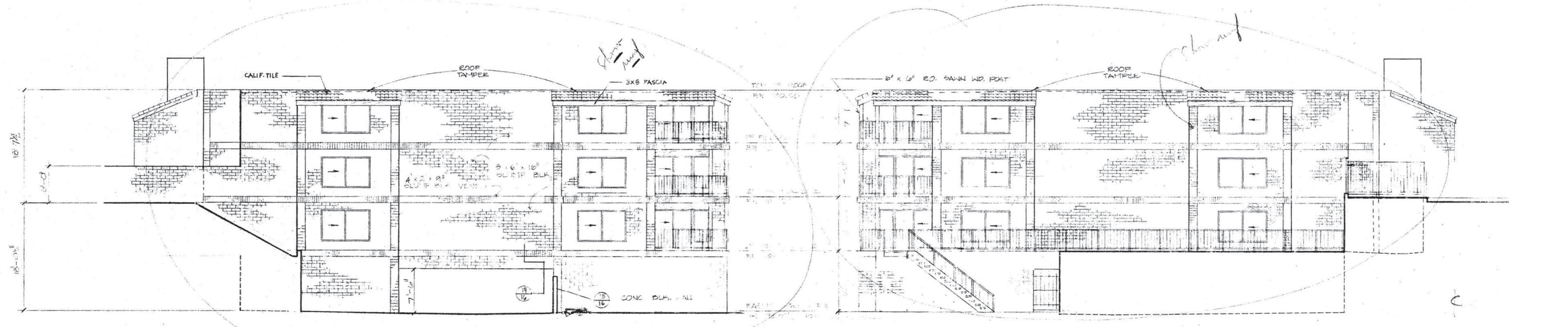
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**EXISTING
 EXTERIOR
 ELEVATIONS**

Sheet No.

