



## Cultural Heritage Subcommittee (CHSC)

Meeting Date: September 13, 2023

**PLANNER:** Christopher Wright, Associate Planner II

**SUBJECT:** **Cultural Heritage Permit 22-148, Architectural Permit 22-162, Nielsen Residence**, a request to consider: 1) an addition and exterior changes to a historic single-story residence, 2) construction of a detached garage with an Accessory Dwelling Unit on the second floor that requires a height limit increase, and 3) changes to the garden landscape and hardscape. The site is located at 222 West Mariposa.

### **BACKGROUND:**

On May 24, 2023, the Cultural Heritage Subcommittee reviewed this project, recommended design changes, and requested to reconsider the project following revisions. The recommended changes were focused on addressing historic preservation issues described in the previous staff report and minutes, provided as Attachments 3-4. Since then, the applicant has made the design changes to address these issues. With the proposed changes shown in the updated plan sets (Attachment 2), staff believes that the project meets the required findings. Table 1 summarizes the issues and changes made to address them.

**Table 1 – Applicant responses to prior recommendations**

<b>Prior Recommendation</b>	<b>Applicant Response</b>
1. Redesign and relocate the second-floor addition, so it is not over the original first-story massing of the historic residence.	The second-floor is redesigned so it is no longer over the original first-story building footprint and roofline. A built-up shed roof is proposed over a portion of the original roof at the rear, for water drainage and protection. The built-up roof preserves the original framing members and roofline so it is reversible consistent with Secretary of the Interior Standards. The revised and prior plans are attached to allow for a comparison.
2. First-floor addition should be differentiated from original structure with insets.	The first story addition is revised to have an inset from the original first-story elevation as recommended.
3. Removal of significant trees for a required sidewalk.	The landscape plan shows the significant trees would be preserved and sidewalk construction deferred until the natural death of the trees. The replacement trees would be a similar type and vicinity as the existing trees. This requirement would be incorporated into the Mills Act Agreement.

Prior Recommendation	Applicant Response
4. Removal of character-defining features should be avoided where feasible and addressed thoroughly in the historic report (HRAR).	The applicant will provide an updated historic report for the Planning Commission's consideration. Design changes have been made to preserve original features when feasible, such as using the outer limits of existing wall openings to reconfigure windows and doors. For more details, see attached proposed plans provided as Attachment 2.

**RECOMMENDATIONS:**

Staff supports the revised design as proposed, recommending the Subcommittee forward the project to the Planning Commission for consideration.

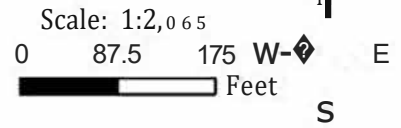
***Attachments:***

1. Vicinity map
2. Proposed plans
3. May 24, 2023, Cultural Heritage Subcommittee report
4. May 24, 2023, Cultural Heritage Subcommittee meeting minutes
5. Previous version of plans considered on May 24, 2023



### Vicinity Map

Project: Nielsen Residence  
Address: 222 West Mariposa



# 3rd Planning Submittal

## Mariposa Residence Remodel & Additions & A.D.U. 222 West Mariposa San Clemente, CA

### MINIMUM CONSTRUCTION STDS.

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM, NO CONSTRUCTION ON SUNDAYS AND RECOGNIZED HOLIDAYS. (CHAPTER 8.48, SCMC)

APPROVED PLANS SHALL BE AVAILABLE AT THE JOBSITE DURING INSPECTIONS. (CHAPTER 15.08, SCMC)

SANITARY FACILITY FOR CONSTRUCTION SITE MUST BE PROVIDED. (CHAPTER 15.04, SCMC)

FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMODELING, ADDITION OR TENANT IMPROVEMENT PROJECT. (CHAPTER 15.08, SCMC)

SPECIAL REQUIREMENT FOR INSPECTION: FOR MULTI-RESIDENTIAL AND COMMERCIAL BUILDINGS WITH 2 STORIES OR MORE, PLANNING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL DUE TO SPECIAL AND UNUSUAL TOPOGRAPHICAL CONDITIONS AT THE SITE. A SURVEYOR'S CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOOR'S SLAB OR FINISH FLOOR SHALL BE REQUIRED. (SCBD POLICY)

RETAINING WALLS, WHICH ARE NOT PART OF THE STRUCTURE INCLUDING MASONRY GARDEN WALLS, WILL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE. (CHAPTER 12-06, SCMC)

CURBS, GUTTERS AND SIDEWALKS ARE REQUIRED. (CHAPTER 12-06, SCMC)

ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAINPIPES TO THE STREET OR OTHER APPROVED LOCATION OR AN APPROVED NON-ERODIBLE SURFACE DRAIN. WATER SHALL NOT DRAIN OVER PUBLIC SIDEWALK. (CHAPTER 15-20, SCMC)

NO FERROUS WATER PIPING IS ALLOWED UNDERGROUND. COPPER WATER PIPING UNDER SLAB SHALL BE TYPE "K" PLACED IN SAND BED & PROTECTED WITH PLASTIC SLEEVE WHEN PENETRATING SLAB. (CHAPTER 15.08.020.20, SCMC)

3/4" HOSE BIB REQUIRED IN FRONT AND BACK OF BUILDING. (CHAPTER 15-20, SCMC)

A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE JUNCTION BOX, ONE PAIR OF NO. 19 CONTROL WIRES SHALL BE INSTALLED FOR USE BY THE WATER DIVISION. (SCWD)

APPROVED BACK FLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NONRESIDENTIAL BUILDINGS OR ANY OTHER FACILITY AS REQUIRED BY CHAPTER 13-04, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949)366-1553.

NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL. (CHAPTER 15-12, SCMC)

LOW FLUSH FIXTURES (1.6 GAL TOILETS, 1 GAL URINALS, & 2.5 GAL SHOWER HEADS) ARE REQUIRED (STATE LAW)

TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT ENCRoACH ONTO PUBLIC SIDEWALKS AND STREETS. (CHAPTER 12.20, SCMC)

ADDRESS NUMBERS IN CONTRASTING COLOR TO THE STRUCTURE FOR RESIDENTIAL A MIN OF 4" HIGH; FOR NON RESIDENTIAL, A MIN OF 8" HIGH TO BE PLACED ON THE FRONT OF THE BUILDINGS. EACH UNIT SHALL BE IDENTIFIED WITH AN ALPHABETICAL LETTER AND THE RELATED GARAGE MUST BE SIMILARLY MARKED. (SECTION 10.208.4FB & CHAPTER 8-16, SCMC)

SUB DIVIDER SHALL NOT PAVE ANY STREET UNDER WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT ACTUAL NOTICE TO COX COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT. NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MGR, COX COMMUNICATIONS, 29947 AVE DE LA BANDERAS, RANCHO SANTA MARGARITA, 92688 (949) 546-2000.

ELECTRIC AND GAS METERS WILL NOT BE SET UNTIL ALL PHASES OF WORK ARE COMPLETED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED (SCBD POLICY)

NOTE: SCMC: SAN CLEMENTE MUNICIPAL CODE; SCBD SAN CLEMENTE BLDG DIV; SCWD: SAN CLEMENTE WATER DIVISION (REV 12-6-07)

### SPECIAL INSPECTIONS

City of San Clemente  
Phone: (949) 361-6100 Fax: (949) 361-6281  
Building@San-Clemente.org

**SPECIAL INSPECTION FORM PERMIT NO:**

Project Address: 222 W. MARIPOSA Plan Review Project No. \_\_\_\_\_  
Property Owner: DAVID AND AMY NIELSEN Architect: MICHAEL LUNA  
Engineer: \_\_\_\_\_ Plans Examiner: \_\_\_\_\_

Prior to issuance of building permit, the owner, or the architect or engineer of record acting as the agent of the owner, shall require an approved special inspection registered by the City of San Clemente and shall sign and submit this form to the Building Division. Selection of the special inspection agency cannot be changed once the building permit is issued, except with the specific permission of the Building Official.

Special Inspector: \_\_\_\_\_ Phone No: \_\_\_\_\_  
Inspection Agency (Firm): \_\_\_\_\_ Phone No: \_\_\_\_\_  
Owner / Architect or Engineer (Signature): \_\_\_\_\_ Phone No: \_\_\_\_\_

The above signed hereby certifies that the special inspector identified above has been engaged to perform the special inspections outlined below as required by Chapter 17 of the California Building Code.

**GEOTECHNICAL / SOILS**

Foundation excavations are located in proper soils bearing material and to confirm required soils bearing capacity.

**FOUNDATION CONCRETE**

Foundation concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates

Type V cement required exposed to sulfates

Special inspection and concrete lab testing IS REQUIRED

Special inspection NOT required. Submit concrete batch test report to building inspector.

**PILE INSTALLATION**

Drilled Cast-in-Place Castings / Piles  Precast Concrete Piles   
Foundation Underpinning Installation  Steel Piles

**REINFORCED CONCRETE**

High Strength Concrete (>2,500 psi)  4,500 psi  Cast-in-Place Concrete   
Grade Beams  Cast-in-Place Castings / Piles  Reinforcing Placement   
Concrete Frames  Post-Tensioned ( tendon placing / stressing and concrete placement)   
Shotcrete / Gunite

**STRUCTURAL STEEL**

Field Welding  High Strength Bolting  Spray Applied Fire Proofing   
Steel Erection

**STRUCTURAL MASONRY**

Retaining Walls  Walls & Pilasters

**MISCELLANEOUS**

STRUCTURAL OBSERVATION IS REQUIRED (See attached structural observation form)

Epoxy Anchors / Bolts   
Shear Wall / Diaphragm Nailing   
Other: \_\_\_\_\_  
Other: \_\_\_\_\_

Building Division Building Inspection Form Structural 2007 CBC.doc 1/27/2009

### Sheet Index

Sheet Number	Sheet Name
0.0	General
T.1	Title Sheet
02	Architectural
A1.0	Site Plan
A1.1	Demolition Plans
A1.2	Original Historic & Existing Plans
A2.1	1st Floor Plans - Main House & Garage
A2.1a	Basement & Garage Plan
A2.2	2nd Floor Plans - Main House & Guest House
A2.3	Roof & Deck Plan
A2.4	Shed Plans & Elevations
A3.0	Exterior Elevations
A3.1	Exterior Elevations
A3.2	Exterior Elevations ADU/Garage
A3.3	Exterior Elevation with Existing Landscape
A3.4	3D Views
A4.0	Building Sections
AD.1	Details
07	Landscape
L-1	Existing Landscape Plan
L-2	New Landscape Plan

### Project Data

Original Historic	Area
Living Area	941 SF
Living w/ Additions	214 SF
Total Living Area	1155 SF

Area	Main Residence	ADU
Living Area	2044 SF	0 SF
First Floor 1996 Living Area	889 SF	0 SF
First Floor Demolition (Non-Historic)	1112 SF	0 SF
New first Floor Addition	733 SF	495 SF
New Second Floor Addition	3000 SF	495 SF
Total Living Area	90 SF	105 SF
Total Project Balcony / Deck	90 SF	105 SF
Total Project Roof Deck	0 SF	595 SF
Garage		

1996 Floor Area: 2044 S.F.  
Total Main House Addition: 1845 S.F. (90.26%)

### Project Directory

#### Owner:

Mr. David and Ms. Amy Nielsen  
222 W. Mariposa  
San Clemente, CA 92672

#### Legal Description:

TRACT: 793  
LOT: 9, 10, and 11  
APN: 692-073-28

#### Project Address:

222 West Mariposa  
San Clemente, CA 92672

#### Architect:

MICHAEL LUNA & ASSOCIATES, INC.  
MICHAEL LUNA, ARCHITECT  
34932 CALLE DEL SOL, SUITE A  
CAPISTRANO BEACH, CA 92624  
TEL: (949) 493-5200 FAX: (949) 493-5248  
email: Michael@sunarch.com

#### Landscape Architect:

JAMES PEKARSKIE, LANDSCAPE ARCHITECT  
1219 GANADO  
SAN CLEMENTE, CA. 92673  
TEL: (949) 433-6558

#### Historical Resource Analysis:

URBANA PRESERVATION & PLANNING, LLC  
7705 EL AJON BLVD., SUITE #1  
LA MESA, CA 91942  
TEL: (844) 872-2623

### Zoning Standards

Description	Allowed	Proposed	Conforms
Zone	RM	RM	YES
Lot Area	6,000 SF MIN.	14,753 SF	Yes
Lot Width	60' MIN.	120'	Yes
Lot Depth	100'	120'	Yes
Max. Building Height	25'	25'	Yes
Setbacks (Minimum)			
Front Setback to Primary Structure	15'-0"	UNCHANGE D	Yes
Left Sideyard Setback	5'-0"	32'-0"	Yes
Right Sideyard	5'-0"	5'-0"	Yes
Rear	5'-0"	16'-2"	Yes
Lot Coverage	55% MAX	23%	Yes

#### PARKING:

- 1 EXISTING CARPORT AT HISTORIC RESIDENCE
- 2 NEW COVERED PARKING SPACES
- 3 TOTAL PARKING SPACES

### Code Data

#### Occupancy Group:

R-3, U

#### Zoning Designation:

RM (CZ)

#### Type of Construction:

TYPE VB, FIRE SPRINKLERED

#### Number of Stories:

TWO STORIES

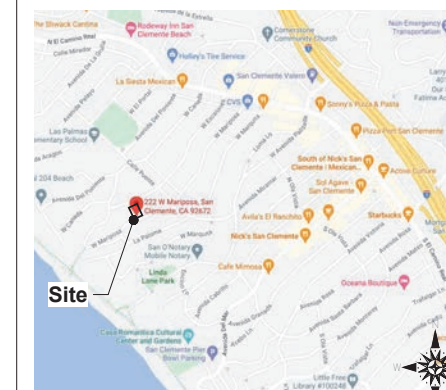
### Scope of Work

DEMOLITION OF PREVIOUS NON-HISTORIC ADDITIONS AND THE ADDITION OF NEW ONE AND TWO STORY ADDITIONS TO THE EXISTING HISTORIC RESIDENCE. THE SCOPE ALSO INCLUDES A NEW DETACHED TWO CAR GARAGE WITH AN ACCESSORY DWELLING UNIT ABOVE THE GARAGE. FURTHER, A STORAGE/SHOP ACCESSORY BUILDING IS PROPOSED TO THE REAR OF THE PROPOSED GARAGE.

### Deferred Submittals

FIRE SPRINKLERS

### Vicinity Map



222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Title Sheet



Project No: 1906  
Plot Date: 08.18.23  
B.O. Submittal  
Bid Issue  
Const. Issue  
Revision:   
Revision:   
Revision:   
Revision:

T.1

Sheet No.

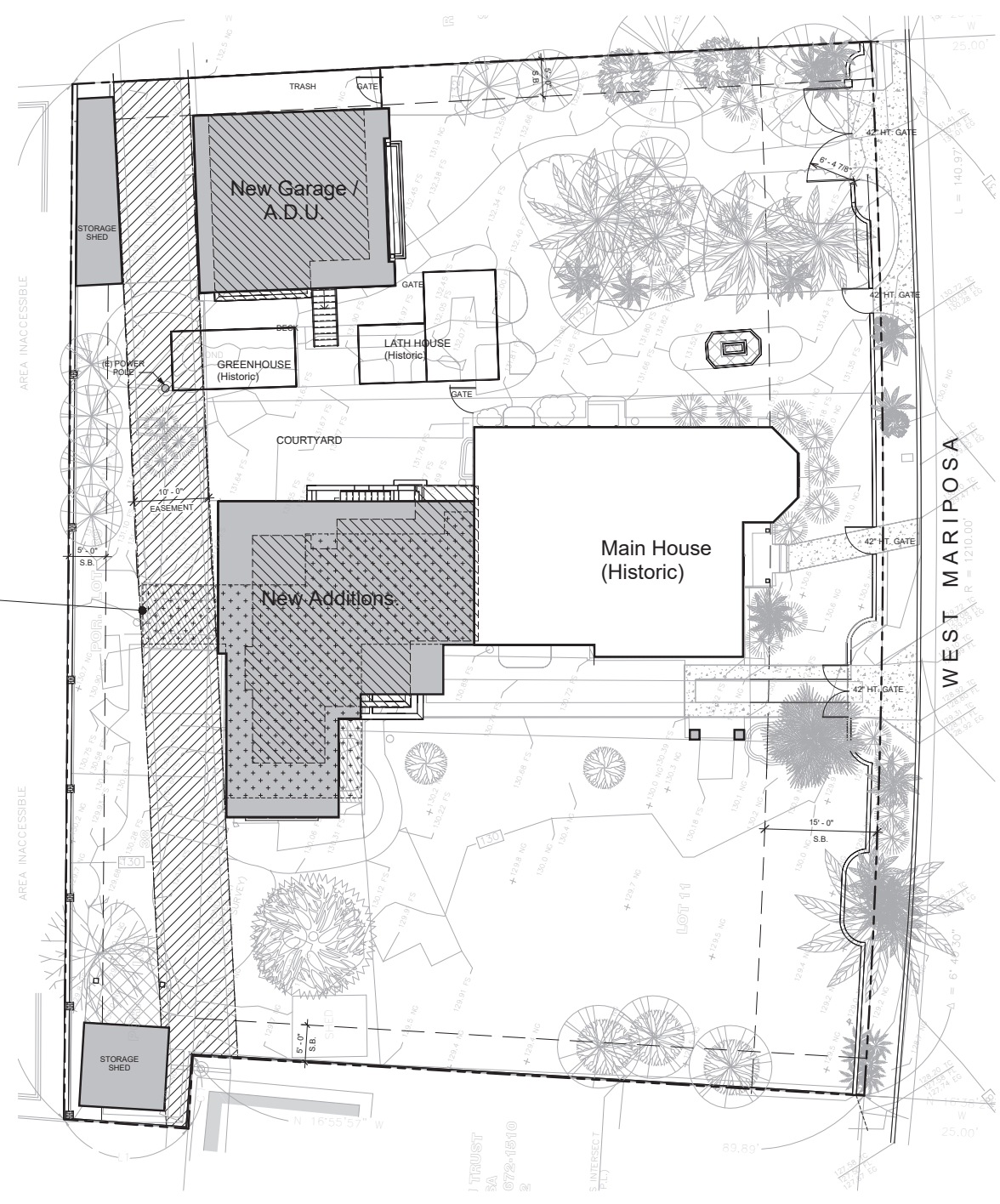
ATTACHMENT 2

Keynotes

	EXISTING BUILDING FOOTPRINT
	AREA OF NEW 1ST FLOOR ADDITION
	AREA OF NEW 2ND FLOOR ADDITION
	DEMOLITION AREA OF PREVIOUS ADDITIONS
	AREA OF EXISTING 10' WIDE EASEMENT
	PROPERTY LINE
	BUILDING SETBACK LINE



Project No.	1906
Plot Date	08.18.23
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
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Revision	△



Existing one story  
non-historic additions  
to be demolished

Proposed Site Plan

SCALE: 1/8" = 1'-0"

Legend

DUE TO THE NATURE OF REMODELING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER UNFORSEEN CONDITIONS UPON THE DEMOLITION OF THE EXISTING RESIDENCE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS.

NOTIFY ARCHITECT FOR FIELD INSPECTION AT THE FOLLOWING INTERVALS:  
UPON DEMOLITION OF STUCCO AND DRYWALL  
PRIOR TO PLACEMENT OF CONCRETE  
UPON START OF FRAMING  
UPON COMPLETION OF FRAMING  
UPON COMPLETION OF WINDOW PLACEMENT  
WATERPROOFING

REMOVE ROOFING PER STRUCTURAL DRAWINGS.

ALL PLUMBING FIXTURES AND KITCHEN APPLIANCES SHALL BE REMOVED AND SAVED FOR OWNER.

REMOVE ALL AFFECTED ELECTRICAL OUTLETS AND LIGHT FIXTURES WHICH ARE MOUNTED ON WALLS/Ceilings TO BE REMOVED NOT SHOWN HEREIN.

REMOVE ALL MECHANICAL DUCTWORK WHICH WILL BE AFFECTED BY THE DEMOLITION AND NEW WORK. CAP ALL DUCTS AT AN APPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

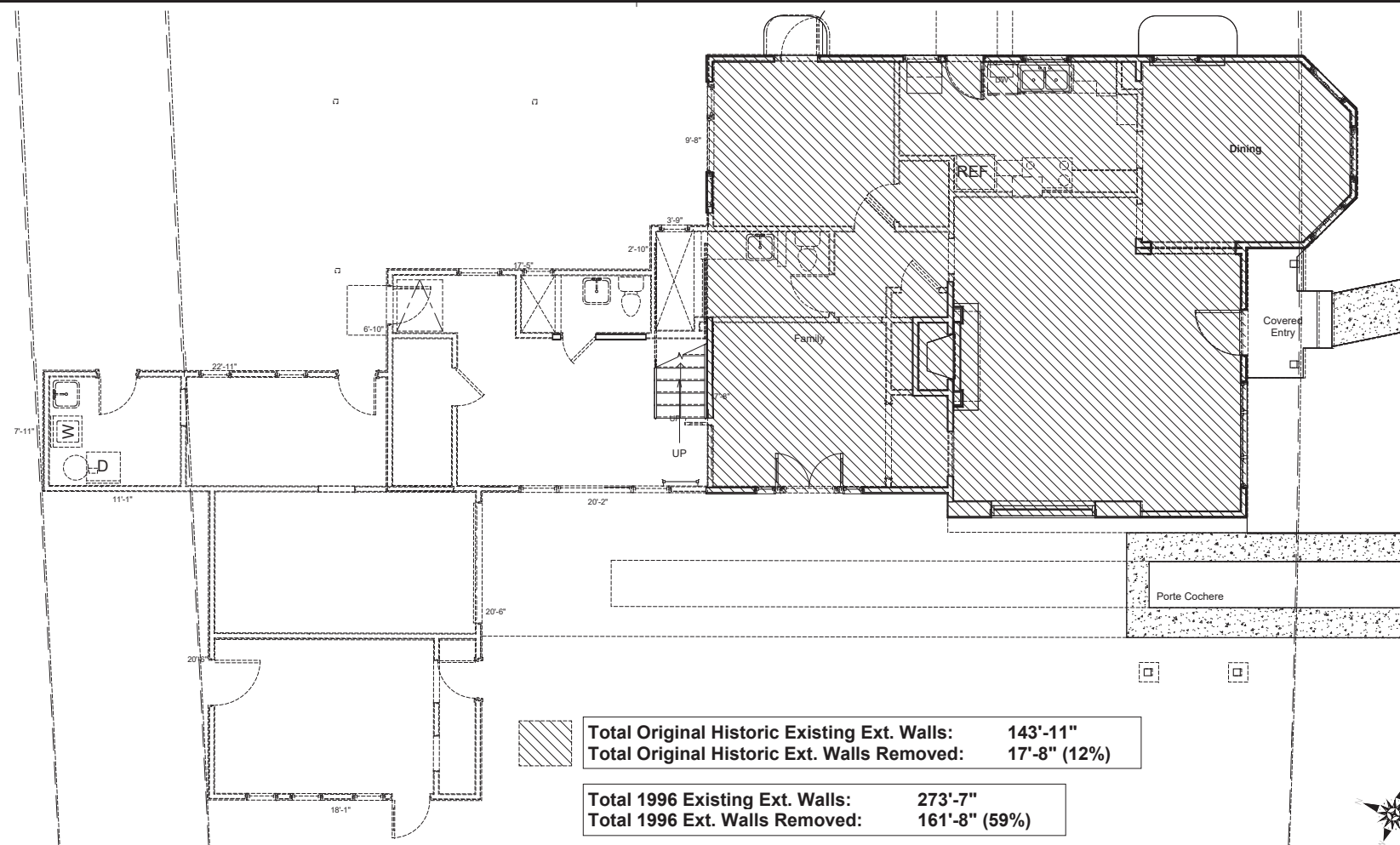
THIS DEMOLITION DRAWING IS INTENDED TO BE USED AS A GUIDE IN ACCOMMODATING THE NEW WORK. THE CONTRACTOR SHALL FULLY INVESTIGATE THE SITE/BUILDING TO VERIFY THE EXISTING CONDITIONS TO VERIFY ITEMS TO BE REMOVED OR RELOCATED WHICH ARE NOT SHOWN HEREIN.


CAP AND OR RELOCATE ALL UTILITIES AND SERVICES AT INAPPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

ALL DEMOLISHED ITEMS ARE TO BE REMOVED FROM THE SITE AND DEPOSITED AT A COUNTY AND CITY APPROVED DUMP SITE.

