



Cultural Heritage Subcommittee (CHSC)

Meeting Date: May 24, 2023

PLANNER: Christopher Wright, Associate Planner II

SUBJECT: **Cultural Heritage Permit 22-148, Architectural Permit 22-162, Nielsen Residence**, a request to consider: 1) an addition and exterior changes to a historic single-story residence, 2) construction a detached garage with an Accessory Dwelling Unit on the second floor that requires a height limit increase, and 3) changes to the garden landscape and hardscape. The site is located at 222 West Mariposa.

BACKGROUND:

In 1928, the site was developed with a single-story Spanish Colonial Revival residence for Frank Carl Ulrich, designed by Virgil Westbrook. The house is a historical landmark on the City's list of designated historic structures. The site has a Historic Preservation Property Agreement with the City (HPPA or "Mills Act"). The property includes three parcels that are zoned Residential Medium density with a Coastal Zone Overlay.

Frank Ulrich was a landscape gardener who worked for Ole Hanson and is attributed with managing landscaping at Casa Romantica and the palm installations along El Camino Real. The residence at 222 W. Mariposa, known as the Ulrich House, is significant under the theme of Ole Hanson's Spanish Village by the Sea period of development (1928-1936). The house has been enlarged several times, including the addition of an octagonal bay window dining area and front porch on the front elevation, and the addition of a garage, bedroom, bathroom, storage, and laundry at the rear of the building. Sheet A1.2 of the attached plans shows the original house and the subsequent changes.

The landscape design also has historic significance. Frank Ulrich's garden was an eclectic mix of California Gardenesque and the 20th century Mediterranean Garden, incorporating imported trees and succulents, including Asian plants with pathways and natural stone mosaic work. Garden structures included a greenhouse, lath house, koi pond, patios, and fountains. While some changes have occurred to the garden, it continues to convey much of the landscape design of Frank Ulrich, such as the filling the koi pond and changes to original stone work. For more details, Attachment 3 provides a Historic Resource Analysis Report (HRAR) with a description of the property's history, photographs, analysis, and historic survey forms.

PROJECT SUMMARY:

The project involves an addition and remodel of the historic residence, a new detached garage and ADU, and changes to the landscape and hardscape. The proposed addition expands the residence by 1,757 square feet (s.f.). On the first floor, 1,109 s.f. would be added to the rear with the removal of the non-original bedrooms, bathroom, storage, laundry,

and garage. For a new second floor, 648 s.f. of floor area would be added over a portion of the original footprint and roofline. A roof deck would be included at the rear of the building behind the proposed second story roofline for screening. The new detached garage and second-floor ADU would be added in the northeast corner of the site. The garage is 600 s.f. and ADU is 495 s.f.. The building is 22 feet high, where the height limit is 16 feet but may be increased to the 25-foot height limit of the zone with an Architectural Permit. The new building has Spanish Colonial Revival architecture in character with the historic residence. The project also includes several changes to landscape and hardscape. More notable changes include a new driveway, wrought-iron gate, partial restoration of the koi-pond as a seating area, relocation and reuse of some of the hardscape paths, addition of a low-level stucco wall along the street frontage with planting in front, and plans for the installation of a required sidewalk that requires the removal of three significant trees.

Preliminary Review Requested

The application is incomplete due to a few unresolved historic preservation issues. Staff requests this meeting to focus on these issues, which are further analyzed in Attachment 1. Staff recommends design changes to address these issues in order to support the application based on the required findings. The project's massing, scale, proportions, and articulation could change in response to feedback on the historic preservation issues. Staff also has recommended changes on the design of the addition, new building, and site changes, but a second CHSC meeting is suggested to review the project in totality after the applicant has the opportunity to receive feedback on these preliminary historic preservation issues:

1. Second-floor addition removes portions of the original roof.
2. First-floor addition should be differentiated from original structure with insets.
3. Removal of significant trees for a required sidewalk.
4. Removal of character-defining features should be avoided where feasible and addressed thoroughly in the historic report (HRAR).

RECOMMENDATIONS:

Staff requests feedback on the historic preservation issues described in Attachment 1 and suggests this item be reconsidered by the CHSC prior to scheduling a Planning Commission hearing for a decision on the application.

Attachments:

1. Analysis of historic preservation issues
2. Vicinity map
3. Historic Resource Analysis Report (HRAR)
4. Landscape analysis dated 2007
5. Arborist report on trees along street
6. Plans

Staff requests the Cultural Heritage Subcommittee's preliminary review of several historic preservation issues listed below. Staff also has recommended changes on the design of the new development, but a second CHSC meeting is suggested to focus on general architectural design of the addition, new building, and new site features, considering the massing, scale, proportions, and articulation could change to address feedback from CHSC's review.

1. Second-floor addition removes portions of the original roof.
2. First-floor addition should be differentiated from original structure with inset.
3. Removal of significant trees for a required sidewalk.
4. Removal of character-defining features should be avoided where feasible and addressed thoroughly in the historic report (HRAR).

Issue 1 - Removal of original roof for second-floor addition.

The project adds a 648 square-foot second story over the original structure with the removal of the original roofline and area. Image 1 shows the west elevation where the second-floor addition is proposed. The original roof between the red and orange lines would be removed. Excerpts of the proposed roof plan and west elevation are on the next page.

Image 1 – Portion of the existing West Elevation



Image 2 – Excerpt of Proposed Roof Plan

The original roof area that would be removed for the second-floor addition is highlighted yellow.

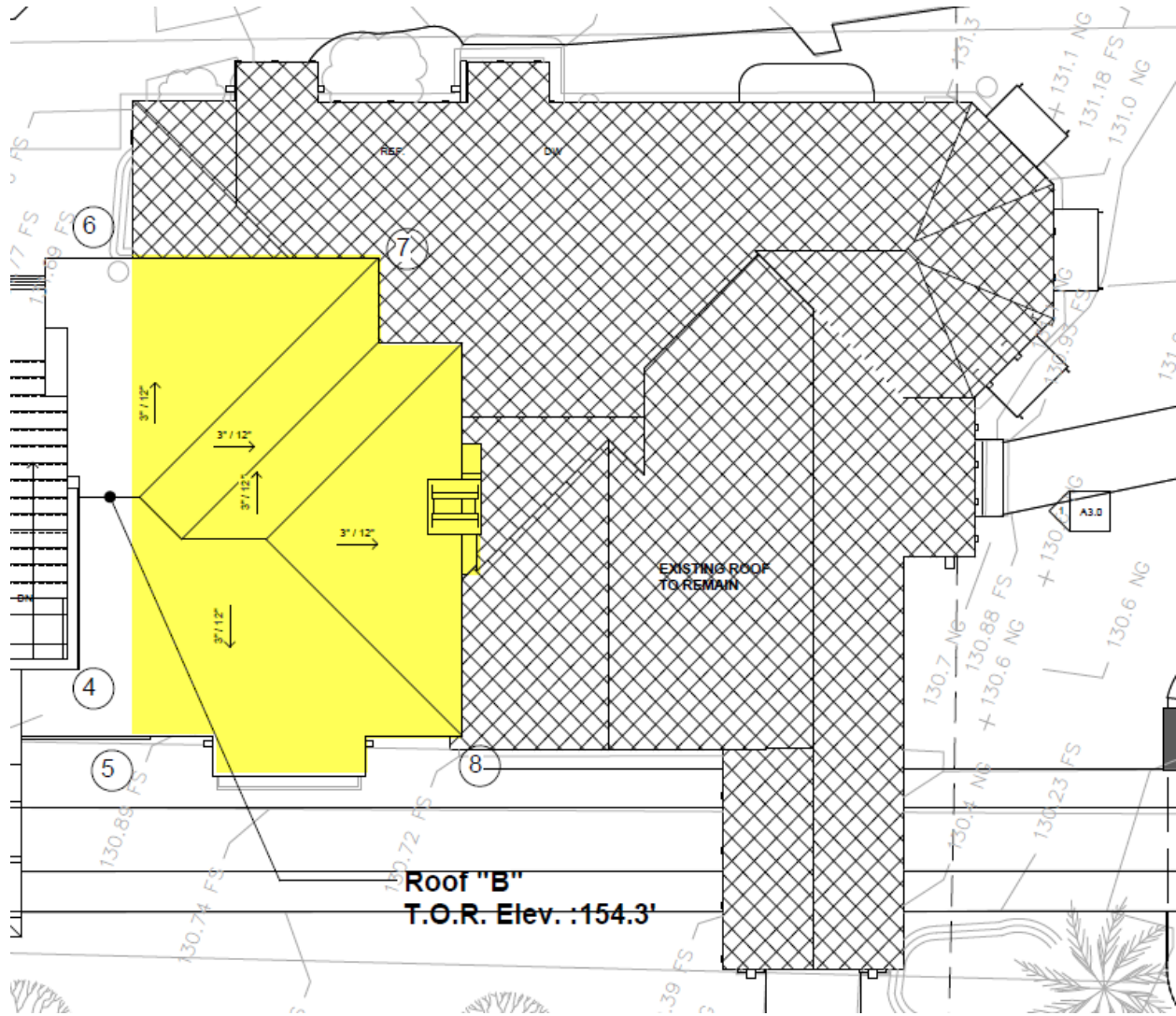
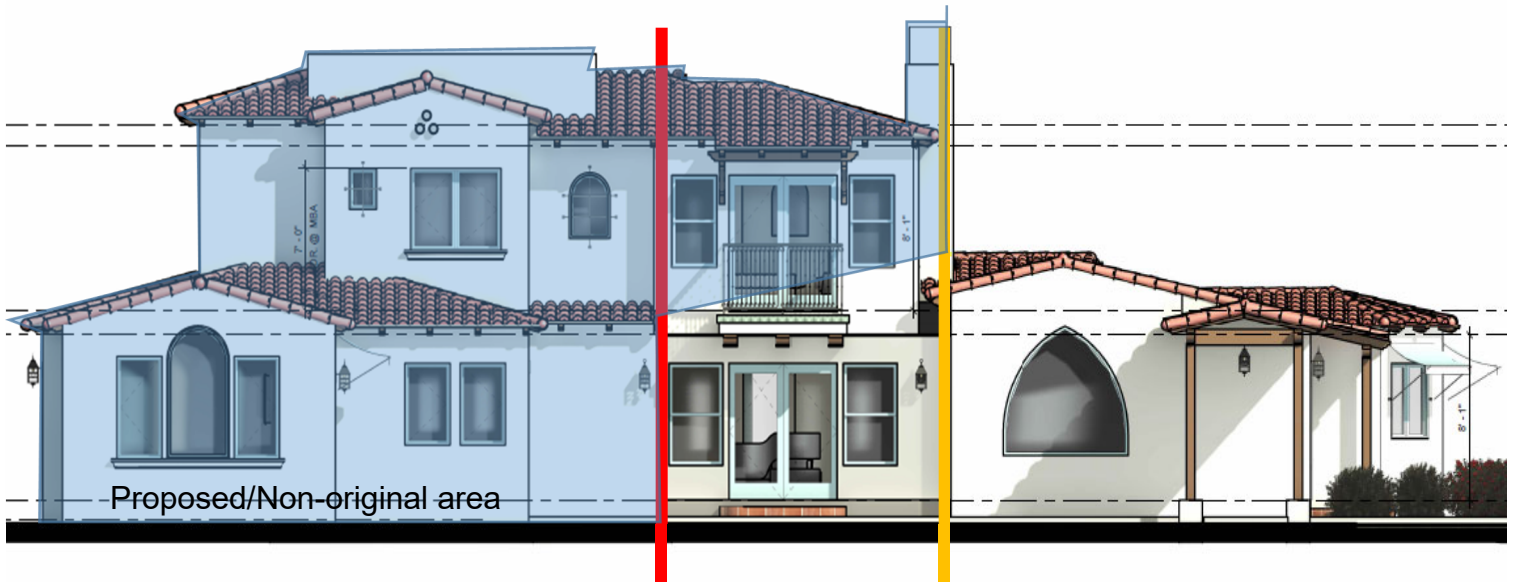


Image 3 – Proposed West Elevation

Image 3 shows the proposed west elevation. The original footprint is to the right of the red line. The second-floor addition is proposed over the original footprint between the red and orange lines where the roof would be removed according to Image 2. The blue shaded area is the profile of the proposed addition.



LEFT ELEVATION

Staff's position is that these changes are inconsistent with the Secretary of the Interior Standards 9 and 10 for Rehabilitation of Historic Structure that relate to additions and alterations.

Standard 9 is: *"New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."*

Standard 10 is: *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed design destroys historic materials, features, and spatial relationship of original structure with the removal of the roofline and the massing of the addition over the original first floor. If the second-floor addition were removed, the original roofline, massing profile, and general spatial relationship would require restoration.

Issue 2 - First-floor addition should be differentiated further.

Secretary of the Interior Standard 10 calls for differentiating additions and alterations from original significant elements of a resource. The current design expands the building in-line with the original first floor. Staff recommends varied texture and color, and a spatial break 1-2 inch inset between the original structure and addition to differentiate the addition, consistent with Secretary of Interior standard nine (cited on page above).

