



Design Review Subcommittee (DRSC)

Meeting Date: March 29, 2023

PLANNER: Laura Coury, Assistant Planner

SUBJECT: **Minor Architectural Permit (MAP) 22-119, Lohmann Balcony, 101 Via Bellas Artes**, a request to replace a wrought iron guardrail with partial glass guardrail on the alcove of a second story balcony at the corner of Via Bellas Artes and Via Artemesia, an existing single family residence within the Marblehead Coastal Specific Plan.

BACKGROUND:

The site is 7,393 square-foot corner lot located at 101 Via Bellas Artes, in the Residential Low (RL) zoning district, of the Marblehead Coastal Specific Plan (MCSP) and the Coastal Zone Overlay (CZ). See Attachment 1 for a location map. The lot is developed with an existing two-story 4,066 square foot single family residence at the corner of Via Bellas Artes and Via Artemesia. Via Artemesia is designated as a public access street into the development. The design focus for the Marblehead Specific Plan is to preserve and strengthen the “Spanish Village by the Sea”. Chapter 3 of the Design Guidelines, Section 305 Architectural Guidelines for Residential encourages the Spanish Village style. The community was designed with a general Spanish style architecture. The existing building utilizes the Spanish Mediterranean architectural style. The second story balcony was approved with B18-1761 with wrought iron guardrails used for the portions oriented towards Artemesia, but allowing glass guardrails when oriented towards the rear of the lot to preserve to the design aesthetic of the home, and emphasize the wrought iron detail existing at the front façade and rear deck of the home.

Subject Building-101 Via Bellas Artes



The applicant installed a full glass guardrail on the alcove deck, however, and is requesting approval of the as-built condition, which is a deviation from the original approval that specified a partial glass rail with wrought iron facing on Via Artemesia. Currently, this existing. The Applicant installed the full glass as a result of his wrought iron supplier going out of business (2019) at the time of construction. This required a revision to the existing building permit, and resulted in the Minor Architectural Permit (MAP). Senior staff issued a letter stating that staff was not able to approve the revision for the rail administratively. The glass rail would be a significant modification from the approved architecture for the residential structures, which cannot be approved administratively.

Proposed Project Description

The applicant is requesting approval of a Minor Architectural Permit for an alteration of an issued building permit B18-1761. The modification moves away from the approved aesthetics of the originally approved project. The revised project is not consistent with the Spanish architectural style and does not further the goal of characterizing the theme of a “Spanish village by the Sea”, as stipulated by General Plan Policy LU 1.04.(Attachment 2). (See Attachment 3)

Why is DRSC Review Required?

MAP permits do not require DRSC review. However, per San Clement Municipal Code (SCMC) section 17.12.025 the City Planner may refer applications to the DRSC. Staff seeks feedback on the guardrail style as this project is indicative of others also requesting all glass systems, and the change may have potential to alter the general community design and character.

RECOMMENDATIONS:

