

**CITY OF SAN CLEMENTE  
MINUTES OF THE REGULAR MEETING OF THE  
DESIGN REVIEW SUBCOMMITTEE  
MARCH 15, 2023**

Subcommittee Members Present: Chair Steven Camp, Cameron Cosgrove  
Bart Crandell

Subcommittee Members Absent: None

Staff Present: Jonathan Lightfoot, Economic Development Officer, Assistant  
Planner David Carrillo, Contract Planner John Ciampa

**1. MINUTES**

The Subcommittee approved the minutes from the February 15, 2023 regular meeting with no changes, motion by Bart Crandell, second by Cameron Cosgrove, passed 3-0.

**2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:**

The subcommittee moved to hear item 2B first, followed by item 2A, because the applicant was present for item 2B.

**A. Minor Cultural Heritage Permit 23-69, Karabetian Roof Deck, 522 Avenida Victoria, Unit 6 (Carrillo)**

A request to allow a new rooftop deck with an outdoor kitchen and a half bathroom, on an existing multi-family residential building located at 522 Avenida Victoria within the Pier Bowl Specific Plan.

Assistant Planner David Carrillo summarized the staff report.

Chair Camp opened the item for public comments. There was no one present to speak on this item.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Indicated the proposed project is a major remodel per Section 17.56.020.E.4.c. since the project involves a new roof design. Zoning Code.
- Due to a significant alteration to the roof, the DRSC recommended that staff reconsider the classification as major and therefore requiring a CHP (as opposed to an MCHP), requiring Planning Commission review.
- Asked staff to review nonconforming conditions, if any.
- Requested the applicant revise plans to provide clear and consistent information throughout drawings.

- Requested the applicant demonstrate how the project complies with development standards and design guidelines in the form of a letter or on the title sheet of the plans.
- Suggested a roof pitch remain on the Victoria-facing side of the subject building.
- Opposed the addition of the proposed stairwell on the front elevation.
- Noted that this area of Avenida Victoria is shown as a view corridor within the Pier Bowl Specific Plan (PBSP). Directed staff to include appropriate references to the PBSP view corridor figure 2-10 in future reports regarding this property.
- Similarly, noted that Section II.C. of the General Design Guidelines encourage 3<sup>rd</sup> story elements to be set back.
- Requested staff be aware of the building permit application mentioned on conceptual plans to ensure that application only affects interior improvements.
- Suggested the new guardrails be consistent with the entire building.

The Subcommittee recommended that staff address the concerns with the applicant and return to DRSC with revised plans that clearly outline how the proposal complies with the City codes, Pier Bowl Specific Plan, and City Design Guidelines.

**B. Conditional Use Permit 22-355, AT&T Wireless Telecommunications Facility, 3700 South El Camino Real (Ciampa)**

A request to install building-mounted antennas with equipment enclosure on the Comfort Inn Suites located at 3700 South El Camino Real.

Contract Planner John Ciampa summarized the staff report. Chair Camp opened the item for public comments. The applicant, John McDonald, was present to speak on this item.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- The screen enclosures for wireless telecommunications facility are not compatible with the architecture of the structure.
- As designed, the enclosure will be very visible. The DRSC expressed concerns over the height of the two enclosures, noting that they appear like a 3<sup>rd</sup> story element, which should have a lower plate line (with the first floor having the highest plate line).
- The design of the screen enclosure should be modified to be integrated with the building and improve the overall architecture of the structure. Design elements for the applicant to consider included a penthouse type enclosure on the roof or architectural features like a tower or dome that engage and enhance the Spanish Colonial Revival architecture of the structure.
- Proportion, scale, and compatibility with the architecture of the structure should be considered in the redesign of the screened enclosures.
- Since the building does not have a hierarchy of height, consider bringing in other architectural elements.

- If multiple architectural features are utilized, like towers or domes, consider a hierarchy where one of the features is taller than the other.
- If a single wider structure is proposed like a penthouse feature, it could have an eave element that drops the edges of the roof that allows more roof to be seen from the public right-of-way perspective to reduce the preserved height of the screened enclosure.
- Successful wireless screening projects, such as the towers at the Surbreak Hotel on S. El Camino Real, were identified for the applicant to utilize as examples.
- The applicant was appreciative of the feedback for pursuing a redesign of the project based on the Subcommittee's comments.

The Subcommittee encouraged the applicant to revise the project based on the provided comments and bring the project back to evaluate the modified design.

3. **NEW BUSINESS**

None

4. **OLD BUSINESS**

None

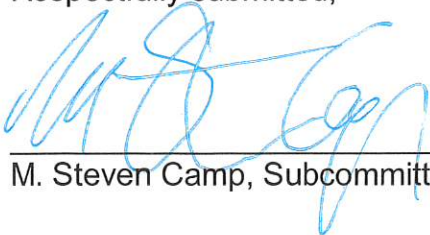
5. **ORAL AND WRITTEN COMMUNICATION**

None

**ADJOURNMENT**

Adjourned to the March 29, 2023 DRSC meeting at 3:00 p.m., San Clemente City Hall, First Floor Community Room, 910 Calle Negocio, San Clemente, CA.

Respectfully submitted,



M. Steven Camp, Subcommittee Member

Attest:



Jonathan Lightfoot, Economic Development Officer