Image 4 – Existing first-floor

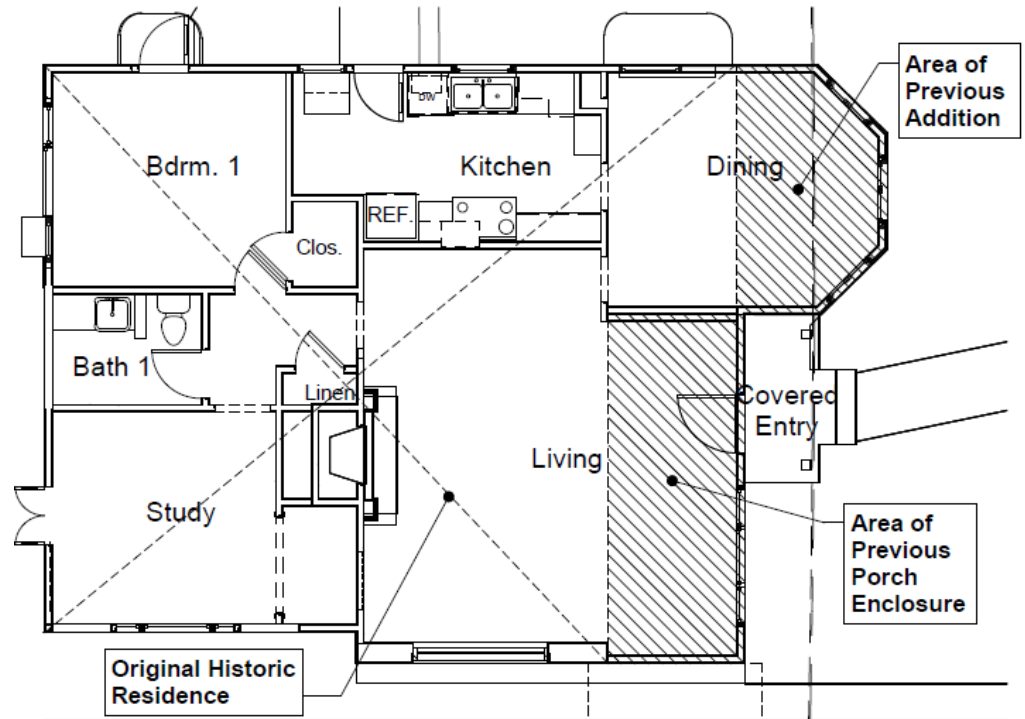
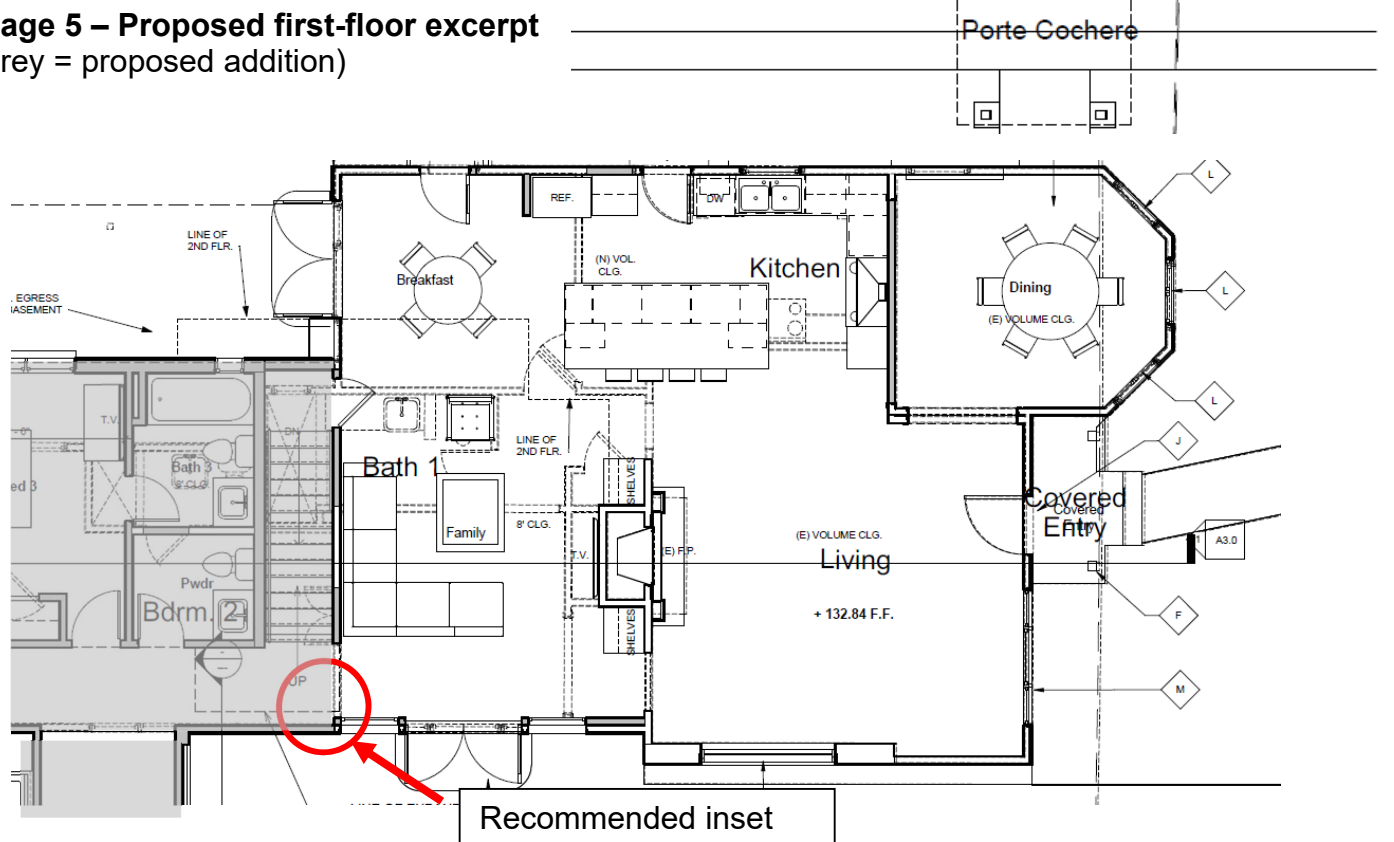
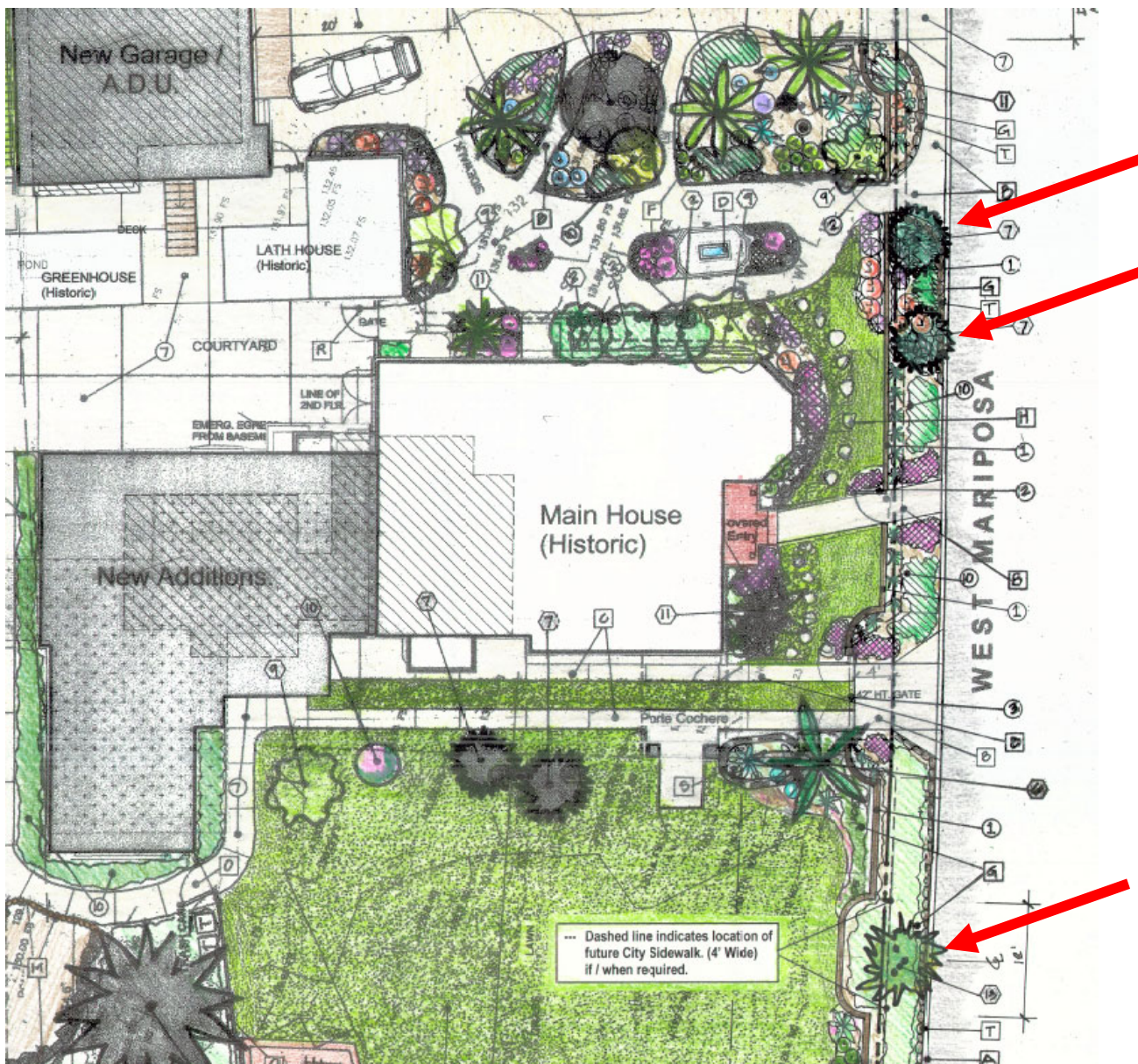


Image 5 – Proposed first-floor excerpt
(grey = proposed addition)



The Municipal Code requires the installation of sidewalk for development projects valued at \$50,000 or more, including the proposed project. However, the site is unique in two ways. First, the Casa Romantica and the subject site are the only known historic resources with historically significant gardens. Second, the subject site is the only known property on the City’s listed of designated historic structures with historically significant trees in close proximity to a street frontage that would interfere with the installation of the sidewalk. There are three trees near the street that are character-defining features to the property’s significant garden: a Yucca and two Japanese White Pines (“bonsai trees”). Image 6 shows the location of these trees.

Image 6 – Excerpt of Proposed Landscape Plan (red arrows show the tree significant trees along street)



Ideally, these trees would be preserved to maintain the integrity of the resource. While the City has a sidewalk waiver process, the eligibility criteria does not address waiving a sidewalk to preserve historically significant trees and garden features. The application initially had a design that kept the historically significant trees along the street without a sidewalk installation. During the Development Management Team (DMT) process, the City staff considered several options for the sidewalk:

1. Recording a property restriction of some form that requires installation of a sidewalk upon the death of the significant trees. At this time, the trees must be replaced in-kind (similar species and a size that can thrive) in proximity to the existing tree locations. This option would require Planning Commission approval of a modified condition of approval, accepting that a sidewalk can be deferred with the recording of a property restriction. This would meet the City's obligations for sidewalks, but should be pursued in limited special circumstances (e.g. deferring a sidewalk temporarily to preserve unique historically significant trees in close proximity to the street where a sidewalk would be installed).
2. Consulting an arborist on whether the trees can be relocated for a sidewalk installation. An arborist found the trees would not survive.
3. Consulting an arborist on whether trees could withstand the installation of a partial tiled sidewalk between the trees along the street frontage and then an alternative material is used to install paths that wrap around the trees. An arborist found the trees would not survive. The arborist report is provided separately as Attachment 5.
4. Narrow the street to install a sidewalk away from the tree trunks. This would remove public parking in the coastal zone which the Coastal Commission is reluctant to support. Also, it is possible a sidewalk installation could still adversely affect the tree's health because it would add weight and possibly damage the tree's root base during construction.
5. Remove the trees, install a sidewalk, and replace trees in-kind with supporting historic report analysis that this complies with federal and state law and the Secretary of Interior guidance for historic preservation in this circumstance.

The applicant decided to redesign the plans to include a sidewalk and replace the trees in-kind, mostly due to the uncertainty of whether the Planning Commission would support option 1 to defer a sidewalk for the tree preservation. The application materials do not provide details on the "in-kind" replacement in terms of the type, size, or location of replacement trees. Additionally, the historic report analysis does not describe how and if replacement trees maintain the resource's integrity based on federal standards.

Staff supports option 1 to defer the sidewalk and add a condition on the Historic Preservation Property Agreement (HPPA) that requires installation of a sidewalk upon the death of the historic trees. The Community Development Director may add conditions to the HPPA but staff would seek guidance from the Planning Commission when it acts on the project. Staff requests CHSC feedback on this important issue so the applicant has information to decide how to proceed.

Issue 4 - Removal and alteration of character-defining features should be avoided where feasible and thoroughly addressed in the historic report.

The project removes and alters several features on the structure and in the gardens, such as original window and door openings and hardscape path material that would be relocated. The removal and alteration of original materials and features should be avoided where feasible. For an example, original window openings would be altered on the first floor between the red and orange lines shown on Images 1 and 2 above. The historic report either incorrectly states several of these features are being maintained or mentions the alterations/removals but does not explain how these changes meet the relevant Secretary of the Interior Standards 2, 9, and 10 below.

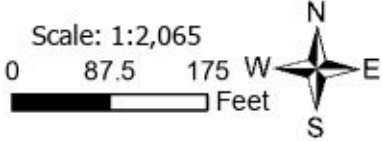
Standard 2: "The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided."

Standard 9 is: "New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

Standard 10 is: "New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



Vicinity Map
 Project: Nielsen Residence
 Address: 222 West Mariposa



MINIMUM CONSTRUCTION STDS.

