



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: December 21, 2022

PLANNER: John Ciampa, Contract Senior Planner

SUBJECT: **Conditional Use Permit (CUP) 22-071 and Minor Conditional Use Permit (MCUP) 22-420, Flights & Irons Full Alcohol, Expansion, and Off-Site Parking Agreement**, a request to consider the expansion of the restaurant into suites 372-374 with the sale of beer, wine, liquor and spirits (Type 47 License), for on-site and indoor consumption at 372-378 Camino De Estrella. The project also includes shared parking with the other businesses in the center.

REQUIRED FINDINGS

The following findings shall be made to approve the proposed project. The draft Resolution (Attachment 1) and analysis section of this report provides an assessment of the project's compliance with these findings.

Conditional Use Permit, Zoning Ordinance Section 17.36.020, to allow on-site indoor consumption of beer, wine, liquor, and spirits; and Minor Conditional Use Permit, Zoning Ordinance Section 17.64.120 to allow a shared parking agreement.

- a. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed.
- b. The site is suitable for the type and intensity of use that is proposed.
- c. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- d. The proposed use will not negatively impact surrounding land uses.

The following special findings apply to requests for shared parking:

- e. Given the specific conditions of the site and the adjacent area, the shared parking arrangement will not result in inadequate parking.
- f. The shared parking arrangement does not intensify the nonconformity, and/or any intensification can be accommodated because of varied hours of operation and/or combinations of peak and off-peak uses.

BACKGROUND

The subject site is a 27,962 square-foot lot located in the Community Commercial 2 (CC2) Zoning District and is developed with three commercial buildings that total 13,208 square feet. The site consists of three commercial buildings, surface and lower level parking area (under building 370-380 Camino De Estrella) with a total of 56 parking spaces. The center is occupied by a mix of uses, including restaurant, office, pet groomer, and insurance office. A detailed summary of the tenants is provided in Table 1: Palisades Plaza Parking Summary, below. Flights & Irons restaurant has operated out of suites 376-378 with the sale of beer and wine for the last four years. Please refer to Attachment 2: Location Map, as well Image 1 below for the site location.

Image 1 – Aerial View of Project Site



Development Management Team Meeting

The City's Development Management Team (DMT) reviewed the project and recommends approval with conditions included in Attachment 1, Exhibit A.

Noticing

Public notices were distributed and posted per City and State requirements. Staff has received no public comment on this item to-date.

Concurrent Review of Multiple Permits

When multiple permits are processed concurrently, the Zoning Code allows for a decision on all of the applications to be made by the highest review authority. Since the Minor Conditional Use Permit is being processed with a Conditional Use Permit, Planning Commission will be the highest review authority for the required entitlements.

PROJECT DESCRIPTION

The applicant proposes to expand the restaurant from 2,113 square feet to 4,207 square feet by occupying the two adjacent suites (372-374) that would allow up to 38 additional seats, walk-in freezers, and bar area in the new space. The suites have been vacant since 2019 when CB Cycle (fitness use requiring 10 parking spaces) vacated the space. Flights & Irons would maintain the same general hours of operation from Tuesday-Friday 11:00 am to 12:00 am, Saturday and Sunday 10:00 am to 12:00 am (closed Mondays). While the business is open for lunch six days a week, its weekday lunch demand is low as it is considered a fine dining restaurant primarily operated for dinner service.

The business also proposes to modify its Type 41 License for the sale of beer and wine to a Type 47 License to allow the sale of beer, wine, liquor, and spirits. To accommodate the additional parking required for the expansion of the center, the applicant has received authorization from the property owner (Attachment 5) to request a shared parking agreement for the center. The agreement would allow the intensification of the site's parking beyond the available spaces as a result of the off-peak parking demand of the restaurant with the other uses that operate during normal business hours (8:00 am to 5:00 pm).

PROJECT ANALYSIS***Conditional Use Permit***

The Conditional Use Permit (CUP) process is intended to encourage uses to be located in a manner that is: 1) consistent with the City's zones; 2) sensitive to community and neighborhood identity; and 3) minimizes impacts to adjacent uses. Per Zoning Ordinance Section 17.36.020, a CUP is required to allow on-site indoor service of beer, wine, liquor, and spirits (Type 47 License) for consumption. The restaurant has operated with a Type 41 License for the sale of beer and wine for the last four years and now requests to expand its menu to serve a full range of alcohol. The restaurant has not had any issues in the last four years with code violations or Alcohol Beverage Control (ABC).

The City's Code Compliance Division, the Orange County Sheriff's Department, and the ABC have no issues or concerns with the restaurant expansion, full-service alcohol, or the shared parking for the center. The restaurant must continue to comply with all code requirements, including, but not limited to, Fire Code, California Building Code, Alcoholic Beverage Control (ABC), and the San Clemente Municipal Code. The requirements mandate employees receive service training to avoid the sale of alcoholic beverages to

minors. Additionally, the project is conditioned to ensure it incorporates best management practices to mitigate noise impacts on neighboring properties. For these reasons, staff supports the request for on-site indoor consumption of beer, wine, liquor, and spirits.

Minor Conditional Use Permit

Per Zoning Ordinance Section 17.64.120, a Minor Conditional Use Permit (MCUP) is required to allow a shared parking agreement. The Zoning Code allows non-residential uses to satisfy parking requirements for centers that are occupied by commercial uses that operate at off-peak times with a shared parking agreement. The agreement is subject to review and approval by the City Attorney and must be recorded after the entitlements are approved.

Table 1: Palisades Plaza Parking Summary

Suite	Business	Hours	Size	Parking Ratio	Parking Required
360	Alohana Acai Bowl	M-Su 8:00am – 7:00pm	999	1 per 4 seats	5
362	Laguna Salt Co.	No information available	684	1/300	3
364	BowWow Beautiful Pet Spa	Tue-Sat 7:30am – 5:00pm	1,214	1/200	6
370	Vacant	N/A	1,072	1/300	4
372-378	Flights & Irons	T-F 11:00am-12:00am S-Su 10:00am-12:00am	4,207	1/120*	35
380	Bow Head Saloon	Tue-Sat 11:00am-6:00pm	1,179	1/200	6
390	Smile Design Dental Group	M-F 9:00am-5:00pm	2,000	1/200	10
392	Foxlin Architecture	M-F 9:30am-6:00pm	1,148	1/300	4
396	All State Insurance	M-F 9:00-6:00pm	750	1/300	3
Total Spaces On-Site					56
Total Parking required					76

**Single destination restaurants 1 space per 4 seats; over 3,000 square feet: One per 120 square feet of interior space.*

The restaurant expansion into suites 372-374 would increase the use to a total of 4,207 square feet. The expansion would increase the parking ratio from one parking space per four seats to one space per 120 square feet requiring 35 parking spaces. The site provides 56 parking spaces that are shared among the nine businesses in the center. As identified in Table 1 above, there is insufficient parking to accommodate the proposed restaurant expansion; the applicant is proposing shared parking since the peak demand for the restaurant would occur when the other businesses in the center are closed.

A parking survey was conducted (Attachment 3) to verify adequate parking for the proposed restaurant expansion in the off-peak hours of the center. The survey was conducted from November 28th through December 3rd and parking counts were taken at 12:00 pm and 7:00 pm Monday, Wednesday, Friday, and Saturday. The peak parking use was 39 percent (i.e. 22 stalls utilized of 56 total) at 7:00 pm on Saturday, confirming there would be sufficient parking for the center with the proposed expansion of the restaurant. Conditions of approval are added to ensure the agreement is recorded and that the shared parking would continue to be in effect for the life of the business.

The shared parking agreement provides opportunities for the proposed use to operate in compliance with parking requirements. The request maintains the permitted use of the site as a restaurant with the service of full alcohol. Additionally, no exterior changes are proposed to the site as the request is limited to an interior remodel expansion into two adjacent vacant suites. For these reasons, staff supports the shared parking agreement. Conditions of approval are included in the draft resolution, which 1) prohibits seating in the expanded area (suites 372-374) from 8:00 am to 5:00 pm on weekdays to ensure there is adequate parking during weekday normal business hours (condition of approval 7.9) and, 2) If the center's mix of uses changes or there are parking issues that arise, the applicant must obtain an amendment to address the issues with the operation of the business to avoid inadequate parking supply (condition of approval 7.10).

GENERAL PLAN CONSISTENCY

Attachment 4 summarizes how the proposed use is consistent with applicable General Plan policies.

ENVIRONMENTAL REVIEW/COMPLIANCE (CEQA)

The Planning Division completed an initial environmental assessment of the project per the California Environmental Quality Act (CEQA). Staff recommends the Planning Commission determine the project is Categorically Exempt from CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and because the project is limited to 1) an expansion of an existing restaurant into an existing commercial suite in a commercial zone with the service of full alcohol and 2) the shared parking with the other uses in the center would not impact parking because the other uses operate during normal business hours when the restaurant would be operating at a reduced capacity of 50 percent.

CALIFORNIA COASTAL COMMISSION REVIEW

The project is not located within the Coastal Zone and therefore does not require Coastal Commission review.

ALTERNATIVES:

The Planning Commission may take any of the following actions:

1. Approve the application(s).
2. Modify the conditions of approval to effect desired changes prior to approval.
3. Deny the application(s). If the Commission wishes to pursue this option, the hearing would need to be continued to allow the appropriate resolution(s) to be prepared.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Determine the project is Categorical Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities); and
2. Adopt Resolution PC 22-035, approving Conditional Use Permit (CUP) 22-071 and Minor Conditional Use Permit (MCUP) 22-420, Flights & Irons Full Alcohol and Shared Parking Agreement, subject to attached conditions of approval.