A-4.1

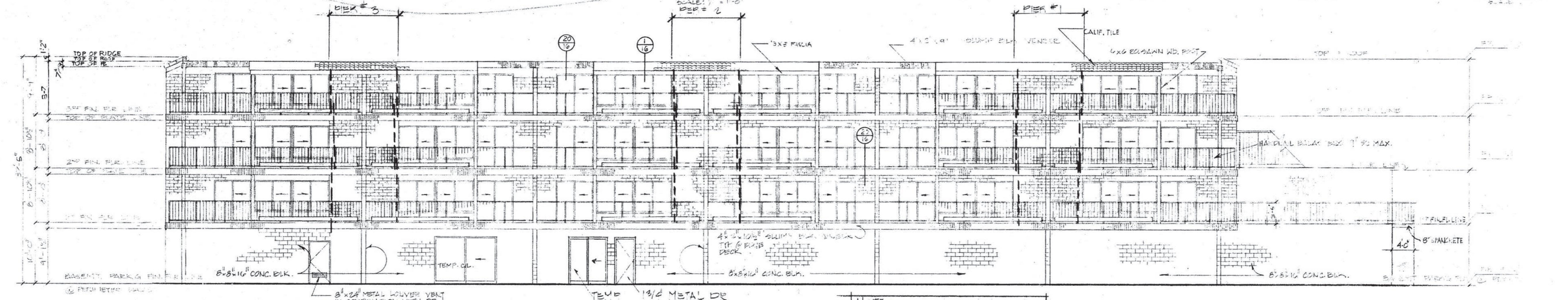


EAST EXTERIOR ELEVATION LOOKING WEST



NORTH EXTERIOR ELEVATION

SOUTH EXTERIOR ELEVATION

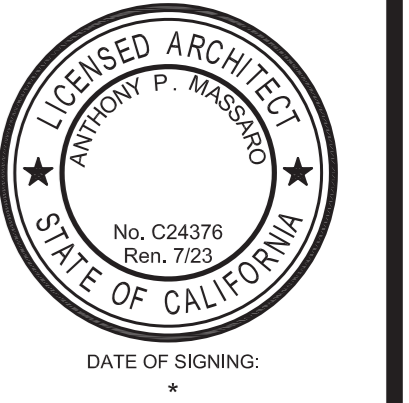


WEST EXTERIOR ELEVATION

NOTE:
 CONT. NEG. UN. REQUIRED
 EXCEPT JAMB BARS IN PIER #3
 1/2\"/>

EXISTING EXTERIOR ELEVATIONS

Exhibit 2: Plans



Revisions

SUNSET SHORES
410 CORTO LANE
SAN CLEMENTE, CA

PLANNING
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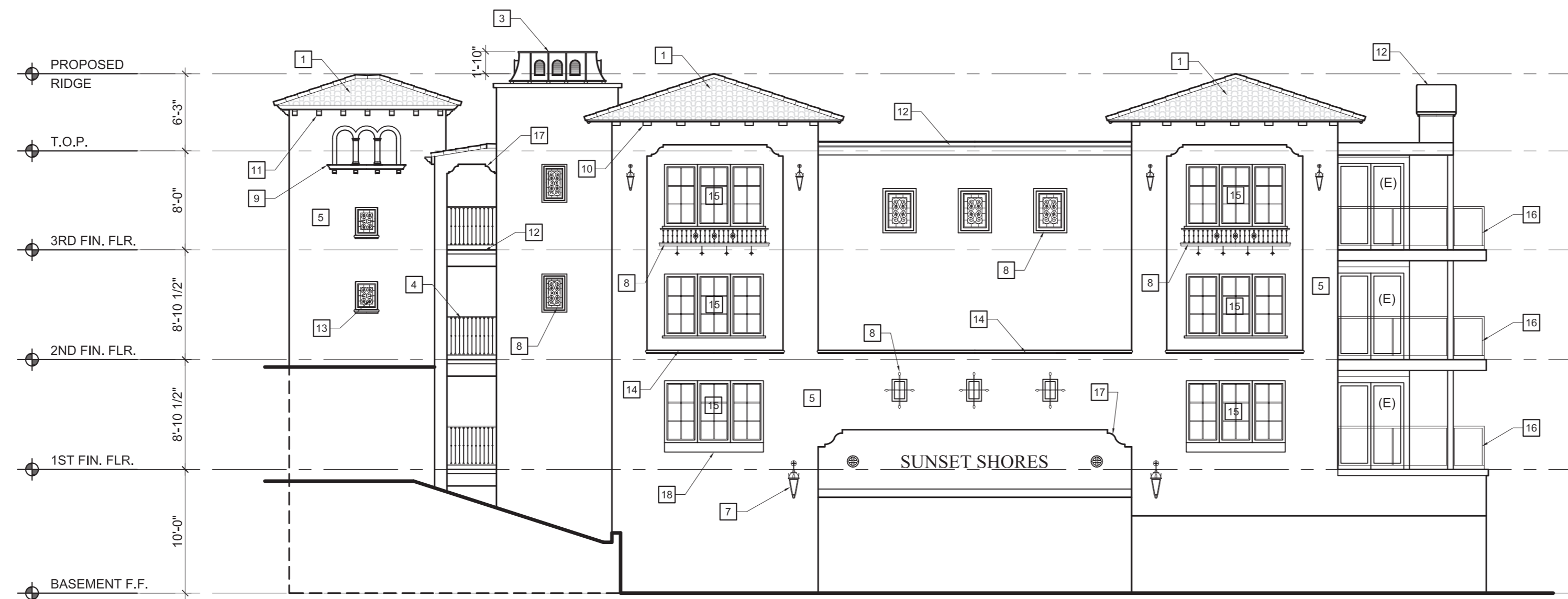
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**EXTERIOR
ELEVATIONS**

Sheet No.

