

ELY/BONADONNA RESIDENCE SAN CLEMENTE, CALIFORNIA

ABBREVIATIONS

Table with columns for abbreviations and full names. Includes entries for AND ANGLE, AT CENTERLINE, DIAMETER OR ROUND, FOUND OR NUMBER, EXISTING, ANCHOR BOLT, ABOVE, ACOUSTICAL, AREA DRAIN, ADJUSTABLE, ABOVE FINISH FLOOR, ABOVE FINISH FLOOR, ALUMINUM, ALUMINUM ANGLE, APPROXIMATE, ARCHITECTURAL, ASPHALT, BOARD, BITUMINOUS, BUILDING, BLOCK, BLOCKING, BEAM, BOTTOM, CABINET, CATCH BASIN, CEMENT, CERAMIC, CAST IRON, CORNER GUARD, CEILING, CALLING, CLOSET, CLEAR, CASED OPENING, COLUMN, CONCRETE, CONNECTION, CONSTRUCTION, CONTINUOUS, CORNER OF FINISH, CORRIDOR, COUNTERSINK, COUNTER, CENTER, DOUBLE, DEPARTMENT, DRINKING FOUNTAIN, DETAIL, DIAMETER, DIMENSION, DOWN, DOOR OPENING, DOOR, DOWNSPOUT, DRY STANDPIPE, DRAINAGE, DRAWING, DRAWER, EAST, BAG, DRINK FOUNTAIN, EXPANSION JOINT, ELEVATION, ELECTRICAL, ELEVATOR, EMERGENCY, ENCLOSED, ELECTRICAL PANELBOARD, EQUIPMENT, EQUIPMENT, ELECTRICAL WATER COOLER, EXISTING, EXPANSION, EXPOSED, EXTERIOR, FIRE ALARM, FLAT BAR, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FINISH GRADE, FIRE HOSE CABINET, FINISH FLOOR, FLASH, FLUORESCENT, FACE OF CONCRETE, FACE OF FINISH, FACE OF MULLION, FACE OF STUDS, FRAMING, FULL SIZE, FOOT OR FEET, FOOTING, FURRING, FUTURE, GAUGE, GALVANIZED, GRAB BAR, GLASS, GROUND, GRADE, GYPSUM, GYPSUM BOARD, GYPSUM BOARD, GYPSUM WALL BOARD, HOSE BIBB, HOLLOW GORE, HARDWOOD, HARDWARE, HOLLOW METAL, HORIZONTAL, HOUR, HEIGHT, HEATING VENTILATING AIR CONDITIONING, INSIDE DIAMETER, INTERIOR, JANITOR, JOINT, LABORATORY, LAMINATE, LAVATORY, LOCKER, LIGHT, MAXIMUM, MEDICINE CABINET, MACHINE BOLT, MECHANICAL, MEMBER, METAL, MANUFACTURING, MANUFACTURER, MANHOLE, MINIMUM, MIRROR, MISCELLANEOUS, MASONRY OPENING, MOUNTED, MULLION, NORTH, NOT IN CONTRACT, NUMBER, NOMINAL, NOT TO SCALE, OVER, OVERALL, OBSCURE, ON CENTER, OUTSIDE DIAMETER (DIM.), OFFICE, OVERHEAD CABINET, OPENING, OPPOSITE, PRECAST, FLATE, PLASTIC LAMINATE, PLASTER, PLYWOOD, PANEL, PAINTED, PLUMBING, PLYWOOD, PROPERTY LINE, PAIR, POINT, PREFABRICATED, PAPER TOWEL DISPENSER, COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE, PARTITION, PAPER TOWEL RECEPTACLE, QUARRY TILE, RISER, RADIUS, RADIUS, ROOF DRAIN, REFERENCE, REFRIGERATOR, REVERSE, REINFORCE, REINFORCED, REGISTER, REQUIRED, RESILIENT, ROOM, ROUGH OPENING, REDWOOD, RAIN WATER LEADER, SOUTH, SOLID CORE, SEAT COVER DISPENSER, SOAP DISPENSER, SECTION, SQUARE FEET, SHELF, SHOWER, SHEET, SIMILAR, SKYLIGHT, SLOPE, SANITARY NAPKIN DISPENSER, SPACE, SPECIFICATIONS, SQUARE, SERVICE SINK, STAINLESS STEEL, STATION, STANDARD, STEEL, STORAGE, STRUCTURAL, STRUCTURE, SUSPENDED, SOLID WOOD, SYMMETRICAL, TOILET BAR, TOP OF CURB, TELEPHONE, TERRAZZO, TONGUE AND GROOVE, THICK, TOP OF CURB, TOP OF PARAPET, TOP OF PAVEMENT, TOILET PAPER DISPENSER, TREAD, TELEVISION, TOP OF WALL, TYPICAL, UNFINISHED, UNLESS OTHERWISE NOTED, URINAL, VERTICAL, VESTIBULE, VEST, WATH, WATER CLOSET, WOOD, WINDOW, WATER HEATER, WITHOUT, WATERPROOF, WAINSCOT, WEIGHT

DESIGN DATA

THIS PROJECT SHALL COMPLY WITH ALL REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES AS WELL AS THE FOLLOWING: CODE: 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF SAN CLEMENTE AMENDMENTS

JURISDICTION: SAN CLEMENTE ZONE: RM CONSTRUCTION TYPE: V-B OCCUPANCY: R-3 STORES: 3

LEGAL DESCRIPTION:

TRACT: 783 LOT: 152 CITY: SAN CLEMENTE COUNTY: ORANGE

SQUARE FOOTAGE CALCULATIONS:

Table with columns for area type and square footage. Includes rows for GROSS LOT AREA (3,192.40 S.F.), EXISTING SQUARE FOOTAGE (1,149.75 S.F.), NEW ADDITION (127.50 S.F.), FIRST FLOOR ADDITION (135.00 S.F.), TOTAL SQUARE FOOTAGE (2,012.25 S.F.), SECOND FLOOR DECK (208.00 S.F.), ROOF DECK (324.00 S.F.).

DEFERRED SUBMITTALS:

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS SHALL BE IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE CODE, CHAPTER 7, SECTION 7-126. (2014 CBC CHAPTER 1 DIVISION II, SECTION 101.3.4.1) DEFERRED SUBMITTALS: 1. FIRE SPRINKLERS

PROJECT TEAM:

OWNER: ROBERT ELY AND MARY JEAN BONADONNA 113 WEST MARIPOSA SAN CLEMENTE, CA. 92672 ARCHITECT: STUDIO 6 ARCHITECTS, INC. 2753 CAMINO CAPISTRANO, SUITE A-100 SAN CLEMENTE, CA 92672 PHONE: (949) 388-5300 FAX: (949) 388-3330 CONTACT: BRIAN MUEHLBAUER EMAIL: brian@studio6architects.com SURVEYOR: RDM SURVEYING 23016 LAKE FOREST DRIVE, SUITE #409 LASUNIA HILLS, CA 92653 PHONE: (949) 858-2424 FAX: (949) 858-3438 CONTACT: RON MEDIMA EMAIL: rdmsurveying@cox.net LANDSCAPE DESIGNER: STRUCTURAL ENGINEER: ENERGY:

PROJECT SCOPE:

EXISTING 1,149.75 SF SINGLE STORY RESIDENCE. NEW DESIGN WILL INCLUDE A NEW TWO-STORY ADDITION WITH ROOF DECKS. And request a Minor Exception Permit for the existing side yard encroachment of 18" into required 5'-0" setback.

PLUMBING FIXTURES:

ON 4 AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. A CERTIFICATE OF COMPLIANCE FOR WATER CONSERVING PLUMBING FIXTURES WILL BE REQUIRED AT FINAL INSPECTION.

ALL PLUMBING FIXTURES SHALL BE UPGRADED PER CGSBC 4.803 & CIVIL CODE SECTION 1101.1. AS FOLLOWS: - TOILETS: 1.28 GPF - SHOWERHEADS (MAX. FLOW): 2.0 GPM @ 80 PSI - LAVATORY FAUCETS (MAX. FLOW): 1.2 GPM @ 60 PSI - KITCHEN FAUCETS (MAX. FLOW): 1.8 GPM @ 60 PSI HOMEOWNER OR GENERAL CONTRACTOR TO PROVIDE A SIGNED COMPLETED COPY OF THE SB401 FORM TO CITY HALL COUNTER STAFF PRIOR TO OBTAINING A PERMIT.

FIRE SPRINKLERS:

A FIRE SPRINKLER SYSTEM CONFORMING TO THE LATEST N.F.P.A. 13D STANDARD SHALL BE INSTALLED. DESIGN UNDER SEPERATE SUBMITTAL.