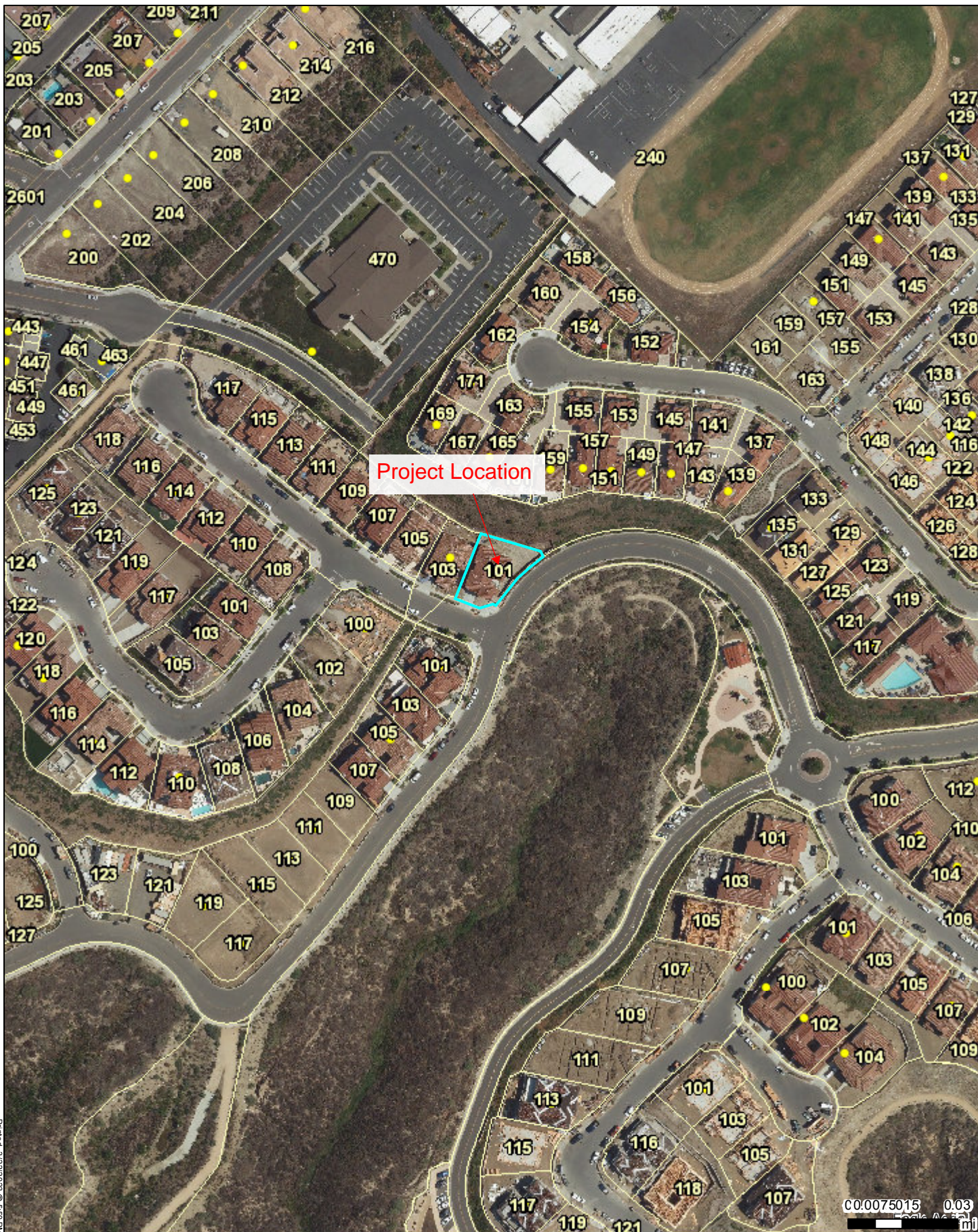
Staff and the applicant seeks DRSC feedback on the revised project’s consistency with General Plan Policies and Design Guidelines, and that of the Marblehead Coastal Specific Plan, where general Spanish style architecture is or new structures to preserve and strengthen San Clemente’s unique character. Staff understands the Sea Summit residents’ interests in maximizing their ocean views, but also desires to maintain consistency of architectural style. Currently the Specific Plan does not provide precise details on railing modification, although the Sea Summit neighborhood development had specific architectural plans that were approved through California Coastal Commission, referencing the Visual Enhancement Plan, CC&R’s, and the Specific Plan Design Guidelines. These documents do not establish specific material criteria for guardrails. The Sea Summit CC&R’s General Guidelines state in section 4.12.2 Trellis/Patio/Decks, color and detailing shall match existing structure color(s) and style.