Attachments:

1. Resolution No. PC 22-035
Exhibit A - Conditions of Approval
2. Location Map
3. Parking Survey, prepared by Victor Sandoval, dated 11/28/2022 – 12/3/2022
4. General Plan Consistency
5. Property Owner Support Letter for Shared Parking Agreement
6. On-Site Photos
7. Conceptual Plans

RESOLUTION NO. PC 22-035

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 22-071/MINOR CONDITIONAL USE PERMIT 22-420, FLIGHTS AND IRONS, TO ALLOW A EXPANSION, FULL ALCOHOL SERVICE, AND SHARED PARKING AGREEMENT AT FLIGHTS AND IRONS LOCATED AT 372-378 CAMINO DE ESTRELLA

WHEREAS, on March 7, 2022, an application was submitted by Victor Sandoval, 372-378 Camino De Estrella, San Clemente, CA 92673 for Conditional Use Permit (CUP) 22-071/Minor Conditional Use Permit (MCUP) 22-420, and deemed complete on December 2, 2022; a request to allow a restaurant expansion, service of full alcohol, and a shared parking agreement at Flights and Irons located at 372-378 Camino De Estrella within the Community Commercial 2 (CC2) Zoning District. The site's legal description is Tract 1127 Lot 4 and a portion of Lots 5 and 22 and Assessor's Parcel Number 691-111-12; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends that the Planning Commission determine the project is Categorical Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities). This is recommended because the project is limited to 1) the expansion of an indoor restaurant into two adjacent suites of a developed commercial building where no changes to the building footprint are necessary and the use of shared parking for the center, 2) modify the alcohol service from a Type 41 License to Type 47 to allow the sale of full alcohol; and

WHEREAS, on October 13, 2022, and October 27, 2022, the City's Development Management Team (DMT) reviewed the proposed project and determined it complies with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, on December 21, 2022, the Planning Commission of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Planning Commission of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Planning Commission hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Planning Commission as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities).

The Class 1 exemption specifically exempts from further CEQA review the operation, repair, maintenance, and minor repair of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. This exemption covers, but is not limited to, interior or exterior alterations, additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. Here, the proposed project consists of 1) expansion of the existing restaurant into the adjacent two suites of the established commercial center, 2) allowing the sale of full alcohol, and 2) utilization of a shared parking agreement for the center. The project does not change the existing general use of the site. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place over time. Full-service alcohol for restaurants and shared parking on nonresidential properties require a discretionary review that ensures potential impacts are mitigated. The subject zone allows a variety of uses, beyond restaurants, such as retail, hair salons, offices, etc., that are currently operating on-site. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. There are no especially sensitive resources (endangered species, wetlands, etc.) on the project site or in the vicinity. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource. The project is located in a developed industrial zone with no historical resources nearby. Thus, the Class 1 exemption applies, and no further environmental review is required.

Section 3. Conditional Use Permit Findings

With respect to Conditional Use Permit (CUP) 22-071 for the full alcohol service, the Planning Commission finds as follows:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of Title 17, the San Clemente Municipal Code, the San Clemente General Plan, and the purpose and intent of the zone in which the use is being proposed, in that:
 1. The restaurant's service of full alcohol is conditionally permitted in the Community Commercial 2 (CC2) Zoning District;

- B. The proposed expansion of the restaurant with the sale of full alcohol is consistent with General Plan Policy LU-7.01 in that the project enhances a distinct service to the plaza as a restaurant. The use is sensitive to nearby residential properties in that it is limited to indoor operations only and does not include amplified sound or live entertainment. Additionally, the expansion of the fine dining restaurant contributes to the mix of uses in the center to better serve the nearby residential uses and the community; and
- C. The site is suitable for the type and intensity of use that is proposed, in that:
1. No physical changes to the site are required since the expansion is into already existing square footage of adjacent vacant suites and the request is limited to the sale of full alcohol, which will be consumed on-site and indoors in conjunction with the restaurant use;
 2. The site, in conjunction with a shared parking agreement, provides sufficient parking spaces to accommodate the expanded restaurant with the service of full alcohol; and
 3. The subject site was designed and approved for commercial uses, such as restaurants that serve full alcohol.
- D. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity, in that:
1. The City's Code Compliance Department, the Orange County Sheriff's Department, and the Department of Alcoholic Beverage Control, support the request and have no issues with the existing restaurant;
 2. The restaurant must continue to comply with all code requirements, including but not limited to the Fire Code, California Building Code, Alcoholic Beverage Control (ABC), and the San Clemente Municipal Code, including requirements for employees to receive Responsible Alcoholic Beverage Service Training to avoid the sale of alcoholic beverages to minors for consumption; and
 3. The project is conditioned to ensure it incorporates best management practices to mitigate noise impacts on neighboring properties.
- E. The proposed use will not negatively impact surrounding land uses, in that:
1. The use must comply with the City's Noise Ordinance and the closest residence is approximately 500 feet north from the commercial building;
 2. The restaurant use with full range alcohol service is conditioned with limited hours of operation and seating restrictions that maintain adequate parking on site, in conjunction with the shared parking agreement requirement; and

Section 4. Minor Conditional Use Permit Findings

With respect to Minor Conditional Use Permit (MCUP) 22-420 for the shared parking agreement, the Planning Commission finds as follows:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Minor Conditional Use Permit and complies with all the applicable provisions of Title 17 of the San Clemente Municipal Code, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed, in that:
1. Per the Zoning Ordinance, parking requirements can be met through the establishment of a shared parking agreement that allows flexibility in the overall parking demand for a commercial center when different businesses operate at off-peak times with approval of a Minor Conditional Use Permit;
 2. The request provides opportunities for 1) the proposed use to operate in compliance with parking requirements and 2) the use of a shared parking agreement that allows businesses to operate at off-peak times to increase parking efficiency with available parking for the site, which is consistent with General Plan M-4.04. Alternative Parking Strategies, which states, *"We consider alternative parking strategies that address multi-modal parking needs, improve land use efficiency and enhance environmental quality, such as use of energy-saving/generating features, demand-based parking strategies, stacking, alternative paving, and accommodating multiple uses."*; and
 3. The request maintains the permitted commercial uses of the site with the expansion of the restaurant.
- B. The site is suitable for the type and intensity of use that is proposed, in that:
1. No physical changes to the site are required since the request is limited to the expansion of the existing restaurant into existing square footage of the vacant suites and allowing the use of parking spaces through the establishment of a shared parking agreement;
 2. The parking survey verifies proposed restaurant expansion and the proposed mix of uses with off-peak operational times will not result in a parking deficiency for the center as the peak utilization of parking is 39 percent; and
 3. The request maintains the permitted commercial uses of the site and supports the expansion of the restaurant.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity,

in that:

1. No physical changes to the site are required since the request is limited to allowing the use of parking spaces through the establishment of a shared parking agreement;
2. The request maintains the permitted commercial uses of the site, and supports the expansion of the restaurant;
3. The request provides opportunities for 1) the proposed use to operate in compliance with parking requirements, and 2) the use of a shared parking agreement that allows businesses to operate at off-peak times to increase parking efficiency with available parking for the site; and
4. The shared parking agreement must be reviewed and approved by the City Attorney prior to the expansion of the restaurant to ensure the existing business are not impacted and the center's shared parking functions as intended.

D. The proposed use will not negatively impact surrounding land uses, in that:

1. No physical changes to the site are required since the request is limited to the establishment of a shared parking agreement to increase parking efficiency with available parking for the site;
2. The request maintains the permitted commercial uses of the site and supports the expansion of the restaurant with full alcohol service and shared parking;
3. The request provides opportunities for 1) the proposed use to operate in compliance with parking requirements and 2) the use of underutilized parking spaces in the commercial center to relieve potential traffic and parking congestion in the vicinity while allowing the restaurant to expand and operate at off-peak times with the other uses of the center; and
4. The parking survey verifies proposed restaurant expansion and the proposed mix of uses with off-peak operational times will not result in a parking deficiency for the center as the peak utilization of parking is 39 percent.
5. The shared parking agreement must be reviewed and approved by the City Attorney prior to the expansion of the restaurant to ensure the existing businesses are not impacted and the center's shared parking functions as intended.

E. Given the specific conditions of the site and the adjacent area, the shared parking arrangement will not result in inadequate parking in that:

1. The parking survey verifies that the expanded restaurant operations, as conditioned, and the mix of uses in the center will operate at off-peak times to not create a parking deficiency. The survey confirmed that the peak utilization

of parking is 39 percent with the current mix of uses; therefore, the expanded restaurant will not impact the center's parking as conditioned.

2. The restaurant's expanded area into suites 372 and 374 will not be permitted from 8:00 am to 5:00 pm to ensure there is adequate parking for all of the business in the center.
 3. The shared parking agreement must be reviewed and approved by the City Attorney prior to the expansion of the restaurant to ensure the existing businesses are not impacted and the center's shared parking functions as intended.
- F. The shared parking arrangement does not intensify the nonconformity, and/or any intensification can be accommodated because of varied hours of operation and/or combinations of peak and off-peak uses.
1. The expanded restaurant area into suites 372-374 will not be utilized during normal business hours (8:00 am to 5:00 pm) to ensure that when all uses in the center are operating at the same time there is an adequate supply of parking. In the evenings, the restaurant would operate at full capacity when the other business are closed to ensure there is available parking as a result of the combinations of peak and off-peak uses with no intensification for the parking nonconformity.
 2. The parking survey verifies that the expanded restaurant operations, as conditioned, and the mix of uses in the center will operate at off-peak times to not create a parking deficiency. The survey confirmed that the peak utilization of parking is 39 percent with the current mix of uses; therefore, the expanded restaurant will not impact the center's parking
 3. The shared parking agreement must be reviewed and approved by the City Attorney prior to the expansion of the restaurant to ensure the existing businesses are not impacted and the center's shared parking functions as intended.

Section 5. Planning Commission Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Planning Commission approves Conditional Use Permit 22-071/Minor Conditional Use Permit 22-420, Flights and Irons and Shared Parking Agreement, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Planning Commission on December 21, 2022.

Chair

CERTIFICATION:

I HEREBY CERTIFY this Resolution was adopted at a regular meeting of the City of San Clemente Planning Commission on December 21, 2022, carried by the following roll call vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSTAIN:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:

Attest:

Secretary of the Planning Commission

CONDITIONS OF APPROVAL
 CONDITIONAL USE PERMIT 22-071/MINOR CONDITIONAL USE PERMIT 22-420,
 FLIGHTS AND IRONS AND SHARED PARKING AGREEMENT

1.0 GENERAL CONDITIONS OF APPROVAL

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| 1.1 | Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgment concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner. | Planning |
| 1.2 | The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180. | Planning |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. | All |
| 1.5 | Use of the subject property shall conform to all occupancy requirements, including posting of signs related to the maximum occupancy limitations. | Code
Comp |
| 1.6 | Conditional Use Permit 22-071/Minor Conditional Use Permit 22-420 shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the | Planning |

approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150.