SHEET INDEX

- T-1 TITLE SHEET A-1 SITE PLAN/SURVEY A-2 EXISTING FLOOR PLAN A-3 EXISTING EXTERIOR ELEVATIONS A-4 EXISTING ROOF PLAN A-5 SITE/FIRST FLOOR PLAN A-6 NEW SECOND FLOOR A-7 NEW ROOF PLAN A-8 NEW ELEVATIONS A-9 NEW ELEVATIONS

Table with columns: SETBACK, REQUIRED, PROVIDED. Includes rows for FRONT SB, REAR SB, SIDE SB, BLD'G. HGT. FROM NG, LOT COV., PARKING.

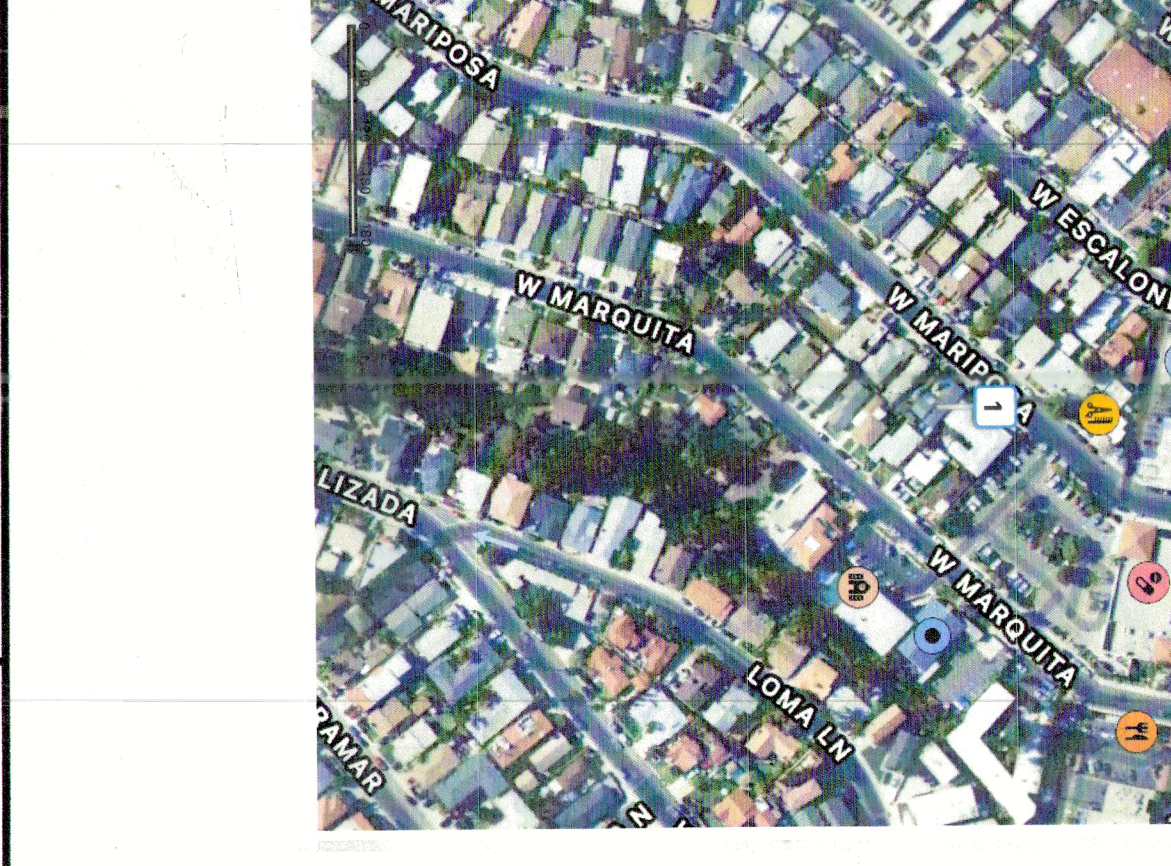
SPECIAL INSPECTION:

REFER TO SPECIAL INSPECTION PROGRAM ON SHEET S6N FOR REQUIRED SPECIAL INSPECTION ITEMS. INSPECTOR SHALL REGISTER WITH THE CITY.

NOTE:

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF SAN CLEMENTE DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.

VICINITY MAP



PROJECT NOTES:

- 1. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, FIRE PITS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS. 2. PROVIDE PORTABLE TOILET & HAND WASHING STATION PER OSHA REGULATIONS. 3. HOUSE NUMBER SHALL BE MOUNTED TO THE HOUSE AND SHALL BE VISIBLE & LEGIBLE FROM THE STREET IN A CONTRASTING COLOR 4" TALL MIN.

GENERAL CONTRACTOR / SUBCONTRACTOR RESPONSIBILITY:

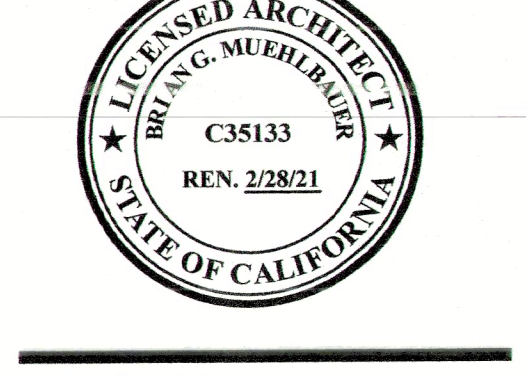
- 1. ALL POTENTIAL DESIGN, ENGINEERING AND SPECIFICATION CHANGES PROPOSED DURING CONSTRUCTION ARE REQUIRED TO BE PRESENTED TO AND APPROVED BY THE ARCHITECT PRIOR TO IMPLEMENTING CHANGES. 2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO REVIEW AND BECOME FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL & STRUCTURAL DETAILS, REFLECTED CEILING PLANS, ELECTRICAL PLANS AND SCHEDULES, PRIOR TO BIDDING AND CONSTRUCTION. 3. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ALL SUBCONTRACTORS BIDDING & CONTRACTED TO PERFORM WORK OR SUPPLY MATERIALS HAS RECEIVED AN ENTIRE SET OF CONSTRUCTION DOCUMENTS FOR THIS PROJECT. 4. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ONLY COPIES OF THE CITY AND/OR COUNTY APPROVED CONSTRUCTION DOCUMENTS ARE ON SITE AND USED FOR CONSTRUCTION. BID SETS ARE ALLOWED FOR CONSTRUCTION.

PROJECT NUMBER:

MILESTONES / REVISIONS

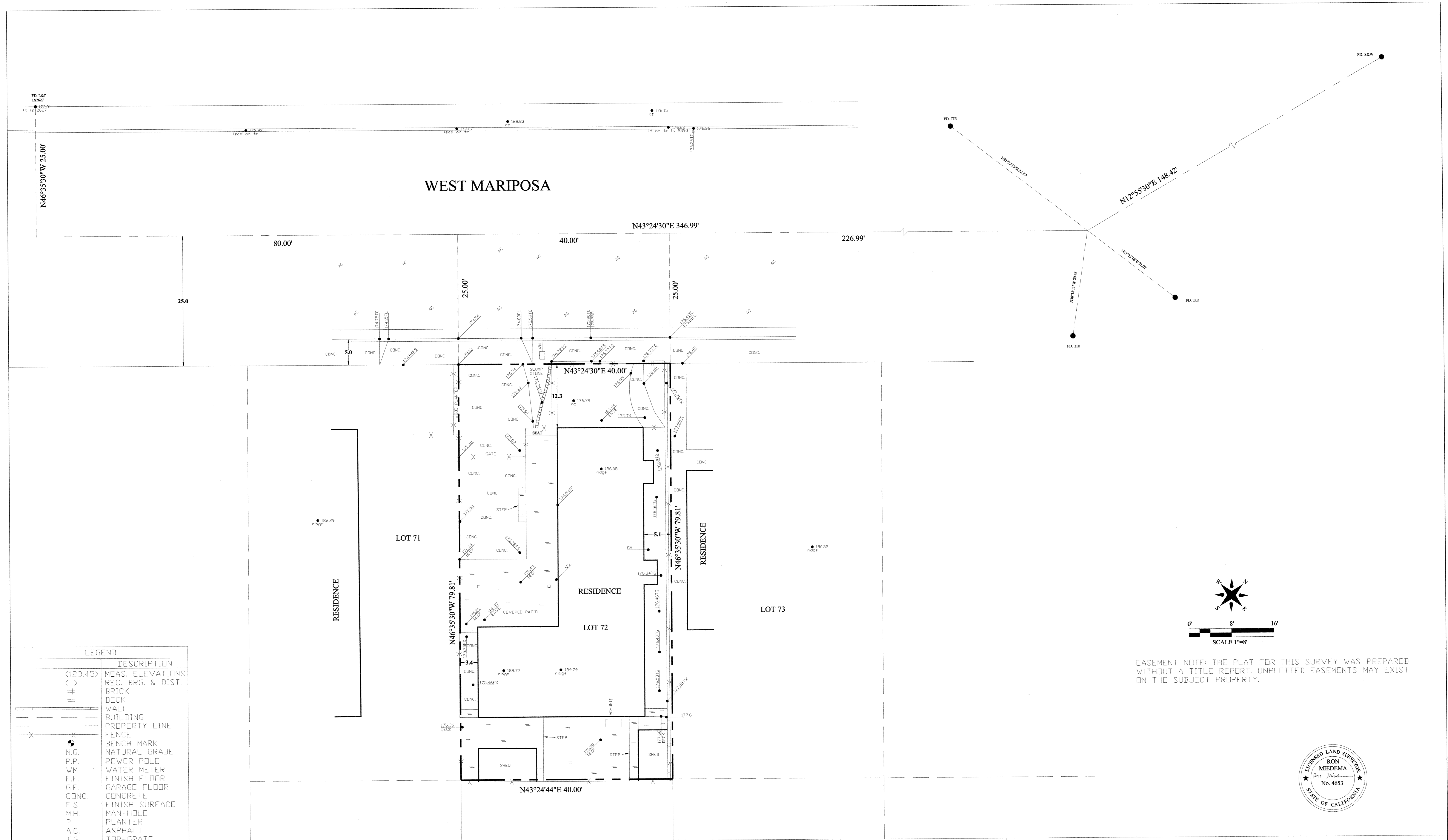
Table with columns: NO., DATE, DESCRIPTION. Includes rows for revisions.