Attachments:

1. Vicinity Map
2. Site Photographs
3. Project Plans
4. Architectural Plans
5. Sea Summit at Marblehead Design Guidelines (CC&R’s)

City of San Clemente

NORTH



Project Location

LEGEND

- City_500ft_buffer
- City Boundary
- Address Points
- Parcel Address Label
- Parcels





SITE PHOTOGRAPHS



2019 Photo of 101 Via Bellas Artes



structure; Structure Stucco - Ceiling Stucco
 as Home; (*)
 attached structural Eng plans
 style match house (see attached details)

Reference Google Earth

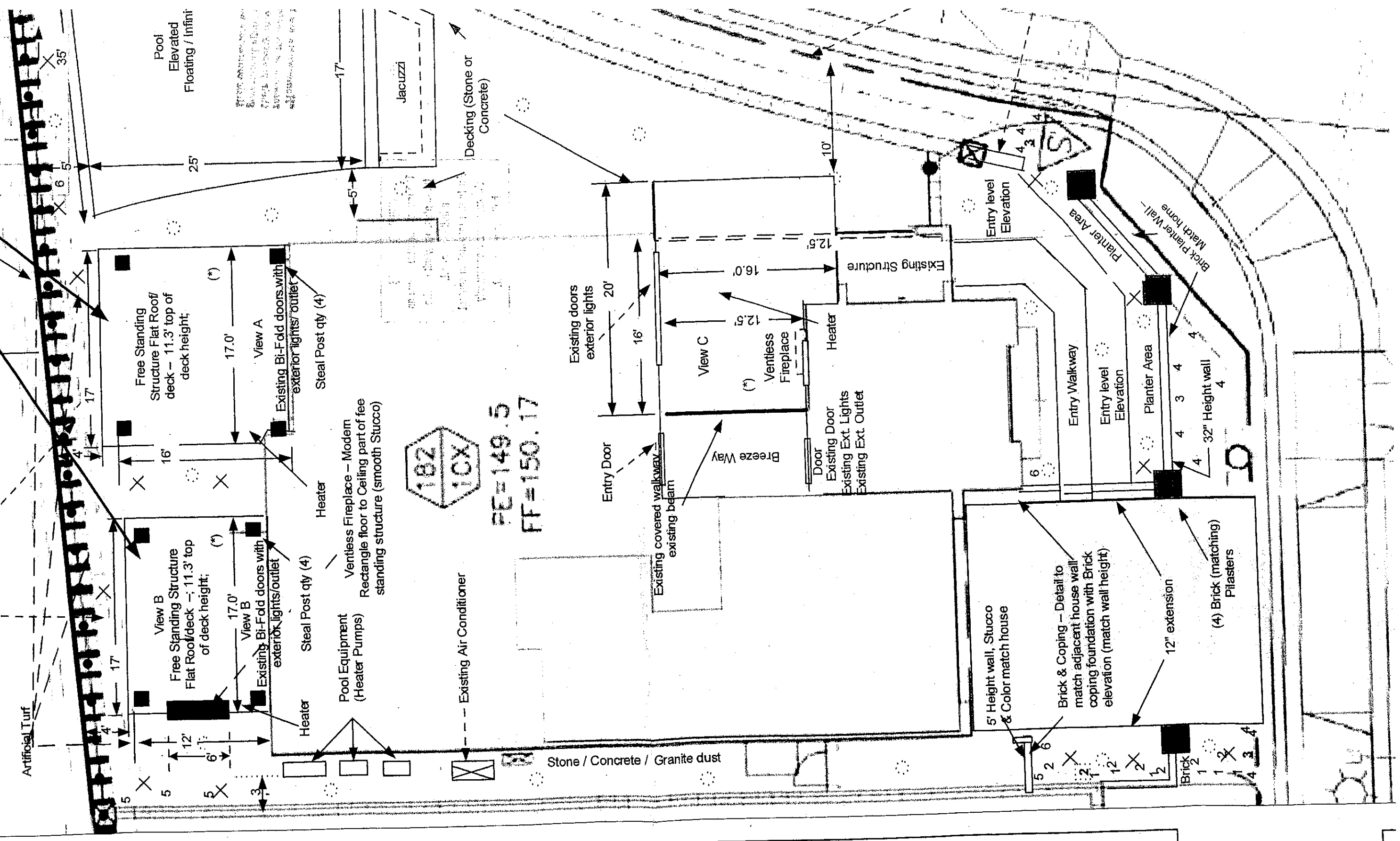
IOA approved plants / materials

n Notes
 match Home Brick
 pe - Stone or concrete
 ; Seabacks
 r - dripper style
 sign Guidelines
 Seiback (Cazabo:
 ng structures) paragraph (a) 3'
 (Deck: structure raised off
 re than 2') paragraph (a) 5'
 uture connection to wall or
 nly use CRC section 2016
 rotion-resistant Flashing
 aters Infratech flus mount W-
 (-16.7 AMP'S
 rating system - Acrylic Safe-T-
 in application