THE CONTRACTOR SHALL DESIGN AND ERECT ALL NECESSARY SHORING SYSTEMS TO PROPERLY PROTECT THE STRUCTURE AND WORKERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.

— EXISTING WALL TO REMAIN  
- - - EXISTING WALL TO BE REMOVED



	<b>Total Original Historic Existing Ext. Walls:</b>	<b>143'-11"</b>
	<b>Total Original Historic Ext. Walls Removed:</b>	<b>17'-8" (12%)</b>
	<b>Total 1996 Existing Ext. Walls:</b>	<b>273'-7"</b>
	<b>Total 1996 Ext. Walls Removed:</b>	<b>161'-8" (59%)</b>

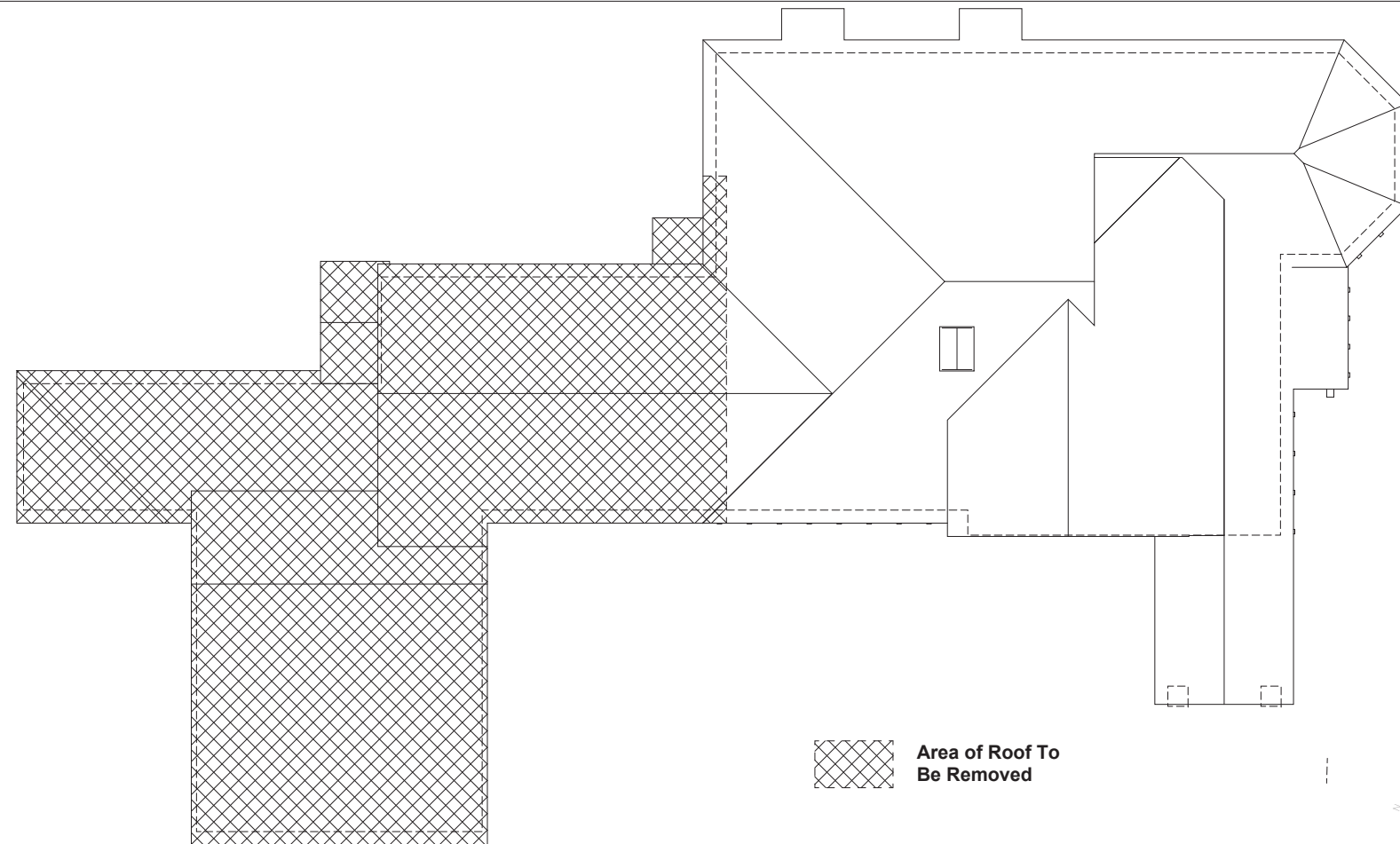



Demolition Plan

SCALE: 1/4" = 1'-0"

1

Legend & Notes



 **Area of Roof To Be Removed**



Roof Demolition Plan

SCALE: 1/4" = 1'-0"

2

Legend & Notes

222 West Mariposa  
San Clemente, CA  
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Sheet Title

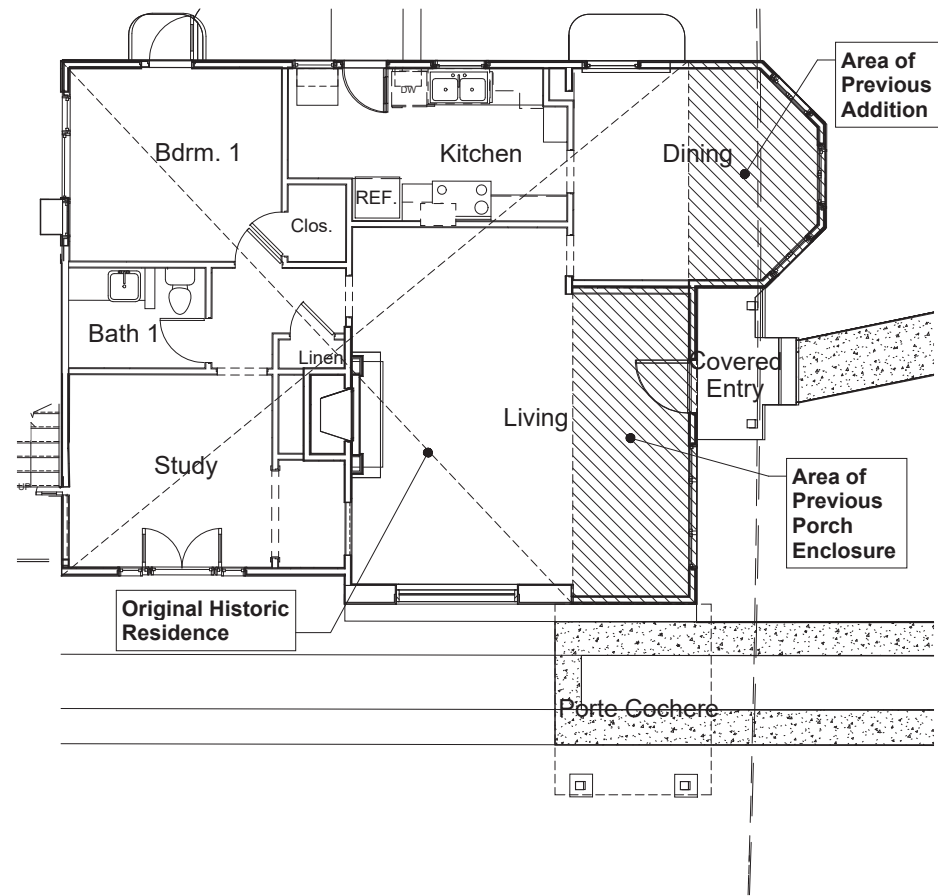
Demolition  
Plans



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B.D. Submittal	
Bid Issue	
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Revision	△

A1.1

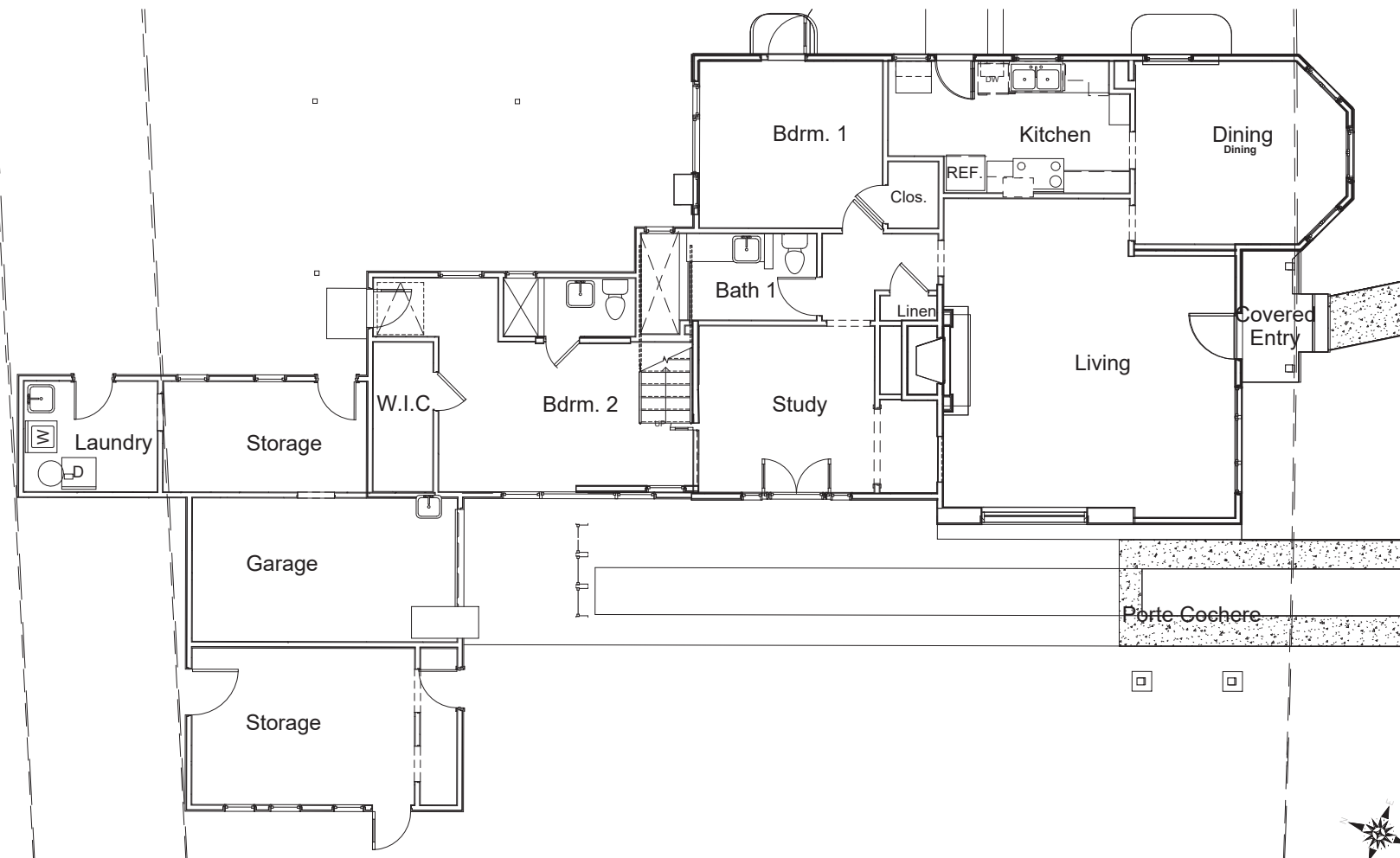
Sheet No.



Original Historic Plan

SCALE: 1/4" = 1'-0"



1



Existing 1996 Plan

SCALE: 1/4" = 1'-0"

2

-  EXISTING STUD WALL TO BE REMAIN
-  NEW STUD WALL TO BE CONSTRUCTED

1. ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Original  
Historic &  
Existing  
Plans

Stamp

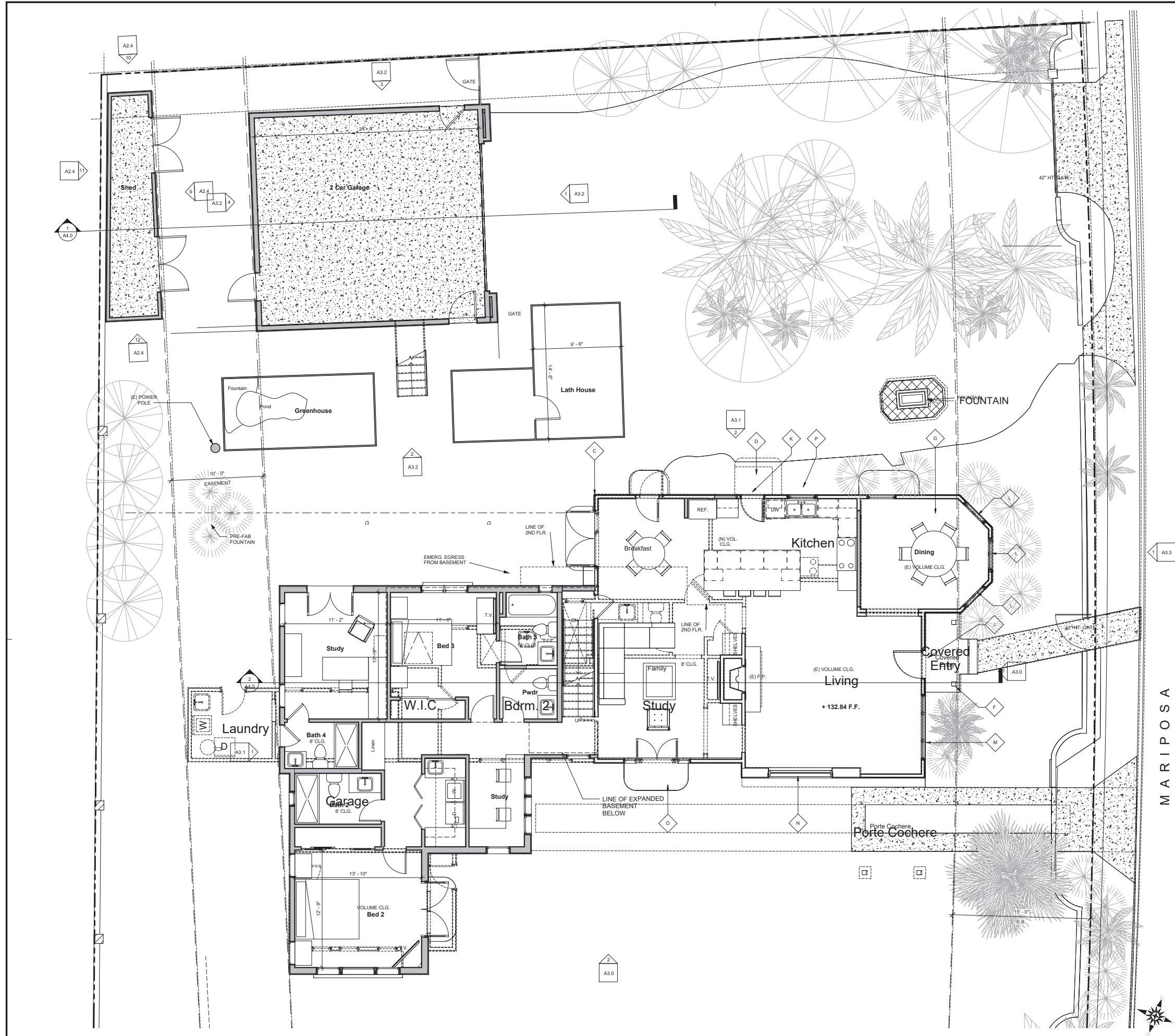


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Const. Issue	
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Revision	△

A1.2

Sheet No.

Legend



1928 Historic Features	
C	REAR WALL OF THE 1928 HOUSE
D	ROOF EXTENSION w/ EXPOSED RAFTER ENDS AT THE RIGHT/EAST ENTRY DOOR
F	FRONT PORCH ROOF EXTENSION w/ EXPOSED RAFTER ENDS
G	OCTAGONAL BAY
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR

1928 Original Windows	
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR
L	SOUTH - (S) FIXED, SINGLE-LITE WINDOWS IN OCTAGONAL BAY
M	SOUTH - SINGLE-LITE, FIXED PICTURE WINDOW
N	WEST - ARCHED, SINGLE-LITE, FIXED PICTURE WINDOW
O	WEST - TRIPARTITE (1-LITE CASEMENT/1 FIXED/1-LITE CASEMENT)
P	EAST - 1-OVER-1 SINGLE HUNG UNITS

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**Architect**

Project  
 3rd Planning  
 Submittal

**Mariposa  
 Remodel &  
 Additions**

222 West Mariposa  
 San Clemente, CA  
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Sheet Title

Tabulations

**1st Floor  
 Plans - Main  
 House &  
 Garage**



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Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

- EXISTING STUD WALL TO BE REMAIN
  - NEW STUD WALL TO BE CONSTRUCTED
- ALL PLUMBING WALLS ARE 2x4 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
  - ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.

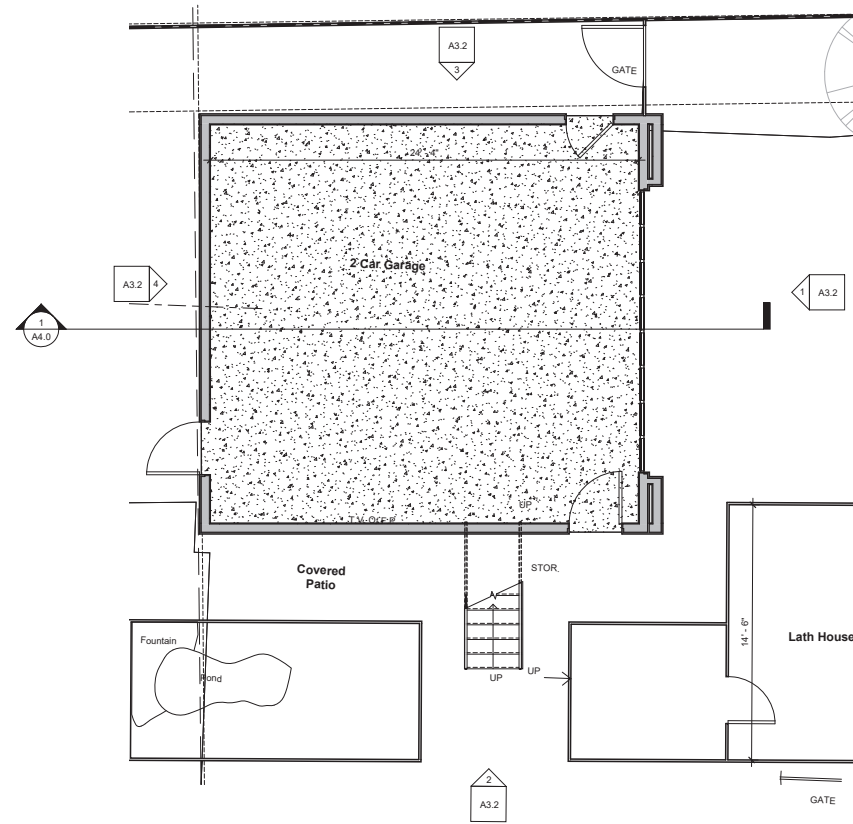
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1st Floor Plans - Main House & Garage

SCALE: 1/4" = 1'-0"

Legend

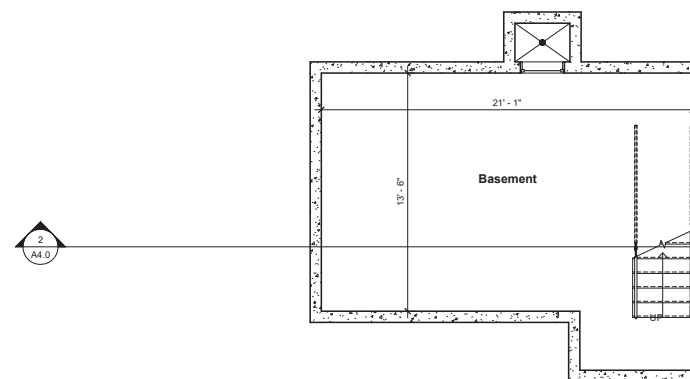




Garage Plan

SCALE: 1/4" = 1'-0"

1





Basement Plan

SCALE: 1/4" = 1'-0"

2

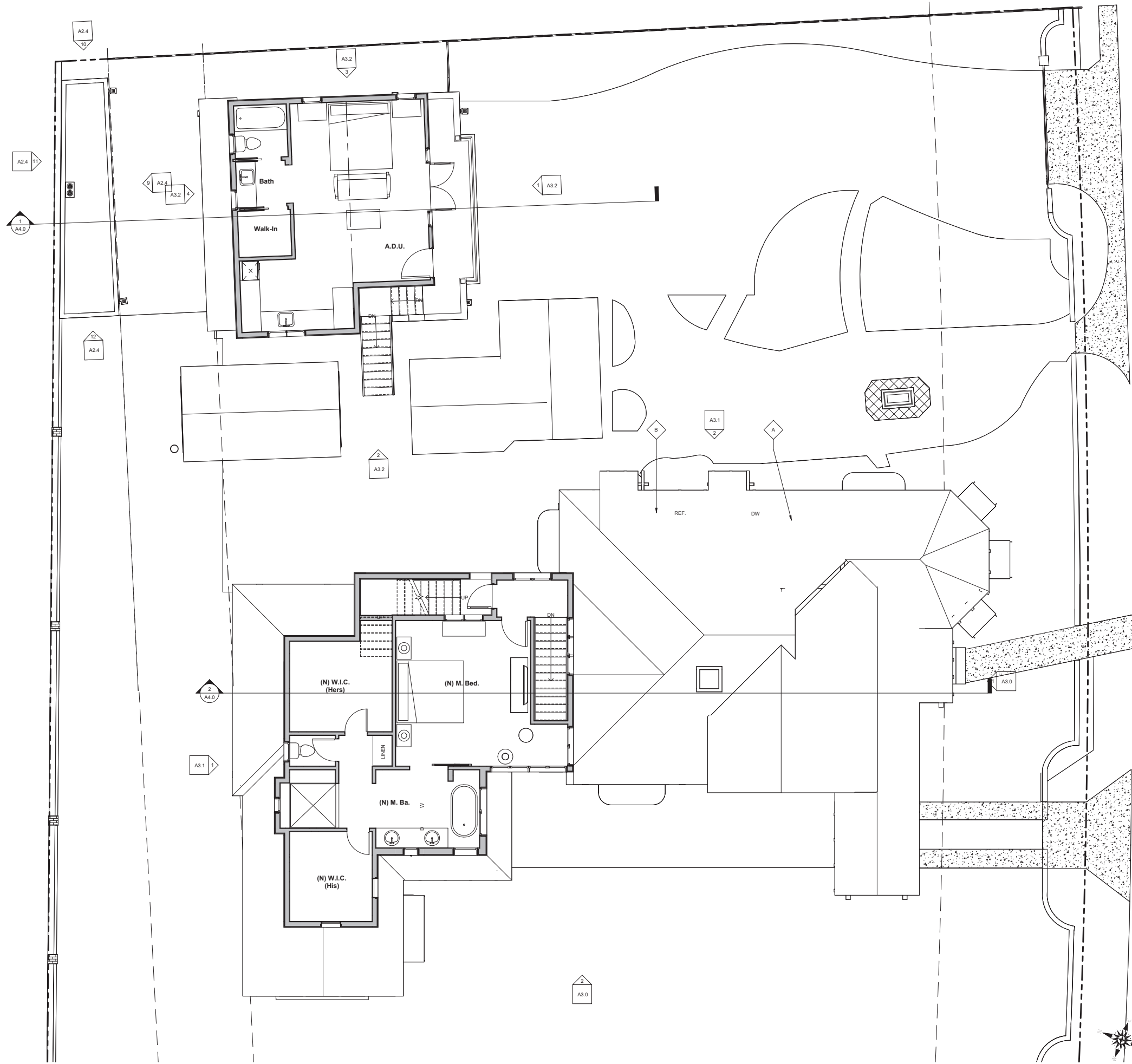
Keynotes

-  EXISTING STUD WALL TO BE REMAIN
  -  NEW STUD WALL TO BE CONSTRUCTED
- SCALE: 1/8" = 1'-0"

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Legend



1928 Historic Features	
A	TERRA COTTA TILE ROOF - IN FRONT OF ORIGINAL RIDGE LINE
B	TERRA COTTA TILE ROOF - IN BACK OF ORIGINAL RIDGE LINE

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**Architect**

Project

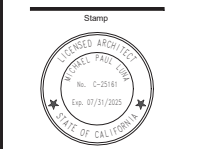
3rd Planning  
 Submittal

**Mariposa  
 Remodel &  
 Additions**

222 West Mariposa  
 San Clemente, CA  
 92672

Sheet Title

**2nd Floor  
 Plans - Main  
 House &  
 Guest  
 House**



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Const. Issue	
Revision	Owner 08.06
Revision	Arch 18
Revision	
Revision	