LICENSE STAMP:



SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1



**RdM SURVEYING INC.**

RON MIEDEMA L.S. 4653  
23016 LAKE FOREST DR. #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924 OFFICE  
(949) 422-1869 CELL  
RDMSURVEYING@COX.NET

**TOPOGRAPHIC SURVEY**

JOB: (84-20) DATE: 9/9/2021

**OWNER:**

ROB ELY  
MARY JEAN BONADONNA

**LEGAL DESCRIPTION:**

LOT 72  
BLOCK 15  
TRACT NO. 793  
M.M. 24/1-5

**BENCH MARK:**

BENCH MARK #: 3B-116-05  
DATUM: NAVD88  
ELEVATION: 163.295

**ADDRESS OF PROJECT:**

113 WEST MARIPOSA  
SAN CLEMENTE

**ELY/BONADONNA REMODEL**  
SAN CLEMENTE, CALIFORNIA

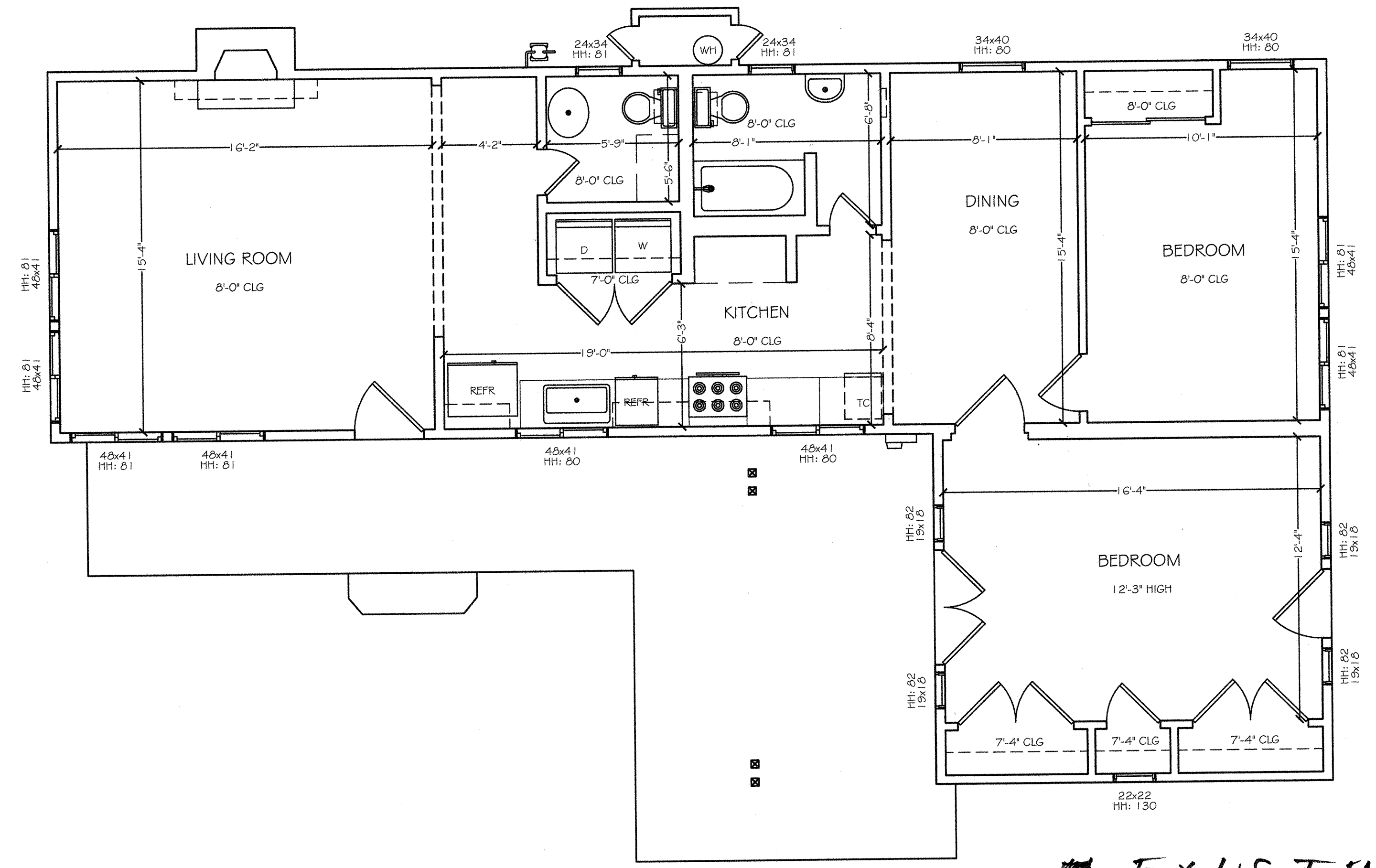


STUDIO 6 ARCHITECTS, INC.  
ARCHITECTURE + PLANNING  
2753 CAMINO CAPISTRANO, SUITE B2  
SAN CLEMENTE, CA 92072  
(949) 388-5300 PHONE  
(949) 388-3330 FAX  
STUDIO6ARCHITECTS.COM

**LEGEND**

LOW CASEWORK  
 UPPER CASEWORK  
 FULL HEIGHT CASEWORK

WD = WASHER/DRYER COMBO  
 W = WASHER  
 D = DRYER  
 R = RANGE  
 REFR = REFRIGERATOR  
 OVEN = OVEN  
 DW = DISH WASHER  
 TC = TRASH COMPACTOR  
 FURN = FURNACE  
 WH = WALL HEATER  
 GM = GAS METER  
 EM = ELECTRIC METER  
 SC = SOLAR COMPONENTS  
 EP = ELECTRICAL PANEL  
 TWH = TANKLESS WATER HEATER  
 WH = WATER HEATER  
 FD = FLOOR DRAIN  
 CLG = CEILING HEIGHT  
 HH = HEADER HEIGHT