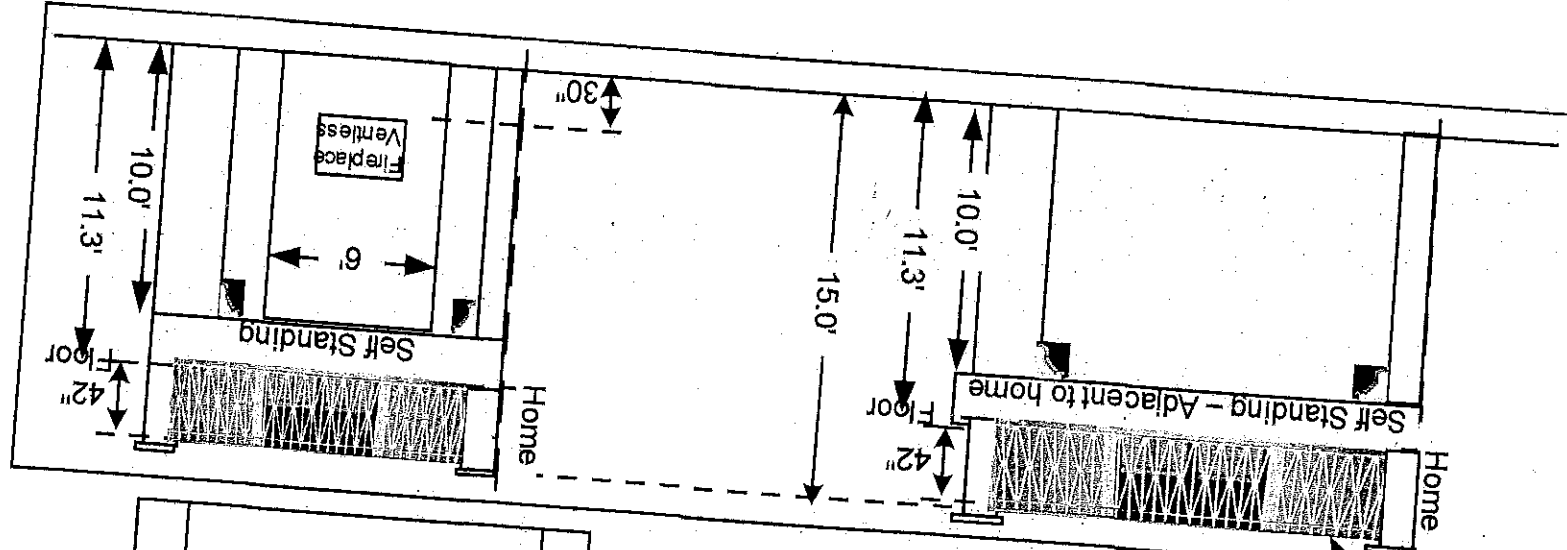
LOHMANN RESIDENCE

101 Via Bellas Artes, San Clemente, CA

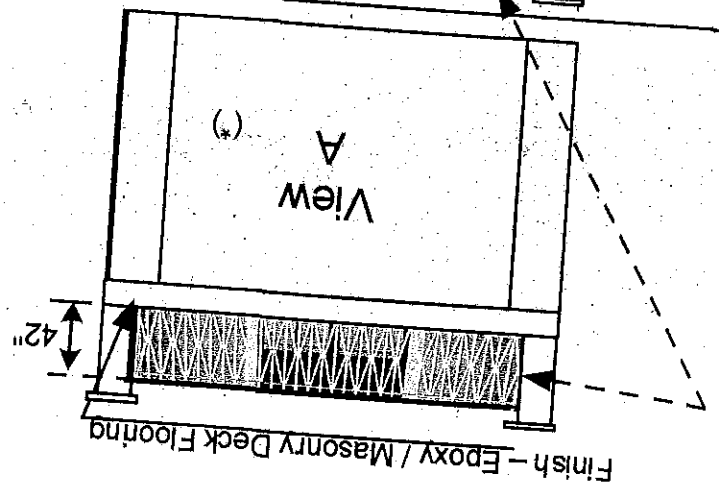
scape Plan
 trum Japonicum
 carpus Glazilior
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 a Victoriae Regina
 ainvillea Carmen