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM. NO CONSTRUCTION ON SUNDAYS AND RECOGNIZED HOLIDAYS (CHAPTER 8.48, SCMC)

APPROVED PLANS SHALL BE AVAILABLE AT THE JOBSITE DURING INSPECTIONS (CHAPTER 15.04, SCMC)

SANITARY FACILITY FOR CONSTRUCTION SITE MUST BE PROVIDED (CHAPTER 15.04, SCMC)

FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMODELING, ADDITION OR TENANT IMPROVEMENT PROJECT (CHAPTER 15.04, SCMC)

SPECIAL REQUIREMENT FOR INSPECTION: FOR MULTI-RESIDENTIAL AND COMMERCIAL BUILDINGS WITH 2 STORES OR MORE, PLANNING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL. DUE TO SPECIAL AND UNUSUAL TOPOGRAPHICAL CONDITIONS AT THE SITE, A SURVEYORS CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOOR SLAB OR FINISH FLOOR SHALL BE REQUIRED (SCBD POLICY)

RETAINING WALLS, WHICH ARE NOT PART OF THE STRUCTURE INCLUDING MASONRY GARDEN WALLS, SHALL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE (CHAPTER 12.08, SCMC)

CURBS, GUTTERS AND SIDEWALKS ARE **REQUIRED** (CHAPTER 12.08, SCMC)

ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAINPIPES TO THE STREET OR OTHER APPROVED LOCATION OR AN APPROVED NON-ROCKIBLE SURFACE DRAIN. WATER SHALL NOT DRAIN OVER PUBLIC SIDEWALK (CHAPTER 16.20, SCMC)

NO FERROUS WATER PIPING IS ALLOWED UNDERGROUND. COPPER WATER PIPING UNDER SLAB SHALL BE TYPE "K" PLACED IN SAND BED & PROTECTED WITH PLASTIC SLEEVE WHEN PENETRATING SLAB (CHAPT 16.08.00.20, SCMC)

3/4" HOSE BIB REQUIRED IN FRONT AND BACK OF BUILDING (CHAPTER 15.20, SCMC)

A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE JUNCTION BOX, ONE PAIR OF NO. 18 CONTROL WIRES SHALL BE INSTALLED FOR USE BY THE WATER DIVISION (SCMO)

APPROVED BACK FLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NONRESIDENTIAL BUILDINGS OR ANY OTHER FACILITY AS REQUIRED BY CHAPTER 13.04, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949)866-1651.

NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL (CHAPT 15-12, SCMC)

LOW FLUSH FIXTURES (1.0 GAL TOILETS, 1 GAL URINALS, & 2.5 GAL SHOWER HEADS) ARE REQUIRED (STATE LAW)

TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT ENVIROACH ONTO PUBLIC SIDEWALKS AND STREETS (CHAPTER 12.20, SCMC)

ADDRESS NUMBERS IN CONTRASTING COLOR TO THE STRUCTURE FOR RESIDENTIAL, A MIN OF FIVE, FOR NON RESIDENTIAL, A MIN OF FIVE, MUST BE PLACED ON THE FRONT OF THE BUILDING. EACH UNIT SHALL BE IDENTIFIED WITH AN ALPHABETICALLY RELATED GARAGE. MUST BE SIMILARLY MARKED (SECTION 10.208-UP & CHAPTER 8.16, SCMC)

SLAB DIVIDER **SHALL NOT** PAVE ANY STREET INDIEN WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT ACTUAL NOTICE TO COX COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT. NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MGR, COX COMMUNICATIONS, 2997 AVI DE LA BANDERAS, SAN DIEGO, SANTA MARGARITA 92088 (949) 546-2000

ELECTRIC AND GAS METERS **WILL NOT** BE SET UNTIL ALL PHASES OF WORK ARE COMPLETED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED (SCBD POLICY)

NOTE: SCMC: SAN CLEMENTE MUNICIPAL CODE, SCBD: SAN CLEMENTE BLDG DIV, SCWD: SAN CLEMENTE WATER DIVISION (REV 12-8-07)

SPECIAL INSPECTIONS

City of San Clemente
Phone: (949) 361-4331 Fax: (949) 361-4331
Building@San-Clemente.org

SPECIAL INSPECTION FORM PERMIT NO.:

Project Address: 222 W. MARIPOSA Plate Review Project No. _____
Property Owner: DAVID AND AMY NELSEN Architect: MICHAEL LUNA
Engineer: _____ Plans Designer: _____

Special Inspector: _____ Phone No.: _____
Inspection Agency (Firm): _____ Phone No.: _____

Owner / Architect or Engineer (Signature): _____

The above signatory certifies that the special inspector identified above has been engaged to perform the special inspections outlined below as required by Chapter 15 of the California Building Code.

GEOTECHNICAL / FOUNDATION
 Prior to foundation inspection submit a field memo stamped and signed by a licensed geotechnical engineer to certify foundation examination are located in proper soils bearing material and to confirm required soil bearing capacity.
 Soil bearing construction.

FOUNDATION CONCRETE
 F_c = 4,500 psi concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates
 Type V cement required exposed to sulfates
 Special inspection and concrete lab testing IS REQUIRED
 Special inspection NOT required. Submit concrete batch mix trip ticket to building inspector.

PILE INSTALLATION
 Drilled Cast-in Place Concrete / Pile Impact Concrete Pile
 Foundation Underpinning Installation Steel Pile

REINFORCED CONCRETE
 High Strength Concrete (>3,500 psi) [F_c = 4,500 psi] Cast-in Place Concrete
 Cast-in Place Concrete (Pile) Cast-in Place Concrete
 Concrete Formwork Post-Tensioned (tendon placing, straining and concrete placement)
 Shotcrete / Overlay

STRUCTURAL STEEL
 Field Welding High Strength Bolting Spray Applied Fire Proofing
 Steel Erection

STRUCTURAL MASONRY
 Masonry Walls _____ Walls @ Pilasters _____

MISCELLANEOUS
 STRUCTURAL OBSERVATION IS REQUIRED (See attached structural observation form)
 Spray Anchor / Bolt _____
 Shear Wall / Diaphragm Nailing _____
 Other _____

1 Building Division/ Special Inspection Form Revisions 2007 (CSC) 4/13/2004

2nd Planning Submittal

Mariposa Residence Remodel & Additions & A.D.U. 222 West Mariposa San Clemente, CA

<p>Sheet Index</p> <table border="1"> <tr> <th>Sheet Number</th> <th>Sheet Name</th> </tr> <tr> <td>0.0</td> <td>General</td> </tr> <tr> <td>T.1</td> <td>Title Sheet</td> </tr> <tr> <td>02</td> <td>Architectural</td> </tr> <tr> <td>A1.0</td> <td>Site Plan</td> </tr> <tr> <td>A1.1</td> <td>Demolition Plans</td> </tr> <tr> <td>A1.2</td> <td>Original Historic & Existing Plans</td> </tr> <tr> <td>A2.1</td> <td>1st Floor Plans - Main House & Garage</td> </tr> <tr> <td>A2.1a</td> <td>Basement & Garage Plan</td> </tr> <tr> <td>A2.2</td> <td>2nd Floor Plans - Main House & Guest House</td> </tr> <tr> <td>A2.3</td> <td>Roof & Deck Plan</td> </tr> <tr> <td>A3.0</td> <td>Exterior Elevations</td> </tr> <tr> <td>A3.1</td> <td>Exterior Elevations</td> </tr> <tr> <td>A3.2</td> <td>Exterior Elevation with Existing Landscape</td> </tr> <tr> <td>A4.0</td> <td>Building Sections</td> </tr> <tr> <td>AD.1</td> <td>Details</td> </tr> <tr> <td>07</td> <td>Landscape</td> </tr> <tr> <td>L-1</td> <td>Existing Landscape Plan</td> </tr> <tr> <td>L-2</td> <td>New Landscape Plan</td> </tr> </table>	Sheet Number	Sheet Name	0.0	General	T.1	Title Sheet	02	Architectural	A1.0	Site Plan	A1.1	Demolition Plans	A1.2	Original Historic & Existing Plans	A2.1	1st Floor Plans - Main House & Garage	A2.1a	Basement & Garage Plan	A2.2	2nd Floor Plans - Main House & Guest House	A2.3	Roof & Deck Plan	A3.0	Exterior Elevations	A3.1	Exterior Elevations	A3.2	Exterior Elevation with Existing Landscape	A4.0	Building Sections	AD.1	Details	07	Landscape	L-1	Existing Landscape Plan	L-2	New Landscape Plan	<p>Project Directory</p> <p>Owner: Mr. David and Ms. Amy Nelson 222 W. Mariposa San Clemente, CA 92672</p> <p>Legal Description: TRACT: 793 LOT: 9, 10, and 11 APN: 892-073-28</p> <p>Project Address: 222 West Mariposa San Clemente, CA 92672</p> <p>Architect: MICHAEL LUNA & ASSOCIATES, INC. MICHAEL LUNA, ARCHITECT 3492 CALLE DEL SOL, SUITE A CAPITANADO BEACH, CA 92024 TEL: (949) 493-5200 FAX: (949) 493-5248 email: Michael@mlunaarch.com</p> <p>Landscapist: JAMES PEKARSKIE, LANDSCAPE ARCHITECT 1216 GARDNO SAN CLEMENTE, CA 92673 TEL: (949) 433-6668</p> <p>Historical Resource Analysis: URBANA PRESERVATION & PLANNING, LLC 1705 EL ALON BLVD., SUITE #1 LA MESA, CA 91942 TEL: (844) 872-9020</p>	<p>Code Data</p> <p>Occupancy Group: R-3, U</p> <p>Zoning Designation: RM (C2)</p> <p>Type of Construction: TYPE I(B), FIRE SPRINKLERED</p> <p>Number of Stories: TWO STORES</p> <p>Scope of Work DEMOLITION OF PREVIOUS NON-HISTORIC ADDITIONS AND THE ADDITION OF NEW ONE AND TWO STORY ADDITIONS TO THE EXISTING HISTORIC RESIDENCE. THE SCOPE ALSO INCLUDES A NEW REFINISHED TWO CAR GARAGE WITH AN ACCESSORY DWELLING UNIT ABOVE THE GARAGE. FURTHER, A STORAGE/SHOP ACCESSORY BUILDING IS PROPOSED TO THE REAR OF THE PROPOSED GARAGE.</p> <p>Deferred Submittals</p> <p>FIRE SPRINKLERS</p> <p>Vicinity Map </p> <p>Zoning Standards</p> <table border="1"> <thead> <tr> <th rowspan="2">Description</th> <th colspan="2">Allowed</th> <th rowspan="2">Proposed</th> <th rowspan="2">Conforms</th> </tr> <tr> <th>RM</th> <th>RM</th> </tr> </thead> <tbody> <tr> <td>Zone</td> <td>RM</td> <td>RM</td> <td>D</td> <td>YES</td> </tr> <tr> <td>Lot Area</td> <td>6,000 SF MIN.</td> <td>14,753 SF</td> <td></td> <td>Yes</td> </tr> <tr> <td>Lot Width</td> <td>60' MIN.</td> <td>120'</td> <td></td> <td>Yes</td> </tr> <tr> <td>Lot Depth</td> <td>100'</td> <td>120'</td> <td></td> <td>Yes</td> </tr> <tr> <td>Max. Building Height</td> <td>25'</td> <td>25'</td> <td></td> <td>Yes</td> </tr> <tr> <td>Setbacks (Minimum)</td> <td></td> <td></td> <td>UNCHANGE D</td> <td>Yes</td> </tr> <tr> <td>Front Setback to Primary Structure</td> <td>15'-0"</td> <td>UNCHANGE D</td> <td></td> <td>Yes</td> </tr> <tr> <td>Left Sideyard Setback</td> <td>5'-0"</td> <td>32'-0"</td> <td></td> <td>Yes</td> </tr> <tr> <td>Right Sideyard</td> <td>5'-0"</td> <td>5'-0"</td> <td></td> <td>Yes</td> </tr> <tr> <td>Rear</td> <td>5'-0"</td> <td>16'-2"</td> <td></td> <td>Yes</td> </tr> <tr> <td>Lot Coverage</td> <td>55% MAX</td> <td>23%</td> <td></td> <td>Yes</td> </tr> </tbody> </table> <p>PARKING: 1 EXISTING CARPORT AT HISTORIC RESIDENCE 2 NEW COVERED PARKING SPACES 3 TOTAL PARKING SPACES</p>	Description	Allowed		Proposed	Conforms	RM	RM	Zone	RM	RM	D	YES	Lot Area	6,000 SF MIN.	14,753 SF		Yes	Lot Width	60' MIN.	120'		Yes	Lot Depth	100'	120'		Yes	Max. Building Height	25'	25'		Yes	Setbacks (Minimum)			UNCHANGE D	Yes	Front Setback to Primary Structure	15'-0"	UNCHANGE D		Yes	Left Sideyard Setback	5'-0"	32'-0"		Yes	Right Sideyard	5'-0"	5'-0"		Yes	Rear	5'-0"	16'-2"		Yes	Lot Coverage	55% MAX	23%		Yes
Sheet Number	Sheet Name																																																																																																					
0.0	General																																																																																																					
T.1	Title Sheet																																																																																																					
02	Architectural																																																																																																					
A1.0	Site Plan																																																																																																					
A1.1	Demolition Plans																																																																																																					
A1.2	Original Historic & Existing Plans																																																																																																					
A2.1	1st Floor Plans - Main House & Garage																																																																																																					
A2.1a	Basement & Garage Plan																																																																																																					
A2.2	2nd Floor Plans - Main House & Guest House																																																																																																					
A2.3	Roof & Deck Plan																																																																																																					
A3.0	Exterior Elevations																																																																																																					
A3.1	Exterior Elevations																																																																																																					
A3.2	Exterior Elevation with Existing Landscape																																																																																																					
A4.0	Building Sections																																																																																																					
AD.1	Details																																																																																																					
07	Landscape																																																																																																					
L-1	Existing Landscape Plan																																																																																																					
L-2	New Landscape Plan																																																																																																					
Description	Allowed		Proposed	Conforms																																																																																																		
	RM	RM																																																																																																				
Zone	RM	RM	D	YES																																																																																																		
Lot Area	6,000 SF MIN.	14,753 SF		Yes																																																																																																		
Lot Width	60' MIN.	120'		Yes																																																																																																		
Lot Depth	100'	120'		Yes																																																																																																		
Max. Building Height	25'	25'		Yes																																																																																																		
Setbacks (Minimum)			UNCHANGE D	Yes																																																																																																		
Front Setback to Primary Structure	15'-0"	UNCHANGE D		Yes																																																																																																		
Left Sideyard Setback	5'-0"	32'-0"		Yes																																																																																																		
Right Sideyard	5'-0"	5'-0"		Yes																																																																																																		
Rear	5'-0"	16'-2"		Yes																																																																																																		
Lot Coverage	55% MAX	23%		Yes																																																																																																		
<p>Project Data</p> <table border="1"> <thead> <tr> <th>Original Historic</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>Living Area</td> <td>948 SF</td> </tr> <tr> <td>Living w/ Additions</td> <td>214 SF</td> </tr> <tr> <td>Total Living Area</td> <td>1160 SF</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>Area</th> <th>Main Residence</th> <th>ADU</th> </tr> </thead> <tbody> <tr> <td>Living Area</td> <td>2036 SF</td> <td>0 SF</td> </tr> <tr> <td>First Floor 1996 Living Area</td> <td>2036 SF</td> <td>0 SF</td> </tr> <tr> <td>First Floor Demolition (Non-Historic)</td> <td>880 SF</td> <td>0 SF</td> </tr> <tr> <td>New First Floor Addition</td> <td>1109 SF</td> <td>0 SF</td> </tr> <tr> <td>New Second Floor Addition</td> <td>648 SF</td> <td>495 SF</td> </tr> <tr> <td>Total Living Area</td> <td>2913 SF</td> <td>495 SF</td> </tr> <tr> <td>Total Project Balcony / Deck</td> <td>90 SF</td> <td></td> </tr> <tr> <td>Total Project Roof Deck</td> <td>90 SF</td> <td></td> </tr> <tr> <td>Garage</td> <td>150 SF</td> <td>600 SF</td> </tr> </tbody> </table> <p>1996 Floor Area: 2036 S.F. Total Main House Addition: 1757 S.F. (86.3%)</p>	Original Historic	Area	Living Area	948 SF	Living w/ Additions	214 SF	Total Living Area	1160 SF	Area	Main Residence	ADU	Living Area	2036 SF	0 SF	First Floor 1996 Living Area	2036 SF	0 SF	First Floor Demolition (Non-Historic)	880 SF	0 SF	New First Floor Addition	1109 SF	0 SF	New Second Floor Addition	648 SF	495 SF	Total Living Area	2913 SF	495 SF	Total Project Balcony / Deck	90 SF		Total Project Roof Deck	90 SF		Garage	150 SF	600 SF	<p>Attachment 6</p> <p>Title Sheet</p> <p>Stamp</p> <p>PROJECT NO. 1006 DATE: 04-27-23</p> <p>REVISIONS:</p> <table border="1"> <tr> <th>Revision</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> </table>	Revision	Date	Description	1			2			3			4			5																																															
Original Historic	Area																																																																																																					
Living Area	948 SF																																																																																																					
Living w/ Additions	214 SF																																																																																																					
Total Living Area	1160 SF																																																																																																					
Area	Main Residence	ADU																																																																																																				
Living Area	2036 SF	0 SF																																																																																																				
First Floor 1996 Living Area	2036 SF	0 SF																																																																																																				
First Floor Demolition (Non-Historic)	880 SF	0 SF																																																																																																				
New First Floor Addition	1109 SF	0 SF																																																																																																				
New Second Floor Addition	648 SF	495 SF																																																																																																				
Total Living Area	2913 SF	495 SF																																																																																																				
Total Project Balcony / Deck	90 SF																																																																																																					
Total Project Roof Deck	90 SF																																																																																																					
Garage	150 SF	600 SF																																																																																																				
Revision	Date	Description																																																																																																				
1																																																																																																						
2																																																																																																						
3																																																																																																						
4																																																																																																						
5																																																																																																						