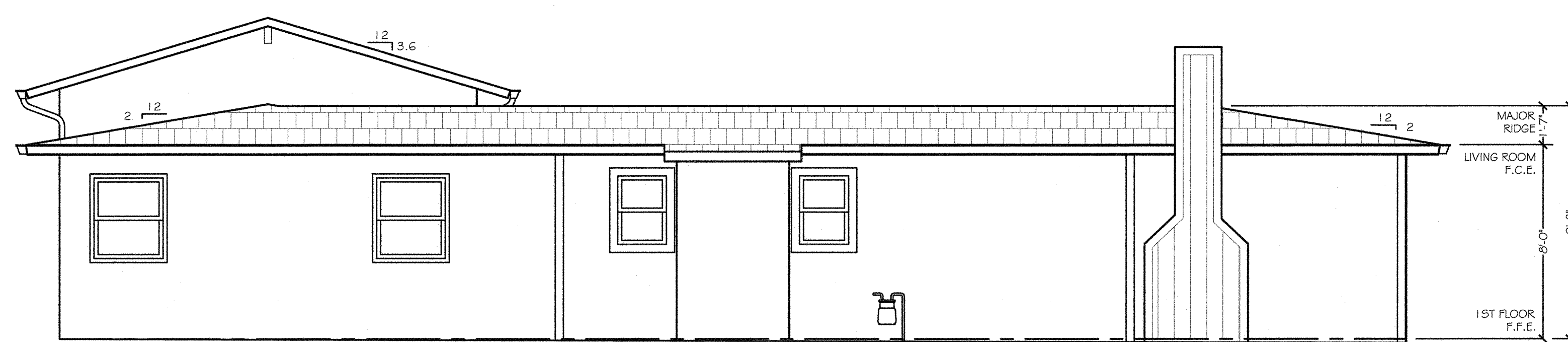
EXISTING FLOOR PLAN  
 8/14/11

**ELY/BONADONNA REMODEL**  
 SAN CLEMENTE, CALIFORNIA

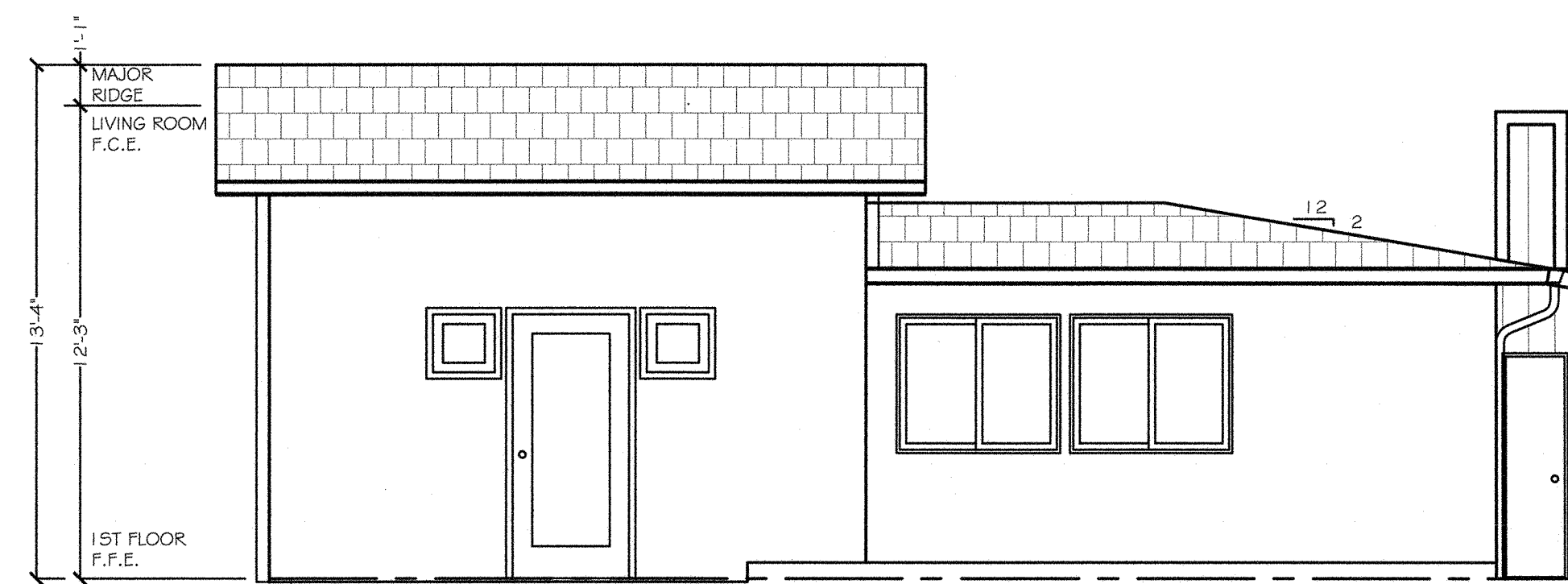
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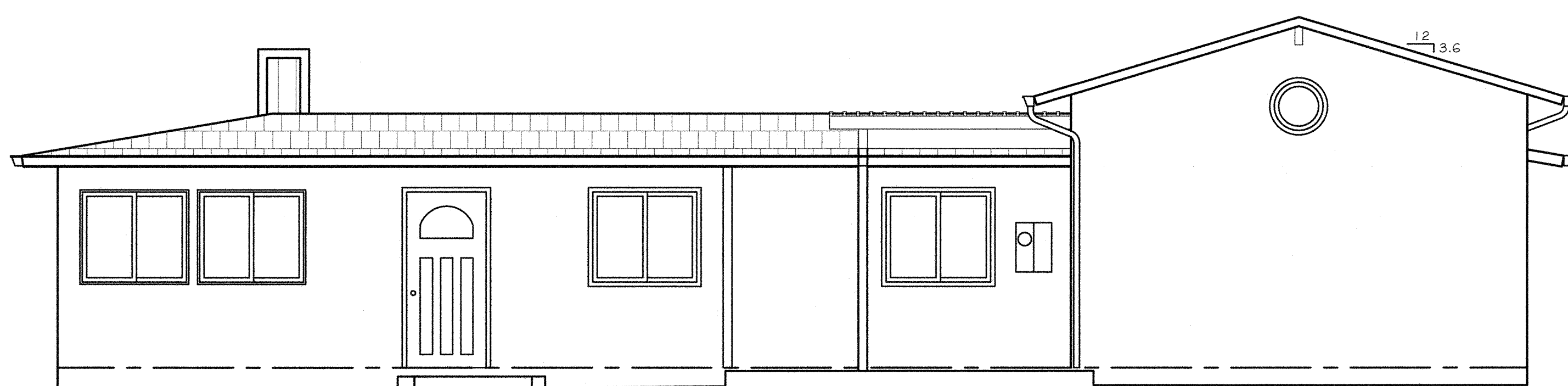
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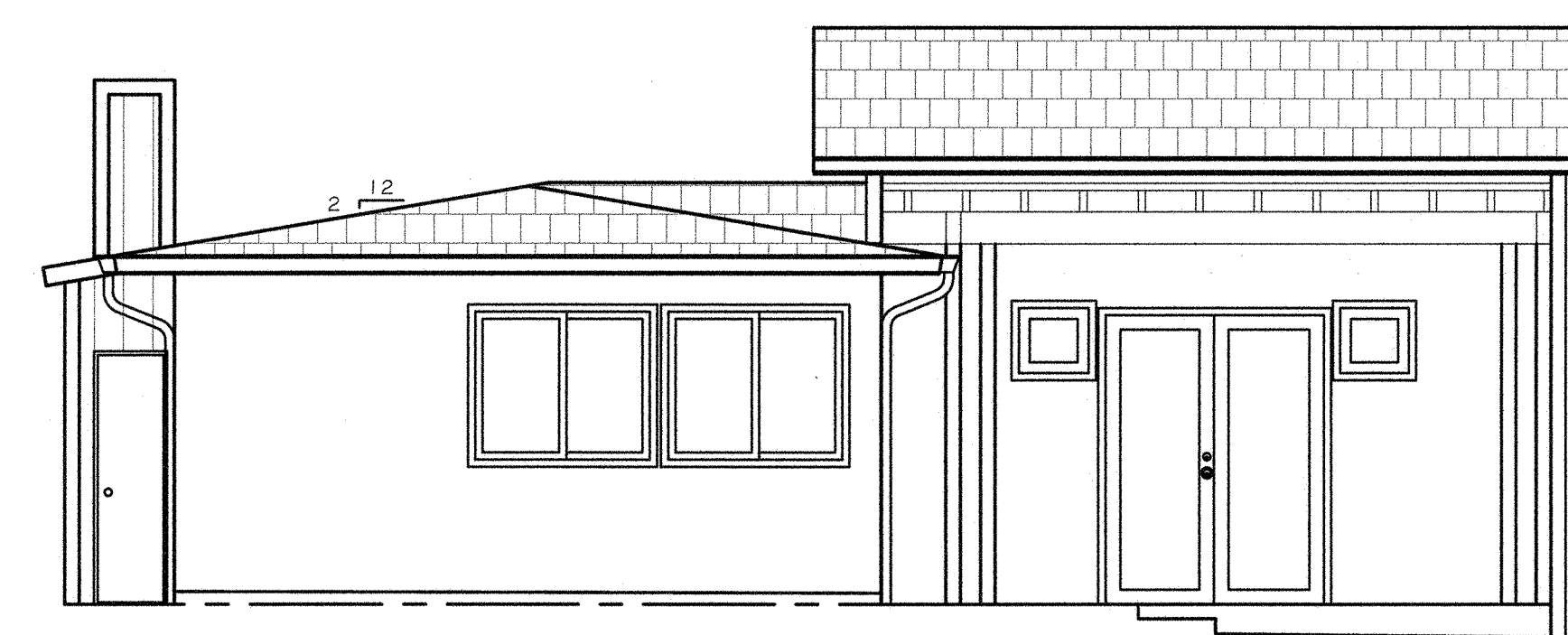
NORTH