 lalupe Palm
 s Open Areas
 its Artificial Turf
 Hard surfaces
 Mulch



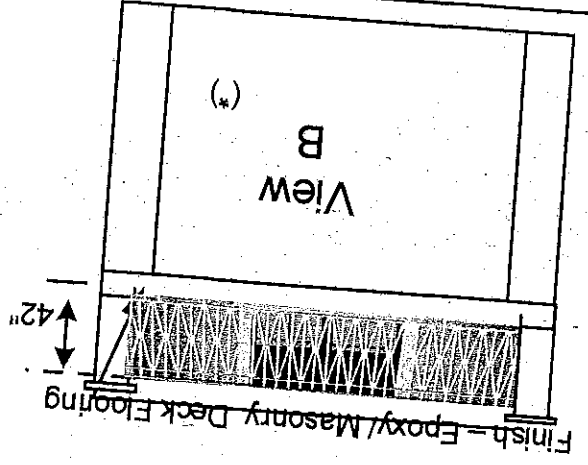
Side View



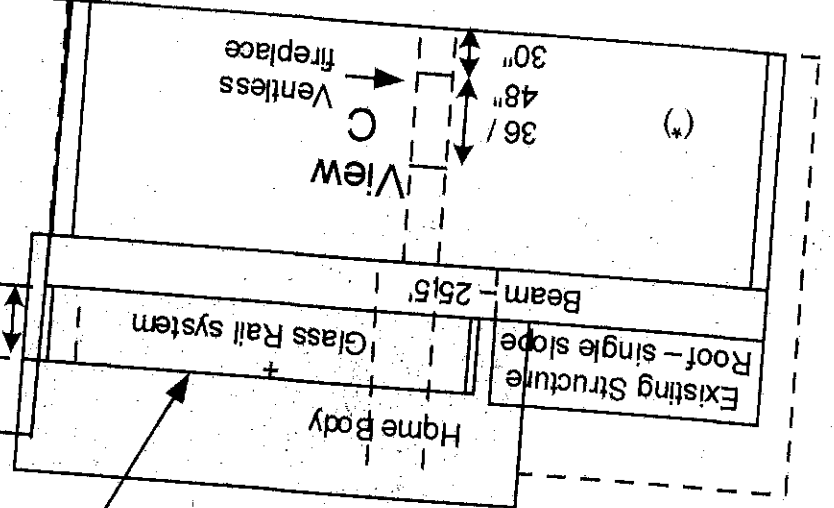
Front View



View B (*)



View C



NEW
Change partial glass rail to Full Glass rail system - new supplier (CVG)