- Keynotes**
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- Legend**
- EXISTING STUD WALL TO BE REMAIN
  - NEW STUD WALL TO BE CONSTRUCTED

2nd Floor Plans - Main House & Guest House

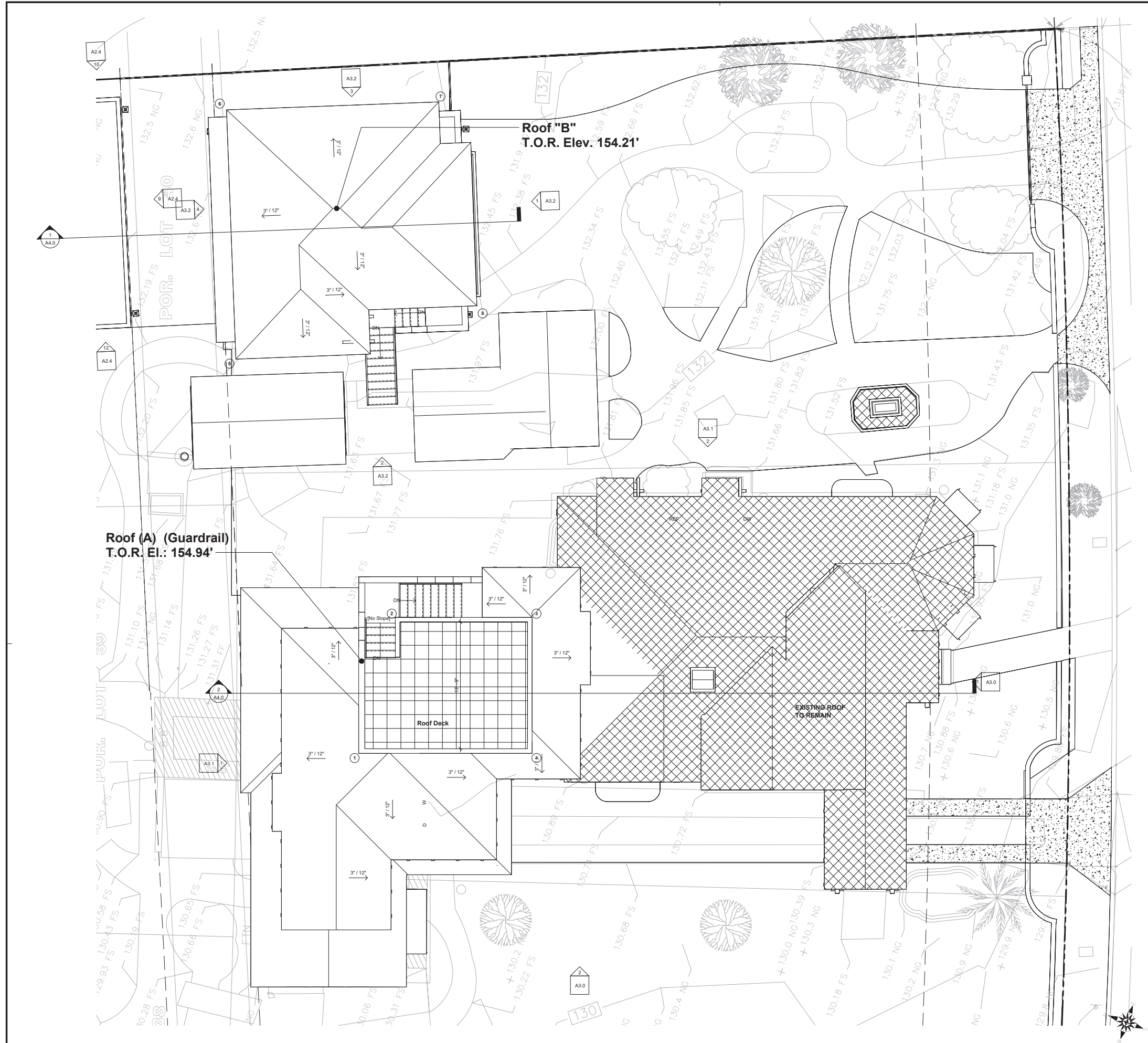
SCALE: 1/4" = 1'-0"

**A2.2**

Sheet No.



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Revision	△
Revision	△
Revision	△
Revision	△



Roof Plan

SCALE: 1/4" = 1'-0"

Keynotes

ROOF HEIGHT ALLOWED: 25'-0" MAX

A	①	②	③	④
	RIDGE ELEV.: 154.94'	154.94'	154.94'	154.94'
B	①	②	③	④
	WALL ELEV.: 154.21'	154.21'	154.21'	154.21'

ORIG. GRADE: 130.9' 131.6' 131.8' 131.6' 130.0' 130.0' 23.44' 23.34' 23.34' 23.34' 23.94'

= 92.30' / 4 = 23.76'

ORIG. GRADE: 132.0' 131.7' 131.5' 132.0' 22.21' 22.61' 22.21' 22.21'

= 88.24' / 4 = 22.06'

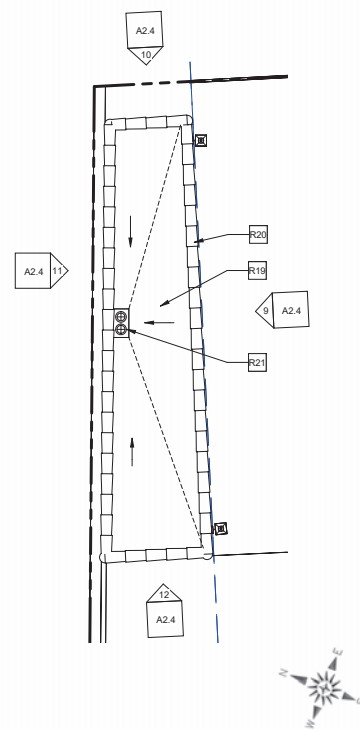
Roof Height Analysis

- ALL RIDGES, HIPS AND VALLEYS SHALL BE FLASHED W/ 24 OUNCE COPPER FLASHING (CONTINUOUS UNDERNEATH TILE AND SHALL NOT BE VISIBLE). COPPER FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAID ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER. 2 LAYERS 15# FELT PAPER SHALL LAY IN CONTINUOUS STRIPS. OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURERS' (REDLANDS CLAY TILE) RECOMMENDATIONS. WHERE FLASHING MUST BE EXPOSED, FLASHING SHALL BE COPPER 24 OUNCE MIN. W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT. TYP.
- RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL. CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
- ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS. ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 80 MPH.
- ALL ROOF PITCHES ARE 3/12 (UNO).
- ALL CONTOURS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES.
- USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN TILE A MINIMUM OF 2 1/2" TO HELP DIMINISH IT'S APPEARANCE.
- ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PROCLUDE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- ALL FLUES AND VENTS MUST COMPLY WITH PAGE 31 OF THE DESIGN GUIDELINES AND BE LOCATED IN UNOBTRUSIVE AREAS RELATIVE TO ALL VIEWS FROM BEYOND THE PROPERTY INCLUDING THOSE FROM THE NEIGHBOR'S SECOND STORY AND THE LOTS LOTS ABOVE. PLEASE CONSOLIDATE AND MANIFOLD VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. THE HEIGHT OF ALL FLUES AND VENTS ABOVE THE FINISHED ROOFING MUST BE AT THE ABSOLUTE MINIMUM ALLOWED BY CODE.
- ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR.
- ROOF TILE IS TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL.
- PROVIDE ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- PROTECTION OF OPENINGS INTO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" NOR MORE THAN 1/2" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPARK ARRESTORS OF A MAXIMUM OF 12" SQUARE SCREEN PAINT "02" FOREST BLACK TO CONCEAL ARRESTOR.
- ALL PORTABLE EQUIPMENT SHALL NOT EXCEED 42" IN HEIGHT EXCEPTING SHADE STRUCTURES.
- NO PART OF THIS BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.

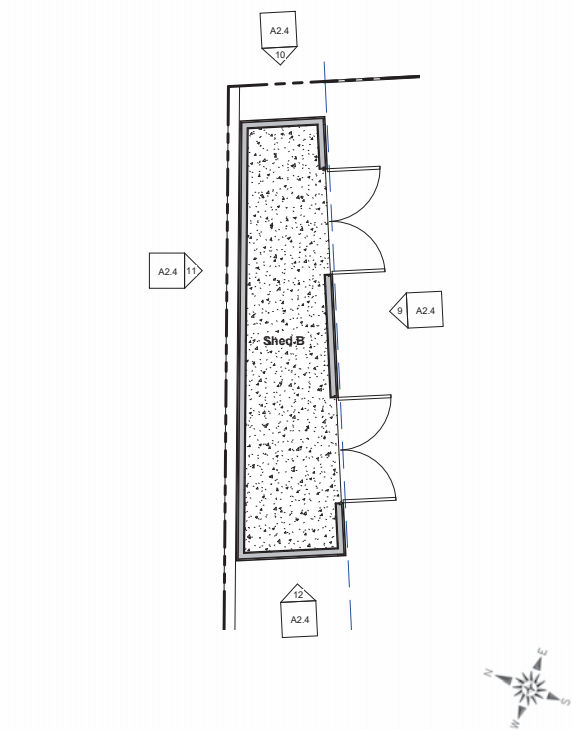
Roof General Notes

Legend

E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE APPLIED w/ STEEL HAND TROWEL (NO MACHINE APPLICATION), SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC-ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E14	EXTERIOR LIGHT
E15	SOLID WOOD DOOR PER PLAN
E29	METAL CLAD FRENCH SLIDING DOORS, DIVIDED LITES
E30	8 x 8 WOOD BEAM - PAINTED
E31	8 x 10 WOOD BEAM w/ SHAPED ENDS - PAINTED
E41	RED CLAY TILE WALL CAP
R1	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC-ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
R19	PL/DEX B, SAND FINISH, WATERPROOF ROOF COVERING SYSTEM (ICC-ESR R2057), COLOR: TERRA COTTA; SLOPE TO DRAIN OR AWAY FROM BUILDING @ MIN. 1/4" PER FOOT
R20	RED CLAY TILE WALL CAP
R21	ROOF DRAIN w/ OVERFLOW DRAIN - CONNECT TO STORM DRAIN SYSTEM

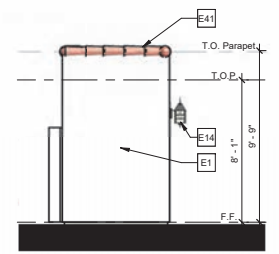


Shed B Roof Plan SCALE: 1/4" = 1'-0" 4

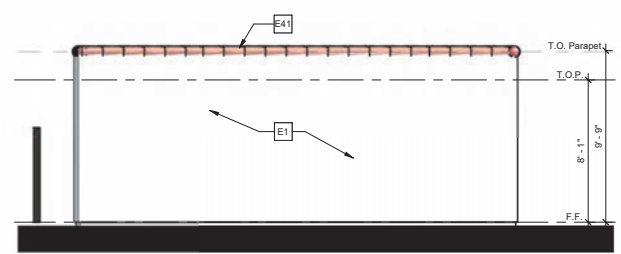


Shed B Plan SCALE: 1/4" = 1'-0" 3

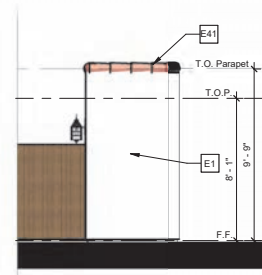
Keynotes



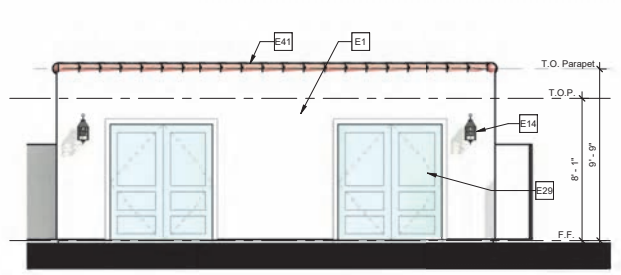
Shed B Left Elevation SCALE: 1/4" = 1'-0" 12



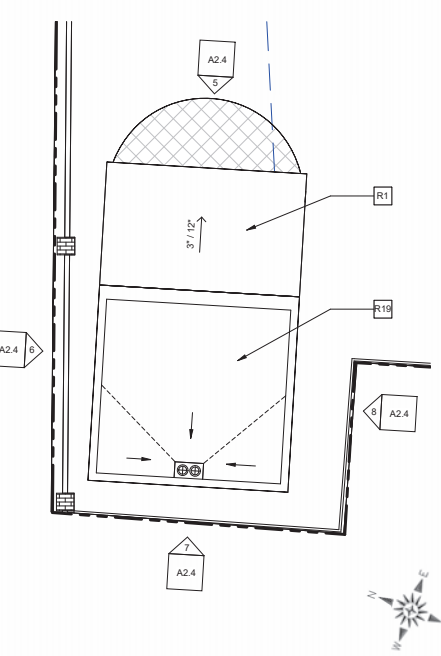
Shed B Rear Elevation SCALE: 1/4" = 1'-0" 11



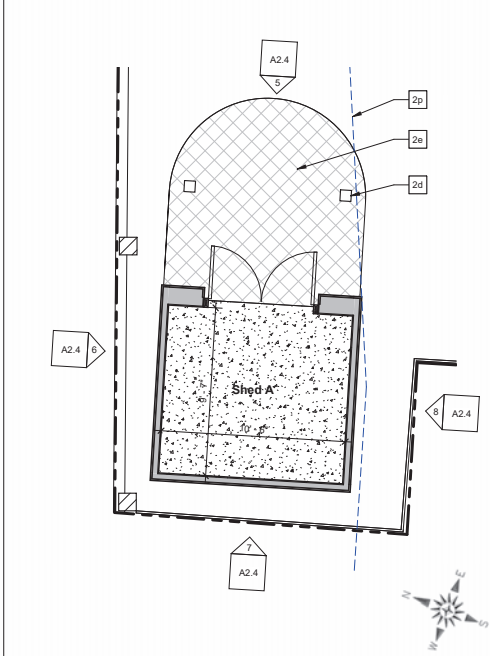
Shed B Right Elevation SCALE: 1/4" = 1'-0" 10



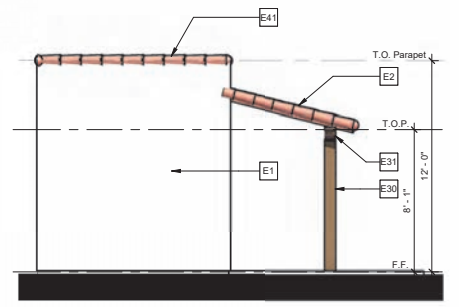
Shed B Front Elevation SCALE: 1/4" = 1'-0" 9



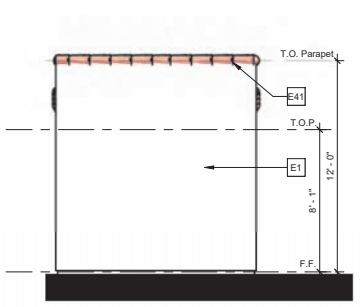
Shed A Roof Plan SCALE: 1/4" = 1'-0" 2



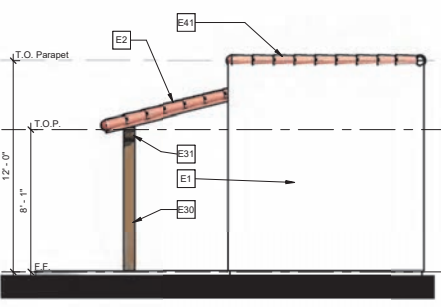
Shed A Plan SCALE: 1/4" = 1'-0" 1



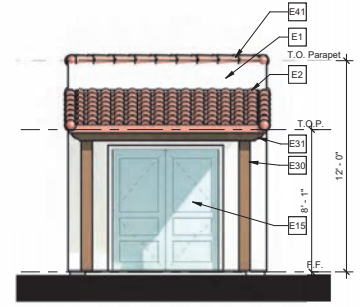
Shed A Left Elevation SCALE: 1/4" = 1'-0" 8



Shed A Rear Elevation SCALE: 1/4" = 1'-0" 7



Shed A Right Elevation SCALE: 1/4" = 1'-0" 6



Shed A Front Elevation SCALE: 1/4" = 1'-0" 5

- EXISTING STUD WALL TO BE REMAIN
  - NEW STUD WALL TO BE CONSTRUCTED
1. ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
  2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.

Legend

222 West Mariposa  
San Clemente, CA  
92672

Shed Plans  
& Elevations



Project No.	1906
Plot Date	08.18.23
B.O. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△

A2.4

Sheet No.



FRONT ELEVATION



LEFT ELEVATION

EXTERIOR ELEVATIONS

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Exterior  
Elevations



Project No.	1906
Plot Date	08.18.23
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

A3.0

SCALE: 1/4" = 1'-0"

Sheet No.



1 - REAR ELEVATION



2 - RIGHT ELEVATION

EXTERIOR ELEVATIONS

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Exterior  
Elevations

Stamp



Project No.	1906
Plot Date	08.18.23
B.O. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

A3.1

Sheet No.

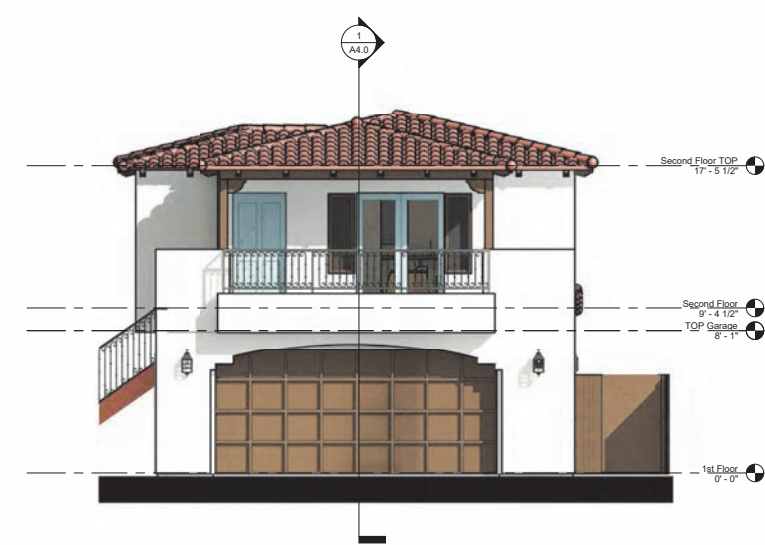
SCALE: 1/4" = 1'-0"



Project No.	1906
Plot Date	08.18.23
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△



REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT EXTERIOR ELEVATION

Michael  
Luna



&  
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Architect

Project

3rd Planning  
Submittal

Mariposa  
Remodel &  
Additions

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Exterior  
Elevation  
with Existing  
Landscape

Stamp



Project No.	1906
Plot Date	08.18.23
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

A3.3

Sheet No.





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Architect

Project

3rd Planning  
Submittal

Mariposa  
Remodel &  
Additions

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

3D Views

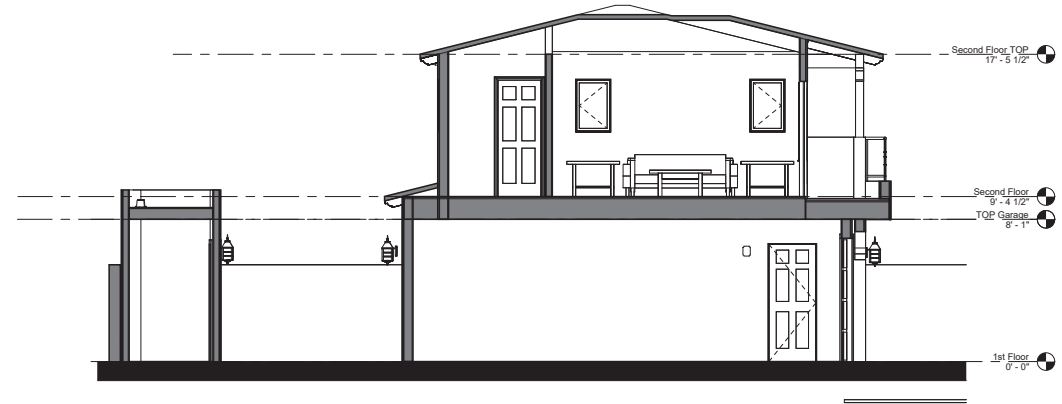
Stamp



Project No. 1906  
Plot Date 08.18.23  
B.D. Submittal  
Bid Issue  
Const. Issue  
Revision    
Revision    
Revision    
Revision

A3.4

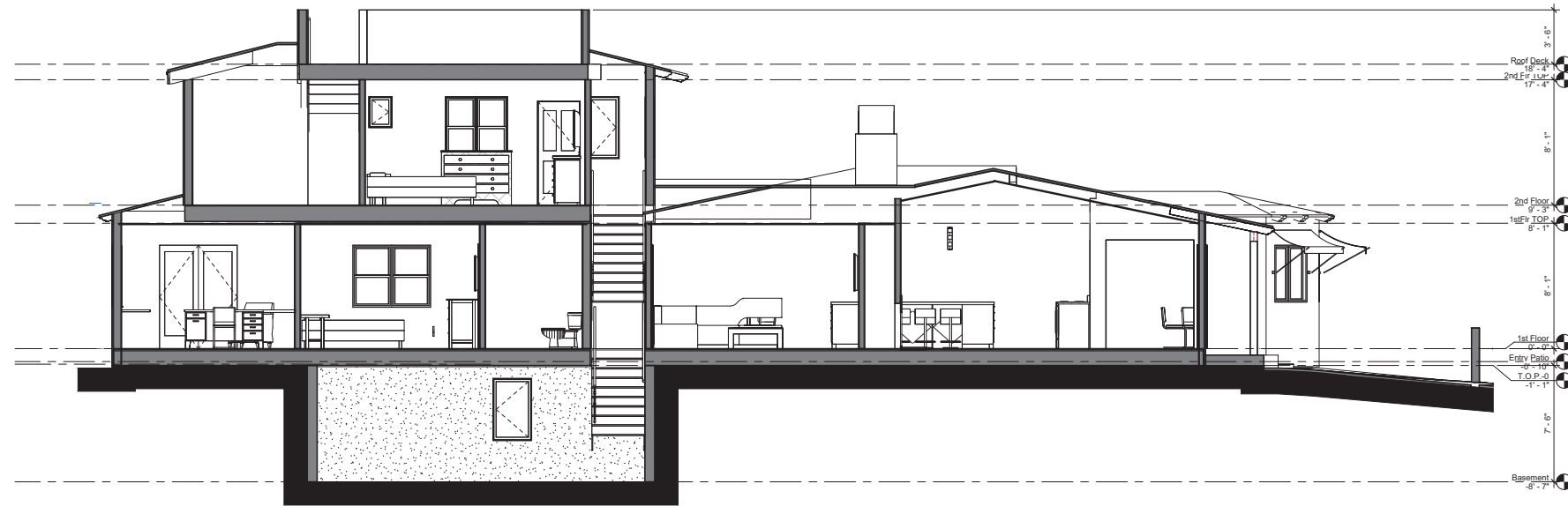
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Garage and A.D.U. Section

1

Keynotes



Main Residence Section

2

Legend & Notes

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Building  
Sections

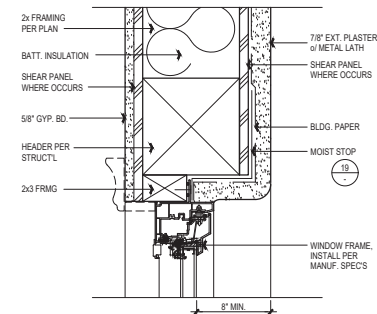
Stamp



Project No.	1906
Plot Date	08.18.23
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

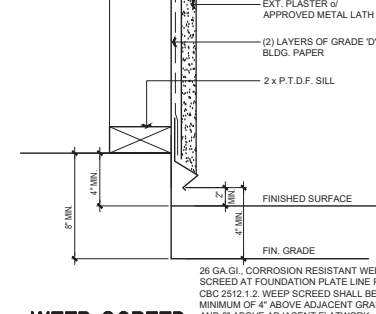
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Sheet No.