EAST



EAST



WEST

EXISTING ELEVATIONS  
SO 1/11

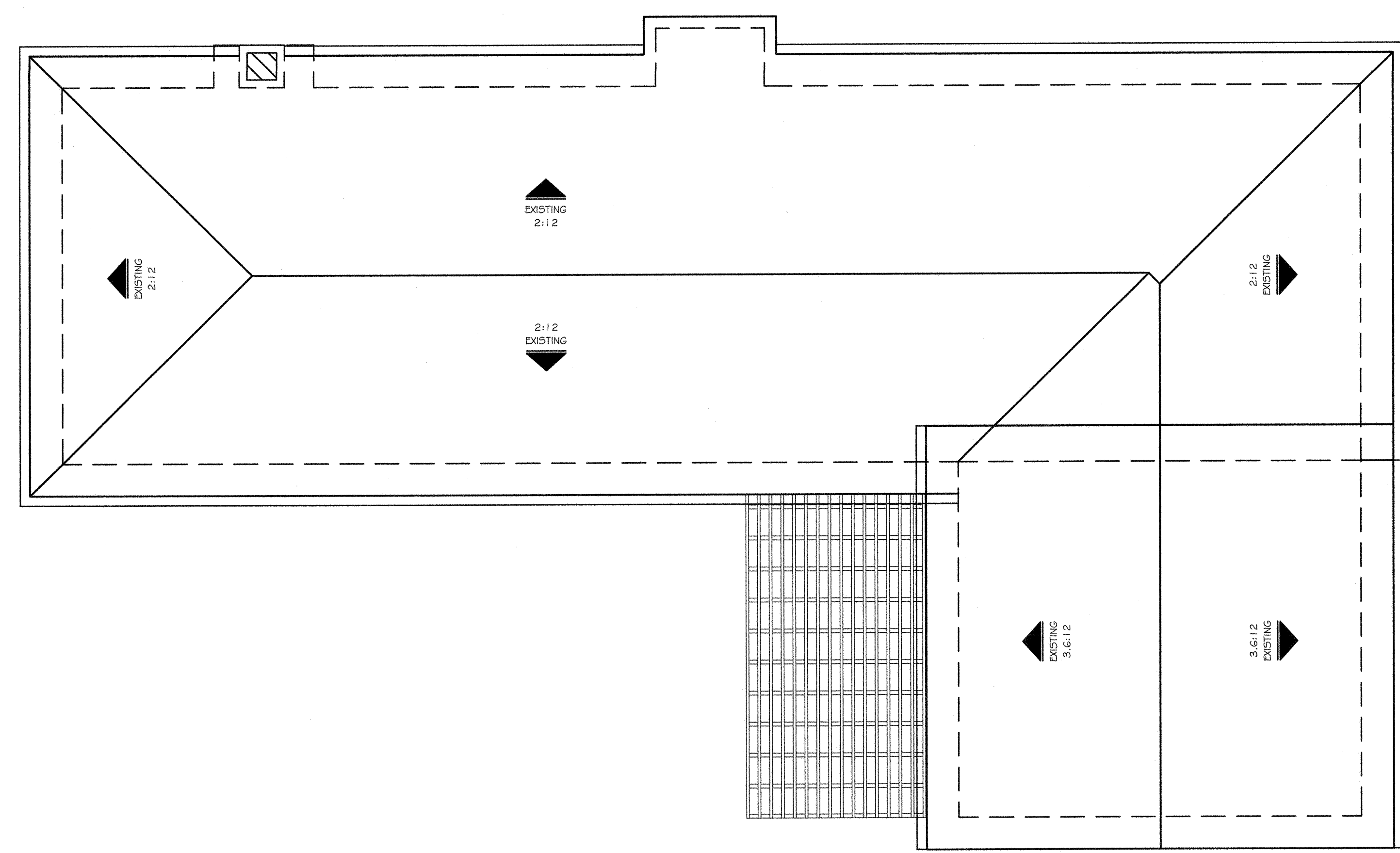
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SAN CLEMENTE, CALIFORNIA

**LEGEND**

CHIMNEY OUTLINE

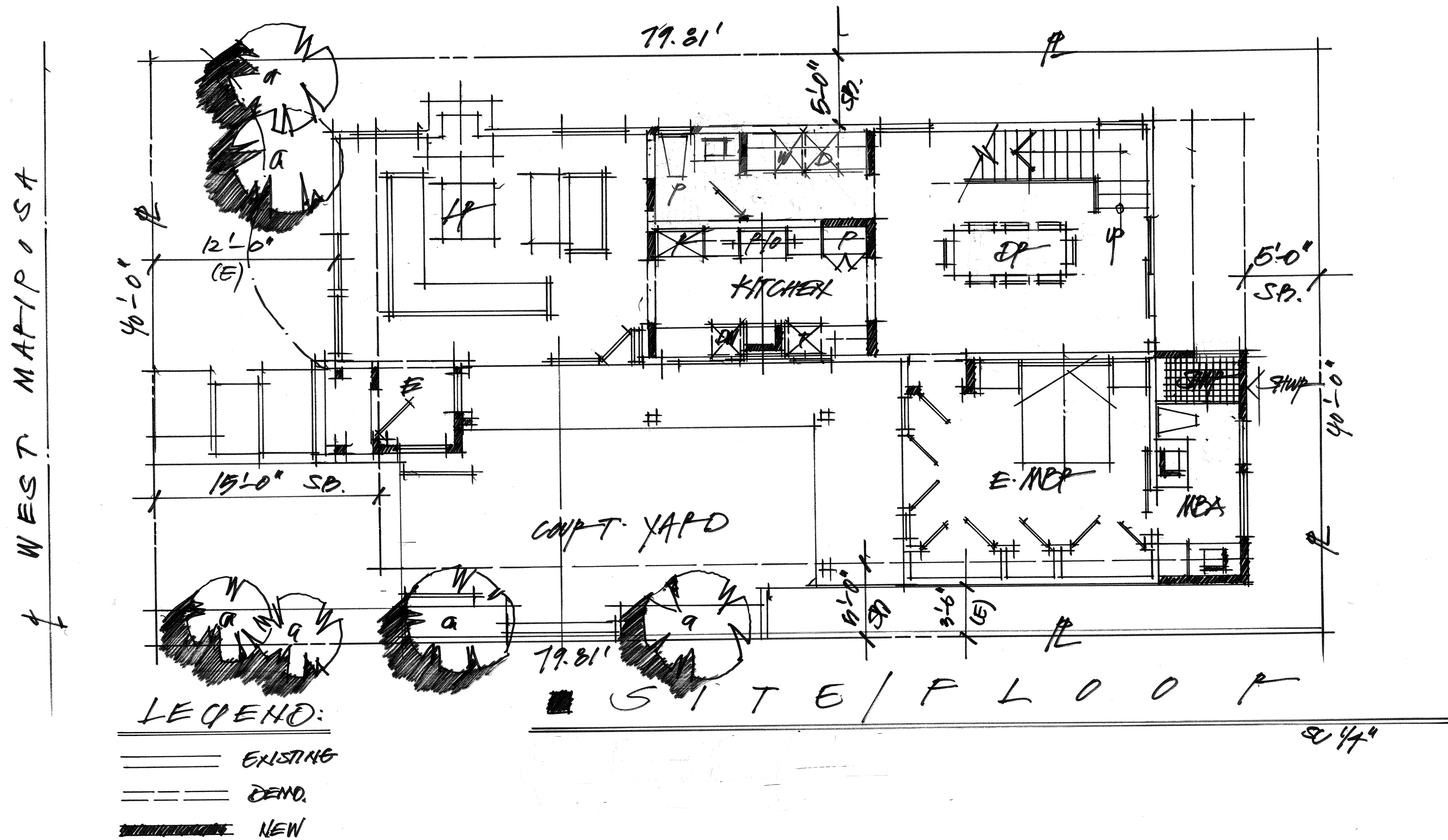
BUILDING FOOTPRINT

- ⊗ = ROOF DRAIN
- = DOWNSPOUT
- ⊗ = AIR CONDITIONER
- ☐ = UTILITY BOX
- ⊗ = ROOF VENT
- RTU = ROOF TOP UNIT
- ☐ = ROOF TOP HATCH



EXISTING ROOF SC 14"