A-4.2

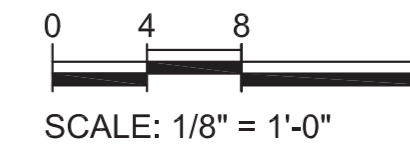
KEY NOTES:

- NOTE:
THIS KEY NOTE LIST APPLIES TO SHEET A-4.1
- 1 NEW ROOF WITH ROOF TILE; REDLANDS CLAY TILE (ESR - 1489), WITH CLASS-A RATING - BAJA MISSION BARREL, 2-PIECE - 50% MORTAR SET, COLOR: OLD SEDONA BLEND (TILE WEIGHT - 10.7# PER SQ. FT.)
 - 2 EXISTING ROOF WITH ROOF TILE; REDLANDS CLAY TILE (ESR - 1489), WITH CLASS-A RATING - BAJA MISSION BARREL, 2-PIECE - 50% MORTAR SET, COLOR: OLD SEDONA BLEND (TILE WEIGHT - 10.7# PER SQ. FT.)
 - 3 DECORATIVE COPPER FALSE CHIMNEY SHROUD
 - 4 WROUGHT IRON RAILING: CUSTOM HAND CRAFTED. COLOR: SHERWIN WILLIAMS "SEALSKIN" #2140
 - 5 NEW EXTERIOR STUCCO FINISH OVER EXISTING CMU WALL: CUSTOM 3-COAT STUCCO SYSTEM: OMEGA DIAMOND WALL (ESR-1194) WITH STEEL TROWELED MOTTLED RUSTIC FINISH. COLOR TO BE INTEGRAL IN FINISH COAT. COLOR: OMEGA 432
 - 6 PLASTER AT GUARD CONDITION WITH EXTERIOR PLASTER TO MATCH BUILDING. PRE-CAST CONCRETE BY VALORI PRECAST- COLOR: GRIS SANDBLAST
 - 7 NEW DECORATIVE LIGHT FIXTURE
 - 8 NEW SURFACE MOUNTED DECORATIVE WROUGHT IRON GRILL - COLOR: SHERWIN WILLIAMS "SEALSKIN" #2140
 - 9 PRE-CAST SILL, COLUMN AND SURROUND AT ARCHED OPENINGS - PRE-CAST CONCRETE BY VALORI PRECAST- COLOR: GRIS SANDBLAST
 - 10 EXPOSED RAFTER TAILS; DOUGLAS FIR WITH BAND-SAWN CORBELED ENDS; LIGHT SANDBLAST AND WIRE BRUSH FINISH. STAINED COLOR: SHERWIN WILLIAM STAIN: SW3532 CHARWOOD
 - 11 PRE-CAST CORBELS AT EAVE - PRE-CAST CONCRETE BY VALORI PRECAST- COLOR: GRIS SANDBLAST
 - 12 DECORATIVE TRIM BAND WITH SMOOTH EXTERIOR FINISH TO MATCH BUILDING OVER FOAM BLOCKING
 - 13 NEW DECORATIVE WROUGHT IRON GRILL OVER OPENING IN WALL - COLOR: SHERWIN WILLIAMS "SEALSKIN" #2140
 - 14 PRE-CAST SILL - PRE-CAST CONCRETE BY VALORI PRECAST- COLOR: GRIS SANDBLAST
 - 15 NEW DUAL GLAZED DIVIDED LITE WINDOW TO REPLACE EXISTING WINDOW
 - 16 EXISTING GUARD - NO CHANGE PROPOSED
 - 17 SHAPED PLASTER CORBEL OVER FOAM BLOCKING
 - 18 SLOPED PLASTER SILL



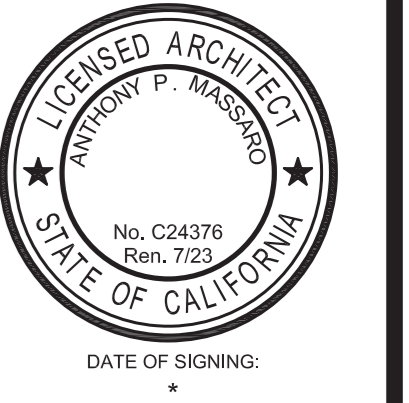
ELEVATION - B (NORTHWEST)