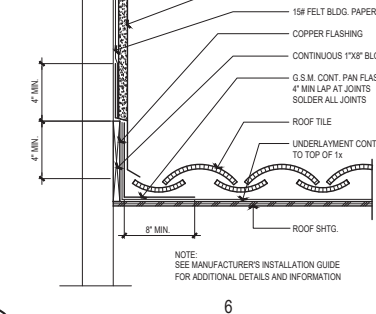
**WINDOW HEAD**  
SCALE: 3/4"=1'-0"

16



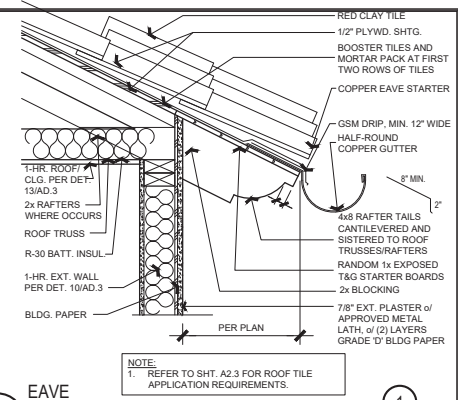
**WEEP SCREED**  
SCALE: 1-1/2"=1'-0"

10



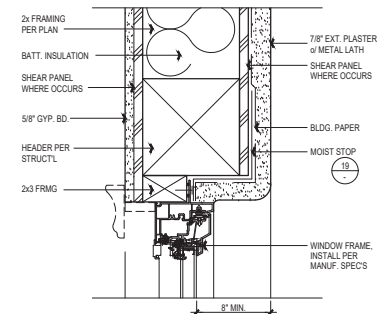
**ROOF TO WALL**  
SCALE: 1-1/2"=1'-0"

6



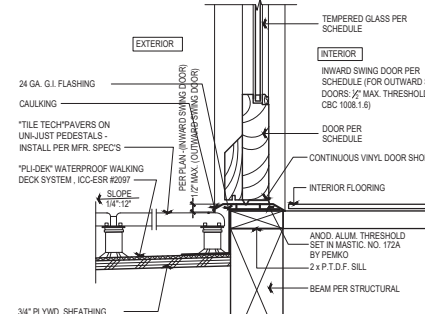
**EAVE**  
SCALE: 1-1/2"=1'-0"

1



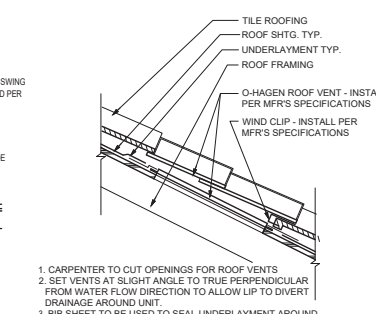
**WINDOW JAMB**  
SCALE: 3/4"=1'-0"

17



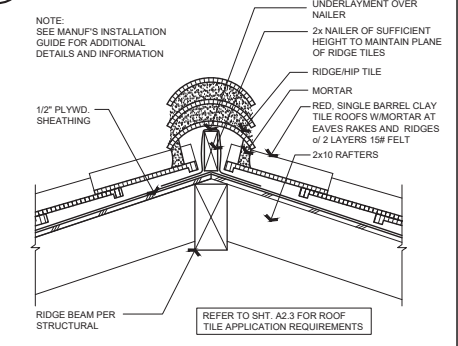
**THRESHOLD@DECK AT 2ND FLOOR**  
SCALE: 3/4"=1'-0"

11



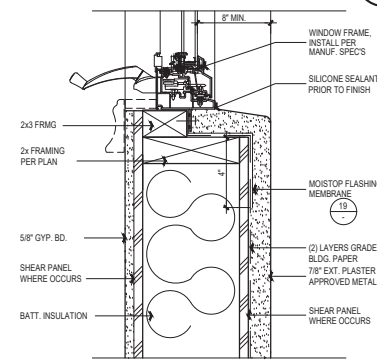
**ROOF VENT**  
SCALE: 1-1/2"=1'-0"

7



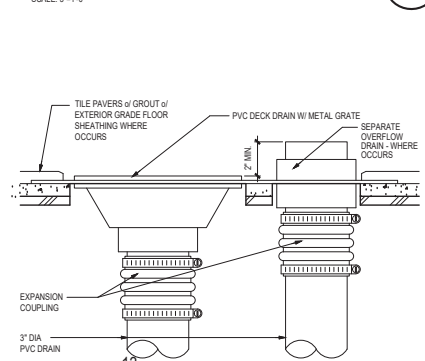
**RIDGE/HIP**  
SCALE: 1-1/2"=1'-0"

2



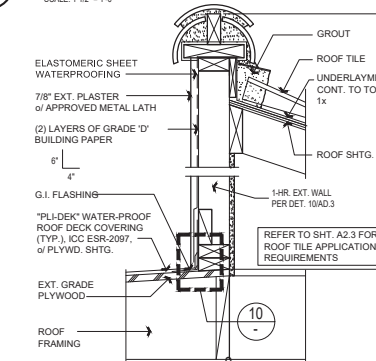
**WINDOW SILL**  
SCALE: 3/4"=1'-0"

18



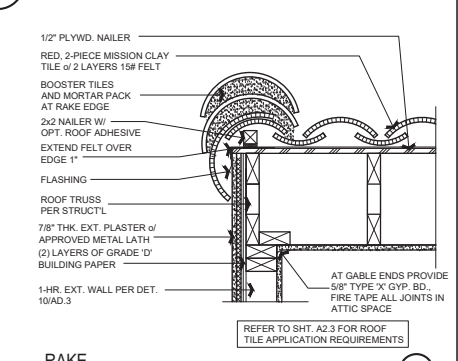
**DECK DRAIN W/ OVERFLOW**  
SCALE: 1-1/2"=1'-0"

12



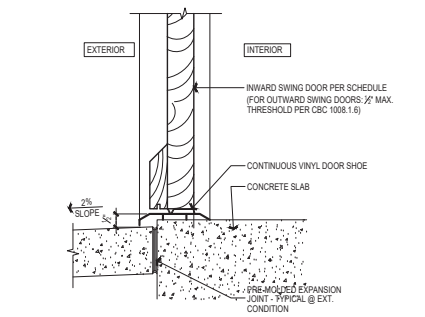
**ROOF TO WALL @ DECK**  
SCALE: 1-1/2"=1'-0"

8



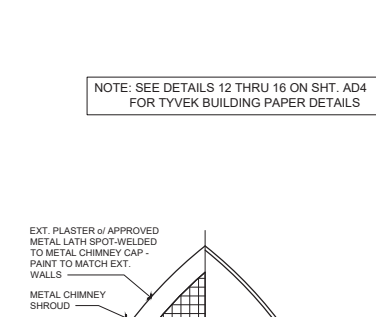
**RAKE**  
SCALE: 1-1/2"=1'-0"

3



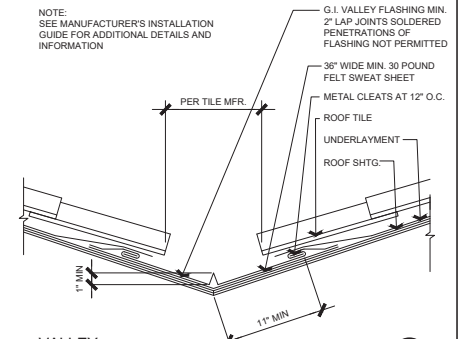
**THRESHOLD AT SLAB**  
SCALE: 3/4"=1'-0"

13



**CHIMNEY CAP**  
SCALE: 1-1/2"=1'-0"

9



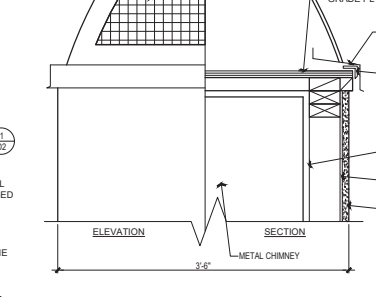
**VALLEY**  
SCALE: 1-1/2"=1'-0"

4



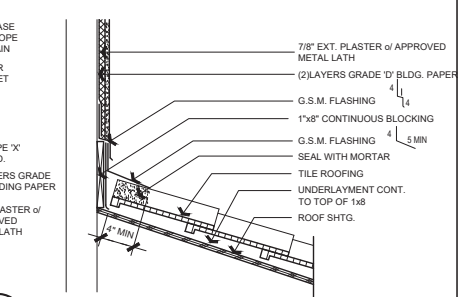
**DOOR HEAD/JAMB @ EXT.**  
SCALE: 1-1/2"=1'-0"

14



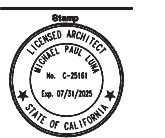
**CHIMNEY CAP**  
SCALE: 1-1/2"=1'-0"

9

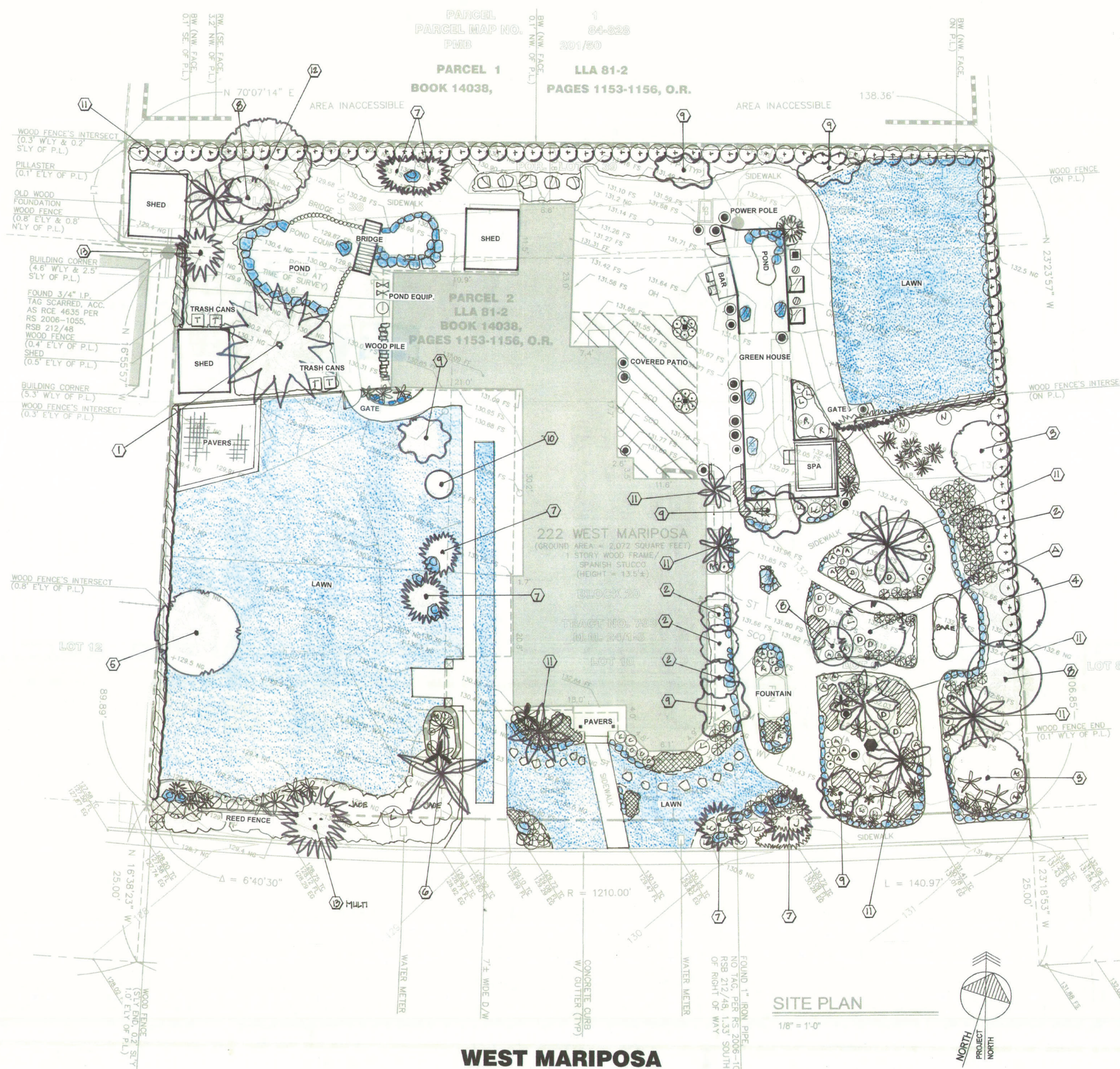


**ROOF TO WALL**  
SCALE: 1-1/2"=1'-0"

5



Project No.	1908
Plot Date	01.19.23
Scale	As Shown
Revision	1
Revision	2
Revision	3
Revision	4
Revision	5



**EXISTING SITE PLANTING**

**TREES**

SYMBOL:	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	
		RATING	PLANT FACTOR
1	AVOCADO SPECIES	Moderate	0.5
2	ARAUCARIA HETEROPHYLLA (Norfolk Island Pine)	Moderate	0.5
3	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
4	FICUS MICROPHYLLA - 'El Toro' (Indian Laurel Fig)	Moderate	0.5
5	JACARANDA MIMOSIFOLIA (Jacaranda)	Moderate	0.5
6	MYOPORUM LAETUM (Myoporum)	Moderate	0.5
7	PHOENIX CANARIENSIS (Canary Island Date Palm)	Low	0.2
8	PINUS PARVIFLORA (Japanese White Pine)	Moderate	0.5
9	PITTOSPORUM UNDLATUM (Victorian Box)	Moderate	0.5
10	PLUMERIA RUBRA (Frangipani)	Low	0.2
11	RHAPHIOLEPIS - 'Majestic Beauty' (Majestic Beauty)	Moderate	0.5
12	STRELITZIA NICOLAI (Giant Bird of Paradise)	Moderate	0.5
13	ULMUS PARVIFOLIA - 'Drake' (Chinese Evergreen Elm)	Moderate	0.5
14	YUCCA GLORIOSA (Spanish Dagger)	Low	0.2

**SHRUBS**

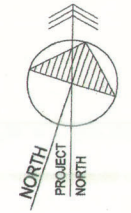
15	AEONIU ARBOREUM (Succulent - Green)	Low	0.2
16	AEONIU URBIUM (Said Bowl)	Low	0.2
17	AGAVE ATTENUATA (Agave)	Low	0.2
18	AGAVE CORNELIUS (Variegated)	Low	0.2
19	ALOE ARBORESCENS (Torch Aloe)	Low	0.2
20	ALOE STRIATA (Coral Aloe)	Low	0.2
21	AGAPANTHUS ORIENTALIS (Hybrid - Queen Anne)	Moderate	0.5
22	CANNA - SPECIES (Canna)	Moderate	0.5
23	CRASSULA OVATA (Jade Plant)	Low	0.2
24	DODECATHEON HENDERSONII (Shooting Star)	Low	0.2
25	FICUS MICROCARPA (Indian Laurel Fig)	Low	0.2
26	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
27	HEMEROCALLIS - HYBRID (Day Lily)	Moderate	0.5
28	IRIS - SPECIES (Japanese Iris)	Moderate	0.5
29	JUNIPER PROCUMBENS (Japanese Garden Juniper)	Low	0.2
30	JUNIPER WILTONII (Blue Carpet Juniper)	Low	0.2
31	LANTANA CAMARA (Multi-color Lantana)	Low	0.2
32	LAVANDULA AUGUSTIFOLIA (English Lavender)	Low	0.2
33	LIGUSTRUM JAPONICUM - HYBRID (Swansea River)	Moderate	0.5
34	LIMONIUM PEREZZI - STATICE (Sea Lavender)	Low	0.2
35	NANDINA DOMESTICA (Heavenly Bamboo)	Low	0.2
36	PITTOSPORUM TOBIRA (Variegated Pittosporum)	Moderate	0.5
37	PLUMERIA - SPECIES (Plumeria)	Low	0.2
38	ROSMARINUS OFFICINALIS (Rosemary)	Low	0.2
39	SALVIA DORRII - PURPLE (Mojave Sage)	Low	0.2
40	SENECIO MANDRALISCAE (Kleinia Repens)	Low	0.2
41	STENOCEERUS MARGINATUS (Cactus - Organ Pipe)	Very Low	0.1
42	STRELITZIA REGINAE (Bird of Paradise)	Moderate	0.5

**VINES**

43	GRAPE - SPECIES (Common Grape)	Moderate	0.5
44	JASMINUM POLYANTHUM (Pink Jasmine Vine)	Moderate	0.5

**SITE PLAN**

1/8" = 1'-0"



**WEST MARIPOSA**

REVISIONS	BY

**LANDSCAPE ARCHITECT**  
**JAMES PEKARSKIE**  
 1219 Granada  
 San Clemente, Ca. 92673  
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 Lic.# 1630 Nev. Lic. #487



**NIELSEN RESIDENCE**  
 222 West Mariposa  
 San Clemente, CA 92672

EXISTING  
 SITE  
 PLANTING PLAN

DRAWN	JP
CHECKED	DN / AN / ML
DATE	12-15-2021
SCALE	1/8" = 1'-0"
JOB NO.	#221-011
SHEET	

L-1

**CONSTRUCTION LEGEND**

**EXISTING SITE ITEMS**

- A Existing Concrete Curb and Gutter - To Remain
- B Existing Rustic Paving - To Remain
- C Existing Concrete Paving - To Remain
- D Existing Historic Fountain - To Remain
- E Existing Lath Room Structure - To Remain (Repair as necessary)
- F Existing Garden Area - To Remain (Protect in place)
- G Existing Landscape (Shrubs and Trees) - To Remain
- H Existing Lawn and Stepping Stones - To Remain
- I Existing Green House, Pond and Fountain - To Remain (Repair as necessary)
- J Existing Power Pole - To Remain (Protect in place)
- K Existing Masonry Property Line Fence / Wall - To Remain
- L Existing Garden Paving to be incorporated into the new Driveway
- M Existing Stone Pond Edge Feature - To Remain
- N Existing Shed Structure - To Remain
- O Existing Low Wood Fence and Gate - To Remain
- P Existing Brick Pavers - To Remain
- Q Existing Open Lawn Area - To Remain
- R Existing Rustic Wood Gate - To Remain
- S Existing Brick Planter Feature - To Remain
- T Existing "Rustic" Rock Border - To Remain

**NEW CONSTRUCTION ITEMS**

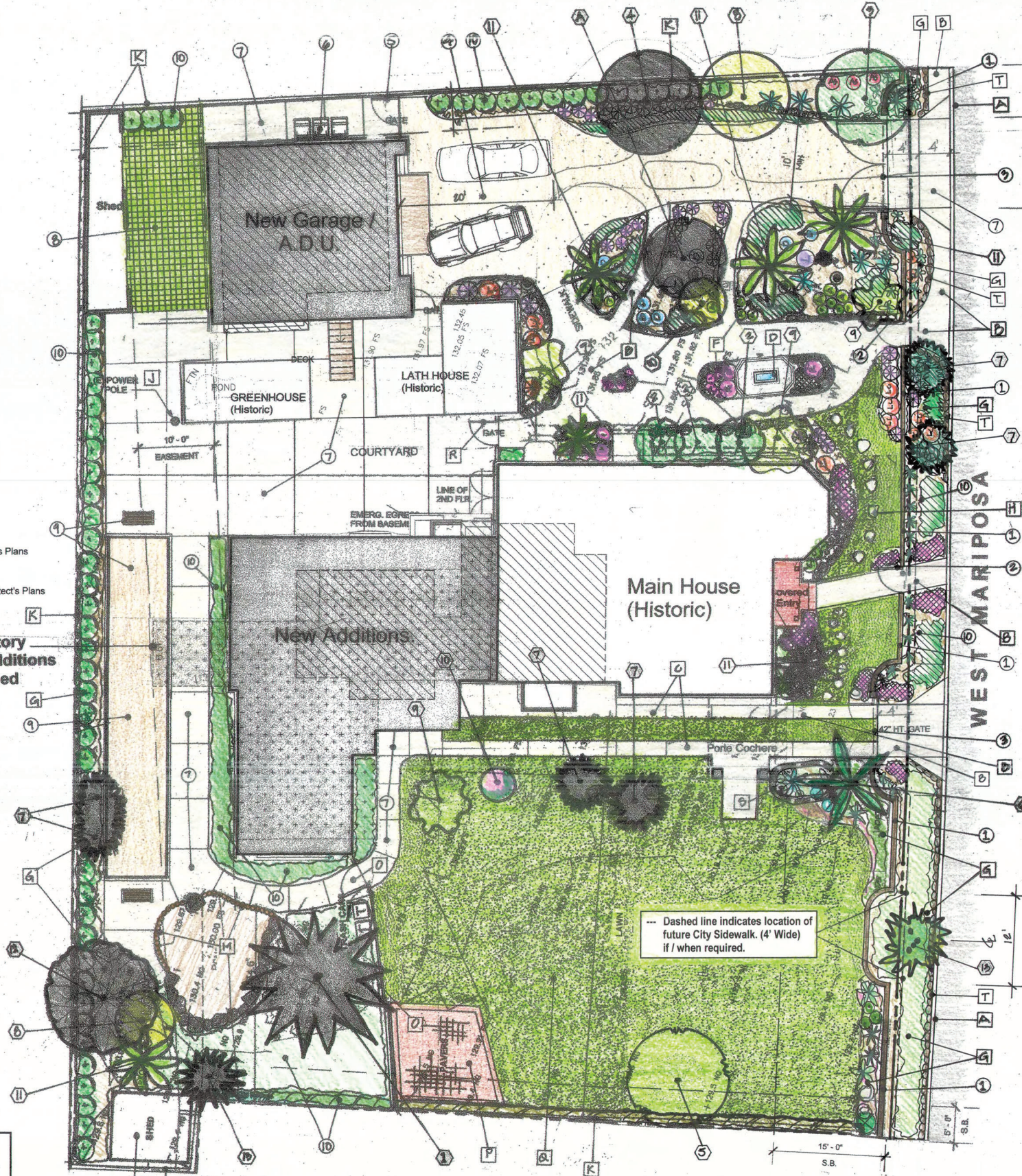
- 1 New Spanish style stucco-finish Masonry Wall (42" High) - See Architect's Plans
- 2 New Decorative Metal Entry Gate (42" High) - See Architect's Plans
- 3 New Decorative Metal Vehicular "Swing-type" Gates (42" High) - See Architect's Plans
- 4 New stabilized decomposed Gravel Driveway
- 5 New Decorative Wood Gate
- 6 New Trash Can Storage location
- 7 New Concrete Paving
- 8 New Turf Block Paving Area
- 9 New Bocce Ball Court w/Rustic Wood Benches
- 10 New Landscape Area (Use same plant material as existing)

**NEW DRIVEWAY CONCEPT**

- New Driveway to Garage is to be as minimal as possible. The existing "Rustic" Paving location is to remain where practical and the remainder of the adjacent Driveway will be stabilized decomposed Gravel.
- The existing Garden Planting is to remain as is, with the minimum amount of editing to take place.
- Protect as many existing trees as possible.

**IRRIGATION SYSTEM DESIGN:**

- Irrigation System to utilize existing Water Meter point of connection (verify meter location, size and available 'static' water pressure) and Backflow device.
- New Irrigation System design will utilize separate Control Valves as follows:
  - All Trees to have separate Bubbler Water System within the Tree's Dripline
  - All Drip System irrigation control valves are to have the necessary drip filter with cleanouts upstream of valve.
  - All Shrub areas to have Dripline water-efficient linear tubing system.
- The Irrigation System shall utilize "Smart" automated irrigation technology. Irrigation Controller to utilize either evapotranspiration or soil moisture sensor data for irrigation scheduling in all Irrigation Systems.