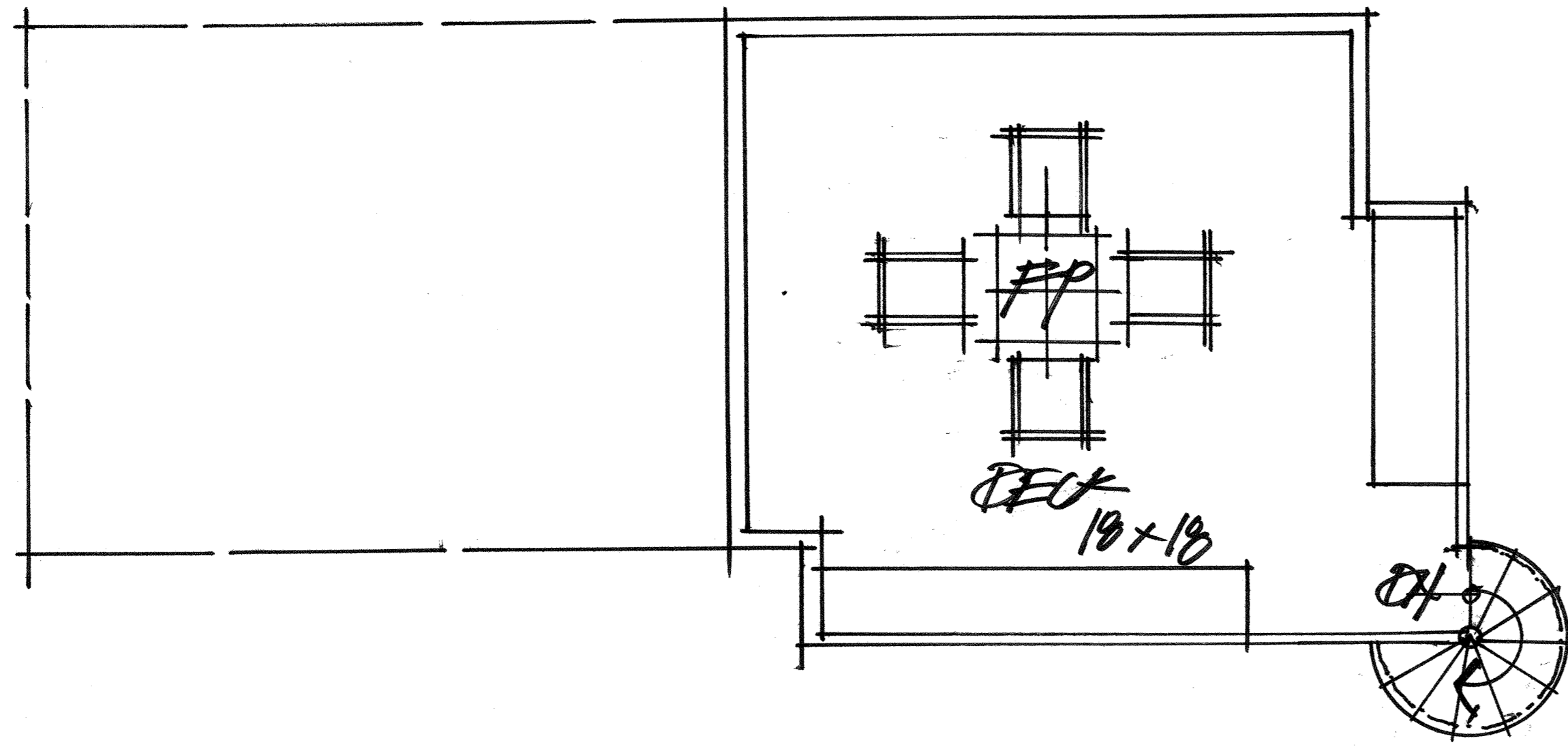
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 SAN CLEMENTE, CALIFORNIA



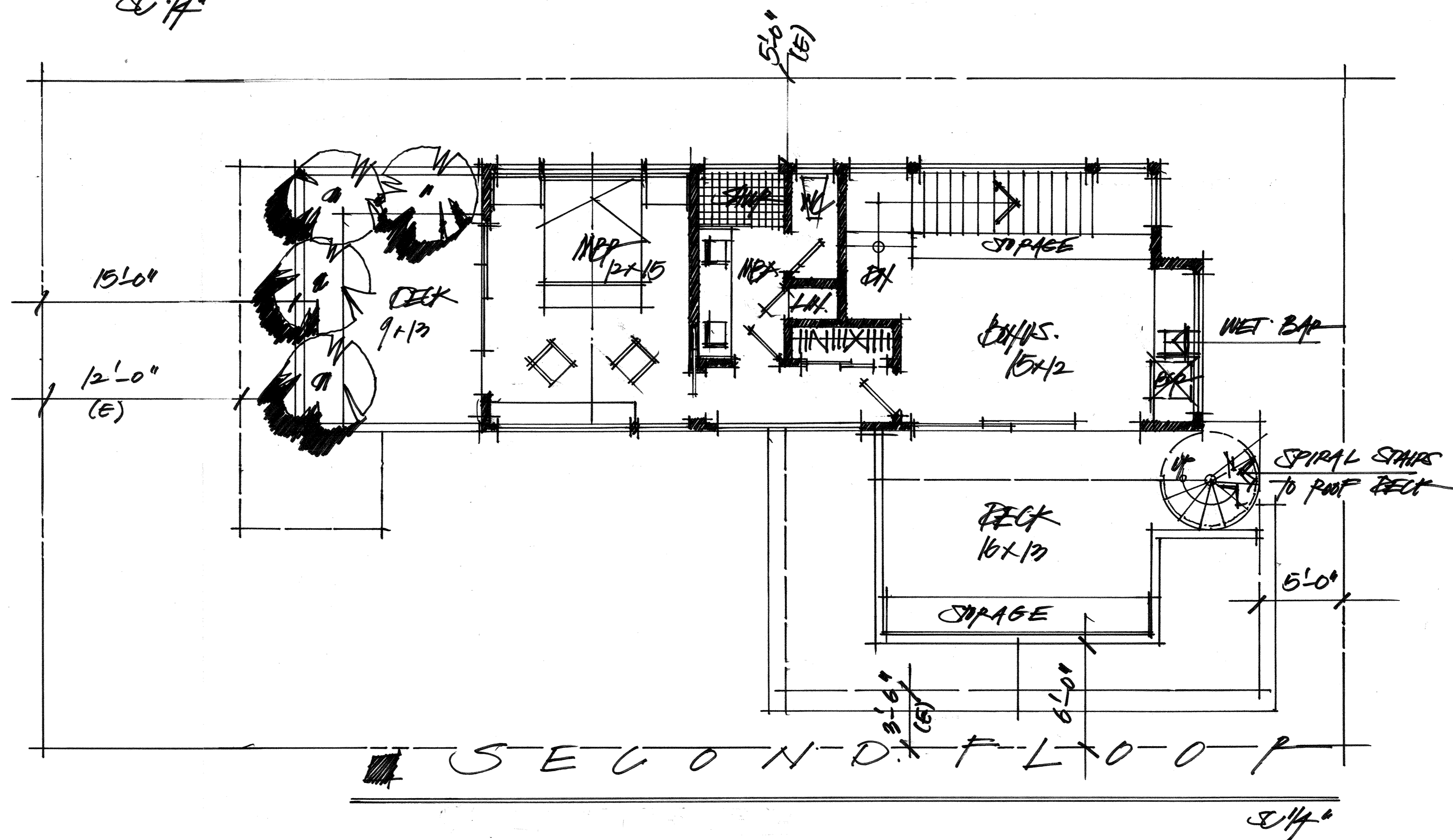
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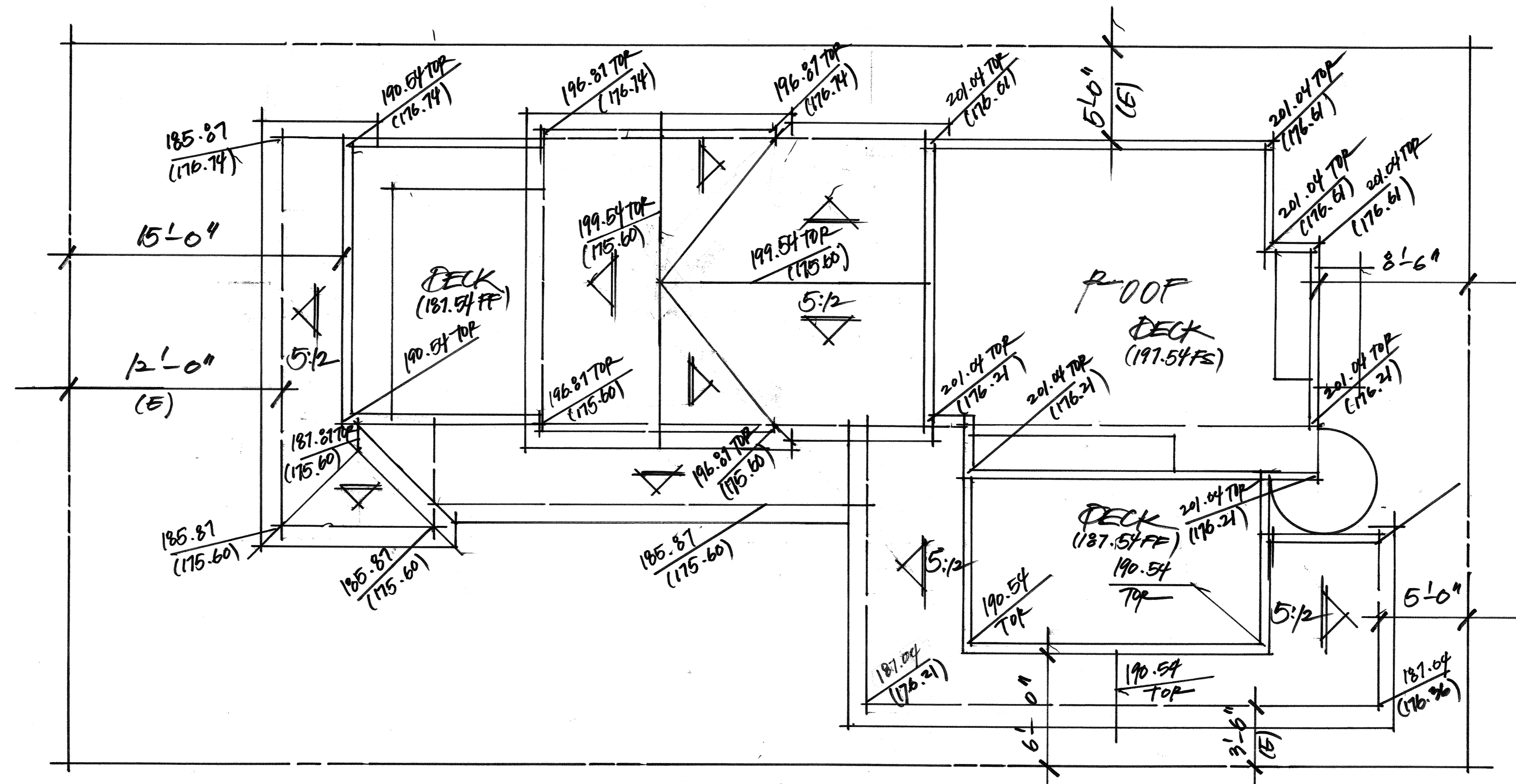
**Studio 6**  
 ARCHITECTS  
 STUDIO 6 ARCHITECTS, INC.  
 ARCHITECTURE + PLANNING  
 2753 CAMINO CARISTRAND, SUITE 52  
 SAN CLEMENTE, CA 92672  
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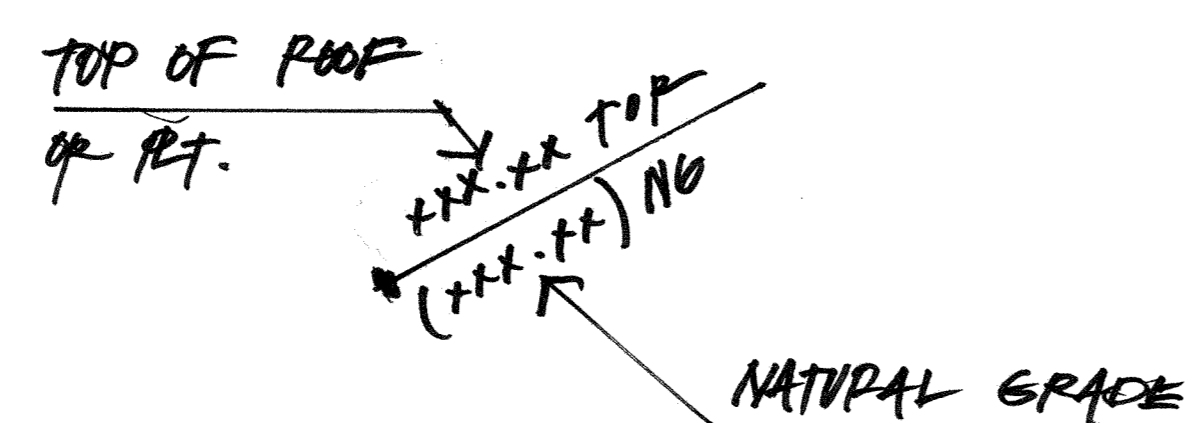
ROOF DECK  
S/14"