Michael Luna & Associates

3402
Cala Del Sol
SCLM, CA
92672
California
92672
Phone: (949) 493-5200
Fax: (949) 493-5248

Architect

Project
2nd Planning
Submittal

Mariposa Remodel & Additions

222 West Mariposa
San Clemente, CA
92672

Sheet Title

Title Sheet

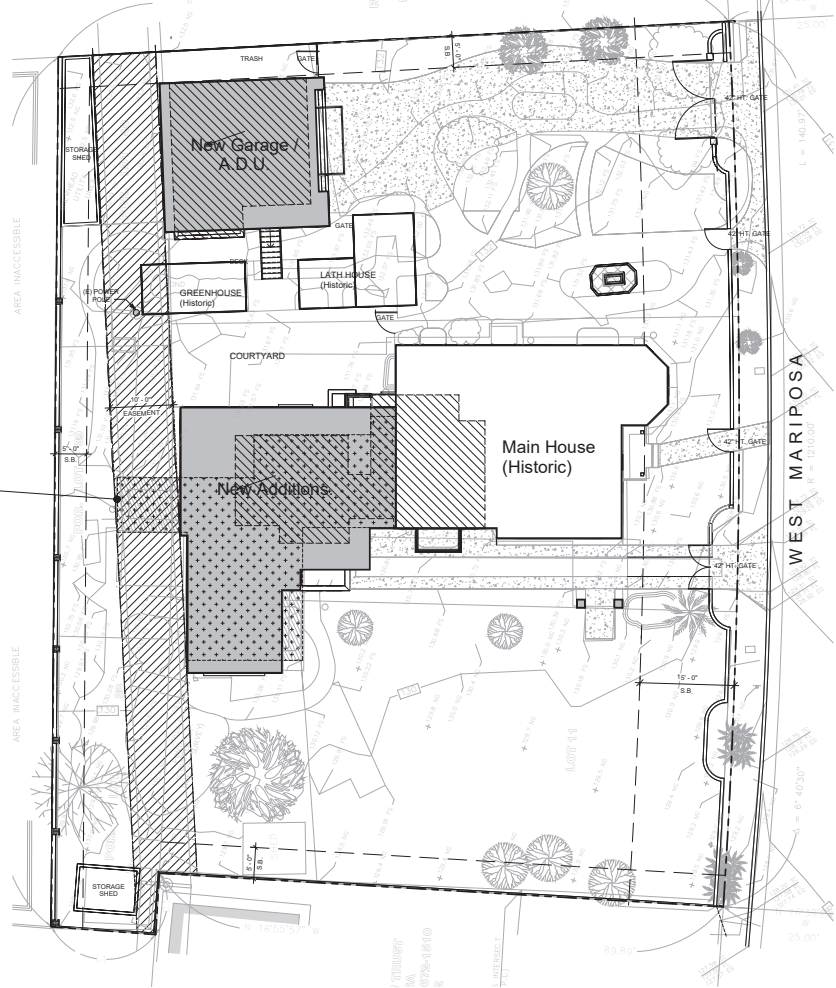


ATTACHMENT 6

Sheet No.



Project No.	1506
Plot Date	04.27.23
B.D. Submittal	
Scale	
Const. Issue	
Revision	△
Revision	△
Revision	△



Existing one story
non-historic additions
to be demolished

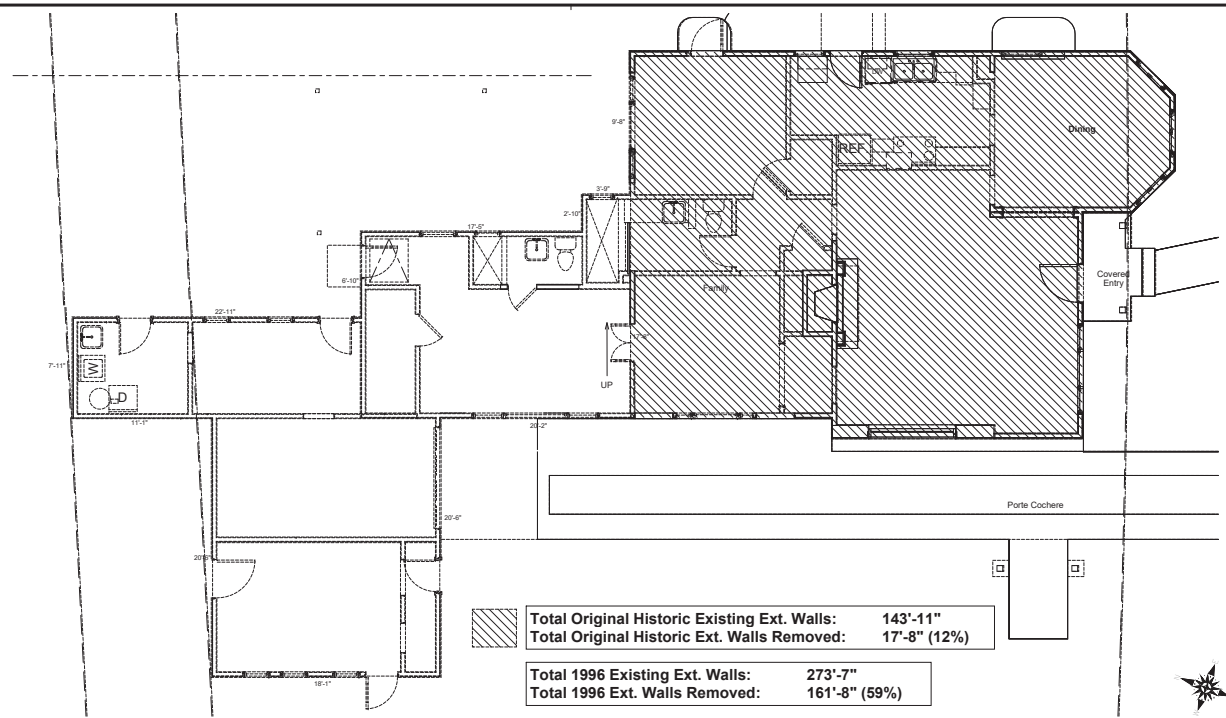
Keynotes	
	EXISTING BUILDING FOOTPRINT
	AREA OF NEW 1ST FLOOR ADDITION
	AREA OF NEW 2ND FLOOR ADDITION
	DEMOLITION AREA OF PREVIOUS ADDITIONS
	AREA OF EXISTING 10' WIDE EASEMENT
	PROPERTY LINE
	BUILDING SETBACK LINE



Proposed Site Plan

SCALE: 1/8" = 1'-0"

Legend



	Total Original Historic Existing Ext. Walls:	143'-11"
	Total Original Historic Ext. Walls Removed:	17'-8" (12%)
	Total 1996 Existing Ext. Walls:	273'-7"
	Total 1996 Ext. Walls Removed:	161'-8" (59%)

DUE TO THE NATURE OF REMODELING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER UNFORSEEN CONDITIONS UPON THE DEMOLITION OF THE EXISTING RESIDENCE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS.

NOTIFY ARCHITECT FOR FIELD INSPECTION AT THE FOLLOWING INTERVALS:
UPON DEMOLITION OF STUCCO AND DRYWALL.
PRIOR TO LAYSURET OF CONCRETE.
UPON START OF FRAMING.
UPON COMPLETION OF FRAMING.
UPON COMPLETION OF WINDOW PLACEMENT.
WATERPROOFING.

REMOVE ROOFING PER STRUCTURAL DRAWINGS.

ALL PLUMBING FIXTURES AND KITCHEN APPLIANCES SHALL BE REMOVED AND SAVED FOR OWNER.

REMOVE ALL AFFECTED ELECTRICAL OUTLETS AND LIGHT FIXTURES WHICH ARE MOUNTED ON WALLS/CEILING TO BE REMOVED NOT SHOWN HEREIN.

REMOVE ALL MECHANICAL DUCTWORK WHICH WILL BE AFFECTED BY THE DEMOLITION AND NEW WORK. CAP ALL DUCTS AT AN APPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

THIS DEMOLITION DRAWING IS INTENDED TO BE USED AS A GUIDE IN ACCOMMODATING THE NEW WORK. THE CONTRACTOR SHALL FULLY INVESTIGATE THE SITE/REARING TO VERIFY THE EXISTING CONDITIONS TO VERIFY ITEMS TO BE REMOVED OR RELOCATED WHICH ARE NOT SHOWN HEREIN.

CAP AND OR RELOCATE ALL UTILITIES AND SERVICES AT APPROPRIATE LOCATION TO RECEIVE THE NEW WORK.

ALL DEMOLISHED ITEMS ARE TO BE REMOVED FROM THE SITE AND DEPOSITED AT A COUNTY AND CITY APPROVED DUMP SITE.

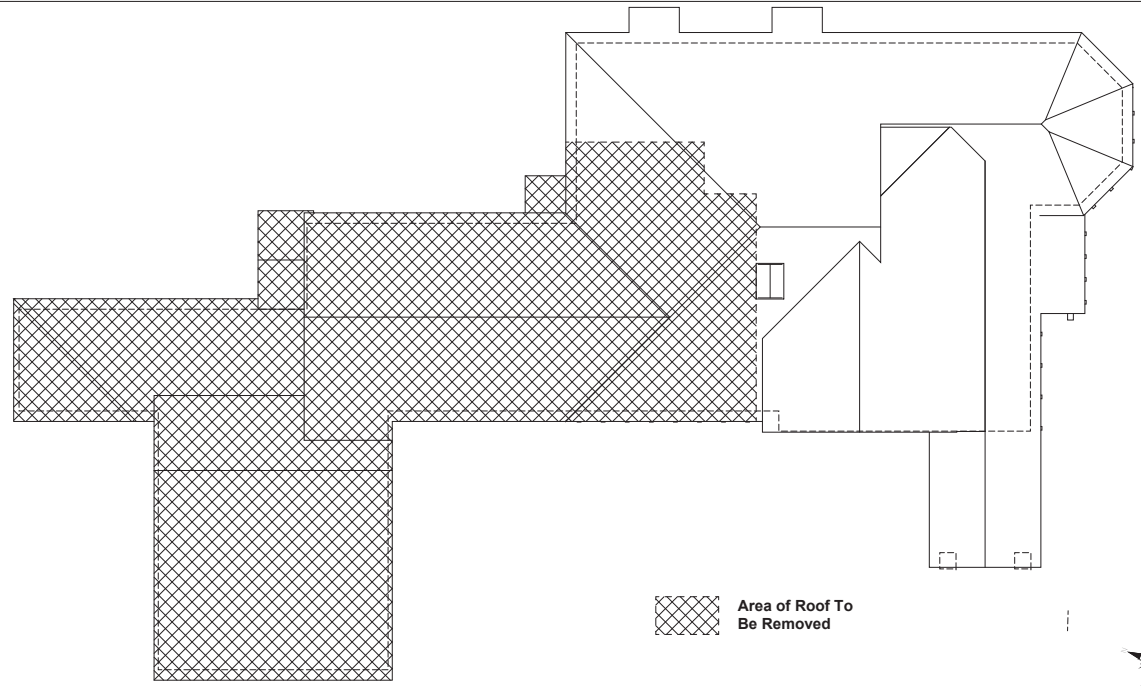
THE CONTRACTOR SHALL DESIGN AND ERECT ALL NECESSARY SHORING SYSTEMS TO PROPERLY PROTECT THE STRUCTURE AND WORKERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.

— EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED

Demolition Plan

SCALE: 1/8" = 1'-0" 1

Legend & Notes



Area of Roof To Be Removed

Legend & Notes

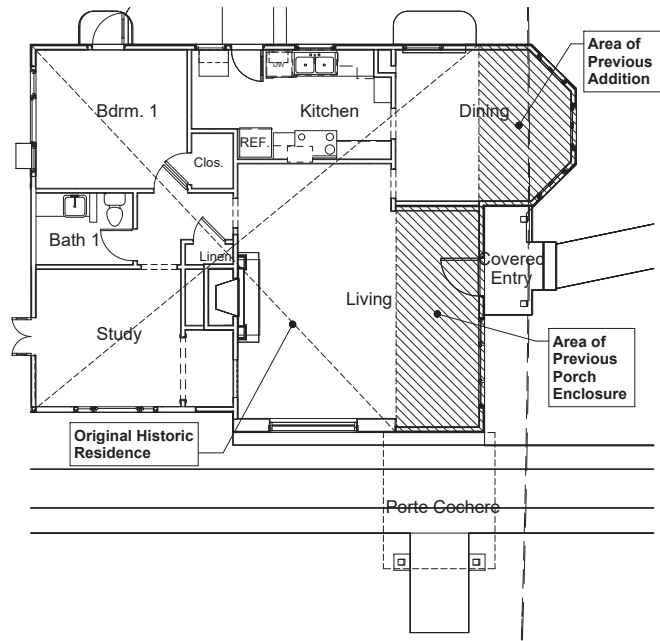
Roof Demolition Plan

SCALE: 1/8" = 1'-0" 2

Legend & Notes

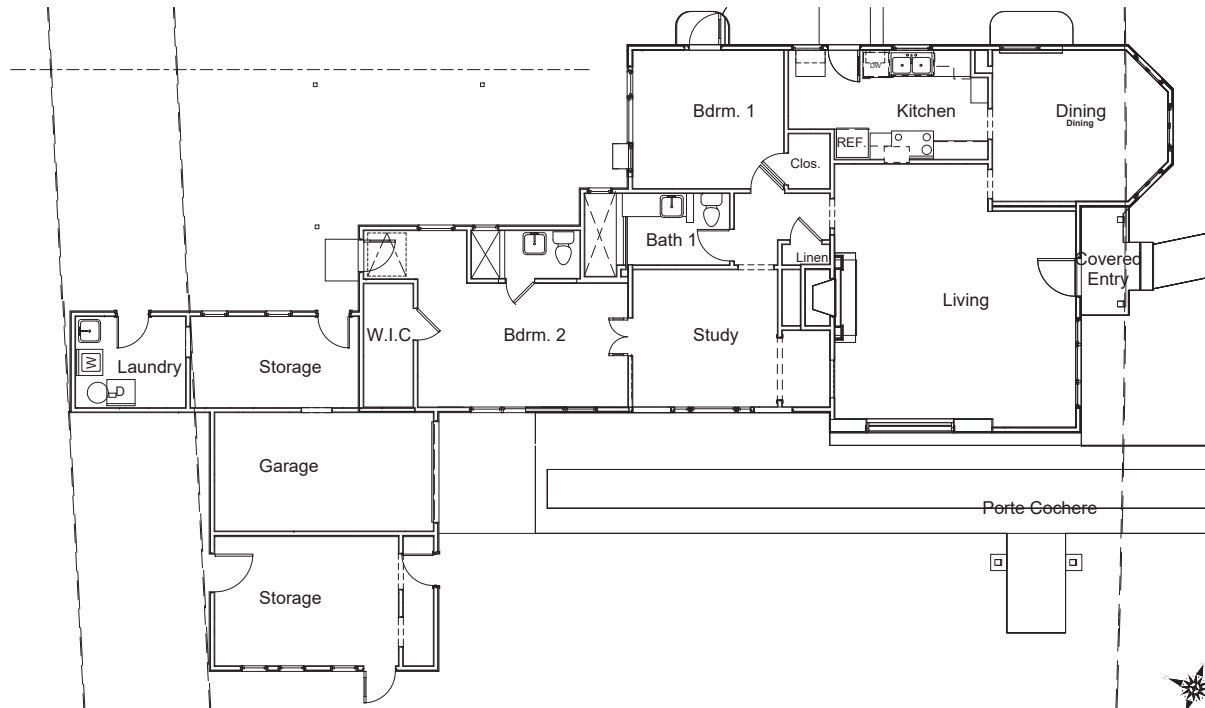


Project No.	1996
Plot Date	01.15.23
B.D. Submittal	
Scale	
Cont. Issue	
Revision	△
Revision	△
Revision	△



Original Historic Plan

SCALE: 1/4" = 1'-0" 1



Existing 1996 Plan

SCALE: 1/4" = 1'-0" 2

- Legend
- EXISTING STUD WALL TO BE REMAIN
 - NEW STUD WALL TO BE CONSTRUCTED
1. ALL PLUMBING WALLS ARE 2x4 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
 2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS W/ 1x4 WOOD SHEAR PANEL ON NON-PLUMBING WALLS.

Michael Luna

& Associates

3402
Cala De Sol
SANTA MONICA, CA 90404

California
Architect
No. 50575
Phone (310) 460-0208
Fax (310) 460-0208

Architect

Project
2nd Planning
Submittal

Mariposa
Remodel &
Additions

222 West Mariposa
San Clemente, CA
92672

Sheet Title

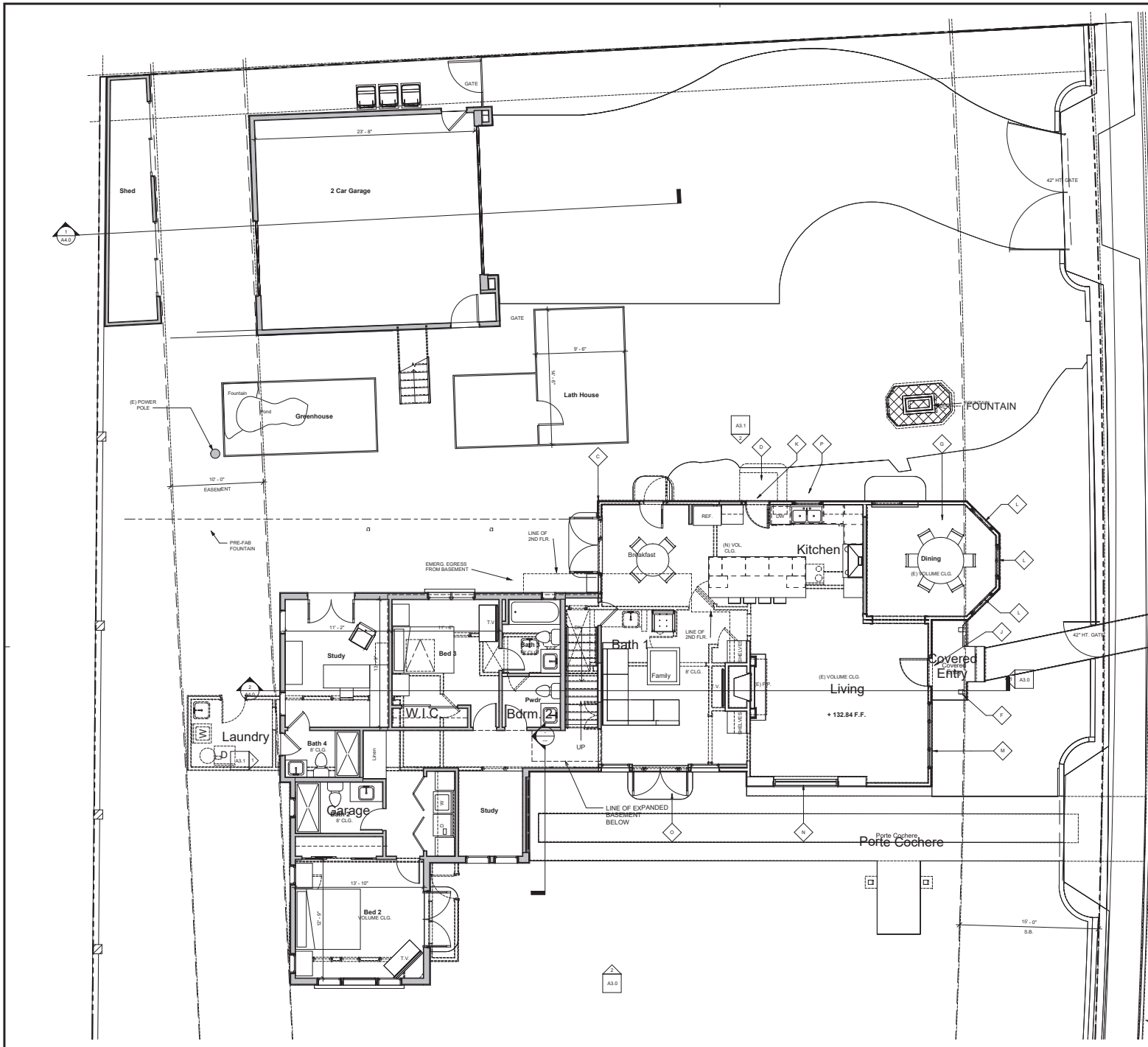
Original
Historic &
Existing
Plans



Project No. 1906
Plot Date 01.18.23
B.D. Submittal
Bid Issue
Const. Issue
Revision Δ
Revision Δ
Revision Δ

A1.2

Sheet No.



1928 Historic Features	
C	REAR WALL OF THE 1928 HOUSE
D	ROOF EXTENSION w/ EXPOSED RAFTER ENDS AT THE RIGHT/EAST ENTRY DOOR
E	FRONT PORCH ROOF EXTENSION w/ EXPOSED RAFTER ENDS
G	OCTAGONAL BAY
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR

1928 Original Windows	
J	SOUTH - WOOD FRONT ENTRY DOOR
K	EAST - WOOD/GLASS SIDE ENTRY DOOR
L	SOUTH - (3) FIXED SINGLE WINDOW IN OCTAGONAL BAY
M	SOUTH - SINGLE-FIXED, FIXED PICTURE WINDOW
N	WEST - ARCH'D SINGLE-FIXED, FIXED PICTURE WINDOW
O	WEST - TRIPARTITE (DATE CASEMENT) FOLD/DATE CASEMENT
P	EAST - LOWER-1 SINGLE HING UNITS

Architect

Michael Luna & Associates

3402
Cala Dr SW
SARASOTA, FL 34230
352.949.4528
352.949.4528

Project
2nd Planning
Submittal

Mariposa Remodel & Additions

222 West Mariposa
San Clemente, CA
92672

Tabulations

1st Floor Plans - Main House & Garage



Project No.	1506
Plot Date	01.15.23
B.D. Submitted	
Set Name	
Const. Name	
Revision	▲
Revision	▲
Revision	▲

EXISTING STUD WALL TO BE REMAIN
NEW STUD WALL TO BE CONSTRUCTED

- ALL PLUMBING WALLS ARE 2x4 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
- ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ 1x4 WOOD SHEAR PANELS ON NON-PLUMBING WALLS.

1st Floor Plans - Main House & Garage

SCALE: 1/4" = 1'-0"

Legend

Keynotes

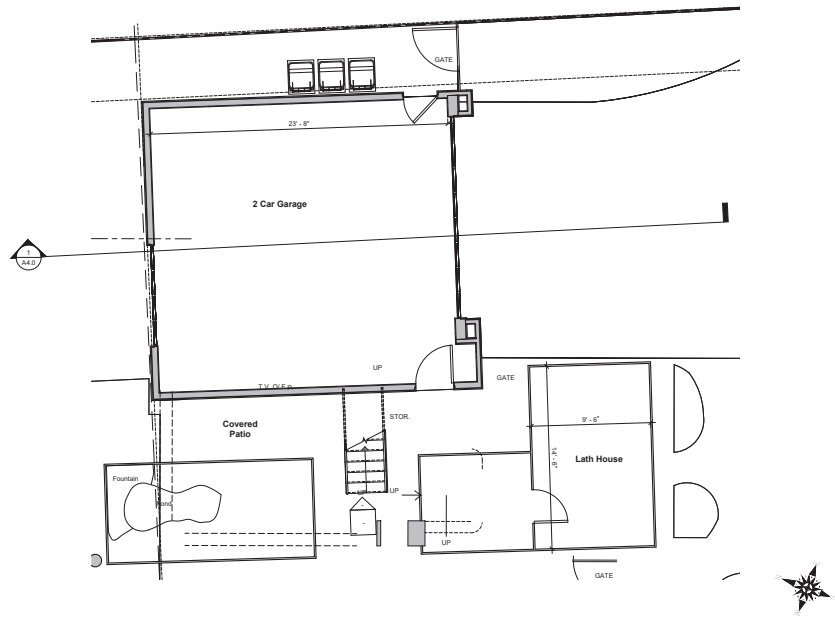
Basement &
Garage Plan



Project No.	1506
Plot Date	01.18.23
B.D. Submitted	
Scale	
Cont. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

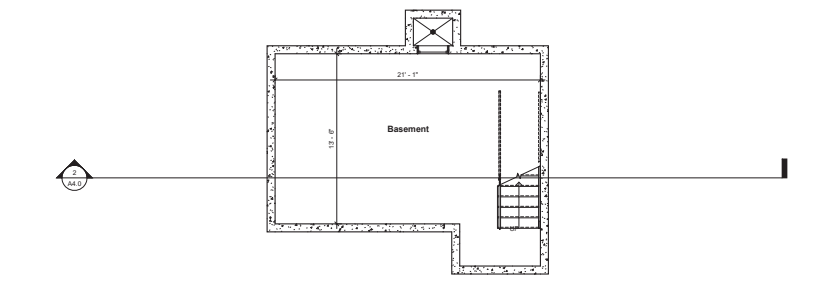
EXISTING STUD WALL TO BE REMAIN
NEW STUD WALL TO BE CONSTRUCTED
SCALE: 1/8" = 1'-0"

- ALL PLUMBING WALLS ARE 2x4 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
- ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANELS ON NON-PLUMBING WALLS.