- 1.7 The applicant, or designee, shall submit to the City Planner, and must obtain approval from the City Attorney's Office, a shared parking agreement from the property owner. The shared parking agreement shall include the following provision:
- a. A statement indicating that the shared parking agreement shall be effective for the duration of the use for which parking is provided.
 - b. During weekday business hours, the seating area in suites 372-374 shall be limited to 50 percent capacity and not to exceed 20 seats for restaurant service to ensure there is adequate parking during normal business (9:00 am to 5:00 pm) hours.
- 1.8 The shared parking agreement shall follow the City's shared parking agreement template, unless the City Attorney determines another template is satisfactory.
- 1.9 Upon approval of the shared parking agreement by the City Attorney's Office, the applicant, or designee, shall record the shared parking agreement and provide a recorded copy to the Planning Division, prior to the use of suites 372-374 Camino De Estrella for Flights and Irons.
- 1.10 The shared parking agreement shall be effective for the duration of the use for which the parking is provided.
- 4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS**
- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution.
- 4.2 If the project pertains to a Food Service Establishment (FSE), the applicant shall submit, and the City Utilities Director shall approve, plans depicting the Fats, Oils, and Greases (FOG) controls, with the plans and design approved by the Orange County Health Care Agency.
- 7.0 OPERATIONAL CONDITIONS OF APPROVAL**
- Businesses Selling Alcoholic Beverages**
- 7.1 The sale of beer, wine, liquor and spirits for on-site indoor

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- consumption shall be limited to the hours of Tuesday through Friday 11:00 am to 12:00 am, Saturday and Sunday 10:00 am to 12:00 am. Any proposed change to the restaurant hours shall require an amendment to Conditional Use Permit (CUP) 22-071. *
- 7.2 All employees shall receive Responsible Alcoholic Beverage Service training as offered through programs established by the Orange County Health Care Agency and Alcoholic Beverage Control of the State of California. Training shall be provided as soon as practical following the hire date of each employee. Evidence of such training shall be maintained on-site during business hours, and made available for inspection by any city official upon request. (SCMC Section 17.16.070). Code Comp
- 7.6 A manager shall be on the premises at all times, and available to respond to issues raised by representatives from the Orange County Sheriff's Department, Orange County Fire Authority, or City of San Clemente Code Compliance, during the hours of operation when alcohol service occurs. Code Comp
- 7.7 These conditions of approval shall be posted in a conspicuous location clearly visible to employees to ensure they are informed of and adhere to requirements and policies for all operations of the business, including but not limited to alcohol service, when applicable. Code Comp
- 7.8 The use of amplified sound (including the electronically amplified sound of live music, human voice, or other sound within a business, restaurant, bar, or other commercial establishment) shall not be permitted. This prohibition does not include televisions, radios, or reasonable background or ambient music. Code Comp
- 7.9 During weekday business hours of 8:00 am to 5:00 pm, the seating area in suites 372-374 shall not be used to ensure adequate parking during normal business hours. Planning **
- Parking**
- 7.10 If subsequent to the project approval the City Planner determines that parking issues are negatively affecting the project site, adjacent properties, or the surrounding street network, the applicant shall submit an amendment to Conditional Use Permit 22-071/Minor Conditional Use Permit 22-420 with a plan to address the parking and/or traffic issues. The plan may include revisions to the shared parking agreement, creating short-term parking stalls, and/or active monitoring and enforcement to manage parking. The applicant shall be responsible for implementing the parking management plan, at their expense. The amendment shall be Planning *

subject to Community Development Director review and approval, pursuant to Zoning Ordinance Section 17.12.180.

- 7.11 The City Planner may permit occasional special events or a change in the business operations of the restaurant if the request is in substantial compliance with Conditional Use Permit 22-071/Minor Conditional Use Permit 22-420 and there is no potential for negative impacts to the center's parking. Significant modifications would require an amendment to Conditional Use Permit 22-071/Minor Conditional Use Permit 22-420.

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* Denotes a modified Standard Condition of Approval


** Denotes a project-specific Condition of Approval

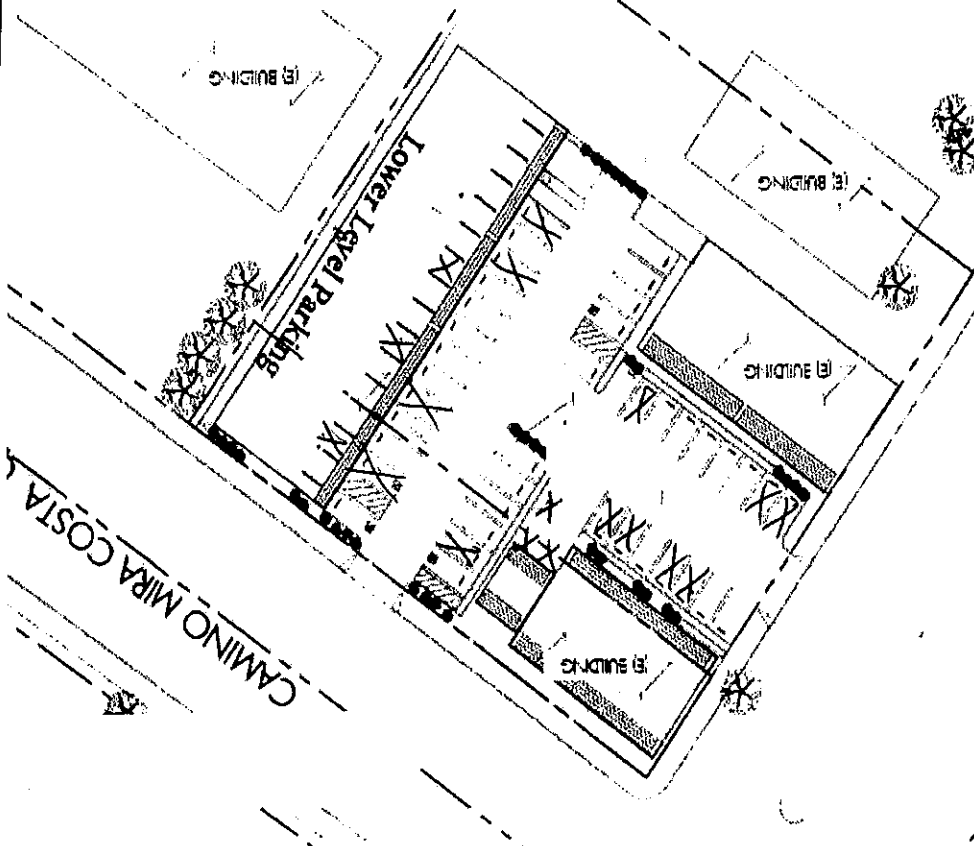


LOCATION MAP

Flights and Irons Full Alcohol and Parking Agreement
372-378 Camino De Estrella

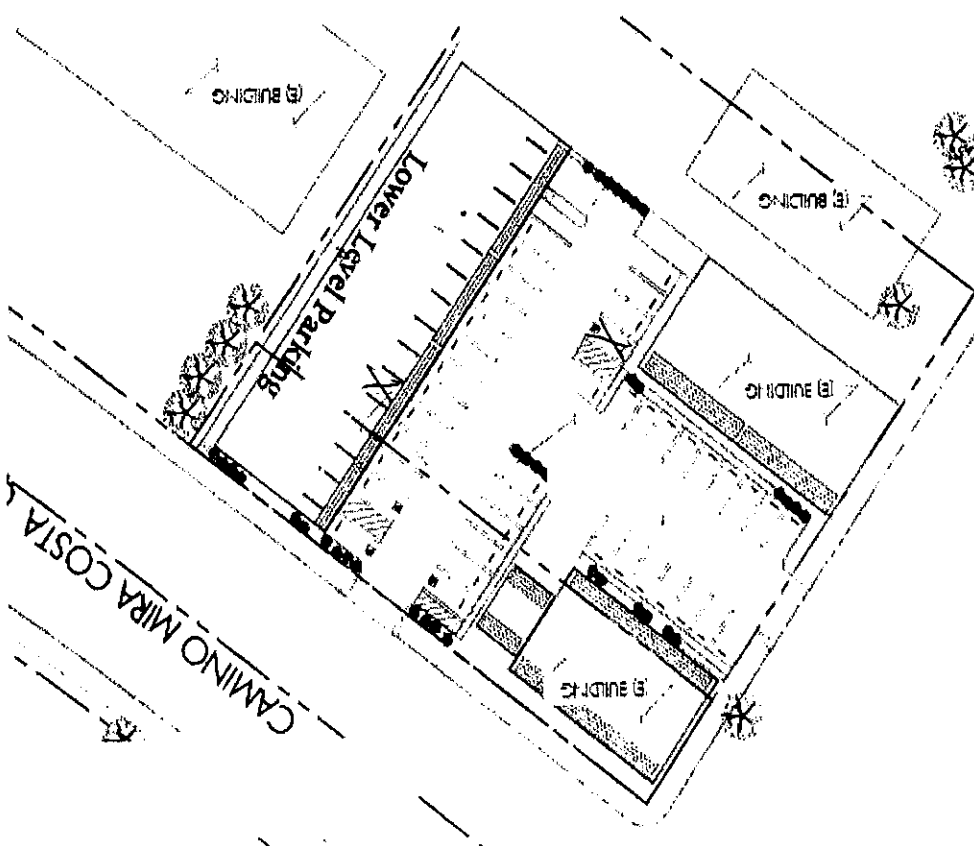


No scale 



Parking Survey
 Day : Monday , November 28
 Time: 12:05 PM

(18)