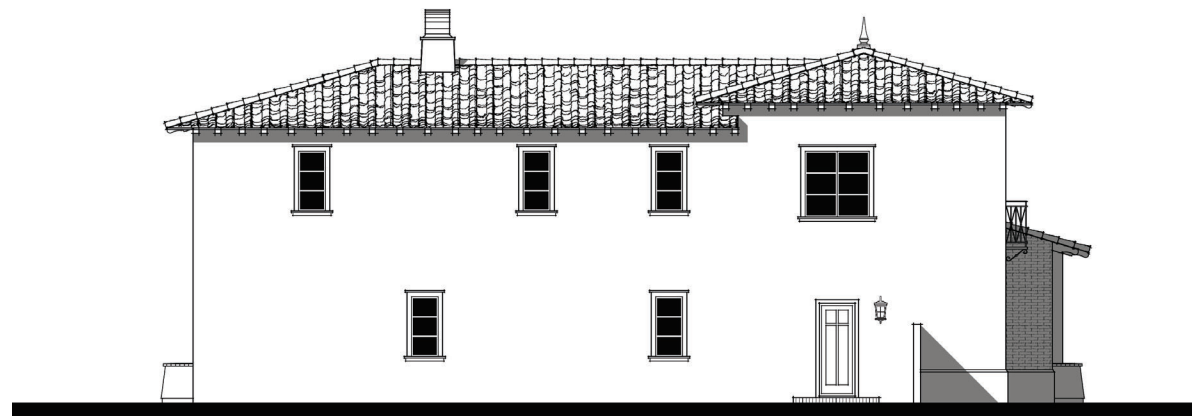
CAUTION! YOUR LOT HAS BEEN ENGINEERED AND GRADED TO ALLOW FOR PROPER DRAINAGE AND EROSION CONTROL. ANY CHANGES IN GRADING COULD CAUSE WATER DAMAGE, EROSION AND/OR SLOPE FAILURE.

ARCHITECTURAL COMMITTEE FOR SEA SUPPORT
PLANS
<input checked="" type="checkbox"/> APPROVED
<input type="checkbox"/> NOT APPROVED
<input type="checkbox"/> REQUIRE INFORMATION
Approval Subject To
<input type="checkbox"/> COMMUNITY CC&RS
<input type="checkbox"/> NOTES ON PLANS
<input type="checkbox"/> APPEARANCE EVALUATION
REVIEW CHECKLIST
<input type="checkbox"/> LETTER DATED _____
<input type="checkbox"/> REVISED PLANS
<input type="checkbox"/> NEIGHBOR REVIEW SIGNATURE
BY <i>[Signature]</i>
DATE 4/28/15
Plans Approval as to General Architectural and Landscaping Layout Only

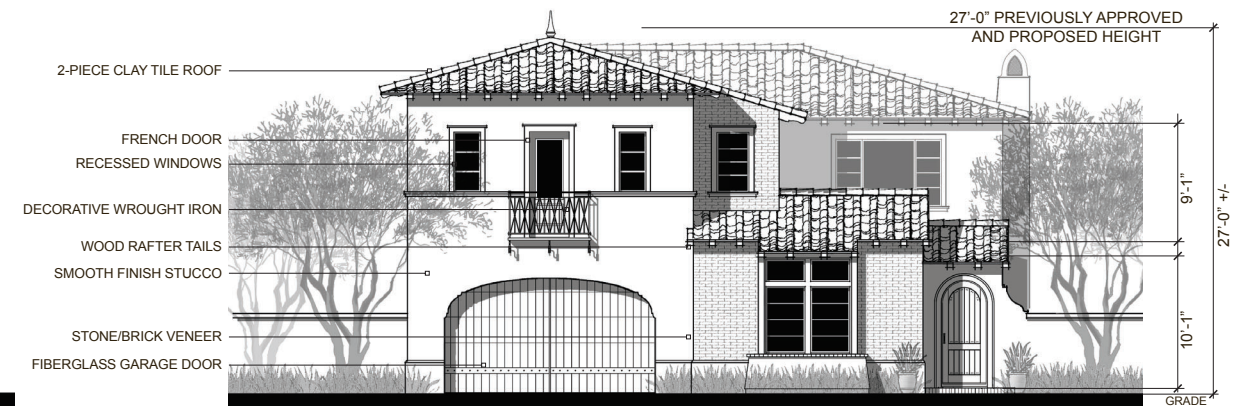
BUILDING PERMITS
The improvement(s) shown on these plans may/will require a building permit.
For further information contact the appropriate county/city building department.