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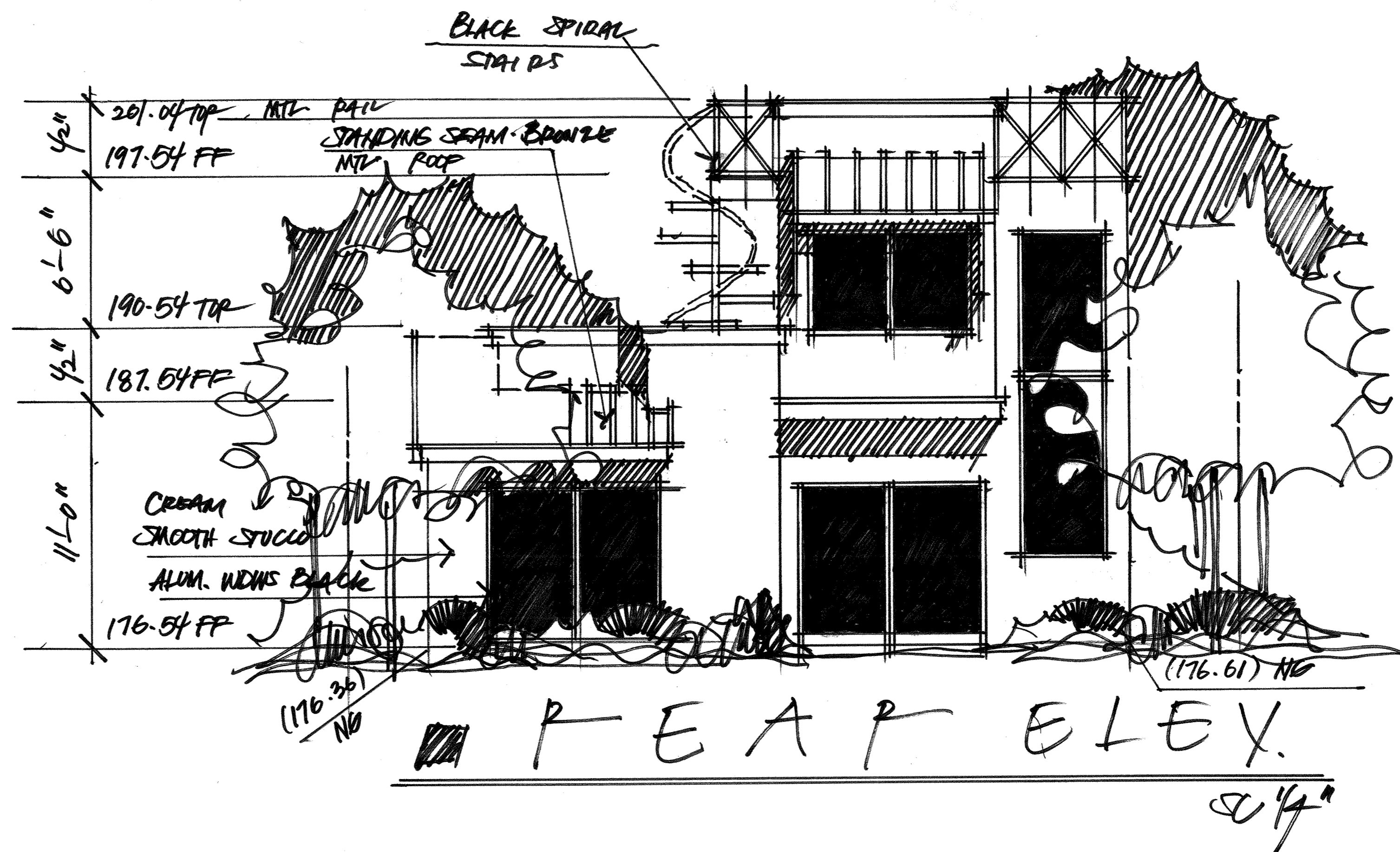
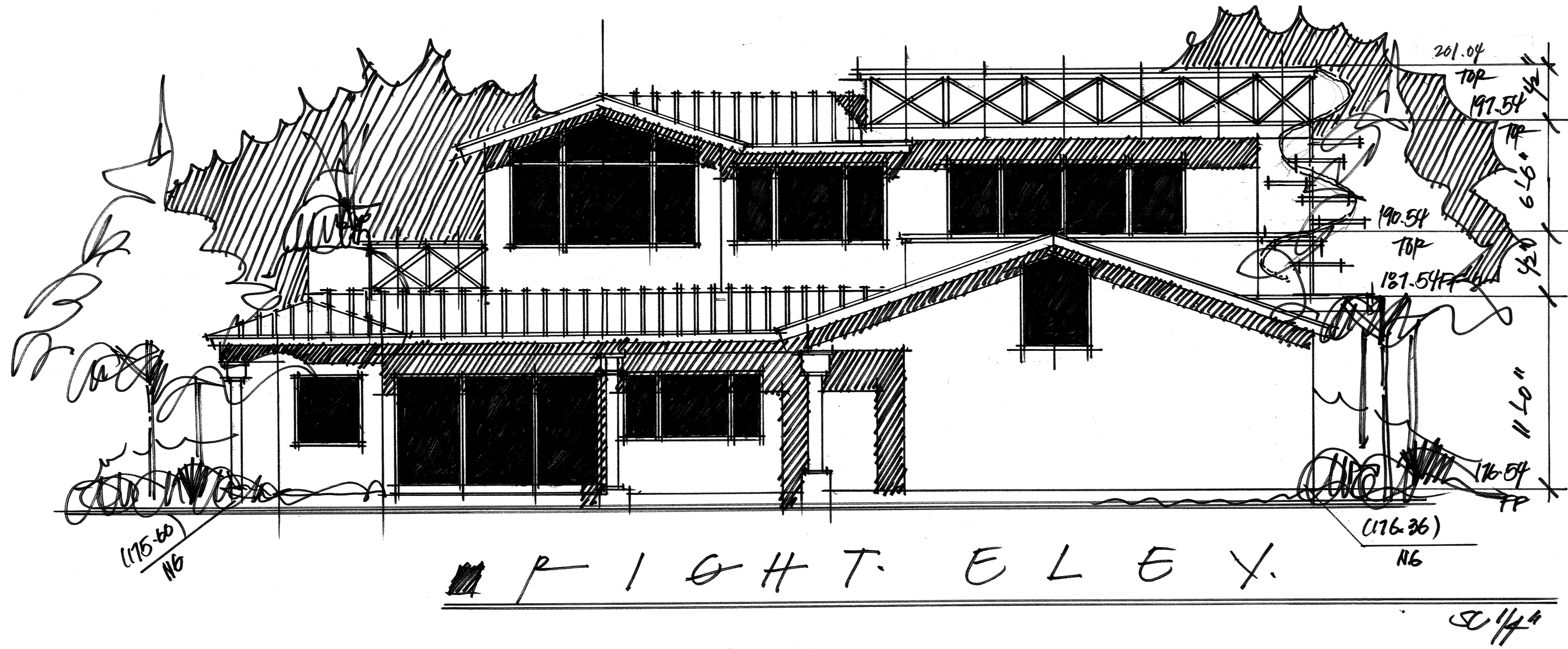
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