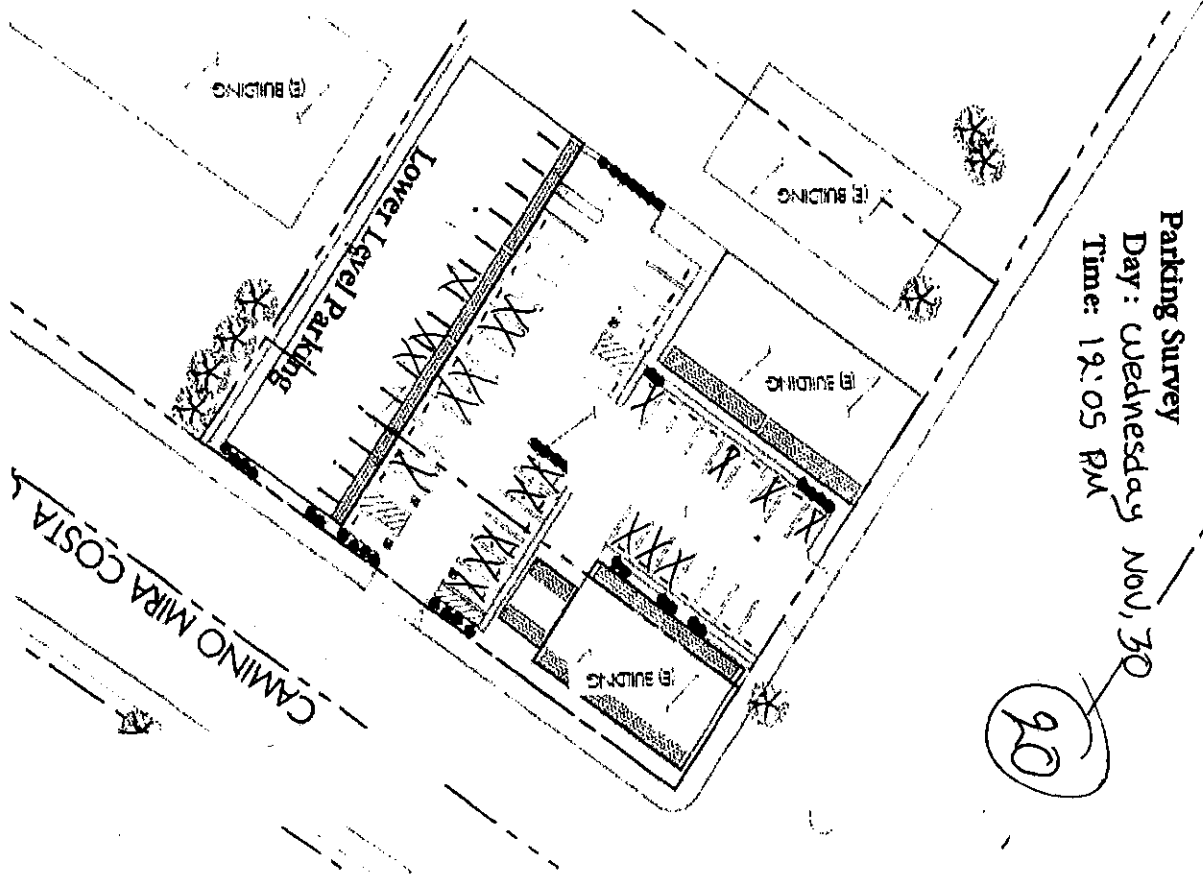


Parking Survey
 Day : Monday , November 28
 Time: 7:00 PM

(2)

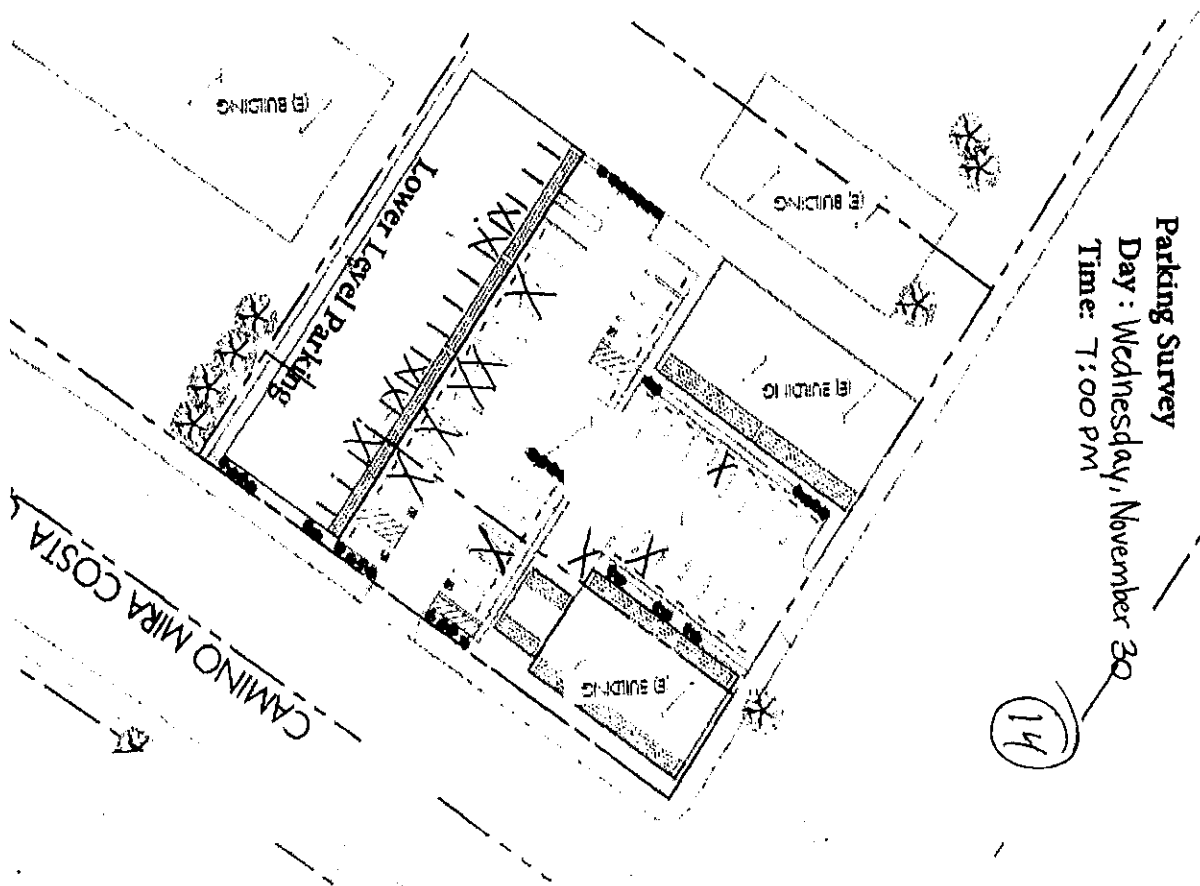
Parking Survey
Day: Wednesday Nov, 30
Time: 12:05 PM

90



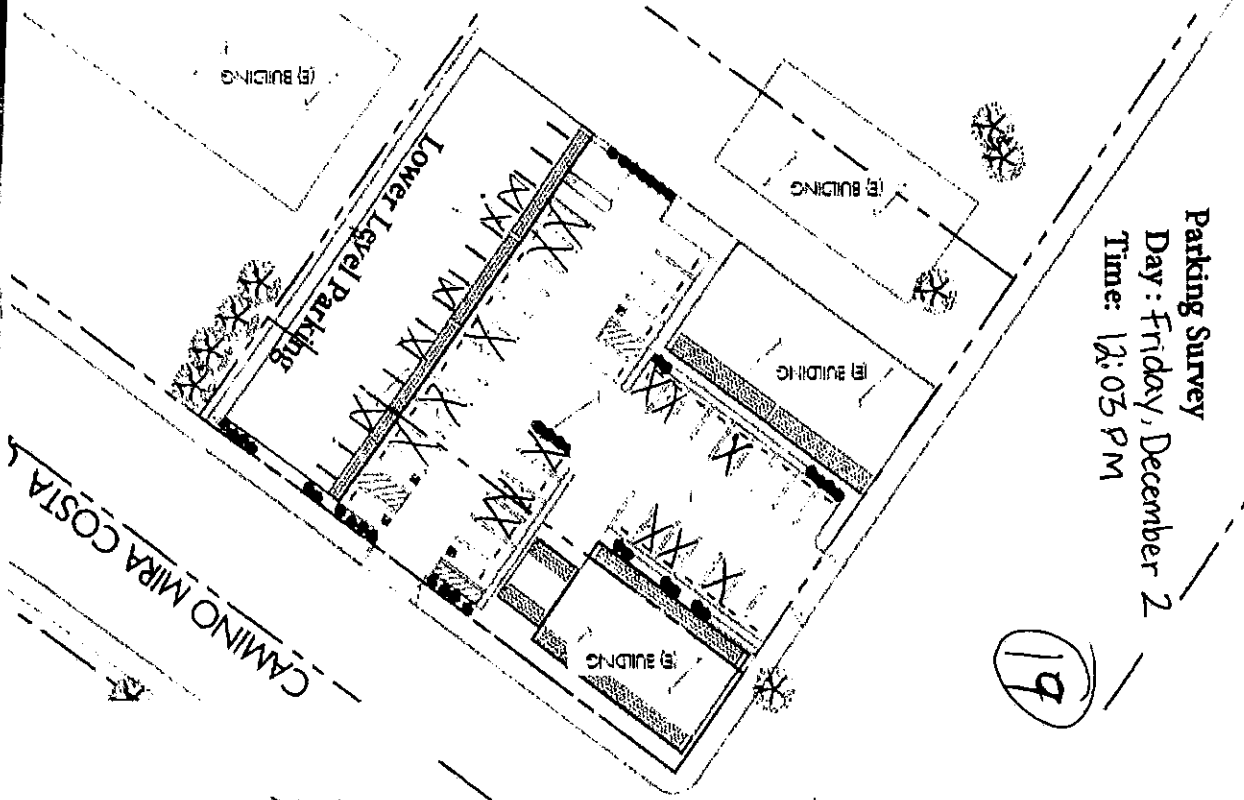
Parking Survey
Day: Wednesday, November 30
Time: 7:00 PM