EXISTING WALLS ARE NOT ENGINEERED TO RETAIN SOIL OR ANY OTHER MATERIAL. A RETAINING WALL MAY BE REQUIRED TO PROTECT THE INTEGRITY OF THE EXISTING WALLS.

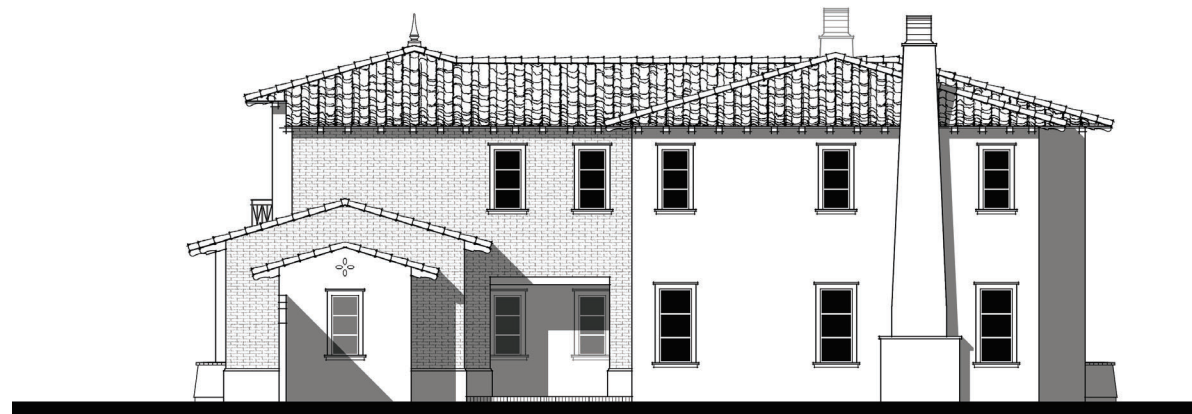
*Homeowners are responsible to ensure that their contractors take reasonable measures to prevent dirt, debris and water run-off from their property into the street and storm drains. Fines assessed by government agencies will be passed in full to the Homeowners if they, their contractors and/or guests are found to have caused the incident.



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

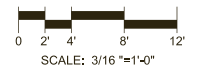


REAR ELEVATION

PLAN 1C
SANTA BARBARA

MARBLEHEAD 55'x100' LOTS

SAN CLEMENTE, CALIFORNIA





'C' SANTA BARBARA

MARBLEHEAD DETAIL IMAGERY

SAN CLEMENTE, CALIFORNIA



SEA SUMMIT

AT MARBLEHEAD

DESIGN GUIDELINES

Questions Regarding the Content of These Guidelines
Should be Directed to:

**FIRSTSERVICE RESIDENTIAL PROPERTY
MANAGEMENT, LLC**

15241 Laguna Canyon RD

Irvine, CA 92618

(800)428-5588

Adopted 02/26/18

completed by the Developer, which may include drainage from the Association Properties over any Lot or Association Maintenance Areas in the Properties. Your Lot has been graded in accordance with the requirements of local agencies for the purpose of directing the flow and drainage of surface water. If the existing drainage is altered in any way as a result of, (a) the alteration of swales or drainage courses, (b) a change in grading, or (c) any landscaping or other improvements that are installed in such a way so as to alter the drainage flow on your property, you should consult with a licensed civil engineer. Developer and Association shall not be responsible for such drainage of water of any damage to persons or property resulting therefrom. No changes to the existing grade are allowed.