**SITE PLAN** 1/8" = 1'-0"

**EXISTING SITE PLANTING**

**TREES**

SYMBOL	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	
		RATING	PLANT FACTOR
1	AVOCADO SPECIES	Moderate	0.5
2	ARAUCARIA HETEROPHYLLA (Norfolk Island Pine)	Moderate	0.5
3	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
4	FICUS MICROPHYLLA - 'El Toro' (Indian Laurel Fig)	Moderate	0.5
5	JACARANDA MIMOSIFOLIA (Jacaranda)	Moderate	0.5
6	MYOPORUM LAETUM (Myoporum)	Moderate	0.5
7	PHOENIX CANARIENSIS (Canary Island Date Palm)	Low	0.2
8	PINUS PARVIFLORA (Japanese White Pine)	Moderate	0.5
9	PITOSPORUM UNULATUM (Victorian Box)	Moderate	0.5
10	PLUMERIA RUBRA (Frangipani)	Low	0.2
11	RHAPHOLEPIS - 'Majestic Beauty' (Majestic Beauty)	Moderate	0.5
12	STRELITZIA NICOLAI (Giant Bird of Paradise)	Moderate	0.5
13	ULMUS PARVIFOLIA - 'Drake' (Chinese Evergreen Elm)	Moderate	0.5
14	YUCCA GLORIOSA (Spanish Dagger)	Low	0.2

**SHRUBS**

15	AEONIUM ARBOREUM (Succulent - Green)	Low	0.2
16	AEONIUM URBIUM (Sated Bowl)	Low	0.2
17	AGAVE ATTENUATA (Agave)	Low	0.2
18	AGAVE CORNELIUS (Variegated)	Low	0.2
19	ALOE ARBORESCENS (Torch Aloe)	Low	0.2
20	ALOE STRIATA (Coral Aloe)	Low	0.2
21	AGAPANTHUS ORIENTALIS (Hybrid - Queen Anne)	Moderate	0.5
22	CANNA - SPECIES (Canna)	Moderate	0.5
23	CRASSULA OVATA (Jade Plant)	Low	0.2
24	DODECATHEDON HENDERSONII (Shooting Star)	Low	0.2
25	FICUS MICROCARPA (Indian Laurel Fig)	Low	0.2
26	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
27	HEMEROCALLIS - HYBRID (Day Lily)	Moderate	0.5
28	IRIS - SPECIES (Japanese Iris)	Moderate	0.5
29	JUNIPER PROCUMBENS (Japanese Garden Juniper)	Low	0.2
30	JUNIPER WILTONII (Blue Carpet Juniper)	Low	0.2
31	LANTANA CAMARA (Multi-color Lantana)	Low	0.2
32	LAVANDULA AUGUSTIFOLIA (English Lavender)	Low	0.2
33	LIGUSTRUM JAPONICUM - HYBRID (Suwannee River)	Moderate	0.5
34	LIMONIUM PEREZZI - STATICE (Sea Lavender)	Low	0.2
35	NANDINA DOMESTICA (Heavenly Bamboo)	Low	0.2
36	PITOSPORUM TOBIRA (Variegated Pittosporum)	Moderate	0.5
37	PLUMERIA - SPECIES (Plumeria)	Low	0.2
38	ROSMARINUS OFFICINALIS (Rosemary)	Low	0.2
39	SALVIA DORRII - PURPLE (Mojave Sage)	Low	0.2
40	SENECIO MANDRALISCAE (Mojave Poppy)	Low	0.2
41	STEMOCEREUS MARGINATUS (Cactus - Organ Pipe)	Very Low	0.1
42	STRELITZIA REGINAE (Bird of Paradise)	Moderate	0.5

**VINES**

43	GRAPE - SPECIES (Common Grape)	Moderate	0.5
44	JASMINUM POLYANTHUM (Pink Jasmine Vine)	Moderate	0.5

REVISIONS	BY

**JAMES PEKARSKY**  
 LANDSCAPE ARCHITECT  
 1219 Camino  
 San Clemente, CA 92673  
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 Cell: (949) 433-6558  
 Cal. Lic. # 1830 - Nev. Lic. # 497



**NIELSEN RESIDENCE**  
 222 West Mariposa  
 San Clemente, CA 92672

**PROPOSED LANDSCAPE PLAN**

**DRAWN** JP  
**CHECKED** DN / AN / ML  
**DATE** 4-24-2023  
**SCALE** 1/8" = 1'-0"  
**JOB NO.** #221-011  
**SHEET**

**L-2**





## Cultural Heritage Subcommittee (CHSC)

Meeting Date: May 24, 2023

**PLANNER:** Christopher Wright, Associate Planner II

**SUBJECT:** **Cultural Heritage Permit 22-148, Architectural Permit 22-162, Nielsen Residence**, a request to consider: 1) an addition and exterior changes to a historic single-story residence, 2) construction a detached garage with an Accessory Dwelling Unit on the second floor that requires a height limit increase, and 3) changes to the garden landscape and hardscape. The site is located at 222 West Mariposa.

### **BACKGROUND:**

In 1928, the site was developed with a single-story Spanish Colonial Revival residence for Frank Carl Ulrich, designed by Virgil Westbrook. The house is a historical landmark on the City's list of designated historic structures. The site has a Historic Preservation Property Agreement with the City (HPPA or "Mills Act"). The property includes three parcels that are zoned Residential Medium density with a Coastal Zone Overlay.

Frank Ulrich was a landscape gardener who worked for Ole Hanson and is attributed with managing landscaping at Casa Romantica and the palm installations along El Camino Real. The residence at 222 W. Mariposa, known as the Ulrich House, is significant under the theme of Ole Hanson's Spanish Village by the Sea period of development (1928-1936). The house has been enlarged several times, including the addition of an octagonal bay window dining area and front porch on the front elevation, and the addition of a garage, bedroom, bathroom, storage, and laundry at the rear of the building. Sheet A1.2 of the attached plans shows the original house and the subsequent changes.

The landscape design also has historic significance. Frank Ulrich's garden was an eclectic mix of California Gardenesque and the 20<sup>th</sup> century Mediterranean Garden, incorporating imported trees and succulents, including Asian plants with pathways and natural stone mosaic work. Garden structures included a greenhouse, lath house, koi pond, patios, and fountains. While some changes have occurred to the garden, it continues to convey much of the landscape design of Frank Ulrich, such as the filling the koi pond and changes to original stone work. For more details, Attachment 3 provides a Historic Resource Analysis Report (HRAR) with a description of the property's history, photographs, analysis, and historic survey forms.

### **PROJECT SUMMARY:**

The project involves an addition and remodel of the historic residence, a new detached garage and ADU, and changes to the landscape and hardscape. The proposed addition expands the residence by 1,757 square feet (s.f.). On the first floor, 1,109 s.f. would be added to the rear with the removal of the non-original bedrooms, bathroom, storage, laundry,

and garage. For a new second floor, 648 s.f. of floor area would be added over a portion of the original footprint and roofline. A roof deck would be included at the rear of the building behind the proposed second story roofline for screening. The new detached garage and second-floor ADU would be added in the northeast corner of the site. The garage is 600 s.f. and ADU is 495 s.f.. The building is 22 feet high, where the height limit is 16 feet but may be increased to the 25-foot height limit of the zone with an Architectural Permit. The new building has Spanish Colonial Revival architecture in character with the historic residence. The project also includes several changes to landscape and hardscape. More notable changes include a new driveway, wrought-iron gate, partial restoration of the koi-pond as a seating area, relocation and reuse of some of the hardscape paths, addition of a low-level stucco wall along the street frontage with planting in front, and plans for the installation of a required sidewalk that requires the removal of three significant trees.

### **Preliminary Review Requested**

The application is incomplete due to a few unresolved historic preservation issues. Staff requests this meeting to focus on these issues, which are further analyzed in Attachment 1. Staff recommends design changes to address these issues in order to support the application based on the required findings. The project's massing, scale, proportions, and articulation could change in response to feedback on the historic preservation issues. Staff also has recommended changes on the design of the addition, new building, and site changes, but a second CHSC meeting is suggested to review the project in totality after the applicant has the opportunity to receive feedback on these preliminary historic preservation issues:

1. Second-floor addition removes portions of the original roof.
2. First-floor addition should be differentiated from original structure with insets.
3. Removal of significant trees for a required sidewalk.
4. Removal of character-defining features should be avoided where feasible and addressed thoroughly in the historic report (HRAR).

### **RECOMMENDATIONS:**

Staff requests feedback on the historic preservation issues described in Attachment 1 and suggests this item be reconsidered by the CHSC prior to scheduling a Planning Commission hearing for a decision on the application.

### ***Attachments:***

- ~~1. Analysis of historic preservation issues~~
- ~~2. Vicinity map~~
- ~~3. Historic Resource Analysis Report (HRAR)~~
- ~~4. Landscape analysis dated 2007~~
- ~~5. Arborist report on trees along street~~
- ~~6. Plans~~

## Analysis of Historic Preservation Issues

Staff requests the Cultural Heritage Subcommittee's preliminary review of several historic preservation issues listed below. Staff also has recommended changes on the design of the new development, but a second CHSC meeting is suggested to focus on general architectural design of the addition, new building, and new site features, considering the massing, scale, proportions, and articulation could change to address feedback from CHSC's review.

1. Second-floor addition removes portions of the original roof.
2. First-floor addition should be differentiated from original structure with inset.
3. Removal of significant trees for a required sidewalk.
4. Removal of character-defining features should be avoided where feasible and addressed thoroughly in the historic report (HRAR).

### **Issue 1 - Removal of original roof for second-floor addition.**

The project adds a 648 square-foot second story over the original structure with the removal of the original roofline and area. Image 1 shows the west elevation where the second-floor addition is proposed. The original roof between the red and orange lines would be removed. Excerpts of the proposed roof plan and west elevation are on the next page.

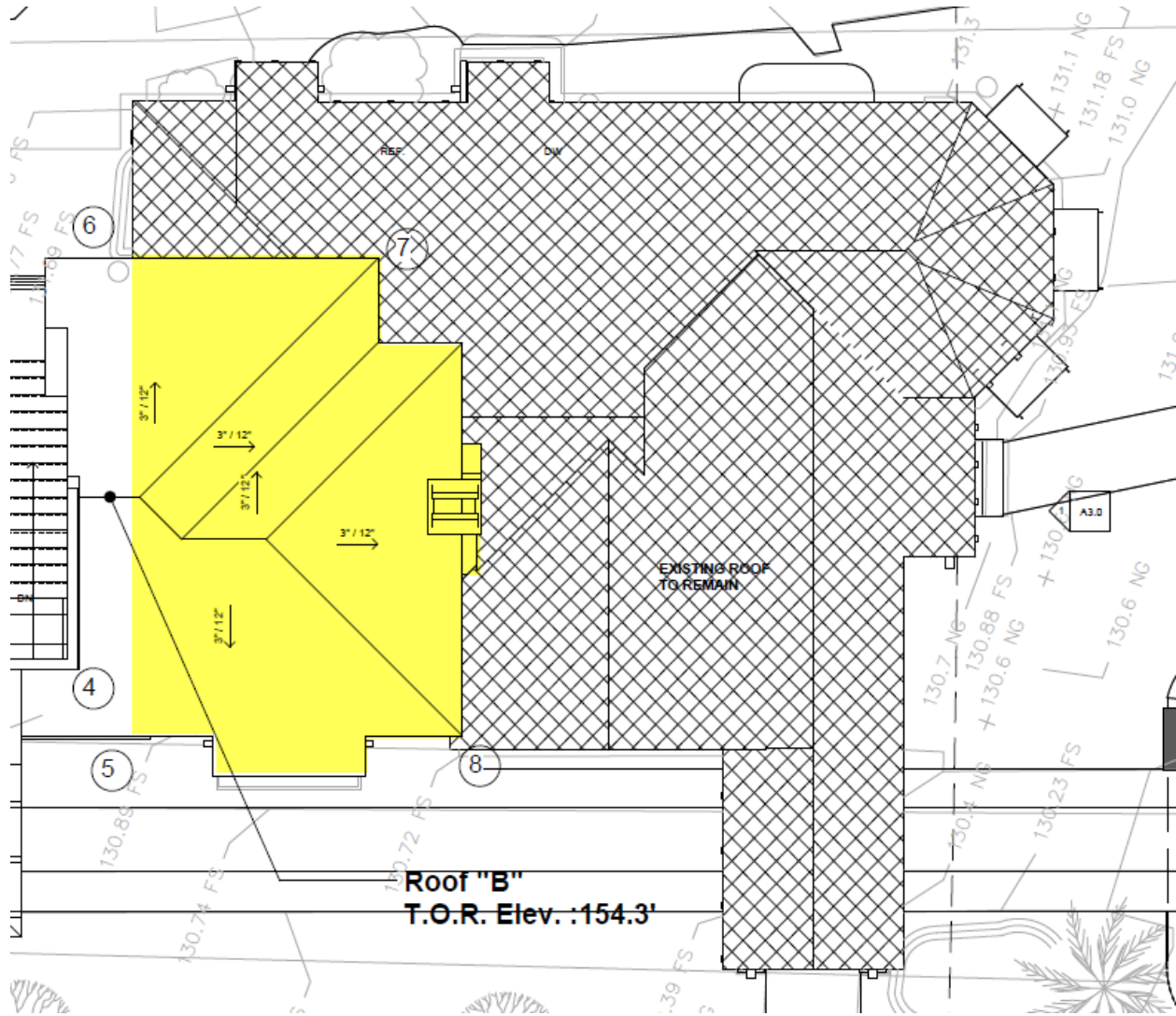
**Image 1 – Portion of the existing West Elevation**





**Image 2 – Excerpt of Proposed Roof Plan**

The original roof area that would be removed for the second-floor addition is highlighted yellow.



### Image 3 – Proposed West Elevation

Image 3 shows the proposed west elevation. The original footprint is to the right of the red line. The second-floor addition is proposed over the original footprint between the red and orange lines where the roof would be removed according to Image 2. The blue shaded area is the profile of the proposed addition.



LEFT ELEVATION

Staff's position is that these changes are inconsistent with the Secretary of the Interior Standards 9 and 10 for Rehabilitation of Historic Structure that relate to additions and alterations.

Standard 9 is: *"New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."*

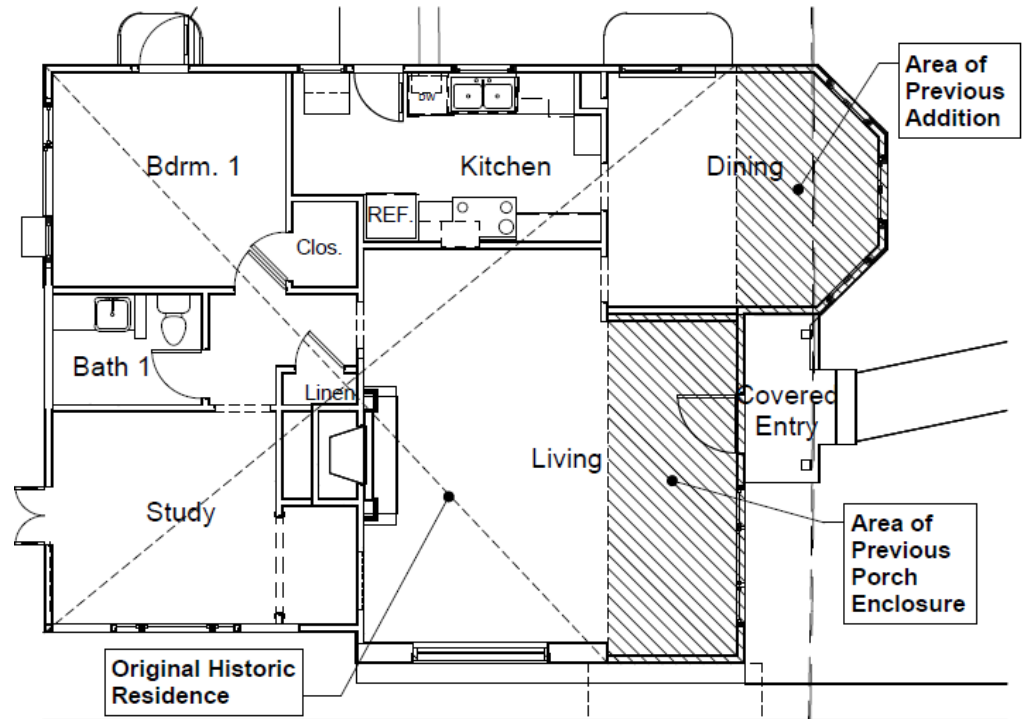
Standard 10 is: *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed design destroys historic materials, features, and spatial relationship of original structure with the removal of the roofline and the massing of the addition over the original first floor. If the second-floor addition were removed, the original roofline, massing profile, and general spatial relationship would require restoration.

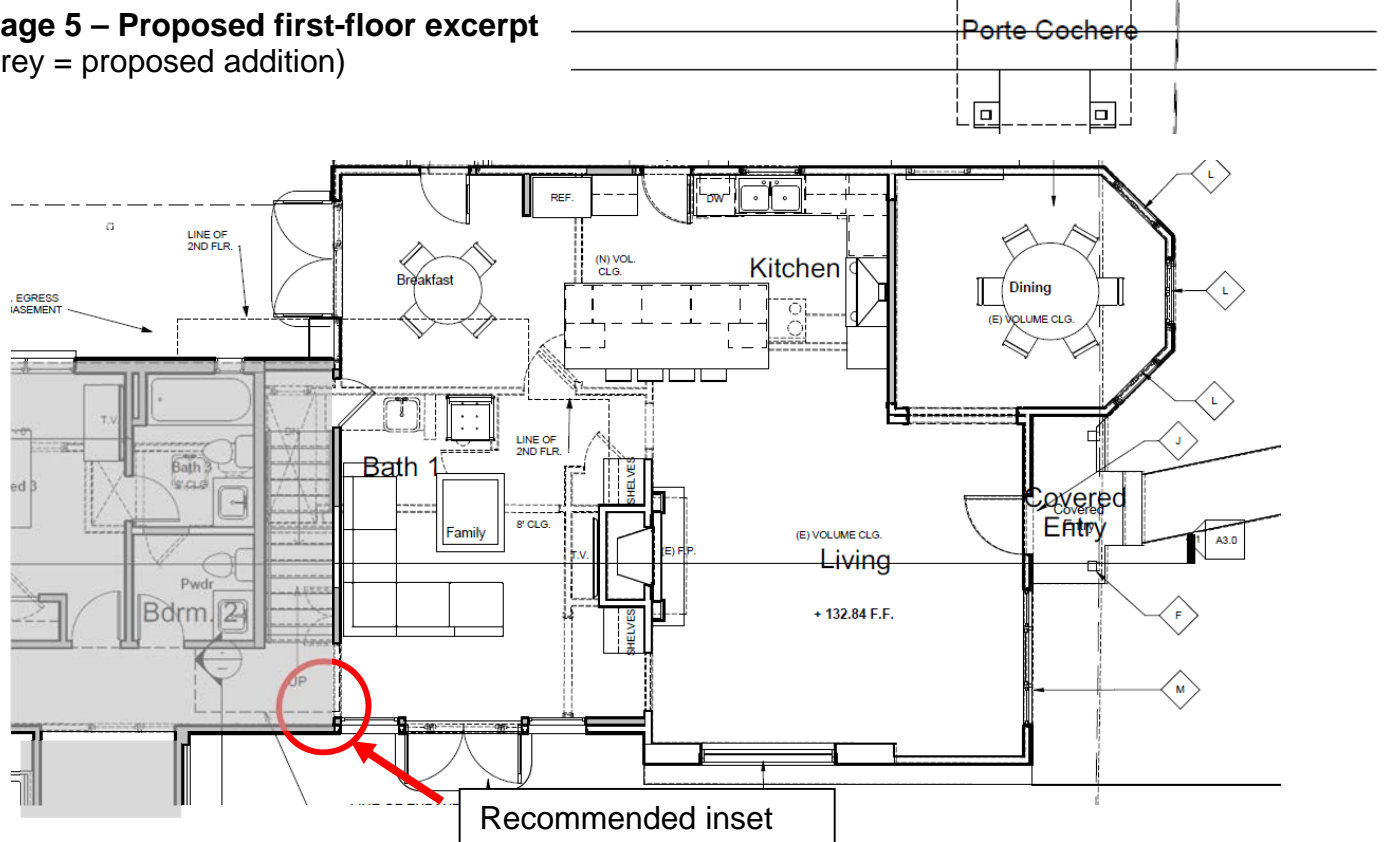
**Issue 2 - First-floor addition should be differentiated further.**

Secretary of the Interior Standard 10 calls for differentiating additions and alterations from original significant elements of a resource. The current design expands the building in-line with the original first floor. Staff recommends varied texture and color, and a spatial break 1-2 inch inset between the original structure and addition to differentiate the addition, consistent with Secretary of Interior standard nine (cited on page above).

**Image 4 – Existing first-floor**

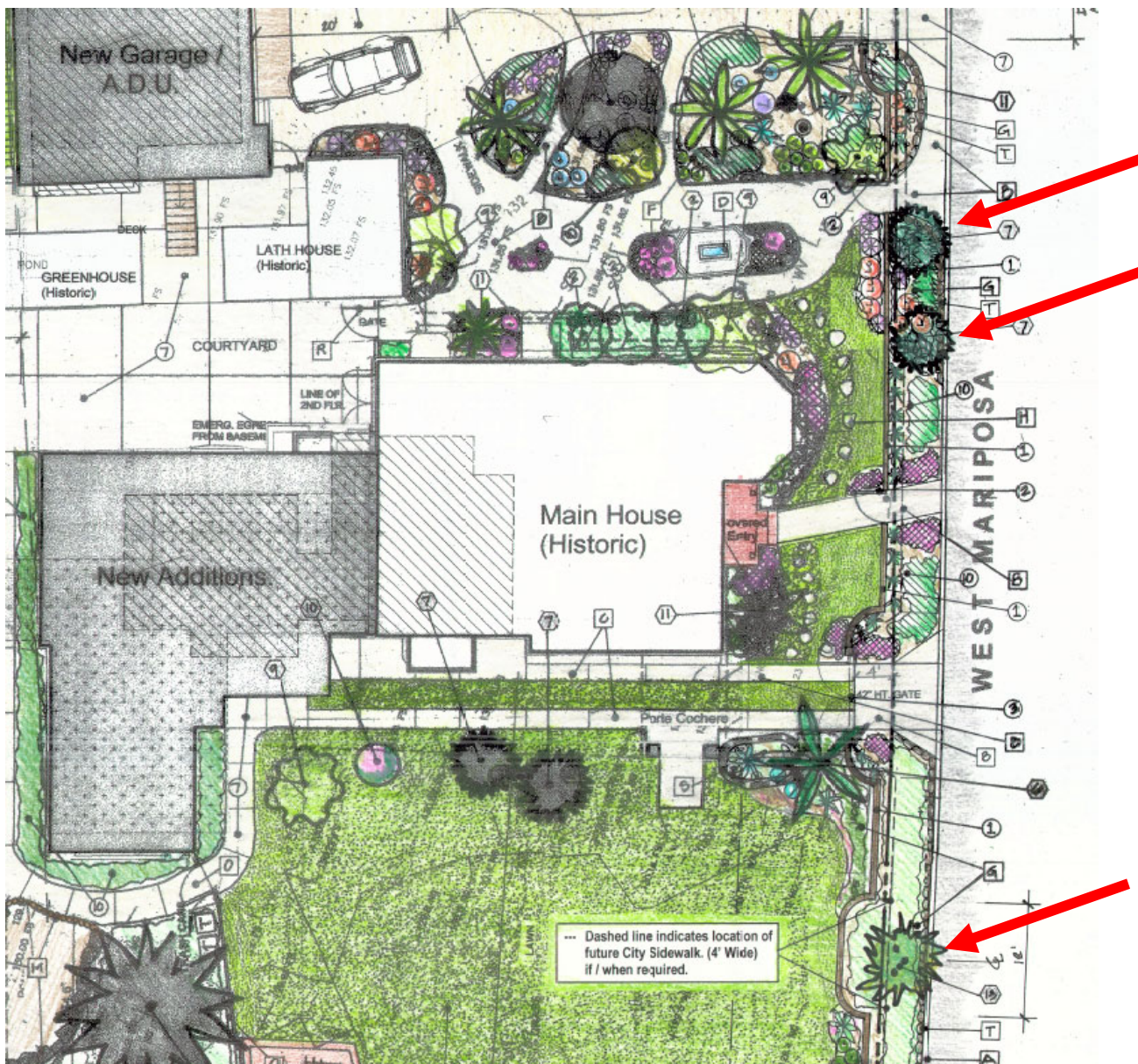


**Image 5 – Proposed first-floor excerpt**  
(grey = proposed addition)



The Municipal Code requires the installation of sidewalk for development projects valued at \$50,000 or more, including the proposed project. However, the site is unique in two ways. First, the Casa Romantica and the subject site are the only known historic resources with historically significant gardens. Second, the subject site is the only known property on the City's listed of designated historic structures with historically significant trees in close proximity to a street frontage that would interfere with the installation of the sidewalk. There are three trees near the street that are character-defining features to the property's significant garden: a Yucca and two Japanese White Pines ("bonsai trees"). Image 6 shows the location of these trees.