14



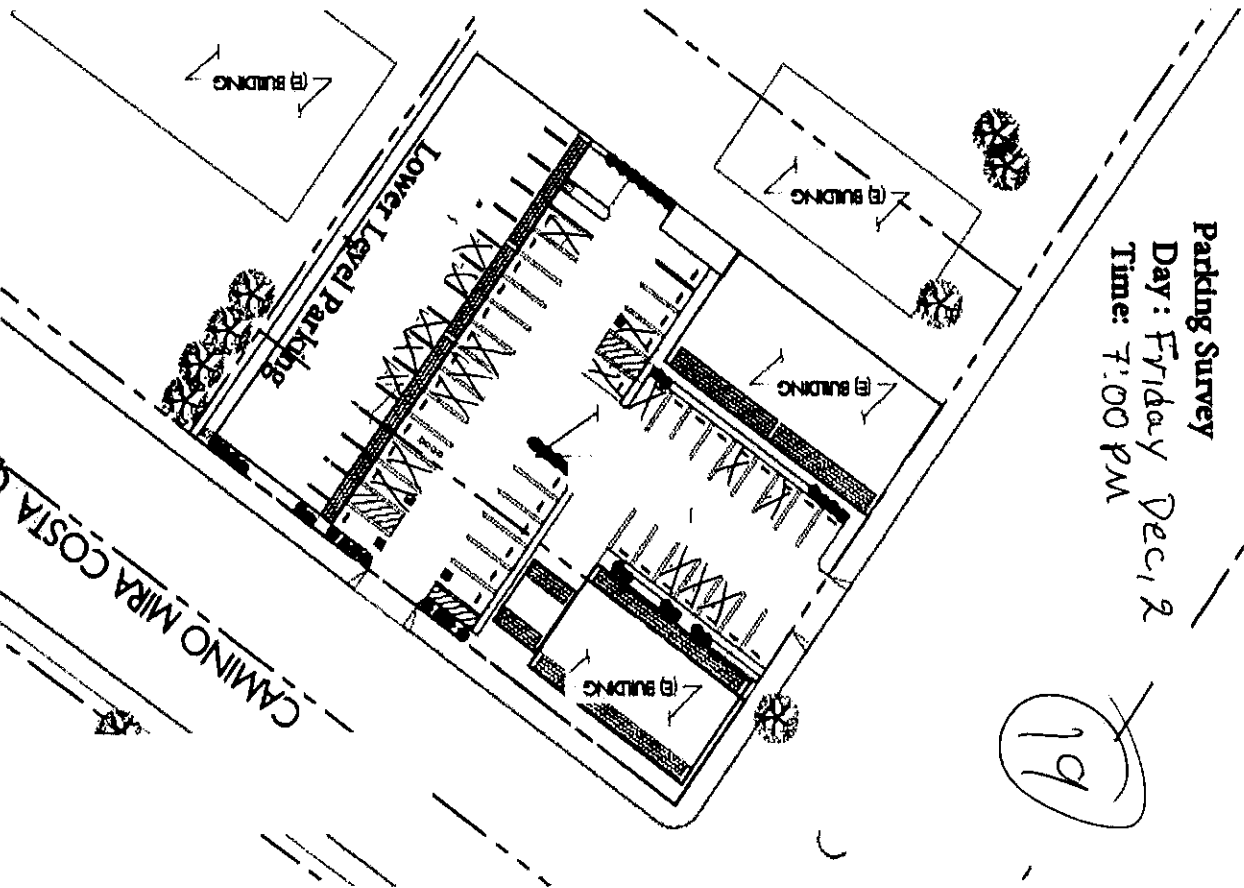
Parking Survey
Day: Friday, December 2
Time: 12:05 PM

19



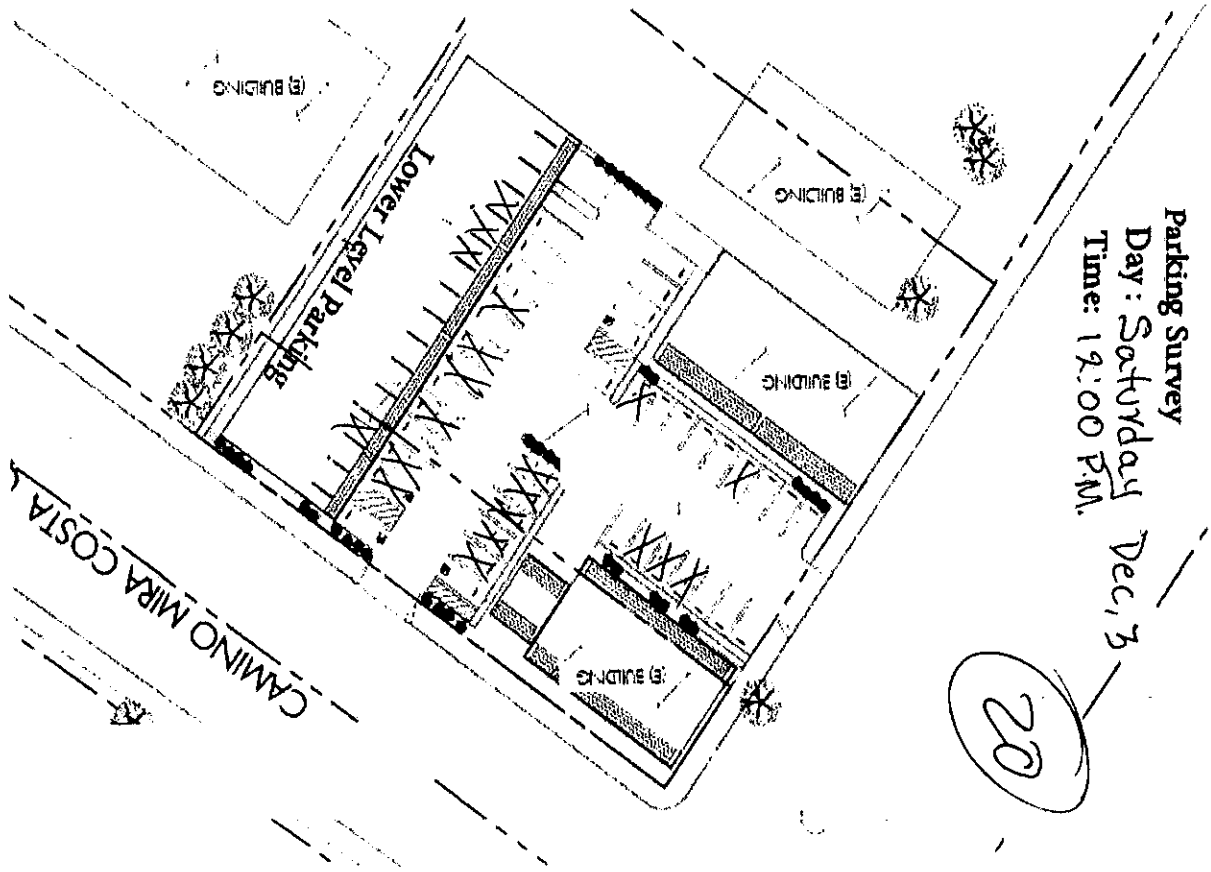
Parking Survey
Day: Friday Dec 2
Time: 7:00 PM

19



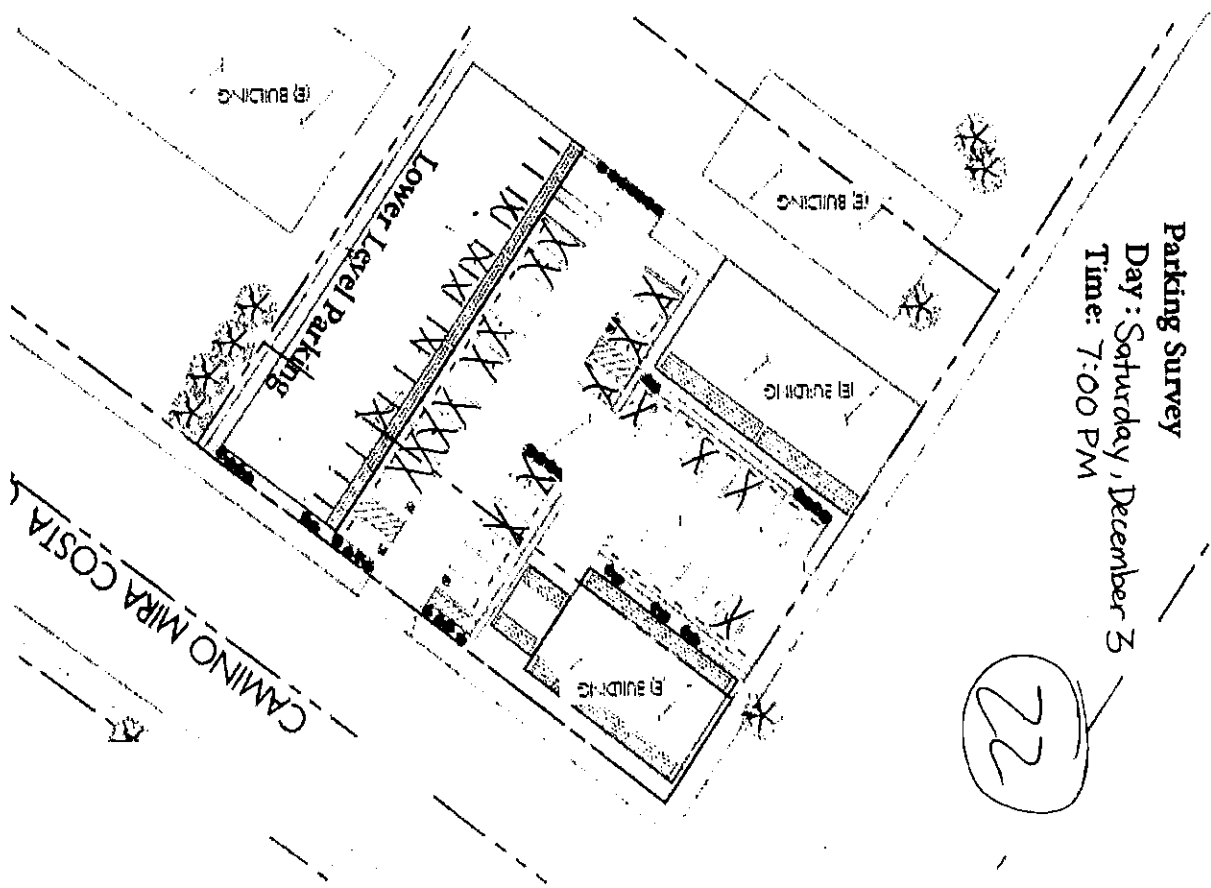
Parking Survey
Day: Saturday Dec, 3
Time: 19:00 PM.