- 4.9.2 You are advised to properly maintain and to promptly repair any leaks in pipe systems and valves. The Developer and Association will not be responsible for damage that results from over-watering, failure to maintain pipe systems or valves, and/or damage or alteration to developer installed drainage pipes and systems.

4.10 Swimming Pools, Water Features and Spas

Spas and similar water features such as swimming pools, reflecting pools, koi ponds, and fountains are permitted in private yards not visible from the street. A spa or other similar water feature must not damage existing walls or fences. Rockwork, slides, fountains, or other water features may not exceed the height of the adjacent property line walls or fences unless evergreen plant material is installed between it and the adjacent wall or fence, with a minimum set back of 2'. Structures not exceeding the wall or fence height must be set back from any property line a minimum of 5'. Owner must determine if there are utility easements on their property. Owner shall understand that construction is not permissible over any easements.

4.11 Accessory Equipment

- 4.11.1 Shall be screened from the view of any Lot, and from the public view from any public right-of-way with acceptable fence, wall or plant material.
- 4.11.2 Shall be located where it will minimize disturbance to neighboring Lot Owners.
- 4.11.3 Shall conform to governing laws and agency regulations.
- 4.11.4 Gas fired heaters shall be stackless or low profile in configuration.

4.12 Patio Covers/Gazebos/Trellis/Decks/Playhouses/Play Structures

Homeowners that are in a Combustible-Free Zone as depicted in Exhibit E of the Declaration must maintain comply with requirements for Non-Combustible or Fire-Resistive construction and the Marblehead Specific Plan.

Note: The design of all structures shall include a construction plan with dimensions, elevation view (decks attached to structure must provide rear and side elevation and photos) and construction details/catalog cut sheets, and must be approved by the DRC **prior** to

construction or installation. Trellises/patio covers with an open roof shall not be constructed over decks or balconies.

4.12.1 Gazebos: Freestanding structures (sometimes pre-manufactured) with a “pitched roof”. Roofs can be “open” trellis type or have “solid” roofing material.

- a. Must be set back a minimum of 3’ from the property line and/or perimeter fence/wall, whichever is more restrictive.
- b. May be a maximum of 15’ in height.
- c. Must be constructed of wood or other DRC approved material. Color shall match existing structure. Roof material (if solid) shall match existing house material and color.

4.12.2 Trellis/Patio Cover/Deck

- a. No Owner of a Lot shall construct or install a patio cover or similar structure without complying with all ordinances and regulations of the City/County. This restriction shall specifically include, without limitation, full compliance with all setback requirements of the City/County.
- b. Color and detailing shall match existing structure color(s) and style.
- c. Front Yard: Open roof trellis or shade structures are not permitted in the front yard.
- d. Side and Rear Yard: Patio covers or decks are permitted in side or rear yards, and must meet the following development standards of the Marblehead Specific Plan:

Table 5-1 Marblehead Specific Plan Development Standards for Conventional Subdivisions

Standard	RL
Maximum Dwelling Units per Lot	1 principal residence
Maximum Height	35 feet, not to exceed 2 stories
Maximum Site Coverage (solid roofs)*	60%
Minimal Lot Area	5,000 feet
Minimum Lot Width	50 feet
Minimum Front Setback from Public Street	18 feet (from back of sidewalk)
Minimum Front Setback from Private Street	10 feet/18 feet (from back of sidewalk)
Minimum Side Setback from Interior Property Line	5 feet
Minimum Rear Setback from Canyons	20 feet ***
Minimum Rear Setback	15 feet/ 20 feet ***
Minimum Lot Frontage on Straight Streets	50 Feet
Minimum Lot Frontage on Curved Streets	35 feet, except for flag lots
Minimum Flag Lot Requirements	20 feet wide; common Apron at Street