Garage Plan

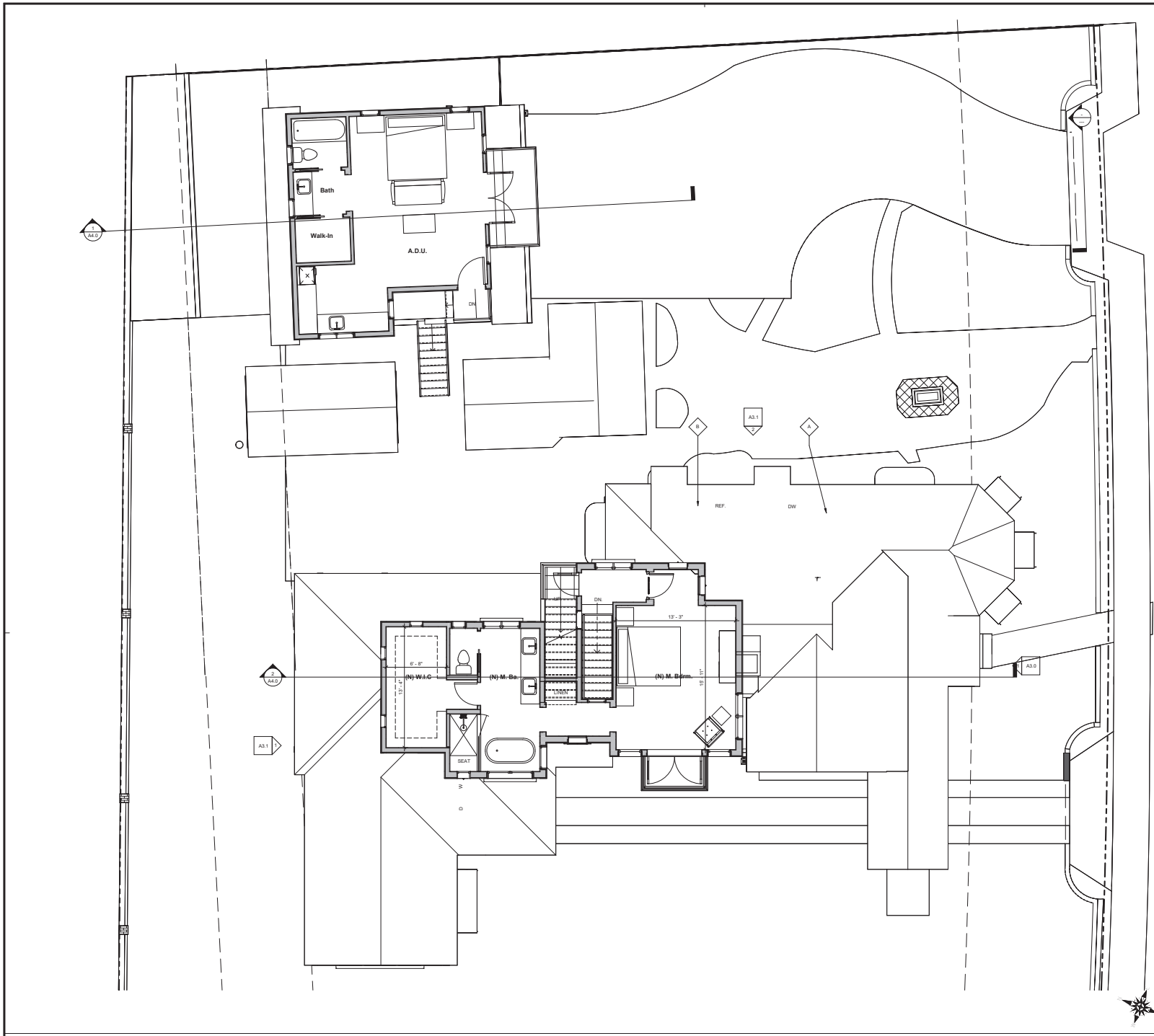
SCALE: 1/4" = 1'-0" 1



Basement Plan

SCALE: 1/4" = 1'-0" 2

Legend



1928 Historic Features	
A	TERRA COTTA TILE ROOF - IN FRONT OF ORIGINAL RIDGE LINE
B	TERRA COTTA TILE ROOF - IN BACK OF ORIGINAL RIDGE LINE

Michael Luna

& Associates

3402
Calle Del Sol
SUNVA

California
Architect
No. 5075
Phone (949) 450-0208
Fax (949) 450-0208

Architect

2nd Planning
Submittal

Mariposa
Remodel &
Additions

222 West Mariposa
San Clemente, CA
92672

Sheet Title

2nd Floor
Plans - Main
House &
Guest
House



Project No.	1906
Plot Date	01.18.23
B.D. Submittal	
Set Name	
Const. Issue	
Revision	1
Revision	2
Revision	3

Keynotes

- EXISTING STUD WALL TO BE REMAIN
- NEW STUD WALL TO BE CONSTRUCTED

1. ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.



2nd Floor Plans - Main House & Guest House

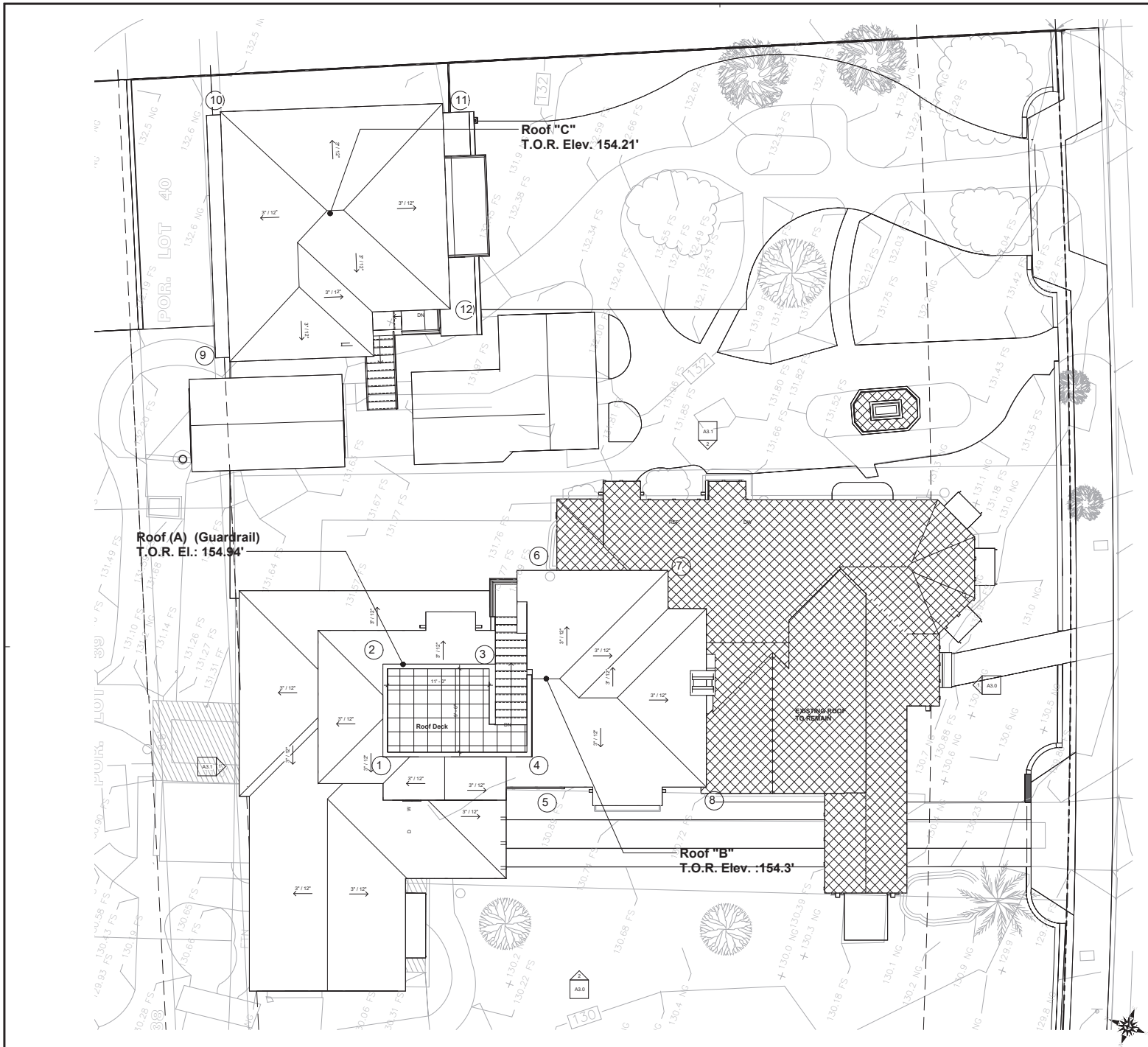
SCALE: 1/4" = 1'-0"

Legend

A2.2



Project No.	1506
Plot Date	01.15.23
B.D. Submittal	
Scale	
Const. Issue	
Revision	▲
Revision	▲
Revision	▲
Revision	▲



Roof Plan

SCALE: 1/4" = 1'-0"

Legend

Keynotes

ROOF HEIGHT ALLOWED: 25' 0" MAX

A	ROOF ELEV.	154.44'	154.47'	154.44'	154.44'
	ORG. GRADE	150.7	151.6	151.6	150.7
		23.44'	23.39'	23.39'	23.97'
+ 92.39' / 4 = 23.10'					
B	WALL ELEV.	154.2	154.2	154.2	154.2
	ORG. GRADE	131.2	131.2	131.2	130.7
		23.0	23.0	23.0	23.5
+ 92.37' / 4 = 23.09'					
C	WALL ELEV.	154.27	154.27	154.27	154.27
	ORG. GRADE	132.2	132.2	132.2	130.7
		22.07	22.07	22.07	23.57
+ 88.24' / 4 = 22.06'					

Roof Height Analysis

- ALL RIDGES, HPFS AND VALLEYS SHALL BE FLASHED W/ 24 GAUGE COPPER FLASHING (CONTINUOUS) UNDERNATH TILE AND SHALL NOT BE VISIBLE. COPPER FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAD ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER. 2 LAYERS 150' FELT PAPER SHALL LAY IN CONTINUOUS STRIPS. OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURER'S (TRELL ANDS CLAY TILE). RECOMMENDATIONS WHERE FLASHING MUST BE EXPOSED. FLASHING SHALL BE COPPER 24 GAUGE MIN. W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT. TYP.
- ROOF ELEVATIONS ARE TO TOP OF FINISH MATERIAL. CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
- ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 60 S.F.P.
- ALL ROOF PITCHES ARE 3/12 (UND)
- ALL CONTIGUOUS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES.
- USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN A MINIMUM OF 2" TO HELP DIMINISH ITS APPEARANCE.
- ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PRODUCE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- ALL FLUES AND VENTS MUST COMPLY WITH PAGE 31 OF THE DESIGN GUIDELINES AND BE LOCATED IN UNDERSTAIR AREAS RELATIVE TO ALL VIEWS FROM BEYOND THE PROPERTY INCLUDING THOSE FROM THE NEIGHBOR'S SECOND STORY AND THE LOTS LOTS ABOVE. PLEASE CONSOLIDATE AND MANHOLE VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. THE HEIGHT OF ALL FLUES AND VENTS ABOVE THE FINISHED ROOFING MUST BE AT THE ABSOLUTE MINIMUM ALLOWED BY CODE.
- ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR. ROOF TILES TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL.
- PROTECT ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- PROTECT OR OPENINGS TO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" ROD MORE THAN 10" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPARK ARRESTOR OF A MAXIMUM OF 1/2" SQUARE SCREEN PAINT 10" FOREST BLACK TO CONCEAL ARRESTOR.
- NO PART OF THE BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.