**Image 6 – Excerpt of Proposed Landscape Plan** (red arrows show the tree significant trees along street)



Ideally, these trees would be preserved to maintain the integrity of the resource. While the City has a sidewalk waiver process, the eligibility criteria does not address waiving a sidewalk to preserve historically significant trees and garden features. The application initially had a design that kept the historically significant trees along the street without a sidewalk installation. During the Development Management Team (DMT) process, the City staff considered several options for the sidewalk:

1. Recording a property restriction of some form that requires installation of a sidewalk upon the death of the significant trees. At this time, the trees must be replaced in-kind (similar species and a size that can thrive) in proximity to the existing tree locations. This option would require Planning Commission approval of a modified condition of approval, accepting that a sidewalk can be deferred with the recording of a property restriction. This would meet the City's obligations for sidewalks, but should be pursued in limited special circumstances (e.g. deferring a sidewalk temporarily to preserve unique historically significant trees in close proximity to the street where a sidewalk would be installed).
2. Consulting an arborist on whether the trees can be relocated for a sidewalk installation. An arborist found the trees would not survive.
3. Consulting an arborist on whether trees could withstand the installation of a partial tiled sidewalk between the trees along the street frontage and then an alternative material is used to install paths that wrap around the trees. An arborist found the trees would not survive. The arborist report is provided separately as Attachment 5.
4. Narrow the street to install a sidewalk away from the tree trunks. This would remove public parking in the coastal zone which the Coastal Commission is reluctant to support. Also, it is possible a sidewalk installation could still adversely affect the tree's health because it would add weight and possibly damage the tree's root base during construction.
5. Remove the trees, install a sidewalk, and replace trees in-kind with supporting historic report analysis that this complies with federal and state law and the Secretary of Interior guidance for historic preservation in this circumstance.

The applicant decided to redesign the plans to include a sidewalk and replace the trees in-kind, mostly due to the uncertainty of whether the Planning Commission would support option 1 to defer a sidewalk for the tree preservation. The application materials do not provide details on the "in-kind" replacement in terms of the type, size, or location of replacement trees. Additionally, the historic report analysis does not describe how and if replacement trees maintain the resource's integrity based on federal standards.

Staff supports option 1 to defer the sidewalk and add a condition on the Historic Preservation Property Agreement (HPPA) that requires installation of a sidewalk upon the death of the historic trees. The Community Development Director may add conditions to the HPPA but staff would seek guidance from the Planning Commission when it acts on the project. Staff requests CHSC feedback on this important issue so the applicant has information to decide how to proceed.

**Issue 4 - Removal and alteration of character-defining features should be avoided where feasible and thoroughly addressed in the historic report.**

The project removes and alters several features on the structure and in the gardens, such as original window and door openings and hardscape path material that would be relocated. The removal and alteration of original materials and features should be avoided where feasible. For an example, original window openings would be altered on the first floor between the red and orange lines shown on Images 1 and 2 above. The historic report either incorrectly states several of these features are being maintained or mentions the alterations/removals but does not explain how these changes meet the relevant Secretary of the Interior Standards 2, 9, and 10 below.

*Standard 2: "The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided."*

*Standard 9 is: "New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."*

*Standard 10 is: "New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

**CITY OF SAN CLEMENTE  
MINUTES OF THE REGULAR MEETING OF THE  
DESIGN REVIEW SUBCOMMITTEE  
MAY 24, 2023**

Subcommittee Members Present: Committee Member Cameron Cosgrove, Bart Crandell

Subcommittee Members Absent: Chair M. Steven Camp

Staff Present: Adam Atamian, Deputy Community Development Director, Jonathan Lightfoot, Economic Development Advisor, Associate Planner II Christopher Wright, Assistant Planner David Carrillo

**1. MINUTES**

**A.** Review and file continued minutes of the Design Review Subcommittee meeting of May 10, 2023

**B.** Review and file minutes of the Design Review Subcommittee meeting of May 10, 2023

**2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:**

**A. Architectural Permit 23-079, Krogius Residence – Second Story ADU, 205 Avenida Miramar** (Carrillo)

A request to allow a second story Accessory Dwelling Unit (ADU) above a rear detached garage, deviating from objective ministerial ADU standards, on a property located at 205 Avenida Miramar and listed on the City's List of Designated Historic Resources.

Assistant Planner David Carrillo summarized the staff report.

Subcommittee member Crandell opened the item for public comments.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Asked staff to clarify the applicability of the Nonconforming Ordinance to the project.
- Recommended options to the applicant to meet objective ADU standards and satisfy staff's recommendation to remove the cantilevered portion of the second story.
- Agreed with staff's recommendation to remove the proposed gable vent and provide exposed rafter tails.

- Asked staff to clarify the reasons why the project requires an Architectural Permit.
- Suggested the applicant consider staff's recommendations.

The Subcommittee forwarded the project to the Planning Commission and requested an analysis on the Secretary of the Interior's Standards for Rehabilitation be provided in the Planning Commission staff report.

**B. Minor Cultural Heritage Permit (CHP) 22-239, Goldschmidt Residence (Wright)**

A request to consider an addition and alterations to a historic landmark residence at 243 Avenida La Cuesta

Associate Planner II Christopher Wright summarized the staff report.

Subcommittee member Crandell opened the item for public comments.

Catherine Hall, owner, and Christine Lampert, project architect, discussed the project and noted they wish to avoid the installation of a sidewalk and retaining wall that would be necessary to construct a sidewalk with landscape area in front of it. Various reasons were mentioned to eliminate a sidewalk requirement with a conclusion that the applicant has interest in getting a waiver.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Concurred with staff's analysis that the project meets the design guidelines and standards for historic preservation.
- There were no recommended design changes noted.
- A sidewalk would alter the grade and plants in front of the property and it does appear there is a slope. It is unclear if the slope warrants a waiver or not. If a sidewalk waiver weren't feasible, there was a suggestion to work with staff to determine the height of a necessary wall and include that within the scope of this application to avoid multiple review processes and hearing decisions.

The Subcommittee forwarded the project to the Zoning Administrator.

**C. Cultural Heritage Permit 22-148, Architectural Permit 22-162, Nielsen Residence (Wright)**

A request to consider: 1) an addition and exterior changes to a historic single-story residence, 2) construction a detached garage with an Accessory Dwelling Unit on the second floor that requires a height limit increase, and 3) changes to the garden landscape and hardscape. The site is located at 222 West Mariposa.

Associate Planner II Christopher Wright summarized the staff report.



Subcommittee member Crandell opened the item for public comments.

Larry Culbertson, President of the Historical Society, stated concerns with the project massing with emphasis on the west elevation where the addition transitions into the original structure.

Wayne Eggleston, resident, voiced similar concerns to Larry Culbertson.

Michael Luna, project architect, summarized the project and highlighted reasons for supporting it as proposed. Mr. Luna mentioned City has approved additions to historic structures that involved building over the original roof and footprint but toward the rear behind the primary ridgeline. He stated the project does the same.

Wendy Becker, project historian preservation consultant, summarized findings in the historic resource analysis report on the project and their perspective on the Secretary of the Interior Standards for rehabilitation of historic structures.

David and Amy Nielsen, property owners, stated their personal hopes for the project, the resources put into it, and addressed staff's comments. The owners asked that the project be reviewed like prior approvals, allowing their proposed addition over the original roof and footprint, or have the City apply the Secretary of the Interior Standards on this issue similarly to projects considered in the future.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- The Subcommittee concurred with staff's analysis in the report and recommendations.
- Design changes are encouraged that preserve the original roofline, footprint, and character defining features to the best extent feasible; differentiate the addition, and make the addition reversible, consistent with the Secretary of the Interior standards. This included ideas for moving the second-story addition over the proposed first-story, cantilevering a portion of the addition over the garden in front, or exploring changes to the first-floor addition (non-original area) if that wouldn't involve a negative effect on the garden's significance, based on findings from a prior landscape architect's analysis.
- Favored preserving the original roofline and footprint over centering the addition behind the original ridgeline and building mass. This may mean a similar sized second-story addition could be more visible and less symmetrical from the street, but architecture would play a large part in how compatible it is with inclusion of quality materials and articulation.
- The Subcommittee supported deferring construction of a sidewalk until the death of three historically significant trees. This would become a condition of the Mills Act Agreement. This solution is unique. The site is the only known property with a historically significant garden and trees that would be affected by the construction of a sidewalk.

The Subcommittee requested to reconsider the project after revisions are made to address comments.

**3. NEW BUSINESS**

None

**4. OLD BUSINESS**

None

**5. ORAL AND WRITTEN COMMUNICATION**

None

**ADJOURNMENT**

Adjourned to the June 14, 2023 DRSC meeting at 3:00 p.m., San Clemente City Hall, First Floor Community Room, 910 Calle Negocio, San Clemente, CA.

Respectfully submitted,

\_\_\_\_\_  
Bart Crandell, Subcommittee Member

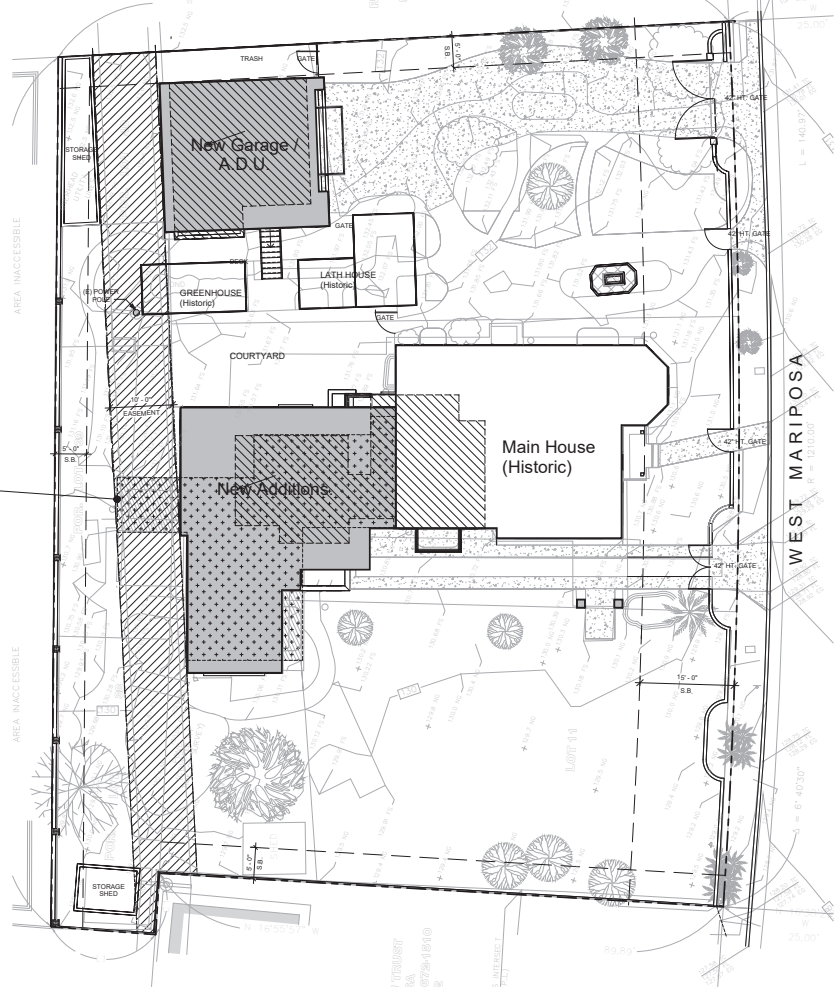
Attest:

\_\_\_\_\_  
Adam Atamian, Deputy Community Development Director





Project No.	1506
Plot Date	04.27.23
B.D. Submittal	
Scale	
Const. Issue	
Revision	▲
Revision	▲
Revision	▲



Existing one story  
non-historic additions  
to be demolished

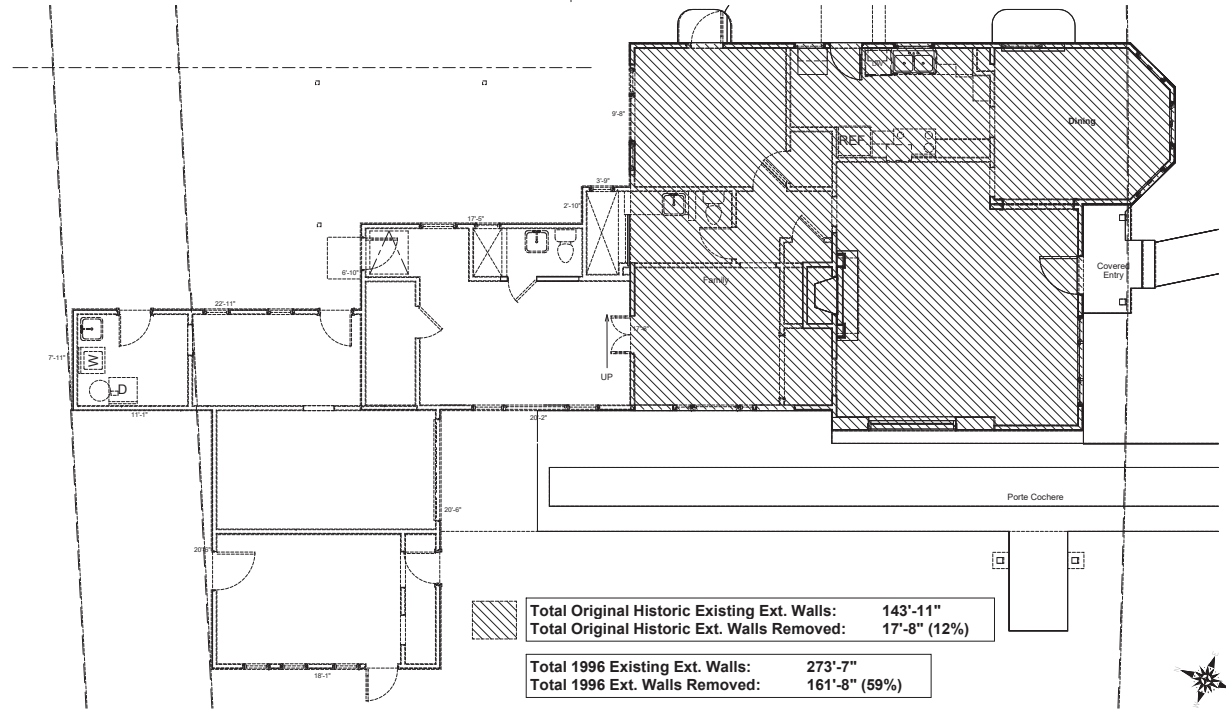
Keynotes	
	EXISTING BUILDING FOOTPRINT
	AREA OF NEW 1ST FLOOR ADDITION
	AREA OF NEW 2ND FLOOR ADDITION
	DEMOLITION AREA OF PREVIOUS ADDITIONS
	AREA OF EXISTING 10' WIDE EASEMENT
	PROPERTY LINE
	BUILDING SETBACK LINE



Proposed Site Plan

SCALE: 1/8" = 1'-0"

Legend



	Total Original Historic Existing Ext. Walls:	143'-11"
	Total Original Historic Ext. Walls Removed:	17'-8" (12%)
	Total 1996 Existing Ext. Walls:	273'-7"
	Total 1996 Ext. Walls Removed:	161'-8" (59%)

DUE TO THE NATURE OF REMODELING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER UNFORSEEN CONDITIONS UPON THE DEMOLITION OF THE EXISTING RESIDENCE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS.

NOTIFY ARCHITECT FOR FIELD INSPECTION AT THE FOLLOWING INTERVALS:  
UPON DEMOLITION OF STUCCO AND DRYWALL.  
PRIOR TO LAYSERIES OF CONCRETE.  
UPON START OF FRAMING.  
UPON COMPLETION OF FRAMING.  
UPON COMPLETION OF WINDOW PLACEMENT WATERPROOFING.

REMOVE ROOFING PER STRUCTURAL DRAWINGS.

ALL PLUMBING FIXTURES AND KITCHEN APPLIANCES SHALL BE REMOVED AND SAVED FOR OWNER.

REMOVE ALL AFFECTED ELECTRICAL OUTLETS AND LIGHT FIXTURES WHICH ARE MOUNTED ON WALLS/CEILING TO BE REMOVED NOT SHOWN HEREIN.

REMOVE ALL MECHANICAL DUCTWORK WHICH WILL BE AFFECTED BY THE DEMOLITION AND NEW WORK. CAP ALL DUCTS AT AN APPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

THIS DEMOLITION DRAWING IS INTENDED TO BE USED AS A GUIDE IN ACCOMMODATING THE NEW WORK. THE CONTRACTOR SHALL FULLY INVESTIGATE THE SITE/STRUCTURE TO VERIFY THE EXISTING CONDITIONS TO VERIFY ITEMS TO BE REMOVED OR RELOCATED WHICH ARE NOT SHOWN HEREIN.

CAP AND OR RELOCATE ALL UTILITIES AND SERVICES AT APPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

ALL DEMOLISHED ITEMS ARE TO BE REMOVED FROM THE SITE AND DEPOSITED AT A COUNTY AND CITY APPROVED DUMP SITE.

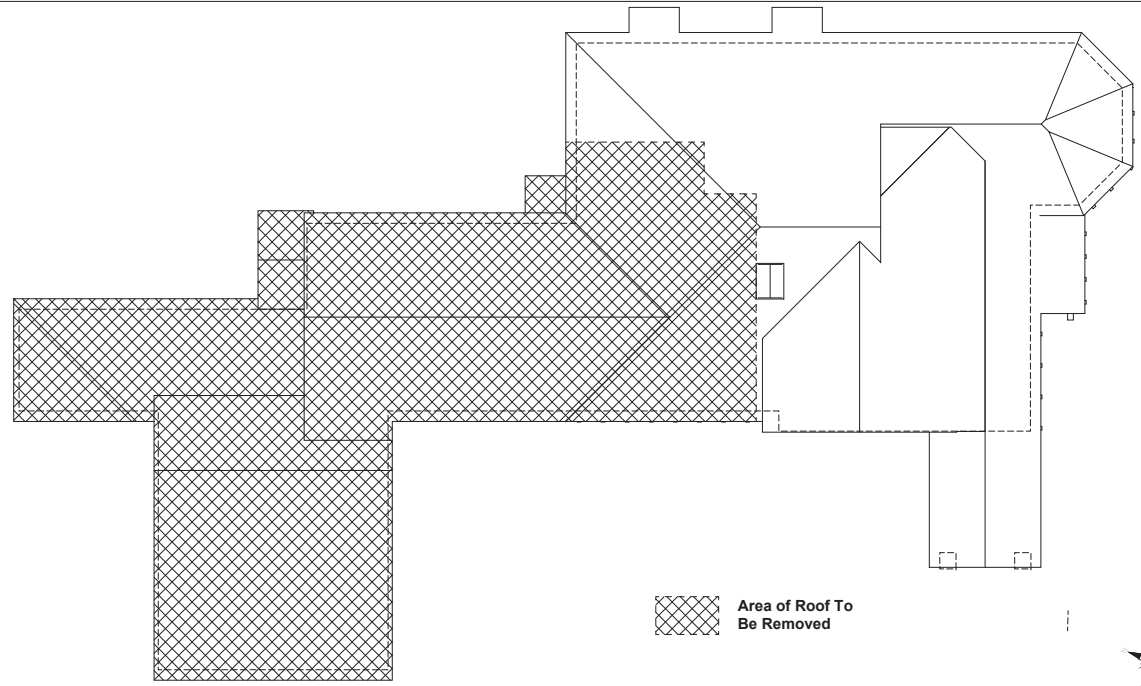
THE CONTRACTOR SHALL DESIGN AND ERECT ALL NECESSARY SHORING SYSTEMS TO PROPERLY PROTECT THE STRUCTURE AND WORKERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.

— EXISTING WALL TO REMAIN  
- - - EXISTING WALL TO BE REMOVED

Demolition Plan

SCALE: 1/8" = 1'-0" 1

Legend & Notes



Area of Roof To Be Removed

Legend & Notes

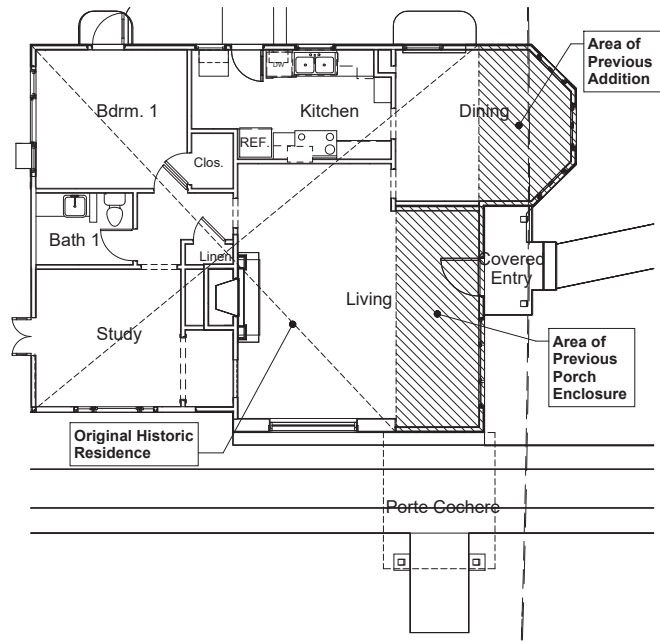
Roof Demolition Plan

SCALE: 1/8" = 1'-0" 2

Legend & Notes

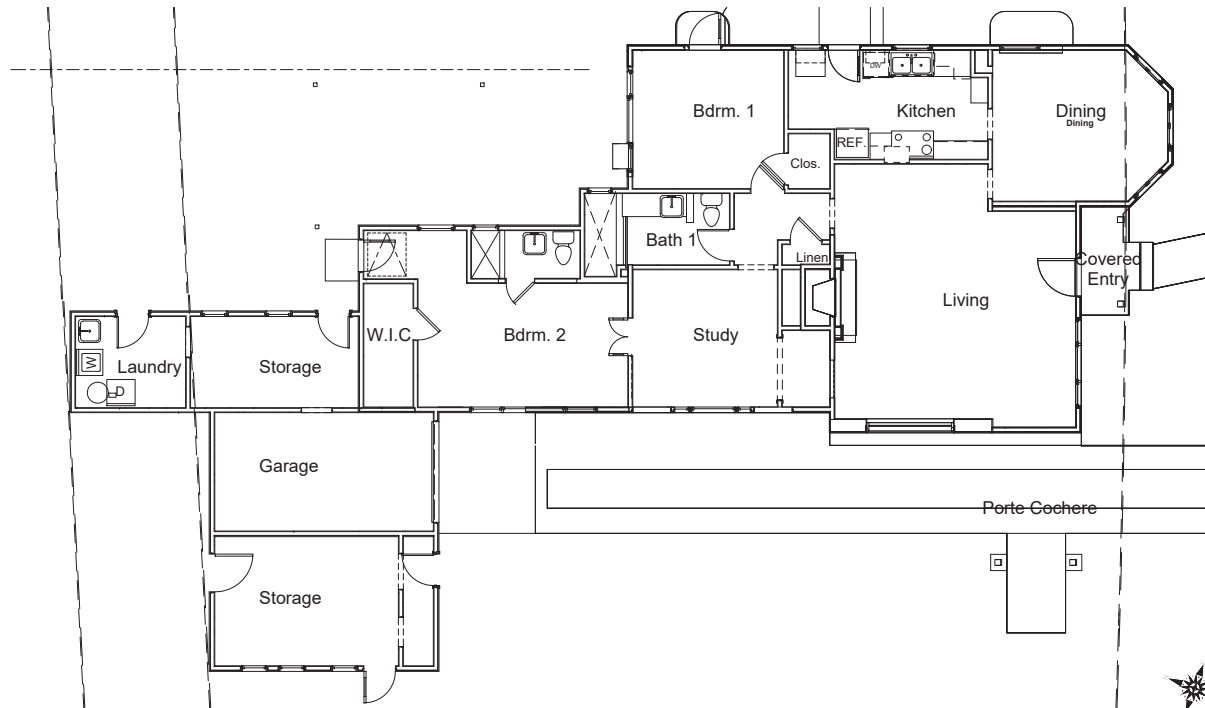


Project No.	1500
Plot Date	01.15.23
B.D. Submittal	
Scale	
Cont. Issue	
Revision	▲
Revision	▲
Revision	▲



Original Historic Plan

SCALE: 1/4" = 1'-0" 1



Existing 1996 Plan

SCALE: 1/4" = 1'-0" 2

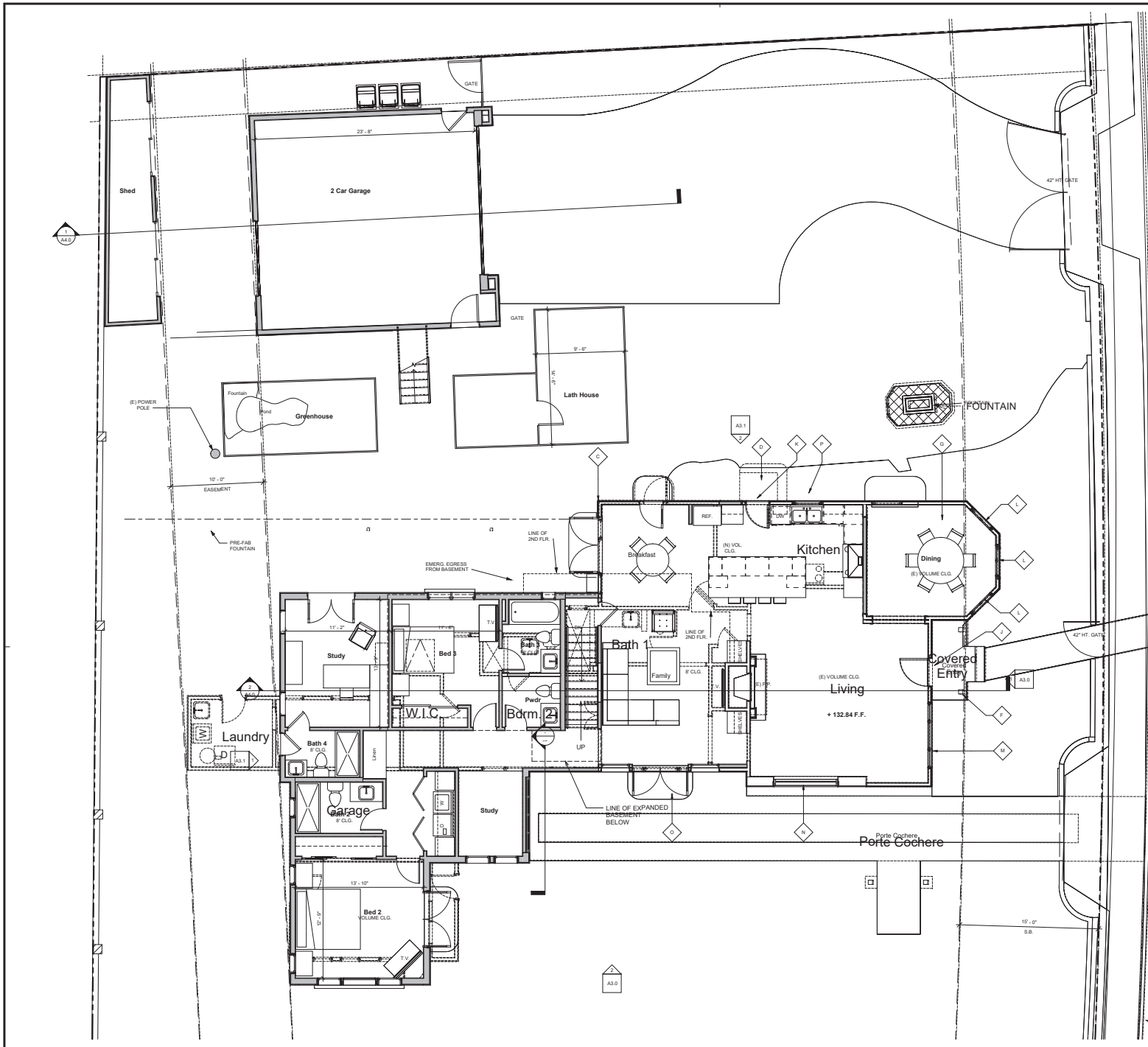
- EXISTING STUD WALL TO BE REMAIN
- NEW STUD WALL TO BE CONSTRUCTED

1. ALL PLUMBING WALLS ARE 2x4 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS W/ 1x4 WOOD SHEAR PANELS ON NON-PLUMBING WALLS.