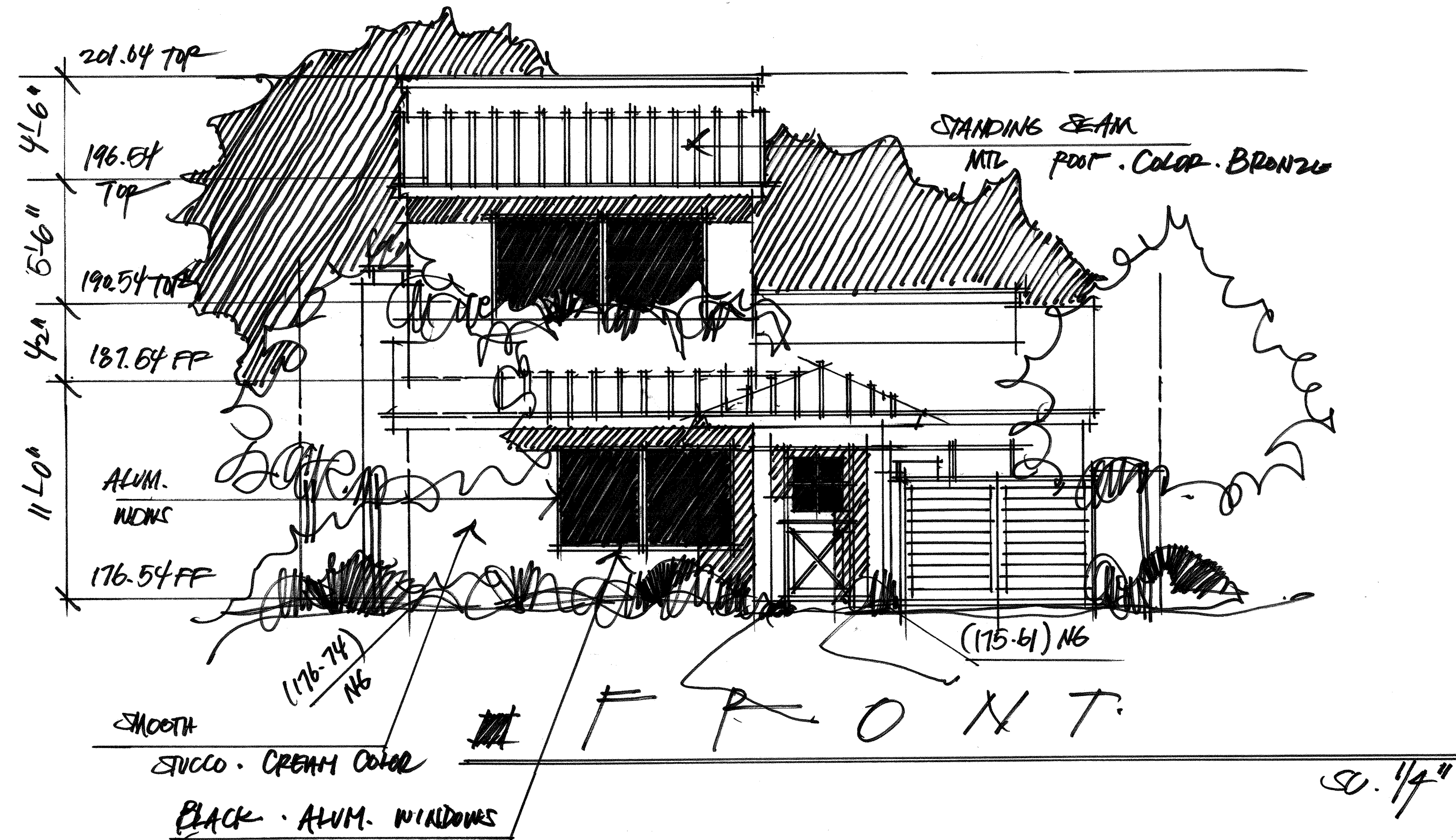
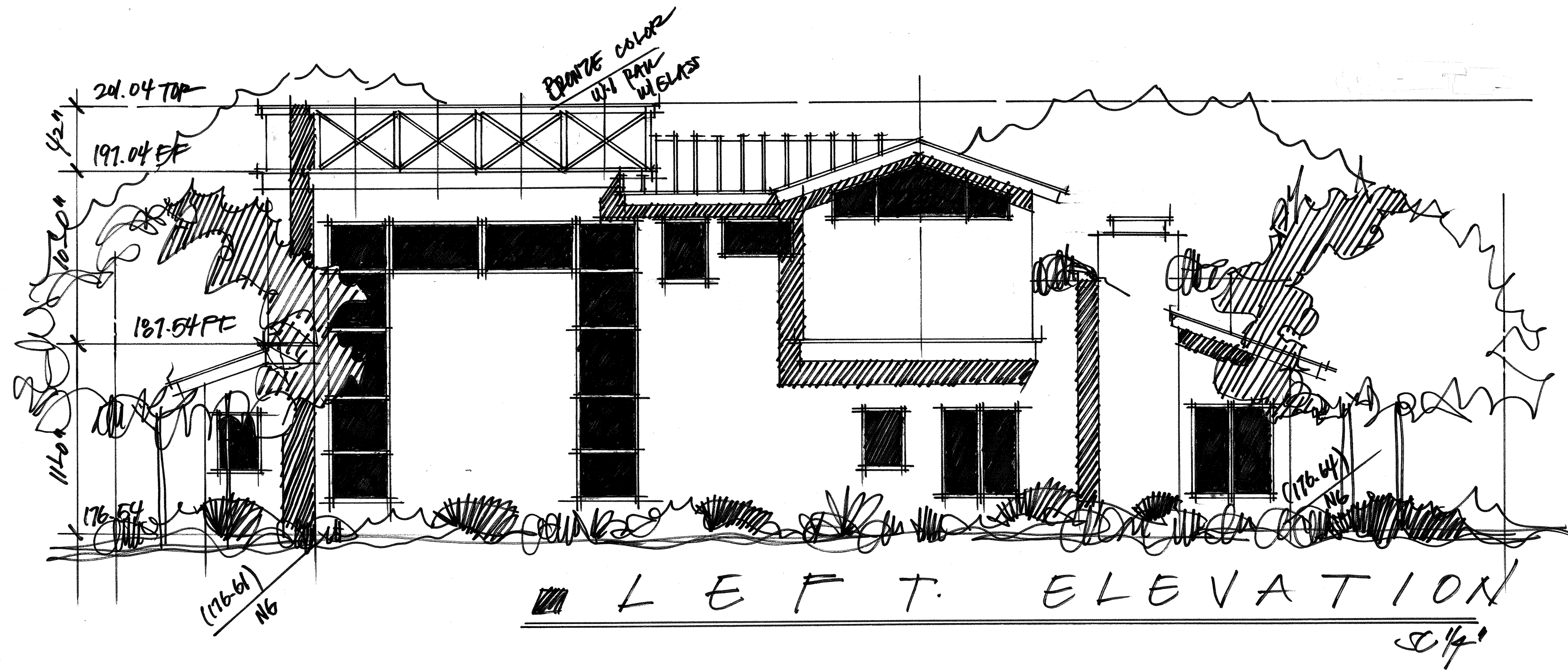
**R O O F P L A N**

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