Roof General Notes



FRONT ELEVATION

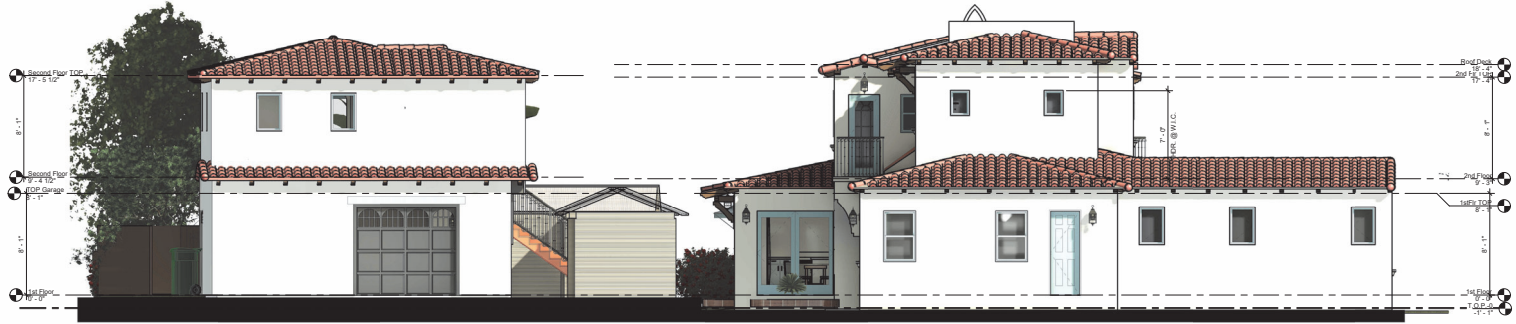


LEFT ELEVATION

EXTERIOR ELEVATIONS



Project No.	1506
Plot Date	01.18.23
B.D. Submittal	
Rev. Date	
Const. Issue	
Revision	△
Revision	△
Revision	△



1 - REAR ELEVATION



2 - RIGHT ELEVATION

EXTERIOR ELEVATIONS



Project No.	1506
Plot Date	01.15.23
B.D. Submittal	
Scale	
Cont. Size	
Revision	△
Revision	△
Revision	△



Michael
Luna
&
Associates

3402
Cala De Sol
SUN. CA

California
Architect
No. 5109
Phone (949) 450-0208
Fax (949) 450-0208

Architect

Project

2nd Planning
Submittal

Mariposa
Remodel &
Additions

222 West Mariposa
San Clemente, CA
92672

Sheet Title

Exterior
Elevation
with Existing
Landscape



Project No.	1506
Plot Date	04.27.23
B.D. Submittal	
Scale	
Cont. Size	
Revision	△
Revision	△
Revision	△
Revision	△

A3.2

FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

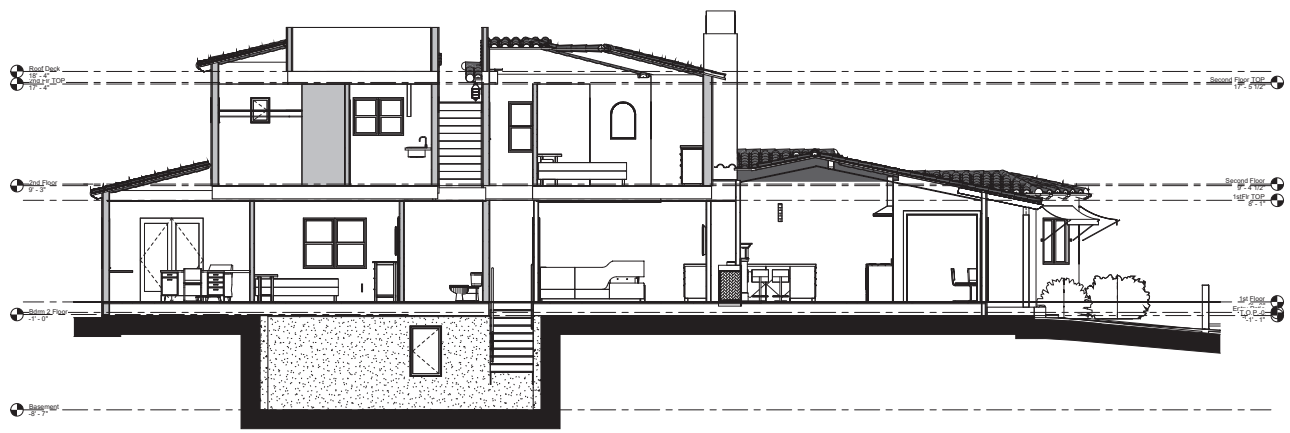
C:\Users\user\Documents\Nelson
Pen-Design Change 102_



Garage and A.D.U. Section

1

Keynotes



Main Residence Section

2

Legend & Notes

222 West Mariposa
San Clemente, CA
92672

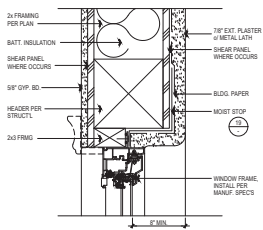
Sheet Title

Building
Sections



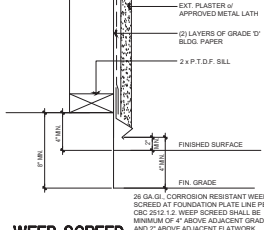
Project No.	1506
Plot Date	01.18.23
B.D. Submittal	
Rev. Date	
Const. Issue	
Revision	▲
Revision	▲
Revision	▲
Revision	▲

A4.0



WINDOW HEAD

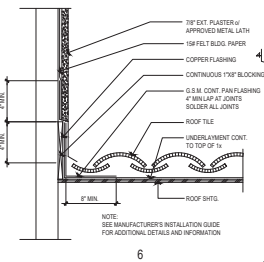
16



WEEP SCREED

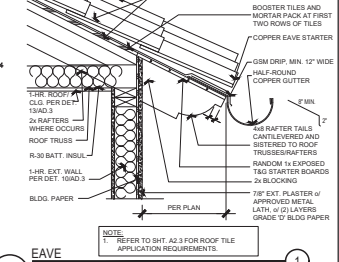
SCALE 1/4"=1'-0"

10



ROOF TO WALL

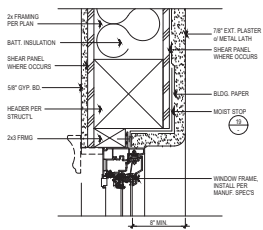
SCALE 1/2"=1'-0"



EAVE

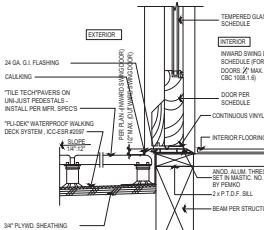
SCALE 1/2"=1'-0"

1



WINDOW JAMB

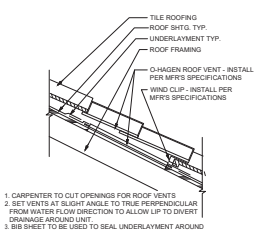
17



THRESHOLD @ DECK AT 2ND FLOOR

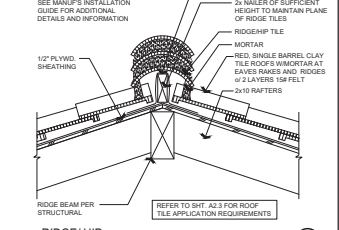
SCALE 3/4"=1'-0"

11



ROOF VENT

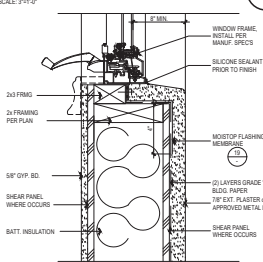
SCALE 1/2"=1'-0"



RIDGE/ HIP

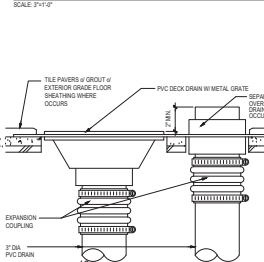
SCALE 1/2"=1'-0"

2



WINDOW SILL

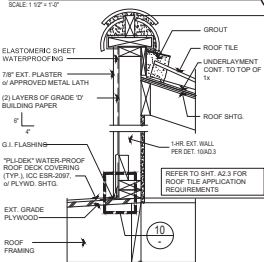
18



DECK DRAIN W/ OVERFLOW

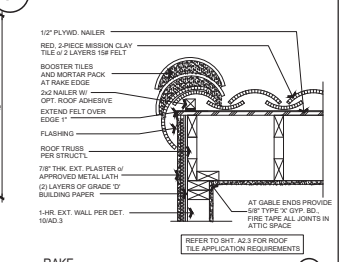
SCALE 1/2"=1'-0"

12



ROOF TO WALL @ DECK

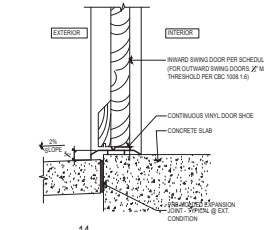
SCALE 1/2"=1'-0"



RAKE

SCALE 1/2"=1'-0"

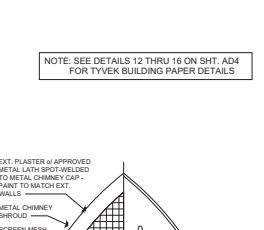
3



THRESHOLD AT SLAB

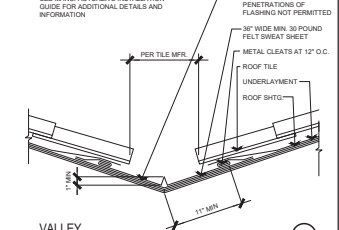
SCALE 3/4"=1'-0"

13



CHIMNEY CAP

SCALE 1/2"=1'-0"



VALLEY

SCALE 1/2"=1'-0"

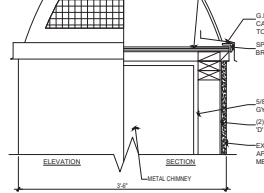
4



DOOR HEAD/JAMB @ EXT.

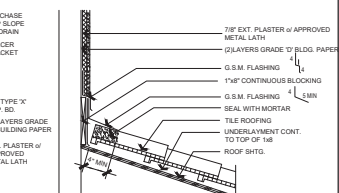
SCALE 1/2"=1'-0"

14



ROOF TO WALL

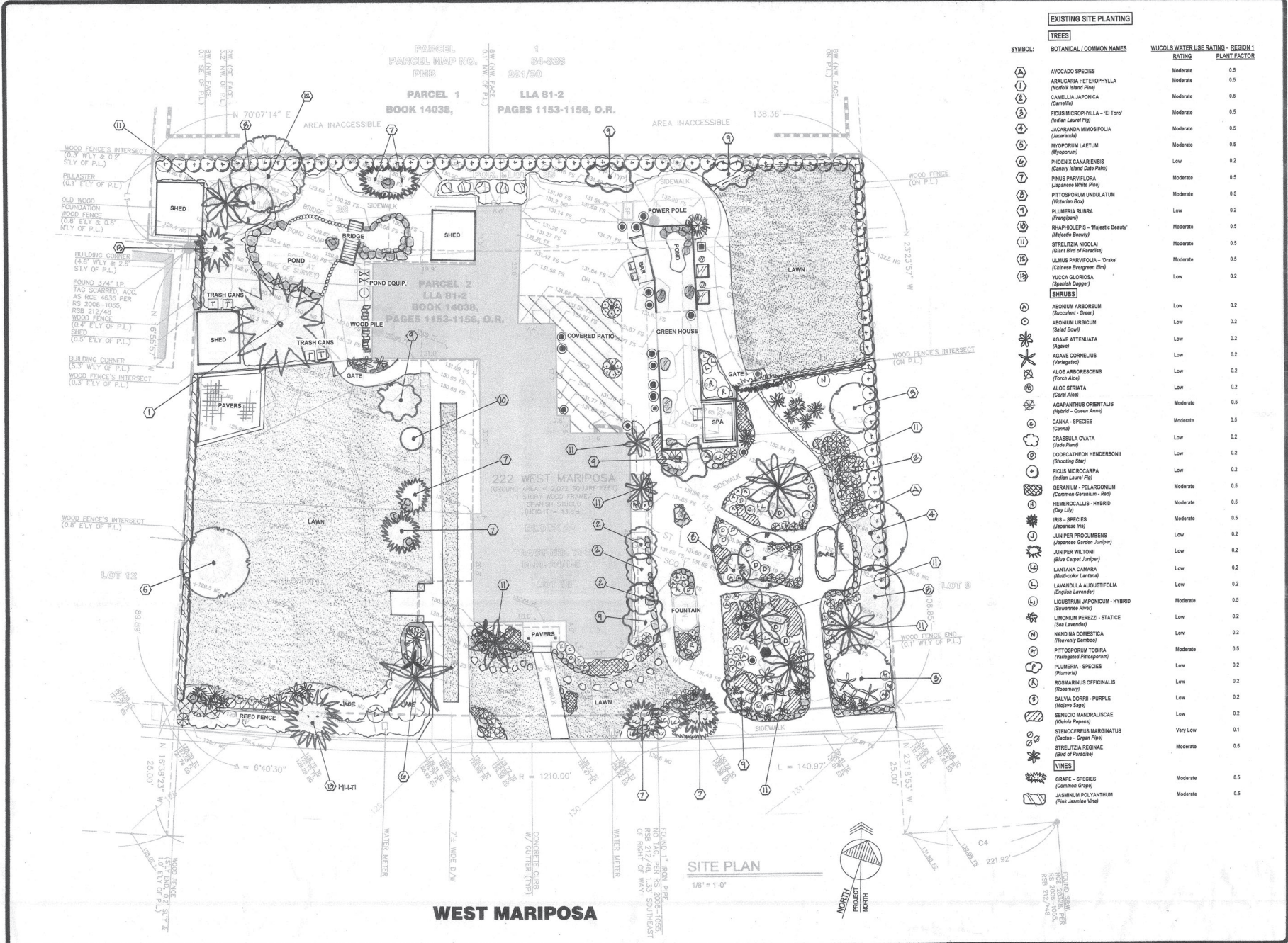
SCALE 1/2"=1'-0"



ROOF TO WALL

SCALE 1/2"=1'-0"

5



WEST MARIPOSA

SITE PLAN

1/8" = 1'-0"

EXISTING SITE PLANTING

TREES

SYMBOL	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	PLANT FACTOR
1	AVOCADO SPECIES	Moderate	0.5
2	ARAUCARIA HETEROPHYLLA (Norfolk Island Pine)	Moderate	0.5
3	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
4	FICUS MICROPHYLLA - 'El Toro' (Indian Laurel Fig)	Moderate	0.5
5	JACARANDA MICROBOLIA (Jacaranda)	Moderate	0.5
6	MYOPORUM LAETUM (Myoporum)	Low	0.2
7	PHOENIX CANARIENSIS (Canary Island Date Palm)	Moderate	0.5
8	PITOSPORUM UNICULATUM (Victorian Box)	Moderate	0.5
9	PLUMERIA RUBRA (Frangipani)	Low	0.2
10	RHAPHIOLEPIS - 'Majestic Beauty' (Majestic Beauty)	Moderate	0.5
11	STRELITZIA NICOLAI (Gladi Bird of Paradise)	Moderate	0.5
12	ULMUS PARVIFOLIA - 'Crispa' (Chinese Evergreen Elm)	Moderate	0.5
13	YUCCA GLAUCOSA (Spanish Dagger)	Low	0.2