Legend



Project No.	1906
Plot Date	01.18.23
B.D. Submittal	
Set Name	
Const. Name	
Revision	△
Revision	△
Revision	△
Revision	△



1928 Historic Features	
C	REAR WALL OF THE 1928 HOUSE
D	ROOF EXTENSION w/ EXPOSED RAFTER ENDS AT THE RIGHT/EAST ENTRY DOOR
E	FRONT PORCH ROOF EXTENSION w/ EXPOSED RAFTER ENDS
G	OCTAGONAL BAY
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR

1928 Original Windows	
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR
L	SOUTH - (3) FIXED SINGLE-TITE WINDOWS IN OCTAGONAL BAY
M	SOUTH - SINGLE-TITE, FIXED PICTURE WINDOW
N	WEST - ARCH'D SINGLE-TITE, FIXED PICTURE WINDOW
O	WEST - TRIPARTITE (TITE CASEMENT/T FOLD/TITE CASEMENT)
P	EAST - LOWER-T SINGLE HING UNITS

**Architect**

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Project  
2nd Planning  
Submittal

Mariposa Remodel & Additions

222 West Mariposa  
San Clemente, CA  
92672

**Tabulations**

1st Floor Plans - Main House & Garage

	EXISTING STUD WALL TO BE REMAIN
	NEW STUD WALL TO BE CONSTRUCTED

- ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
- ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PL TWOx2 BEAR PANELS ON NON-PLUMBING WALLS.



Project No.	1506
Plot Date	01.18.23
B.D. Submitted	
Set Name	
Const. Name	
Revision	▲
Revision	▲
Revision	▲

1st Floor Plans - Main House & Garage

SCALE: 1/4" = 1'-0"

**Legend**

A2.1

Keynotes

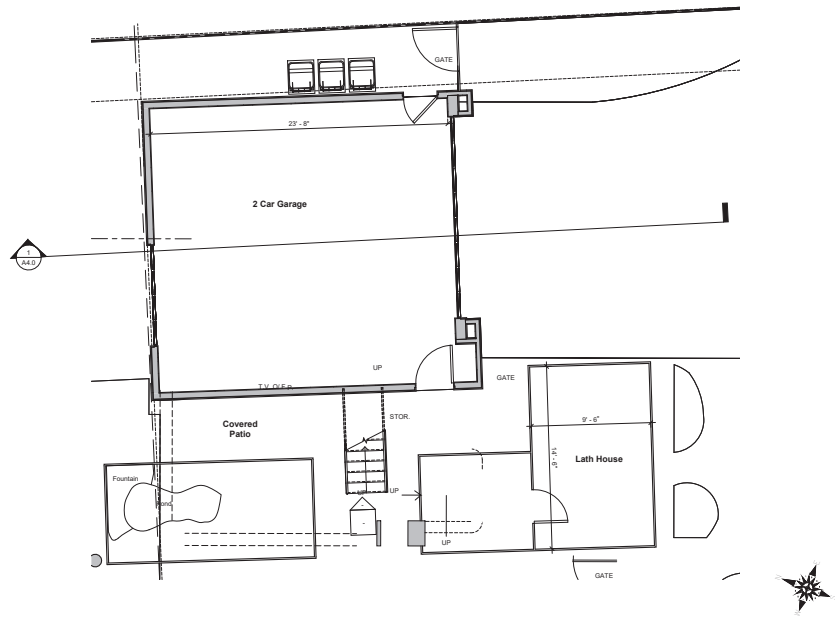
Basement &  
Garage Plan



Project No.	1506
Plot Date	01.15.23
B.D. Submittal	
Scale	
Cont. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

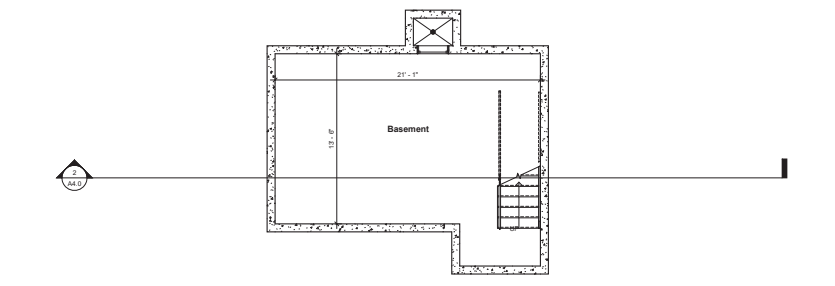
EXISTING STUD WALL TO BE REMAIN  
NEW STUD WALL TO BE CONSTRUCTED  
SCALE: 1/8" = 1'-0"

- ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
- ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANELS ON NON-PLUMBING WALLS.



Garage Plan

SCALE: 1/4" = 1'-0" 1

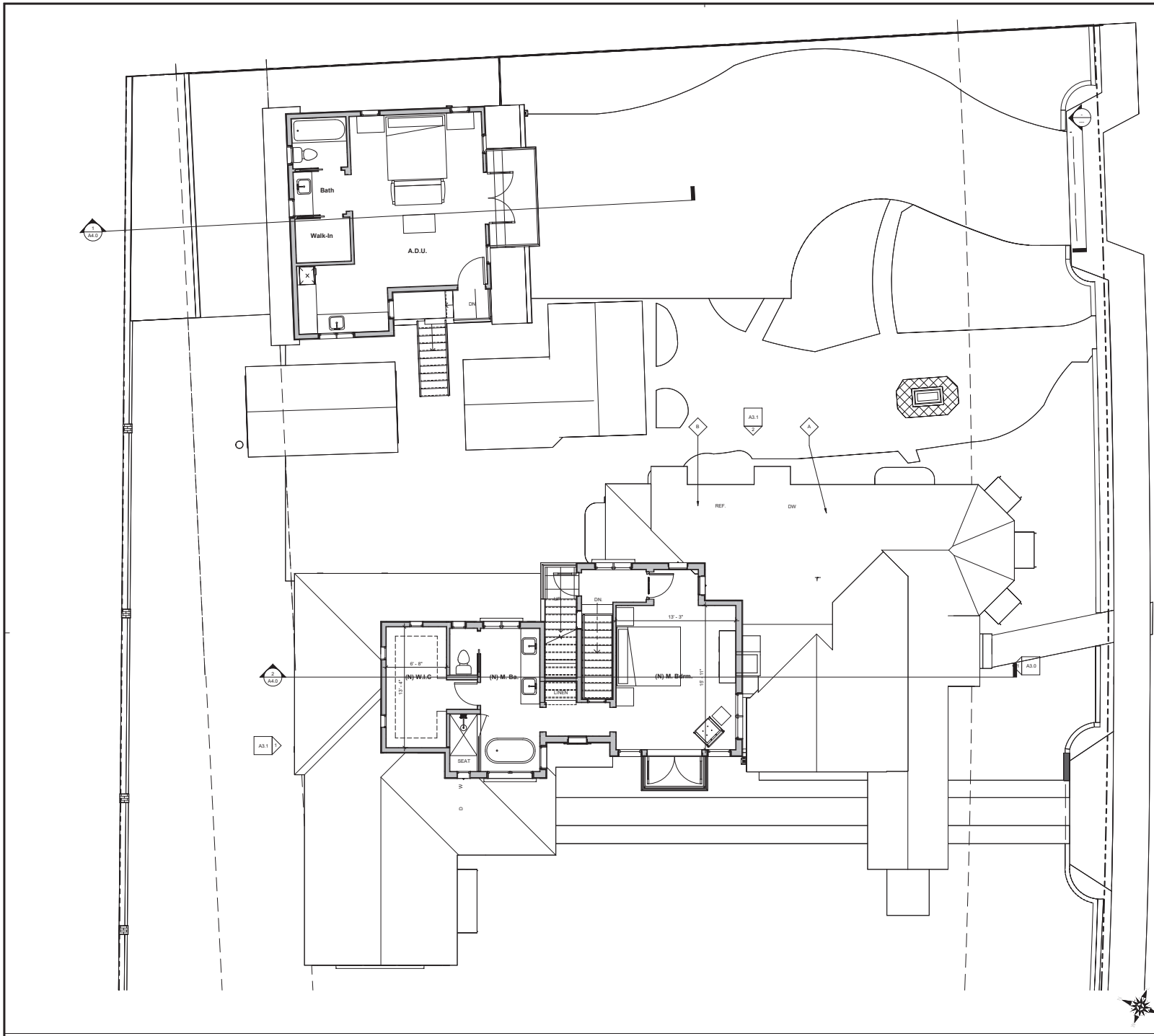


Basement Plan

SCALE: 1/4" = 1'-0" 2

Legend





1928 Historic Features	
A	TERRA COTTA TILE ROOF - IN FRONT OF ORIGINAL RIDGE LINE
B	TERRA COTTA TILE ROOF - IN BACK OF ORIGINAL RIDGE LINE

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Architect

Project  
 2nd Floor  
 Submittal

Mariposa  
 Remodel &  
 Additions

222 West Mariposa  
 San Clemente, CA  
 92672

Sheet Title

2nd Floor  
 Plans - Main  
 House &  
 Guest  
 House



Project No.	1906
Plot Date	01.18.23
B.D. Submittal	
Set Name	
Coord. Name	
Revision	1
Revision	2
Revision	3

Keynotes

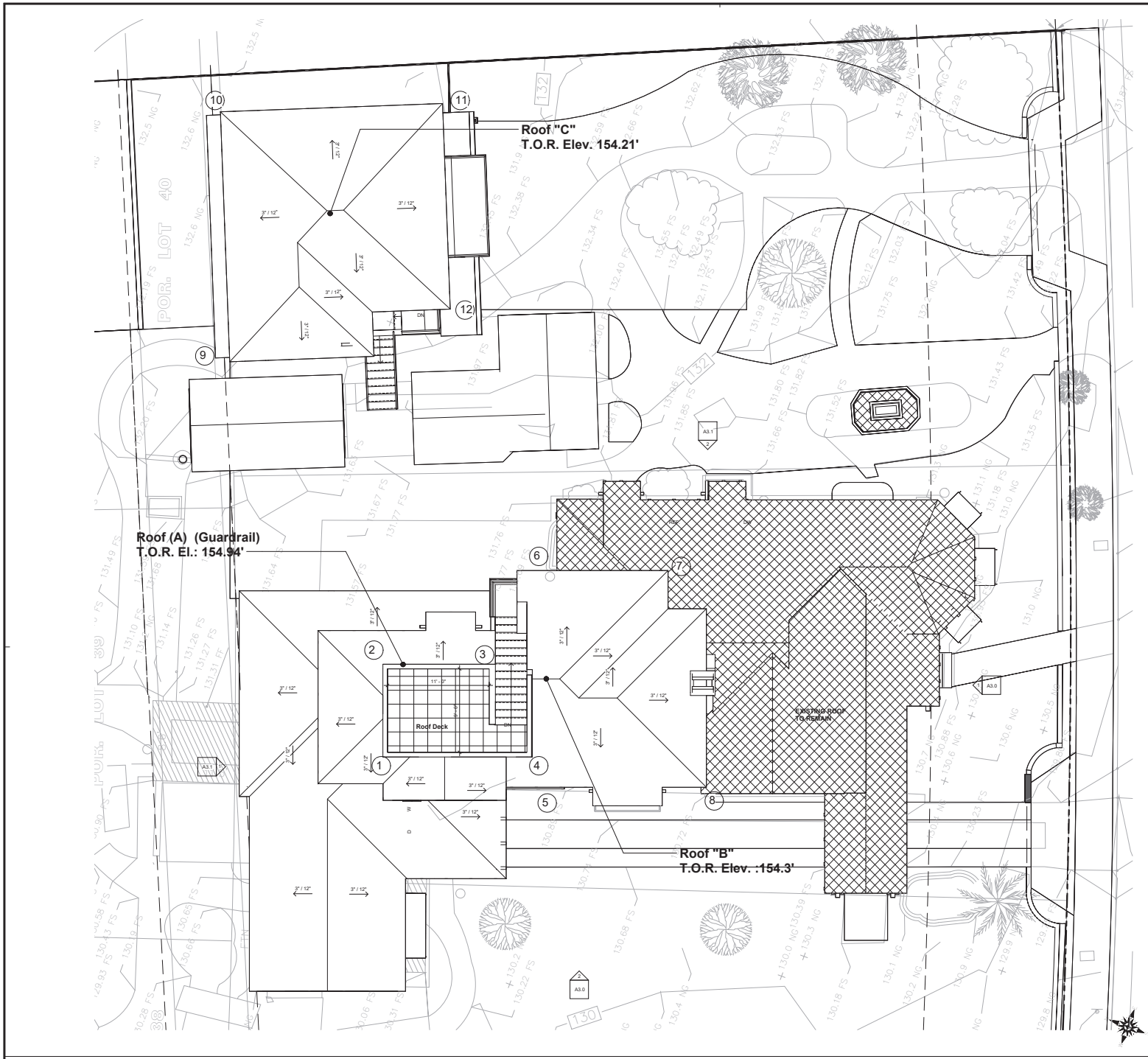
	EXISTING STUD WALL TO BE REMAIN
	NEW STUD WALL TO BE CONSTRUCTED

- ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
- ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.





Project No.	1506
Plot Date	01.15.23
B.D. Submitted	
Scale	
Const. Issue	
Revision	▲
Revision	▲
Revision	▲
Revision	▲



Roof Plan

SCALE: 1/4" = 1'-0"

Legend

Keynotes

ROOF HEIGHT ALLOWED: 25'-0" MAX

<b>A</b>	ROOF ELEV.	154.47	154.47	154.47	154.47
	ORG. GRADE	150.7	151.6	151.6	150.7
		23.44'	23.39'	23.39'	23.97'
= 92.39' / 4 = 23.10'					
<b>B</b>	WALL ELEV.	154.2	154.2	154.2	154.2
	ORG. GRADE	131.2	131.2	131.2	131.2
		23.0	23.0	23.0	23.0
= 92.37' / 4 = 23.09'					
<b>C</b>	WALL ELEV.	154.27	154.27	154.27	154.27
	ORG. GRADE	132.2	132.2	132.2	132.2
		22.07	22.07	22.07	22.07
= 88.26' / 4 = 22.06'					

Roof Height Analysis

- ALL RIDGES, HPFS AND VALLEYS SHALL BE FLASHED W/ 24 GAUGE COPPER FLASHING (CONTINUOUS) UNDERNATH TILE AND SHALL NOT BE VISIBLE. COPPER FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAD ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER. 2 LAYERS 158 FIEL PAPER SHALL LAIN CONTINUOUS STRIPS. OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURER'S (TRELLANS CLAY TILE) RECOMMENDATIONS. WHERE FLASHING MUST BE EXPOSED, FLASHING SHALL BE COPPER 24 GAUGE MIN. W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT. TYP.
- ROOF ELEVATIONS ARE TO TOP OF FINISH MATERIAL. CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
- ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 90 PSF.
- ALL ROOF PITCHES ARE 3/12 (UND).
- ALL CONTIGUOUS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES. USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN A MINIMUM OF 2" TO HELP DIMINISH ITS APPEARANCE.
- ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PROCLUDE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- ALL FLUES AND VENTS MUST COMPLY WITH PAGE 31 OF THE DESIGN GUIDELINES AND BE LOCATED IN UNDERSTORY AREAS RELATIVE TO ALL VIEWS FROM BEYOND THE PROPERTY INCLUDING THOSE FROM THE LOCATED IN UNDERSTORY AREAS AND THE LOTS ABOVE. PLEASE CONSOLIDATE AND MANHOLD VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. THE HEIGHT OF ALL FLUES AND VENTS ABOVE THE FINISHED ROOFING MUST BE AT THE ABSOLUTE MINIMUM ALLOWED BY CODE.
- ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR.
- ROOF TILES IS TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL.
- PROVIDE ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- PROTECT OR OPENINGS TO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" ROD MORE THAN 10" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPRINK RESISTANT OF A MAXIMUM OF 1/2" SQUARE GREEN PAINT 10" FOREST BLACK TO CONCEAL ARRESTOR.
- NO PART OF THIS BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.

Roof General Notes



Project No.	1506
Plot Date	01.15.23
B.D. Submittal	
Set Name	
Const. Name	
Revision	△
Revision	△
Revision	△

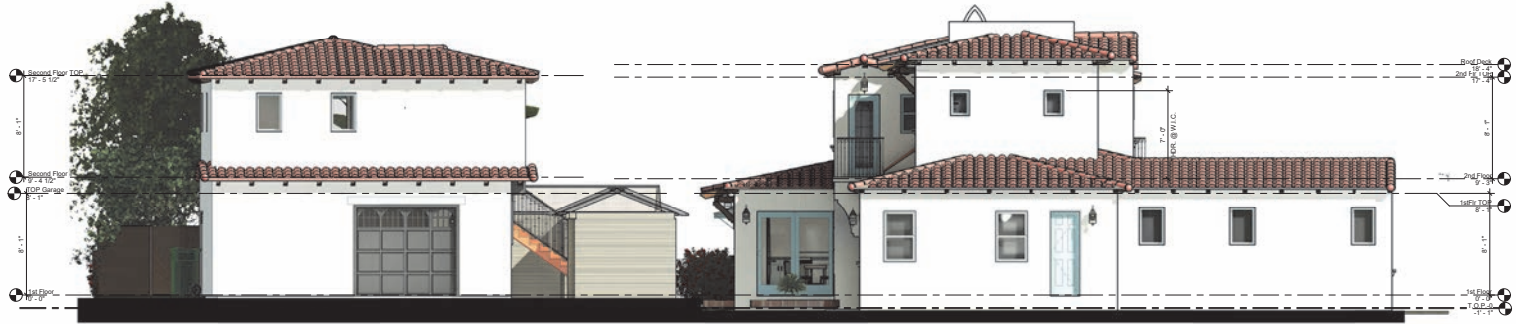


FRONT ELEVATION



LEFT ELEVATION

EXTERIOR ELEVATIONS



1 - REAR ELEVATION



2 - RIGHT ELEVATION

EXTERIOR ELEVATIONS



Project No.	1506
Plot Date	01.18.23
B.D. Submittal	
Scale	
Cont. Save	
Revision	△
Revision	△
Revision	△



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Project

2nd Planning  
Submittal

Mariposa  
Remodel &  
Additions

222 West Mariposa  
San Clemente, CA  
92672

Sheet Title

Exterior  
Elevation  
with Existing  
Landscape



Project No.	1506
Plot Date	04.27.23
B.D. Submittal	
Scale	
Cont. Save	
Revision	△
Revision	△
Revision	△
Revision	△

A3.2

FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

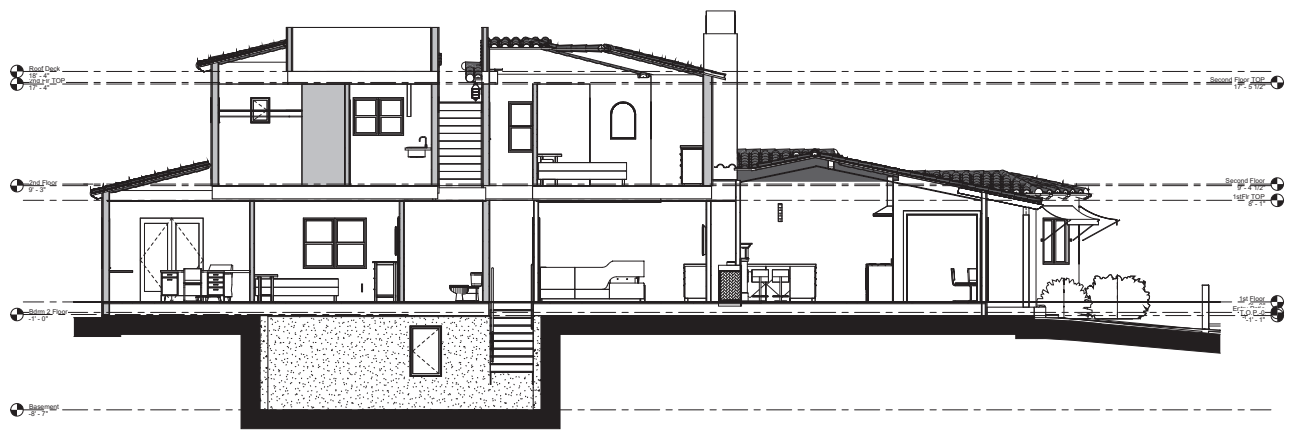
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Pen-Design Change 102\_



Garage and A.D.U. Section

1

Keynotes

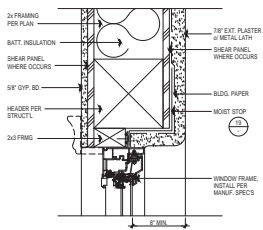


Main Residence Section

2

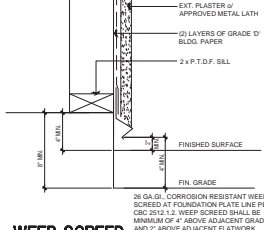
Legend & Notes





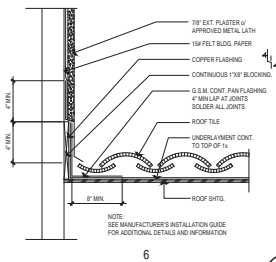
**WINDOW HEAD**  
SCALE: 3/4" = 1'-0"

16



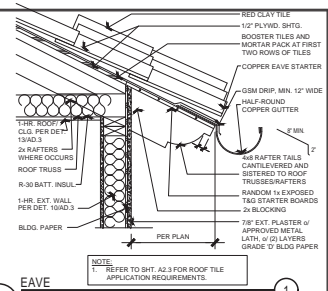
**WEEP SCREED**  
SCALE: 1/2" = 1'-0"