EXTERIOR ELEVATIONS



ELEVATION - A (NORTHEAST)

Exhibit 2: Plans



Revisions

SUNSET SHORES
410 CORTO LANE
SAN CLEMENTE, CA

PLANNING
SUBMITTAL 1

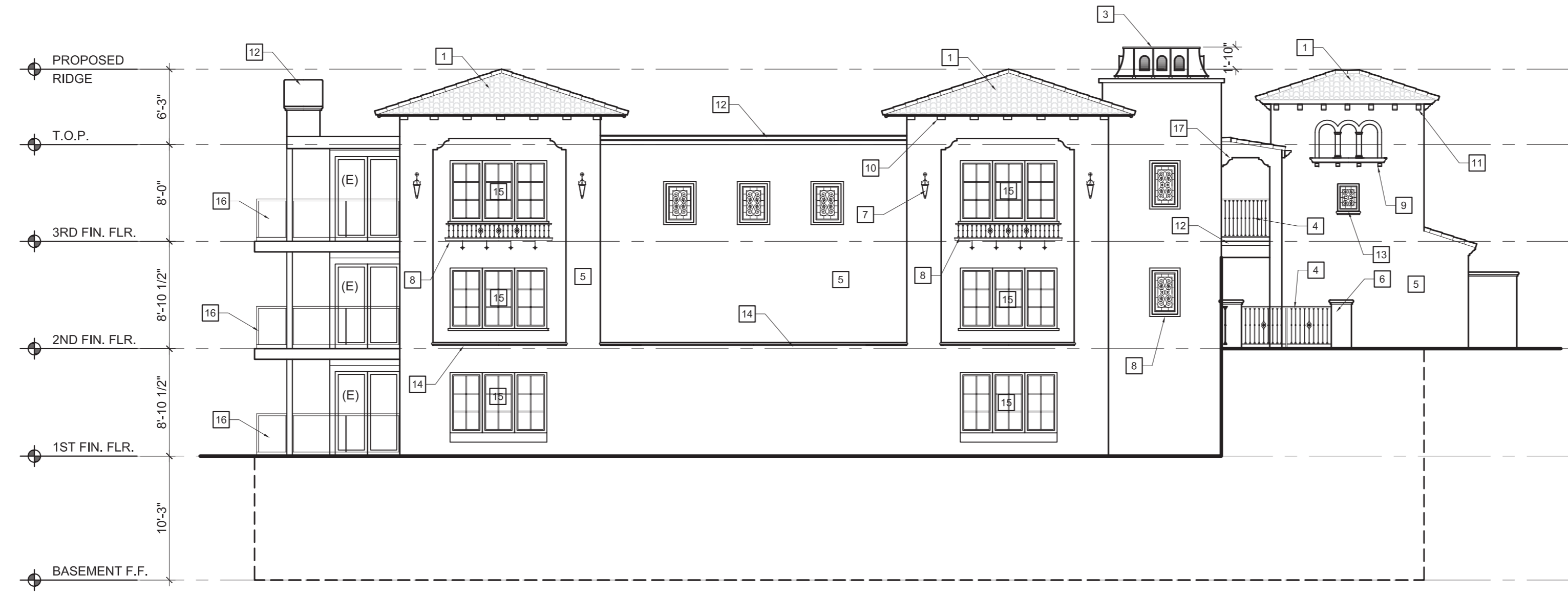
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Title
**EXTERIOR
ELEVATIONS**