SHRUBS

14	AEONIUM ARBOREUM (Succulent - Green)	Low	0.2
15	AEONIUM UNICUM (Sized Bowl)	Low	0.2
16	AGAVE ATTENUATA (Agave)	Low	0.2
17	AGAVE CORNELIUS (Variegated)	Low	0.2
18	ALOE ARBORESCENS (Torch Aloe)	Low	0.2
19	ALOE ETRIATA (Coral Aloe)	Moderate	0.5
20	AGAPANTHUS ORIENTALIS (Hyacinth - Queen Anne)	Moderate	0.5
21	CANNA - SPECIES (Canna)	Moderate	0.5
22	CRASSULA OVATA (Jade Plant)	Low	0.2
23	DOODEATHEN HENDERSONII (Shooting Star)	Low	0.2
24	FICUS MICROCARPA (Indian Laurel Fig)	Moderate	0.5
25	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
26	HENICALLIS - HYBRID (Day Lily)	Moderate	0.5
27	IRIS - SPECIES (Japanese Iris)	Low	0.2
28	JUNIPER PROCEMBENS (Japanese Garden Juniper)	Low	0.2
29	JUNIPER WILTONI (Blue Carpet Juniper)	Low	0.2
30	LANTANA CAMARA (Multi-color Lantana)	Low	0.2
31	LAVANDULA AUGUSTIFOLIA (English Lavender)	Moderate	0.5
32	LIGUSTRUM JAPONICUM - HYBRID (Sourwood Tree)	Low	0.2
33	LEONIDUM PEREZI - STATICE (Pink Lavender)	Moderate	0.5
34	NANDINA DOMESTICA (Heavenly Bamboo)	Moderate	0.5
35	PITOSPORUM TOBIIRA (Variegated Pittosporum)	Low	0.2
36	PLUMERIA - SPECIES (Plumeria)	Low	0.2
37	ROSMARINUS OFFICINALIS (Rosemary)	Low	0.2
38	SALVIA DORRII - PURPLE (Wine Sage)	Low	0.2
39	SENECIO MANDRALISCAE (Kalmia Repens)	Very Low	0.1
40	STENOCEPHALUS BARGINATUS (Cactus - Gray Pipe)	Moderate	0.5
41	STRELITZIA REGINAE (Bird of Paradise)	Moderate	0.5

VINES

42	GRAPE - SPECIES (Common Grape)	Moderate	0.5
43	JASMINUM POLYANTHUM (Pink Jasmine Vine)	Moderate	0.5

REVISIONS	BY

LANDSCAPE ARCHITECT
JAMES FEKARSKE
 San Clemente, Ca. 92673
 P#F#C (949) 388-8888 Cal.
 Lic.# 1500 Nev. Lic. 1677



NIELSEN RESIDENCE
 222 West Mariposa
 San Clemente, CA 92672

EXISTING
 SITE
 PLANTING PLAN

DRAWN
 SMOCKED
 DN / AN / ML
 DATE
 12-15-2021
 SCALE
 1/8" = 1'-0"
 JOB NO.
 222-011
 SHEET

L-1

CONSTRUCTION LEGEND

EXISTING SITE ITEMS

- A Existing Concrete Curb and Gutter - To Remain
- B Existing Rustic Paving - To Remain
- C Existing Concrete Paving - To Remain
- D Existing Historic Fountain - To Remain
- E Existing Lath Room Structure - To Remain (Repair as necessary)
- F Existing Garden Area - To Remain (Protect in place)
- G Existing Landscape (Shrubs and Trees) - To Remain
- H Existing Lawn and Stepping Stones - To Remain
- I Existing Green House, Pond and Fountain - To remain (Repair as necessary)
- J Existing Power Pole - To Remain (Protect in place)
- K Existing Masonry Property Line Fence / Wall - To Remain
- L Existing Garden Paving to be incorporated into the new Driveway
- M Existing Stone Pond Edge Feature - To Remain
- N Existing Shed Structure - To Remain
- O Existing Low Wood Fence and Gate - To Remain
- P Existing Brick Pavers - To Remain
- Q Existing Open Lawn Area - To Remain
- R Existing Rustic Wood Gate - To Remain
- S Existing Brick Planter Feature - To Remain
- T Existing Rustic Rock Border - To Remain

NEW CONSTRUCTION ITEMS

- 1 New Spanish style stucco-finish Masonry Wall (42" High) - See Architect's Plans
- 2 New Decorative Metal Entry Gate (42" High) - See Architect's Plans
- 3 New Decorative Metal Vehicular "Swing-type" Gates (42" High) - See Architect's Plans
- 4 New stabilized decomposed Gravel Driveway
- 5 New Decorative Wood Gate
- 6 New Trash Can Storage location
- 7 New Concrete Paving
- 8 New Turf Block Paving Area
- 9 New Bocce Ball Court w/Rustic Wood Benches
- 10 New Landscape Area (Use same plant material as existing)

Existing one story non-historic additions to be demolished

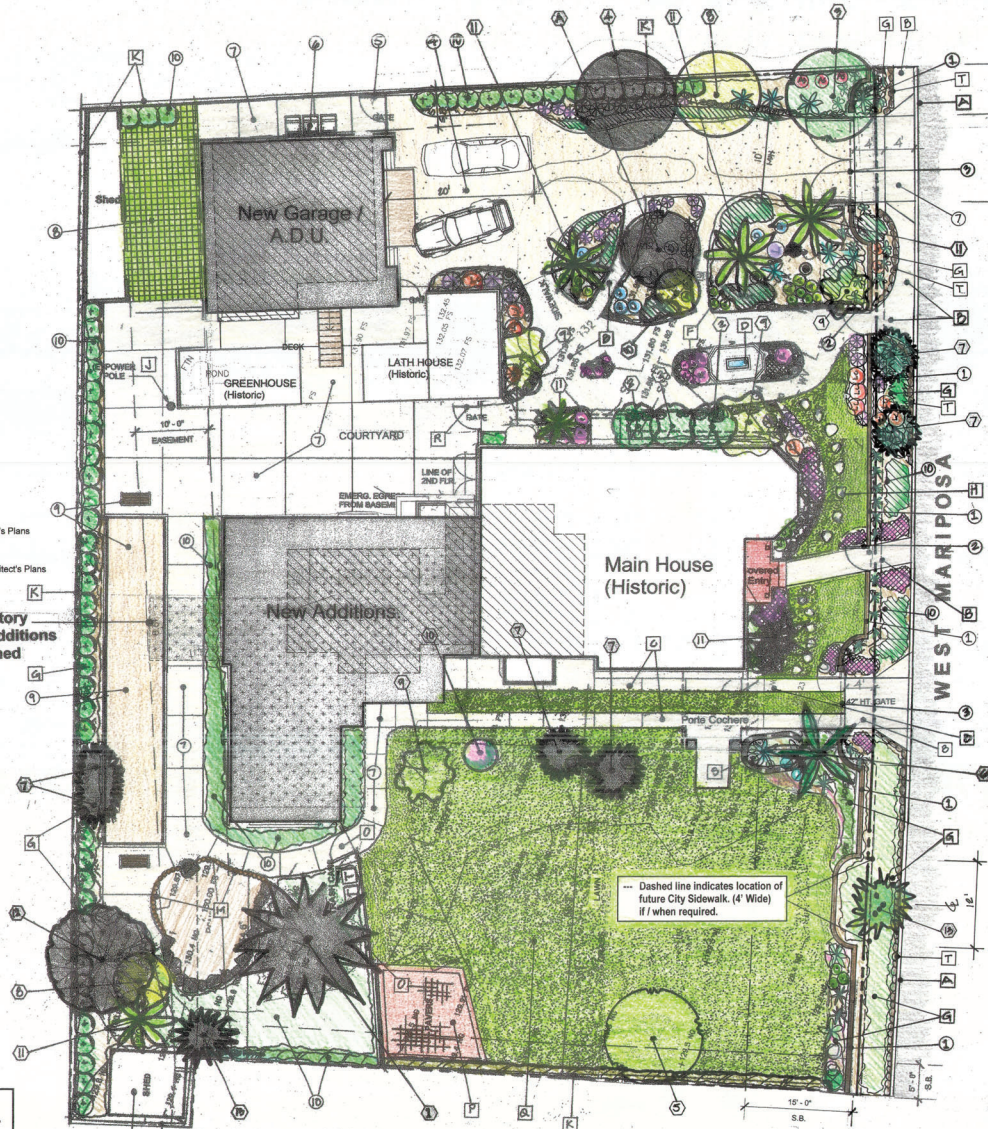
NEW DRIVEWAY CONCEPT

- New Driveway to Garage is to be as minimal as possible. The existing "Rustic" Paving location is to remain where practical and the remainder of the adjacent Driveway will be stabilized decomposed Gravel.
- The existing Garden Planting is to remain as is, with the minimum amount of sodding to take place.
- Protect as many existing trees as possible.

IRRIGATION SYSTEM DESIGN

- Irrigation System to utilize existing Water Meter point of connection (verify meter location, size and available static water pressure) and Backflow device.
- New Irrigation System design will utilize separate Control Valves as follows:
 - All Trees to have separate Bubbler Water System within the Tree's Drip-line
 - All Drip System irrigation control valves are to have the necessary drip filter with cleanouts upstream of valve.
 - All Shrub areas to utilize Drip-line water-efficient linear tubing system.
- The Irrigation System shall utilize "Smart" automated irrigation technology. Irrigation Controller to utilize either evapotranspiration or soil moisture sensor data for irrigation scheduling in all Irrigation Systems.

SHADED TREES ARE HISTORICALLY ASSOCIATED WITH THE PERIOD OF SIGNIFICANCE FOR THIS PROJECT.



SITE PLAN 1/8" = 1'-0"

EXISTING SITE PLANTING

SYMBOL	BOTANICAL / COMMON NAMES	WUCOLS WATER USE RATING - REGION 1	
		RATING	PLANT FACTOR
TREES			
A	AVOCADO SPECIES	Moderate	0.5
B	ARAUCARIA HETEROPHYLLA (Norfolk Island Pine)	Moderate	0.5
C	CAMELLIA JAPONICA (Camellia)	Moderate	0.5
D	FICUS MICROPHYLLA - 'Ei Tau' (Indian Laurel Fig)	Moderate	0.5
E	JACARANDA BRASILIENSIS (Jacaranda)	Moderate	0.5
F	MYOPORUM LAETUM (Myoporum)	Moderate	0.5
G	PHOENIX CANARIENSIS (Canary Island Date Palm)	Low	0.2
H	PNUS PARVIFLORA (Japanese White Pine)	Moderate	0.5
I	PITTOSPORUM UNULATUM (Victorian Box)	Moderate	0.5
J	PLUMBAGO RUBRA (Fringing)	Low	0.2
K	RHAPHIOLEPS - 'Majestic Beauty' (Majestic Beauty)	Moderate	0.5
L	STRELITZIA REGINAE (Gladiolus Bird of Paradise)	Moderate	0.5
M	STRELITZIA REGINAE - 'Violet' (Johnson's Evergreen Elm)	Moderate	0.5
N	YUCCA GLOIOSA (Spanish Dagger)	Low	0.2
SHRUBS			
O	AEONUM ARBOREUM (Succulent - Green)	Low	0.2
P	AEONUM UMBRINUM (Succulent - Green)	Low	0.2
Q	AGAVE ATTENUATA (Agave)	Low	0.2
R	AGAVE COMPLANATUS (Fountain Agave)	Low	0.2
S	ALOE ARBORESCENS (Tree Aloe)	Low	0.2
T	ALOE STRATA (Coral Aloe)	Low	0.2
U	ADAPTANTER ORIENTALIS (Hybrid - Queen Aloe)	Moderate	0.5
V	CANNA - SPECIES (Canna)	Moderate	0.5
W	CRASSULA OVATA (Jade Plant)	Low	0.2
X	DOCOEATHEN HENDERSONII (Shrubbery Tree)	Low	0.2
Y	FICUS MICROCARPA (Indian Laurel Fig)	Low	0.2
Z	GERANIUM - PELARGONIUM (Common Geranium - Red)	Moderate	0.5
AA	HEMEROCALLIS - HYBRID (Day Lily)	Moderate	0.5
AB	IRIS - SPECIES (Landscape Iris)	Moderate	0.5
AC	JUNIPER PROCEMBENS (Japanese Garden Juniper)	Low	0.2
AD	JUNIPER MILTONI (Blue Carpet Juniper)	Low	0.2
AE	LANTANA CAMARUA (Shrub - Yellow)	Low	0.2
AF	LAVANDULA AUGUSTIFOLIA (English Lavender)	Low	0.2
AG	LIQUISTRIUM JAPONICUM - HYBRID (Savannah Iris)	Moderate	0.5
AH	LIMONUM PEREZZI - STATICE (Sea Lavender)	Low	0.2
AI	NAUOLA COMESTICA (Heavenly Bamboo)	Low	0.2
AJ	PITTOSPORUM TOBIANA (Fringing Pittosporum)	Moderate	0.5
AK	PLUMBAGO - SPECIES (Plumbago)	Low	0.2
AL	ROSBARINUS OFFICINALIS (Rosemary)	Low	0.2
AM	SALVIA DORRI - PURPLE (Mojave Sage)	Low	0.2
AN	BENEDIC MANDRALISCAE (Shrub - Purple)	Low	0.2
AO	STEMOCERUS MARGINATUS (Cactus - Organ Pipe)	Very Low	0.1
AP	STRELITZIA REGINAE (Bird of Paradise)	Moderate	0.5
VINES			
AQ	GRAPE - SPECIES (Common Grape)	Moderate	0.5
AR	JACARANDA POKYANTHUM (Pink Jasmine Vine)	Moderate	0.5



REVISIONS	BY

JAMES PEKARSKE
LANDSCAPE ARCHITECT
 1219 Camino
 San Clemente, CA 92673
 (949) 433-9595
 Cell: (949) 433-9595
 Cal. Lic. # 1830 - New Lic. # 497



NIELSEN RESIDENCE
 222 West Mariposa
 San Clemente, CA 92672

PROPOSED LANDSCAPE PLAN

DRAWN BY	CHKD BY
DATE	SCALE
JOB NO.	SHEET

L-2
 OF 2 SHEETS