10



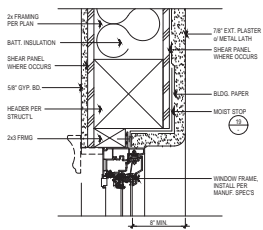
**ROOF TO WALL**  
SCALE: 1/2" = 1'-0"

6



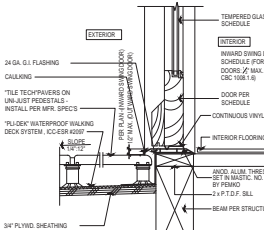
**EAVE**  
SCALE: 1/2" = 1'-0"

1



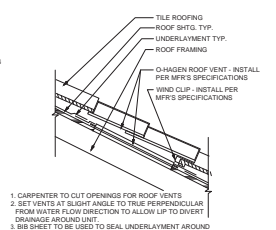
**WINDOW JAMB**  
SCALE: 3/4" = 1'-0"

17



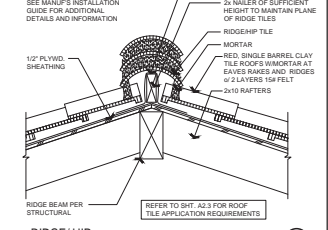
**THRESHOLD @ DECK AT 2ND FLOOR**  
SCALE: 3/4" = 1'-0"

11



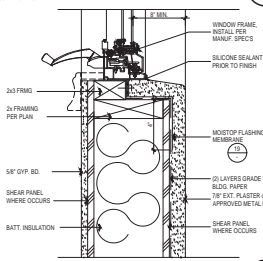
**ROOF VENT**  
SCALE: 1/2" = 1'-0"

7



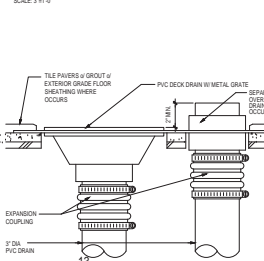
**RIDGE/HIP**  
SCALE: 1/2" = 1'-0"

2



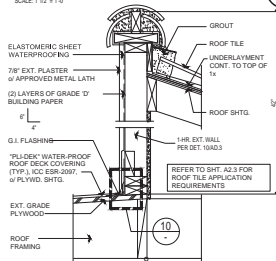
**WINDOW SILL**  
SCALE: 3/4" = 1'-0"

18



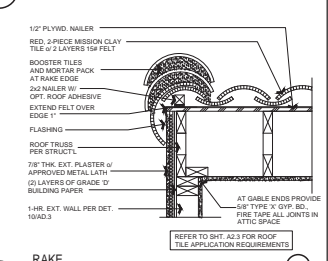
**DECK DRAIN W/ OVERFLOW**  
SCALE: 1/2" = 1'-0"

12



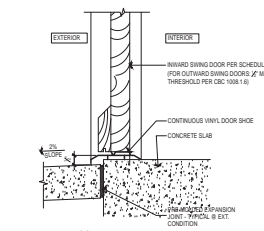
**ROOF TO WALL @ DECK**  
SCALE: 1/2" = 1'-0"

8



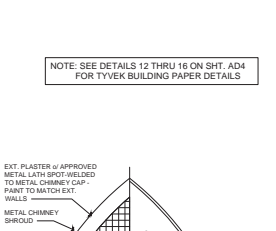
**RAKE**  
SCALE: 1/2" = 1'-0"

3



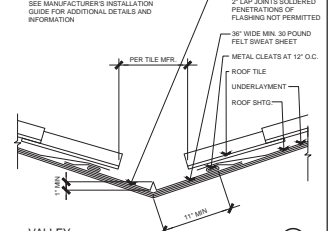
**THRESHOLD AT SLAB**  
SCALE: 3/4" = 1'-0"

13



**CHIMNEY CAP**  
SCALE: 1/2" = 1'-0"

9



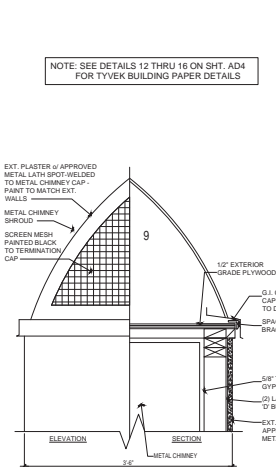
**VALLEY**  
SCALE: 1/2" = 1'-0"

4



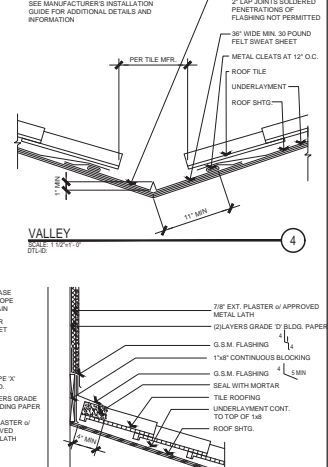
**DOOR HEAD/JAMB @ EXT.**  
SCALE: 1/2" = 1'-0"

14



**CHIMNEY**  
SCALE: 1/2" = 1'-0"

9



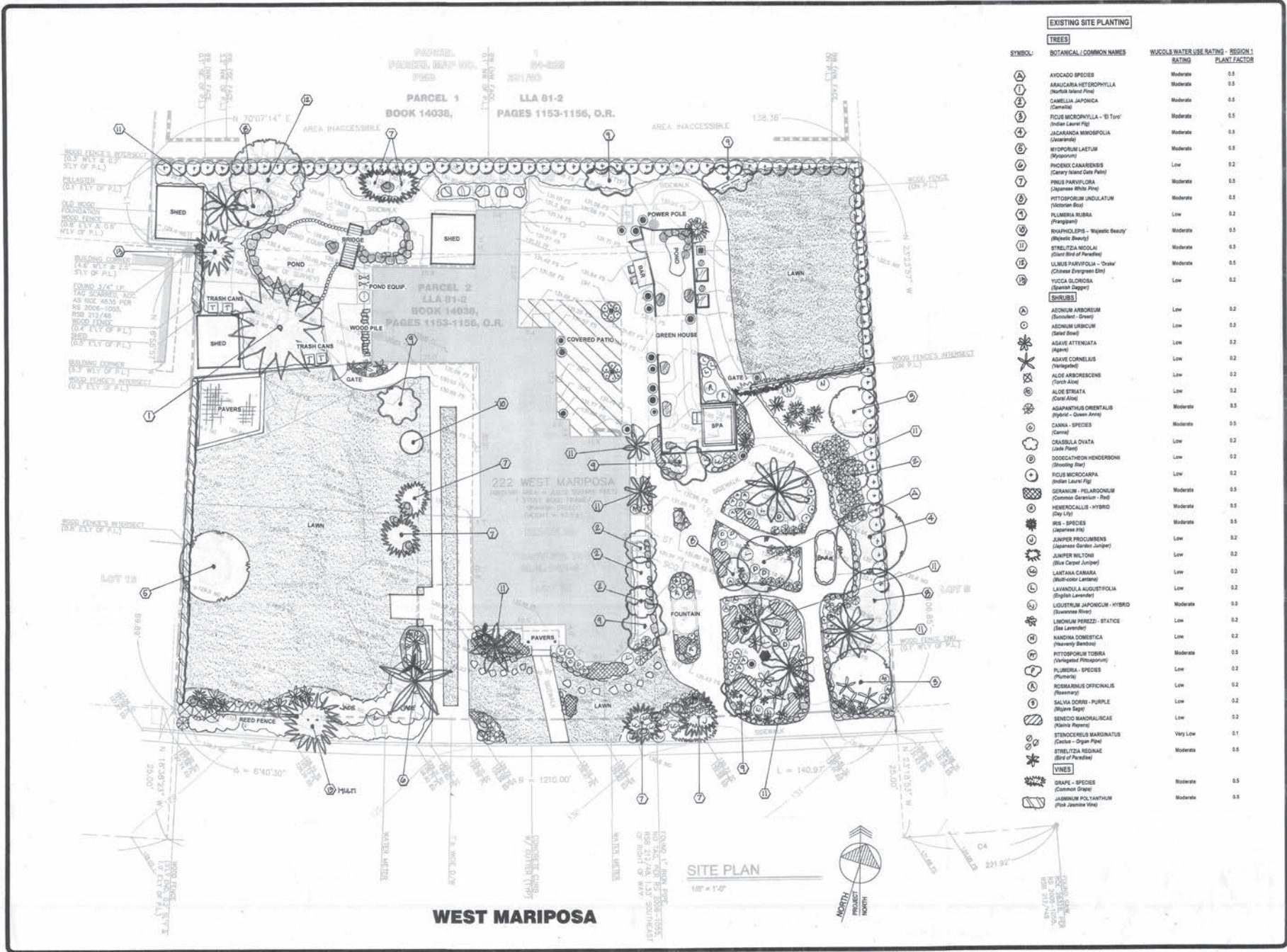
**ROOF TO WALL**  
SCALE: 1/2" = 1'-0"

5

NOTE: SEE DETAILS 12 THRU 16 ON SHT. A4 FOR TYVEK BUILDING PAPER DETAILS



Project No.	2020
Plot Date	05/28/20
B.S. Submitted	
Permitted	▲
Revised	▲
Permitted	▲
Permitted	▲



**EXISTING SITE PLANTING**

**TREES**

SYMBOL	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	PLANT FACTOR
Ⓐ	AVOCADO SPECIES	Moderate	0.8
Ⓛ	ARALICARIA HETEROPHYLLA (Hortfolk Island Pine)	Moderate	0.5
Ⓒ	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
Ⓓ	FICUS MICROCARPA - 'B' Toru (Indole Laurel Fig)	Moderate	0.5
Ⓔ	JACARANDA MICROFOLIA (Jacaranda)	Moderate	0.5
Ⓜ	MYOPORUM LAETUM (Myoporum)	Moderate	0.5
Ⓝ	PROCEDE CARANENSIS (Cassery Island Date Palm)	Low	0.2
Ⓟ	PRUNUS PAVIFLORA (Japanese White Pine)	Moderate	0.5
Ⓠ	PTISOPORUM UNICULATUM (Victorian Box)	Moderate	0.5
Ⓡ	PLUMERIA RUBRA (Plumeria)	Low	0.2
Ⓢ	RHAPHIOLEpis - 'Wipacit Beauty' (Wipacit Beauty)	Moderate	0.5
Ⓣ	STRELTZIA NODOSA (Bird of Paradise)	Moderate	0.5
Ⓤ	ULMUS PARVIFOLIA - 'Oreka' (Chinese Evergreen Elm)	Moderate	0.5
Ⓥ	YUCCA CALOZOSA (Spanish Dagger)	Low	0.2

**SHRUBS**

ⓐ	ACONITUM ARBOREUM (Monardella - Green)	Low	0.2
ⓑ	ACONITUM LANCEOLATUM (Sage Leaf)	Low	0.2
ⓓ	AGAVE ATTENUATA (Agave)	Low	0.2
ⓔ	AGAVE CORNELIUS (Variegated)	Low	0.2
ⓕ	ALOE ARBORESCENS (Torch Aloe)	Low	0.2
ⓖ	ALOE STRIATA (Cane Aloe)	Low	0.2
ⓗ	ASAPANTHUS ORIENTALIS (Spikelet - Queen Anne)	Moderate	0.5
Ⓢ	CANNA - SPECIES (Canna)	Moderate	0.5
Ⓣ	CRASSULA OVATA (Lava Pine)	Low	0.2
Ⓤ	DOODECATHEDON HENDERSONII (Shooting Star)	Low	0.2
Ⓥ	FICUS MICROCARPA (Indole Laurel Fig)	Low	0.2
Ⓦ	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
Ⓧ	HIBISCUS - HYBRID (Day Lily)	Moderate	0.5
Ⓨ	IRIS - SPECIES (Japanese Iris)	Moderate	0.5
Ⓩ	JANIPER PROCUMBENS (Japanese Garden Juniper)	Low	0.2
Ⓛ	JANIPER WILTONI (Blue Carpet Juniper)	Low	0.2
Ⓜ	LANTANA CAMARA (Multi-color Lantana)	Low	0.2
Ⓨ	LAVANDULA AUGUSTIFOLIA (English Lavender)	Low	0.2
Ⓡ	LIGUSTRUM JAPONICUM - HYBRID (Savannah River)	Moderate	0.5
Ⓢ	LIODIUM PEREZZI - STYLICE (Sea Lavender)	Low	0.2
Ⓣ	NANDINA DOMESTICA (Heavenly Bamboo)	Low	0.2
Ⓤ	PHYTOLOBUM TIBERIA (Variegated Pittosporum)	Moderate	0.5
Ⓥ	PLUMERIA - SPECIES (Plumeria)	Low	0.2
Ⓦ	ROSMARINUS OFFICINALIS (Rosemary)	Low	0.2
Ⓧ	SALVIA DORRI - PURPLE (Majesty Sage)	Low	0.2
Ⓨ	SENECIO MANDALUSCAE (Kleinia Reppens)	Low	0.2
Ⓩ	STYDIOCHELIS MARGINATUS (Candle - Gray Pine)	Very Low	0.1
Ⓛ	STRELTZIA REGINAE (Bird of Paradise)	Moderate	0.5

**VINES**

ⓐ	GRAPPE - SPECIES (Common Grape)	Moderate	0.5
ⓑ	JASMINEUM POLYANTHUM (Pink Jasmine Vine)	Moderate	0.5

REVISIONS	BY

**LANDSCAPE ARCHITECT**  
**JAMES FERGUSON**  
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 PPF#ac (949) 388-8888 Cal.  
 Lic.# 1008 Nev. Lic. 4677

**NIELSEN RESIDENCE**  
 222 West Mariposa  
 San Clemente, CA 92672

EXISTING SITE PLANTING PLAN

**DRAWN**  
 SHS/BD  
 DI / AN / ML  
 DATE  
 12-15-2021  
 SCALE  
 1/8" = 1'-0"  
 JOB NO.  
 222-011  
 SHEET  
**L-1**

OF 2 SHEETS



**CONSTRUCTION LEGEND**

**EXISTING SITE ITEMS**

- A Existing Concrete Curb and Gutter - To Remain
- B Existing Rustic Paving - To Remain
- C Existing Concrete Paving - To Remain
- D Existing Historic Fountain - To Remain
- E Existing Lath Room Structure - To Remain (Repair as necessary)
- F Existing Garden Area - To Remain (Protect in place)
- G Existing Landscape (Shrubs and Trees) - To Remain
- H Existing Lawn and Stepping Stones - To Remain
- I Existing Green House, Pond and Fountain - To remain (Repair as necessary)
- J Existing Power Pole - To Remain (Protect in place)
- K Existing Masonry Property Line Fence / Wall - To Remain
- L Existing Garden Paving to be incorporated into the new Driveway
- M Existing Stone Pond Edge Feature - To Remain
- N Existing Shed Structure - To Remain
- O Existing Low Wood Fence and Gate - To Remain
- P Existing Brick Pavers - To Remain
- Q Existing Open Lawn Area - To Remain
- R Existing Rustic Wood Gate - To Remain
- S Existing Brick Planter Feature - To Remain
- T Existing Rustic Rock Border - To Remain

**NEW CONSTRUCTION ITEMS**

- 1 New Spanish style stucco-finish Masonry Wall (42" High) - See Architect's Plans
- 2 New Decorative Metal Entry Gate (42" High) - See Architect's Plans
- 3 New Decorative Metal Vehicular "Swing-type" Gates (42" High) - See Architect's Plans
- 4 New stabilized decomposed Gravel Driveway
- 5 New Decorative Wood Gate
- 6 New Trash Can Storage location
- 7 New Concrete Paving
- 8 New Turf Block Paving Area
- 9 New Bocce Ball Court w/Rustic Wood Benches
- 10 New Landscape Area (Use same plant material as existing)

Existing one story non-historic additions to be demolished

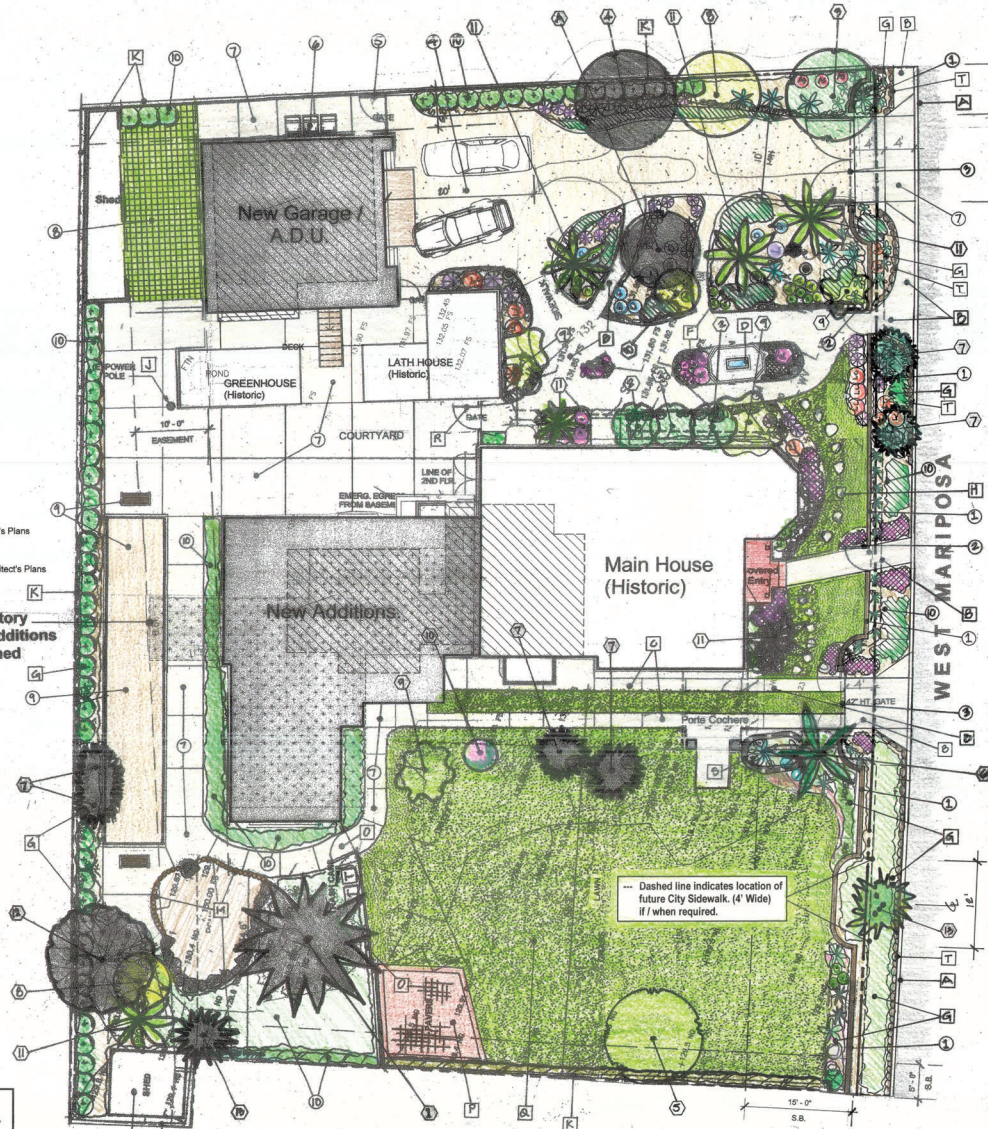
**NEW DRIVEWAY CONCEPT**

- New Driveway to Garage is to be as minimal as possible. The existing "Rustic" Paving location is to remain where practical and the remainder of the adjacent Driveway will be stabilized decomposed Gravel.
- The existing Garden Planting is to remain as is, with the minimum amount of sodding to take place.
- Protect as many existing trees as possible.

**IRRIGATION SYSTEM DESIGN**

- Irrigation System to utilize existing Water Meter point of connection (verify meter location, size and available static water pressure) and Backflow device.
- New Irrigation System design will utilize separate Control Valves as follows:
  - All Trees to have separate Bubbler Water System within the Tree's Drip-line
  - All Drip System irrigation control valves are to have the necessary drip filter with cleanouts upstream of valve.
  - All Shrub areas to utilize Drip-line water-efficient linear tubing system.
- The Irrigation System shall utilize "Smart" automated irrigation technology. Irrigation Controller to utilize either evapotranspiration or soil moisture sensor data for irrigation scheduling in all Irrigation Systems.

SHADED TREES ARE HISTORICALLY ASSOCIATED WITH THE PERIOD OF SIGNIFICANCE FOR THIS PROJECT.



**SITE PLAN** 1/8" = 1'-0"

**EXISTING SITE PLANTING**

SYMBOL	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	
		RATING	PLANT FACTORS
<b>TREES</b>			
1	AVOCADO SPECIES	Moderate	0.5
2	ARAUCARIA HETEROPHYLLA (Norfolk Island Pine)	Moderate	0.5
3	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
4	FICUS MICROPHYLLA - 'Ei Tau' (Indian Laurel Fig)	Moderate	0.5
5	JACARANDA BRASILIENSIS (Jacaranda)	Moderate	0.5
6	MYOPORUM LAETUM (Myoporum)	Moderate	0.5
7	PHOENIX CANARIENSIS (Canary Island Date Palm)	Low	0.2
8	PNUS PARVIFLORA (Japanese White Pine)	Moderate	0.5
9	PITTOSPORUM UNULATUM (Victorian Box)	Moderate	0.5
10	PLUMBAGO RUBRA (Fringing)	Low	0.2
11	RHAPHIOLEPIS - 'Majestic Beauty' (Majestic Beauty)	Moderate	0.5
12	STRELITZIA REGINAE (Blair Bird of Paradise)	Moderate	0.5
13	TYLIDIA PARVIFLORA - 'Violet' (Johnson Evergreen Elm)	Moderate	0.5
14	YUCCA GLOIOSA (Spanish Dagger)	Low	0.2
<b>SHRUBS</b>			
15	AEONUM ARBOREUM (Succulent - Green)	Low	0.2
16	AEONUM UMBRICUM (Succulent - Green)	Low	0.2
17	AGAVE ATTENUATA (Agave)	Low	0.2
18	AGAVE COMPLANATUS (Fountain Agave)	Low	0.2
19	ALOE ARBORESCENS (Tree Aloe)	Low	0.2
20	ALOE STRATA (Coral Aloe)	Low	0.2
21	ADAPTANTER ORIENTALIS (Hybrid - Queen Anne)	Moderate	0.5
22	CANNA - SPECIES (Canna)	Moderate	0.5
23	CRASSULA OVATA (Jade Plant)	Low	0.2
24	DOCOEATHEN HENDERSONII (Shrubbery Tree)	Low	0.2
25	FICUS MICROCARPA (Indian Laurel Fig)	Low	0.2
26	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
27	HEMEROCALLIS - HYBRID (Day Lily)	Moderate	0.5
28	IRIS - SPECIES (Landscape Iris)	Moderate	0.5
29	JUNIPER PROCEMBENS (Japanese Garden Juniper)	Low	0.2
30	JUNIPER MILTONI (Blue Carpet Juniper)	Low	0.2
31	LANTANA CAMARUA (Shrub - Yellow)	Low	0.2
32	LAVANDULA AUGUSTIFOLIA (English Lavender)	Low	0.2
33	LIQUISTRIUM JAPONICUM - HYBRID (Savonaria Shrub)	Moderate	0.5
34	LIMONUM PEREZZI - STATICE (Sea Lavender)	Low	0.2
35	NAUDIA COMBESICA (Heavenly Bamboo)	Low	0.2
36	PITTOSPORUM TOBIANA (Fringing Pittosporum)	Moderate	0.5
37	PLUMBAGO - SPECIES (Plumbago)	Low	0.2
38	ROSBARINUS OFFICINALIS (Rosemary)	Low	0.2
39	SALVIA DORRI - PURPLE (Mojave Sage)	Low	0.2
40	STENOCELEBRIS MARGINATUS (Shrub - Purple)	Low	0.2
41	STENOCELEBRIS MARGINATUS (Cactus - Organ Pipe)	Very Low	0.1
42	STRELITZIA REGINAE (Bird of Paradise)	Moderate	0.5
<b>VINES</b>			
43	GRAPE - SPECIES (Common Grape)	Moderate	0.5
44	JACARANDA POUZOSIANA (Pink Jasmine Vine)	Moderate	0.5

REVISIONS	BY

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**PROPOSED LANDSCAPE PLAN**

**DRAWN BY**  
**CHKD BY**  
**DATE**  
**SCALE**  
**JOB NO.**  
**SHEET**

**L-2**