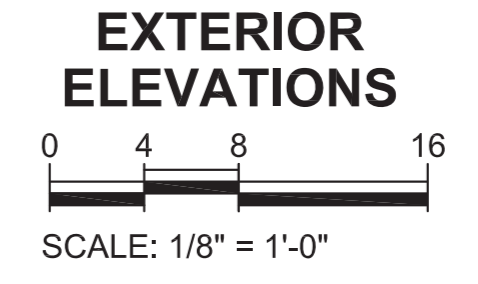
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A-4.3

KEY NOTES:

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 - 18 SLOPED PLASTER SILL



ELEVATION - D (LEFT SIDE)



ELEVATION - C (REAR - BEACH SIDE)

Exhibit 3: Renderings



VIEW FROM ARENOSO LANE BEFORE



VIEW FROM CORTO LANE BEFORE



VIEW FROM ARENOSO LANE AFTER



VIEW FROM CORTO LANE AFTER

Revisions

SUNSET SHORES
410 CORTO LANE
SAN CLEMENTE, CA

PLANNING
SUBMITTAL 1

Issue Date 11/17/23

Title
**EXTERIOR
IMAGERY**

Sheet No.

A-4.0

Exhibit 3: Renderings



Exhibit 3: Renderings



Exhibit 3: Renderings

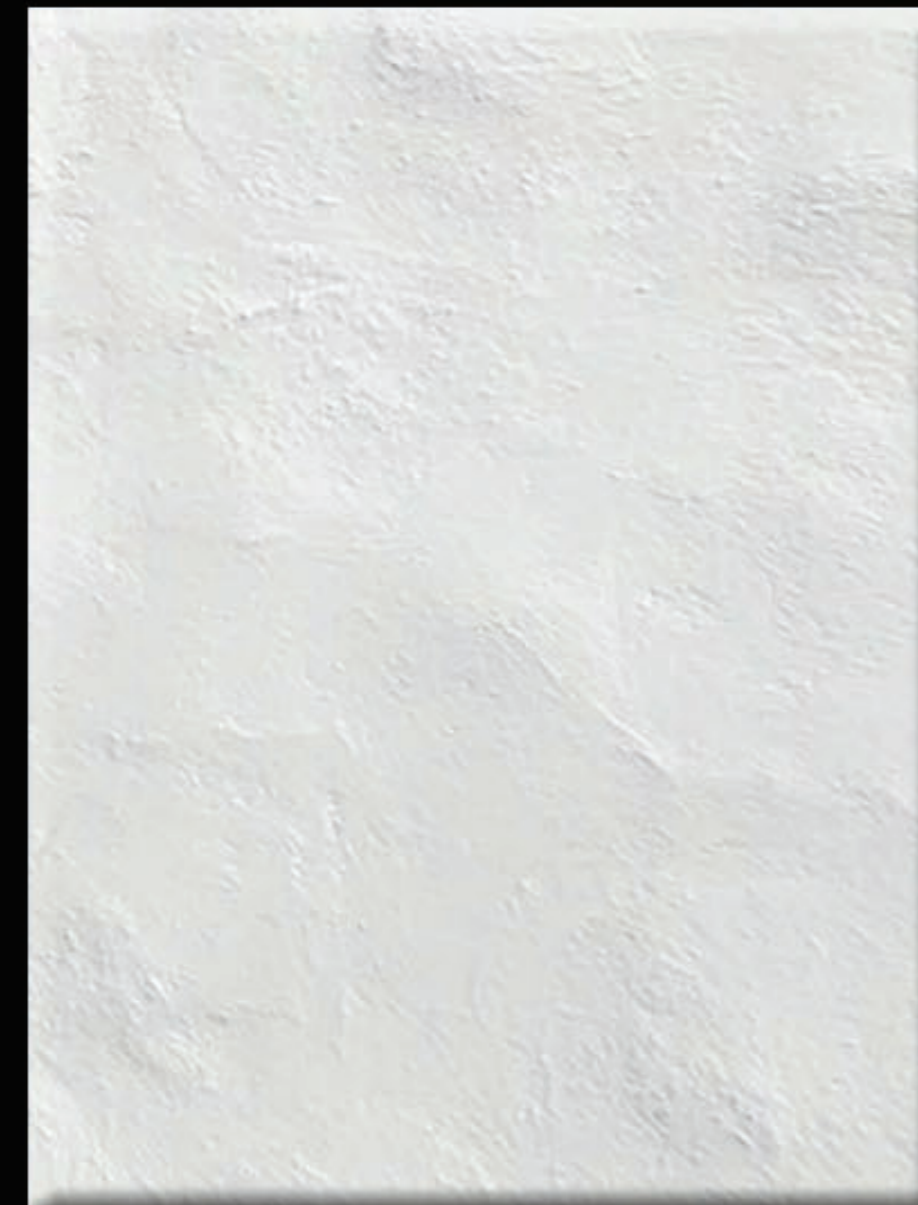


Exhibit 3: Renderings



410 CORTO LANE

San Clemente, CA



EXTRIOR PLASTER



PRE-CAST WALL CAPS
& SURROUNDS



DOOR & WINDOW
FRAMES



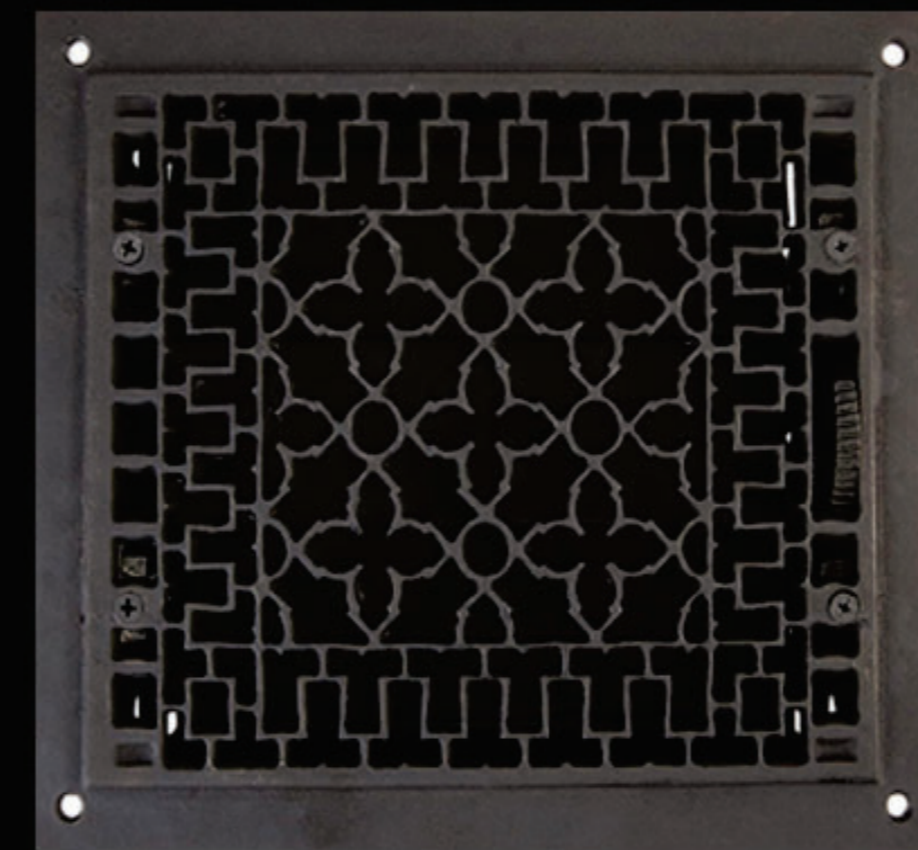
WOOD RAFTERS,
CORBELS, POSTS



LIGHT
FIXTURES



WROUGHT IRON
GUARD



METAL GRILLES



ROOF TILE