20



Parking Survey
Day: Saturday, December 3
Time: 7:00 PM

22



General Plan Consistency

Policies and Objectives	Consistency Finding
<p>1. Land Use Element Primary Goal 2, which states, “Achieve the City’s Vision by establishing and maintaining balance of uses that provides distinct and vibrant commercial and industrial areas offering a range of retail, service and employment uses that complement rather than compete with one another”</p>	<p>Consistent. The proposed expansion to the restaurant with the sale of full alcohol results a mixture of uses within the Palisades Plaza that complement each other. The fine dining restaurant that serves adjacent residences and the community.</p>
<p>2. LU-2.03. Neighborhood Compatibility. We require that commercial projects abutting residential neighborhoods be designed and operated to protect residents from the effects of noise, light, odors, vibration traffic, parking and other operational impacts.</p>	<p>Consistent. The proposed use adds a distinct service to the plaza and is sensitive to nearby residential properties in that the use is limited to indoor operations only, does not include amplified sound or live entertainment, and is separated from residential properties by Camino De Estrella which mitigates potential noise impacts.</p>
<p>3. LU-7.01. Commercial Areas. We support the continuation and enhancement of commercial centers that meet the needs of community residents, are compatible with adjacent residential neighborhoods, and are well-maintained.</p>	<p>Consistent. The proposed expansion of the restaurant enhances a distinct service to the plaza as a fine dining restaurant. The use is sensitive to nearby residential properties in that the use is limited to indoor operations only, does not include amplified sound or live entertainment. The expansion of the fine dining restaurant contributes to the mix of uses, such as medical offices, retail shops, restaurants, and personal services, within the vicinity to serve the nearby residential uses and community.</p>

5. M-4.04. Alternative Parking Strategies. We consider alternative parking strategies that address multi-modal parking needs, improve land use efficiency and enhance environmental quality, such as use of energy-saving/generating features, demand-based parking strategies, stacking, alternative paving, and accommodating multiple uses.

The request provides opportunities for 1) the proposed use to operate in compliance with parking requirements, and 2) the use of unoccupied during off-peak times for the efficient use of the private parking facility.



December 8, 2022

City of San Clemente
Attn: Planning Division
910 Calle Negocio
San Clemente, CA 92673

**Re: Conditional Use Permit 22-071 and Minor Conditional Use Permit 22-420 for
Flights & Irons Full Alcohol, Expansion and Shared Parking at
372 – 378 Camino De Estrella, San Clemente, CA 92673**

To Whom It May Concern,

This letter is to serve as acknowledgement and authorization given by KERAV, LLC, as Landlord, to Grassroots Culinary Group, LLC DBA: Flights and Irons, as Tenant, to expand into and serve alcohol at 372 - 374 Camino De Estrella.

Flights and Irons has been a tenant located in the 376 – 378 Camino De Estrella suites since October 18, 2017 and there has been no issues with the current alcohol service in these suites. Upon executing the First Amendment to Lease dated August 27, 2021, which expanded Flights & Irons into the 372 – 374 suites, it was understood that alcohol service would be extended into the expansion suites. Therefore, KERAV, LLC supports the conditional use and full alcohol permit for Flights and Irons at 372 – 378 Camino De Estrella.

As always, if you have any questions, please do not hesitate to call or email me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Joe', is written over a light blue horizontal line.

Joseph C. Altman, CPM®
First Vice President, Evanco Realty Advisors, Inc.
As property manager and agent for the owner, KERAV, LLC
Broker License #01916800

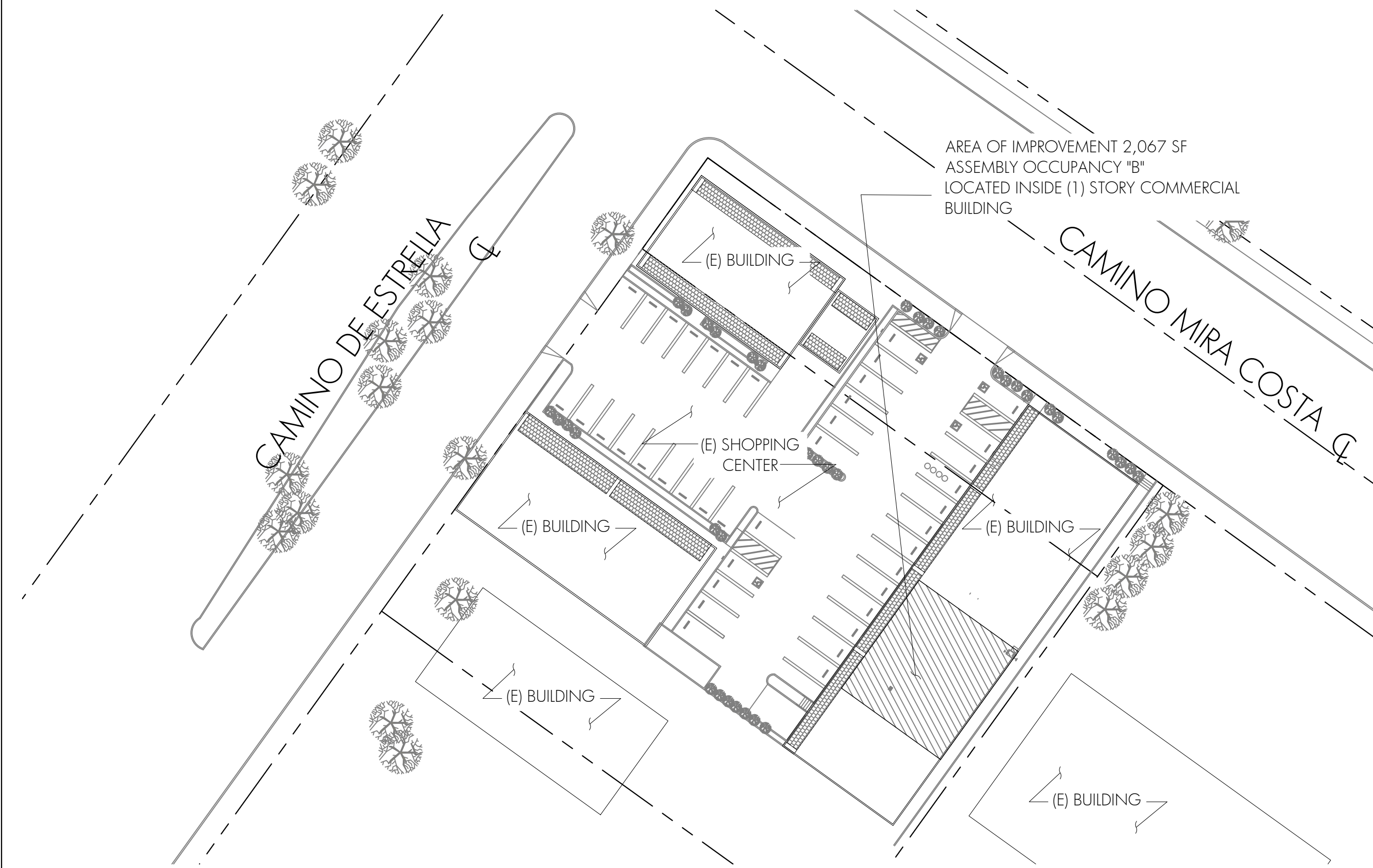
cc: KERAV, LLC
Craig S. Evanco, CPM®
Helen Young, CPA
Elaine Lindeen





FLIGHTS & IRONS

376 CAMINO DE ESTRELLA
SAN CLEMENTE, CA 92672



FLIGHTS & IRONS

376 CAMINO DE ESTRELLA
SAN CLEMENTE, CA 92672



JORGE LINA MIGLIOZZI, ARCHITECT
(949) - 697-7749
22195 EL PASEO SUITE # 250
RANCHO SANTA MARGARITA, CA 92688

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LOCAL CODES.

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen)

NPDES NOTES

- IN THE CASE OF EMERGENCY, CALL @ WORK PHONE OR HOME PHONE # Victor Sandoval (909) 630-4505
- SEDIMENT M AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOODS HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GULES, UNES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND FLAMMABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL QUALITY CONTROL BOARD
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN ALWAYS FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES
- THE PERMITEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION
- THE PERMITEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS
- THE PERMITEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS, THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF

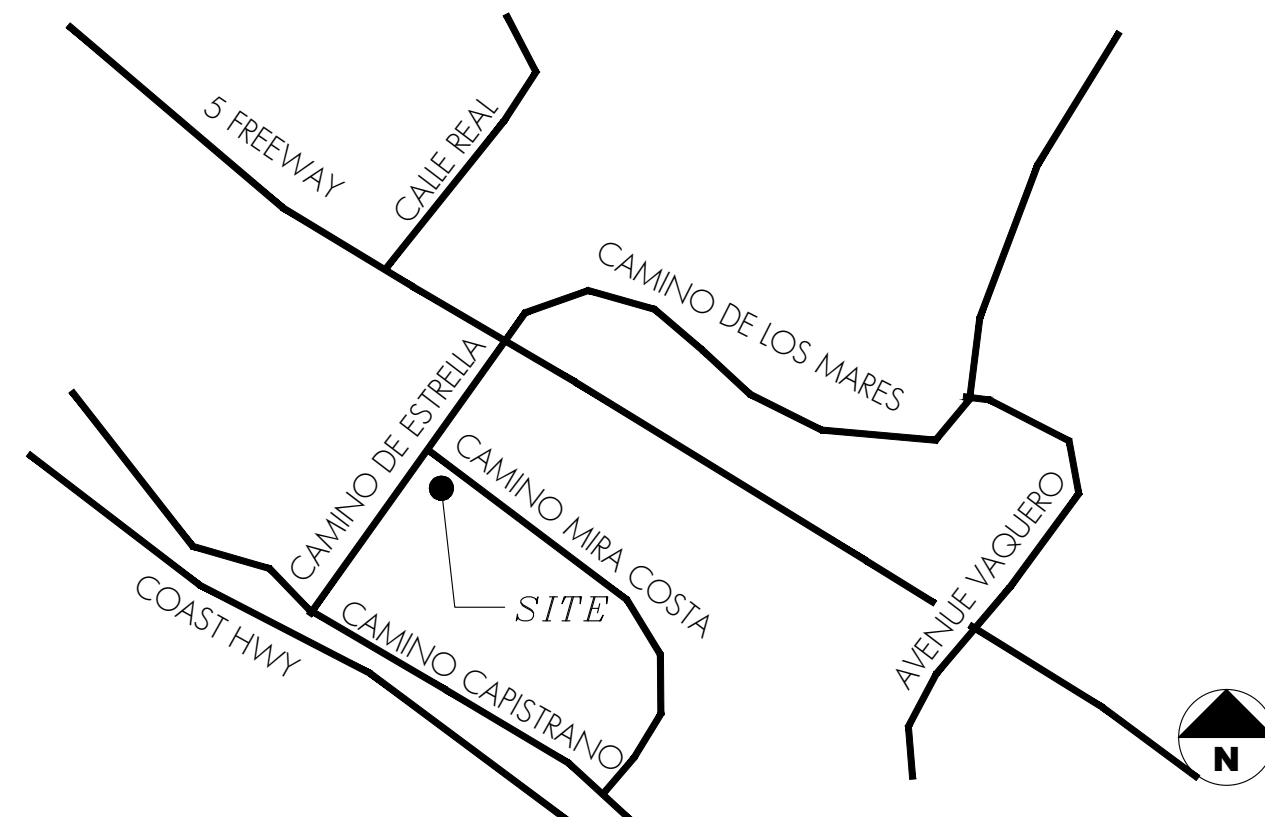
PROJECT DESCRIPTION

PROJECT CONSISTS OF THE TENANT IMPROVEMENT OF A SPACE LOCATED INSIDE AN EXISTING COMMERCIAL BUILDING. THE USE OF THE SPACE IS ASSEMBLY FOR EVENTS & RETAIL SALES. SCOPE OF WORK:
-(N) NON LOAD BEARING WALLS
-NEW PAINT
-NEW BAR
AREA OF IMPROVEMENT : 2,067 APPROX
HOURS OF OPERATION:
11:00 AM TO 12:00 AM TUESDAY - FRIDAY
10:00 AM TO 12:00 AM SATURDAY & SUNDAY
PROPOSED # EMPLOYEES: 3
PROPOSED # NUMBER OR SEATS IN RESTAURANT: 82 ^A 56 PARKING SPACES PROVIDED

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2.0	NON-RESIDENTIAL CAL GREEN CODE REQUIREMENTS
T-2.1	NON-RESIDENTIAL CAL GREEN CODE REQUIREMENTS
T-2.2	NON-RESIDENTIAL CAL GREEN CODE REQUIREMENTS
T-3	ACCESSIBILITY DETAILS
T-4	DETAILS & NOTES
A-0.1	OVERALL SITE PLAN
A-0.2	DEMO FLOOR PLAN
A-1.0	FLOOR PLAN
A-1.1	DIMENSION FLOOR PLAN
A-2.0	ENLARGED BATHROOMS FLOOR PLANS & SCHEDULES
A-3.0	RCP & EQUIPMENT PLAN
A-4.0	ELEVATIONS
A-6.0	DETAILS
-	MAIN RESTAURANT EQUIPMENT FLOOR PLAN AS REFERENCE

VICINITY MAP



PROJECT DIRECTORY

TENANT:	VICTOR SANDOVAL 376 CAMINO ESTRELLA SAN CLEMENTE, CA 92627
ARCHITECT:	JORGE LINA MIGLIOZZI (949) 697-7749 22195 EL PASEO SUITE #250 RANCHO SANTA MARGARITA, CA 92688

PROPERTY INFORMATION

A.P.N.:	691-111-12
LEGAL DESCRIPTION:	
JURISDICTION:	CITY OF SAN CLEMENTE
CURRENT ZONING:	CC-2 COMMUNITY COMMERCIAL
ADDRESS:	372 CAMINO ESTRELLA SAN CLEMENTE, CA 92672
TYPE OF CONSTRUCTION:	VB
OCCUPANCY TYPE:	B - COMMERCIAL, LESS THAN 50 OCCUPANTS
NUMBER OF STORIES:	1
SPRINKLERS:	NO

AREA ANALYSIS

TI	2,067 SF
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DEFERRED APPROVALS

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GENERAL CONTRACTOR NOTES

CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHEET ISSUE & REVISION LOG

date	comments
04/18/2022	Preliminary Design
04/25/2022	Client Comments
05/10/2022	City Submittal
07/11/2022	City Comments
07/11/2022	Health Department Comments

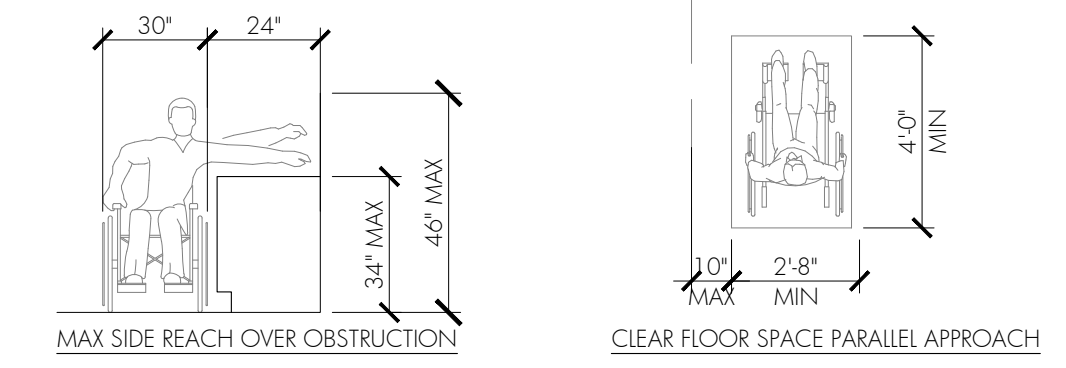
SCOPE:

TENANT IMPROVEMENT

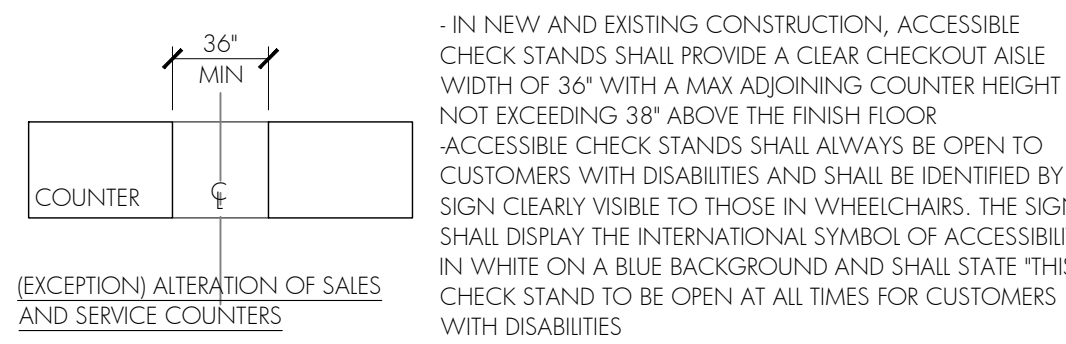
TITLE SHEET

PAGE:

T-1



NUMBER OF CHECK-OUT AISLES OF EACH FUNCTION	MINIMUM NUMBER OF CHECK-OUT AISLES OF EACH FUNCTION REQUIRED TO COMPLY WITH 11B.904.3
1 TO 4	1
5 TO 8	2
9 TO 15	3
16 AND OVER	3, PLUS 20 PERCENT OF ADDITIONAL AISLES



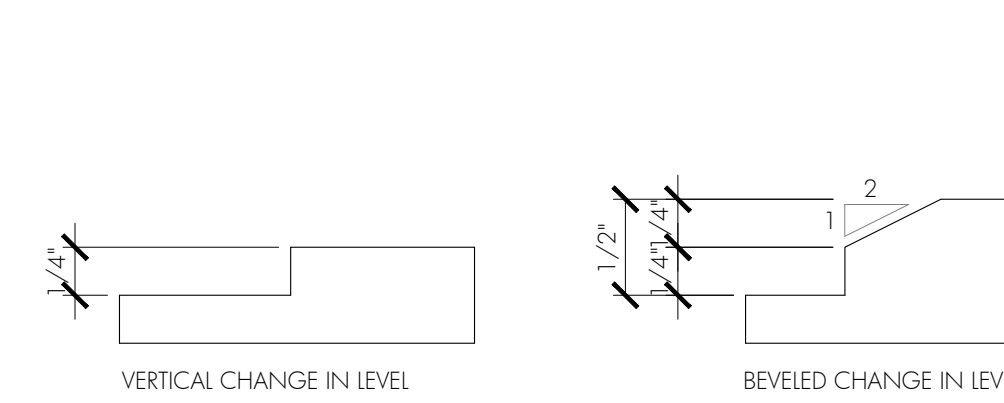
COUNTERTOP REQUIREMENTS 16

EXTERIOR ROUTES OF TRAVEL MUST COMPLY WITH SECTION 111.0A AND 11B.303 OF THE 2019 CALIFORNIA BUILDING CODES.

- FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- EXTERIOR ACCESSIBLE ROUTE: WHEN A BUILDING OR PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, ACCESSIBLE BUILDING ENTRANCES AND BETWEEN THE BUILDING AND THE PUBLIC WAY. THE ACCESSIBLE ROUTE SHALL BE THE MOST PRACTICAL DIRECT ROUTE AND TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE WITH THE ROUTE FOR THE GENERAL PUBLIC AND BUILDING RESIDENTS. EXTERIOR ACCESSIBLE ROUTES SHALL BE PROVIDED AS FOLLOWS:
 - WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.
 - AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING AND UNLOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE.
 - AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS AND SPACES THAT ARE ON THE SAME SITE AS WELL AS COVERED MULTIFAMILY DWELLING UNITS. ACCESSIBLE ROUTES SHALL BE PROVIDED BETWEEN ACCESSIBLE BUILDINGS AND ACCESSIBLE SITE FACILITIES WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE.
 - AN ACCESSIBLE ROUTE SHALL CONNECT AT LEAST ONE ACCESSIBLE ENTRANCE OF EACH COVERED MULTIFAMILY DWELLING UNIT WITH EXTERIOR SPACES AND FACILITIES THAT SERVE THE DWELLING UNIT.
 - WHERE ELEVATORS ARE PROVIDED FOR VERTICAL ACCESS, ALL ELEVATORS SHALL BE ACCESSIBLE. SEE SECTION 112.4A OF THE 2019 CBC.
- NOTE: IF THE SLOPE OF THE FINISHED GRADE BETWEEN COVERED MULTIFAMILY DWELLINGS AND A PUBLIC USE OR COMMON USE FACILITY (INCLUDING PARKING) EXCEEDS 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.33 PERCENT SLOPE), OR WHERE OTHER PHYSICAL BARRIERS (NATURAL OR ARTIFICIAL) OR LEGAL RESTRICTIONS, ALL OF WHICH ARE OUTSIDE THE CONTROL OF THE OWNER, PREVENT THE INSTALLATION OF AN ACCESSIBLE ROUTE, AN ACCEPTABLE ALTERNATIVE IS TO PROVIDE ACCESS BY A VEHICULAR ROUTE, PROVIDED:
 - THERE IS ACCESSIBLE PARKING ON AN ACCESSIBLE ROUTE FOR AT LEAST 2 PERCENT OF THE COVERED MULTIFAMILY DWELLING UNITS, AND
 - NECESSARY SITE PROVISIONS SUCH AS PARKING SPACES AND CURB RAMPS ARE PROVIDED AT THE PUBLIC USE OR COMMON USE FACILITY.
- SIGNS. AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION WHERE THE ACCESSIBLE ROUTE DIVERGES FROM THE CIRCULATION PATH ALONG OR LEADING TO AN ACCESSIBLE ROUTE, ENTRANCE OR FACILITY, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES AND SHALL COMPLY WITH THE REQUIREMENTS FOUND IN SECTION 114.3A.2 OF THE 2019 CBC.
- FLOORING, FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. IF CARPET OR CARPET TILE IS USED IN A COMMON USE AREA OR PUBLIC USE AREA ON A GROUND OR FLOOR SURFACE, IT SHALL HAVE FIBER BACKING OR NO BACKING. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/LOUPE PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH (12.7 MM). EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH SECTION 111.1.1 REQUIREMENTS FOR CHANGES IN LEVEL.
- RECESSED DOORWAYS. RECESSED DOORWAYS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.
- EXTERIOR ACCESSIBLE ROUTES OVER 200 FEET. EXTERIOR ACCESSIBLE ROUTES THAT EXCEED 200 FEET (60 960 MM) IN LENGTH SHALL COMPLY WITH SECTION 113.8A.1.2.

CHANGES IN LEVEL ON ACCESSIBLE ROUTES MUST COMPLY WITH SECTION 111.1.A AND 11B.303 OF THE 2019 CALIFORNIA BUILDING CODES.

- CHANGES IN LEVEL NOT EXCEEDING 1/2 INCH. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH (12.7 MM) WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50 PERCENT SLOPE). CHANGES IN LEVEL NOT EXCEEDING 1/4 INCH (6.35 MM) MAY BE VERTICAL.
- CHANGES GREATER THAN 1/2 INCH. CHANGES IN LEVEL GREATER THAN 1/2 INCH (12.7 MM) SHALL BE MADE BY MEANS OF A SLOPE SURFACE NOT GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) OR A CURB RAMP, RAMP, ELEVATOR OR PLATFORM. (WHEELCHAIR) LIFT. STAIRS SHALL NOT BE PART OF AN ACCESSIBLE ROUTE. WHEN STAIRS ARE LOCATED ALONG OR ADJACENT TO AN ACCESSIBLE ROUTE THEY SHALL COMPLY WITH SECTION 111.5A OF THE 2019 CBC FOR EXTERIOR STAIRWAYS.



ACCESSIBLE ROUTES MUST COMPLY WITH THE SECTION 111.6A AND 11B.307 OF THE 2019 CALIFORNIA BUILDING CODES.

WARNING: CURBS: ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES (101.6 MM) IN VERTICAL DIMENSION, SUCH AS CHANGES IN LEVEL AT FOUNTAINS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS OR OTHER APPROVED BARRIERS PROJECTING AT LEAST 6 INCHES (152.4 MM) IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF.

EXCEPTIONS:

- BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY.
- WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED WITH EDGE PROTECTION IN ACCORDANCE WITH SECTION 1101.10.1 OF THE 2019 CBC.

HEADROOM CLEARANCE: WALKS, PEDESTRIAN WAYS, AND OTHER CIRCULATION SPACES, WHICH ARE PART OF THE REQUIRED EGRESS SYSTEM, SHALL HAVE A MINIMUM CLEAR HEADROOM AS REQUIRED IN SECTION 1003.2 OF THE 2019 CBC. OTHER WALKS, PEDESTRIAN WAYS, AND CIRCULATION SPACES SHALL HAVE A MINIMUM CLEAR HEADROOM OF 80 INCHES (2032 MM). IF THE VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS REDUCED TO LESS THAN 80 INCHES (2032 MM) NOMINAL DIMENSION, A GUARDRAIL OR OTHER BARRIER HAVING ITS LEADING EDGE 6 OR BELOW 27 INCHES (686 MM) ABOVE THE FINISHED FLOOR SHALL BE PROVIDED.

EXCEPTION: DOORWAYS AND ARCHWAYS LESS THAN 24 INCHES (610 MM) IN DEPTH MAY HAVE A MINIMUM CLEAR HEADROOM OF 80 INCHES (2032 MM) NOMINAL.

PROTRUDING OBJECTS

PROTRUDING OBJECTS SHALL COMPLY WITH SECTION 11B.307 OF THE 2019 CBC.

PROTRUSION LIMITS. OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH.

EXCEPTION: HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 1/2 INCHES (114 MM) MAXIMUM.

POST MOUNTED OBJECTS. FREE-STANDING OBJECTS MOUNTED ON POSTS OR PLYONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES (305 MM) MAXIMUM WHEN LOCATED 27 INCHES (686 MM) MINIMUM AND 80 INCHES (2032 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A SIGN OR OTHER OBSTRUCTION IS LOCATED BETWEEN POSTS OR PLYONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PLYONS IS GREATER THAN 12 INCHES (305 MM), THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 INCHES (686 MM) MAXIMUM OR 80 INCHES (2032 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND.

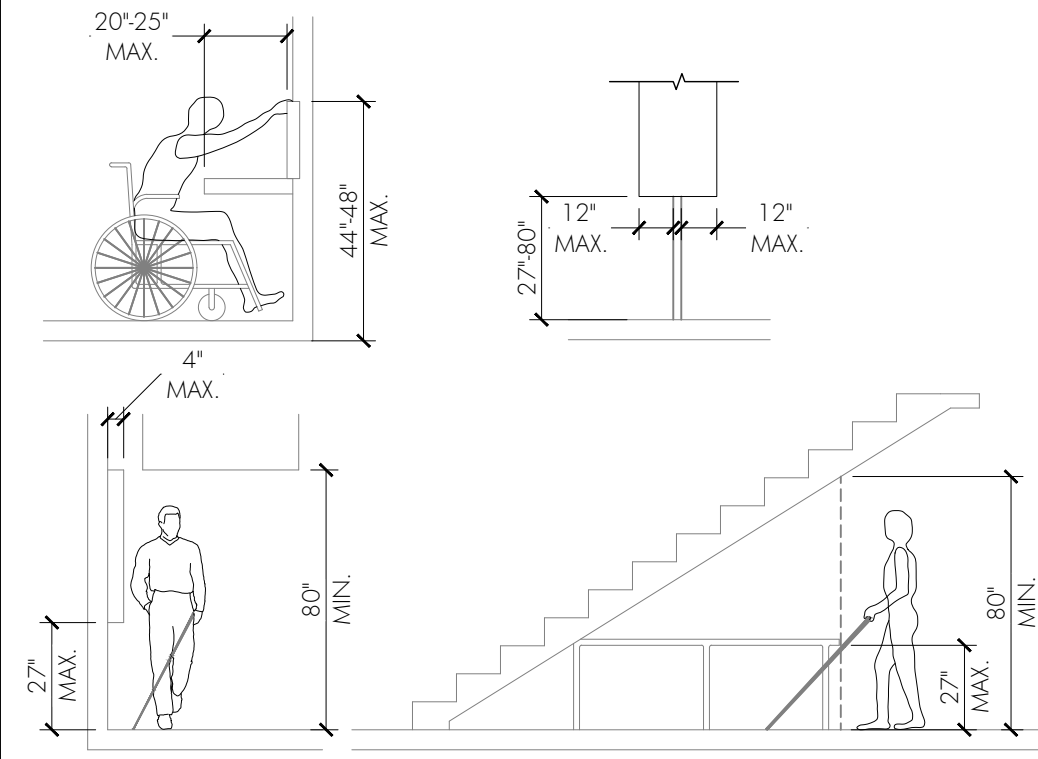
EXCEPTION: THE SLOPING PORTIONS OF HANDRAILS SERVING STAIRS AND RAMPS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B.307.3 OF THE 2019 CBC.

EDGES AND CORNERS. WHERE SIGNS OR OTHER OBJECTS ARE MOUNTED ON POSTS OR PLYONS, THEIR BOTTOM EDGES ARE LESS THAN 80 INCHES (2032 MM) ABOVE THE FLOOR OR GROUND SURFACES, THE EDGES OF SUCH SIGNS AND OBJECTS SHALL BE ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH (3.2 MM).

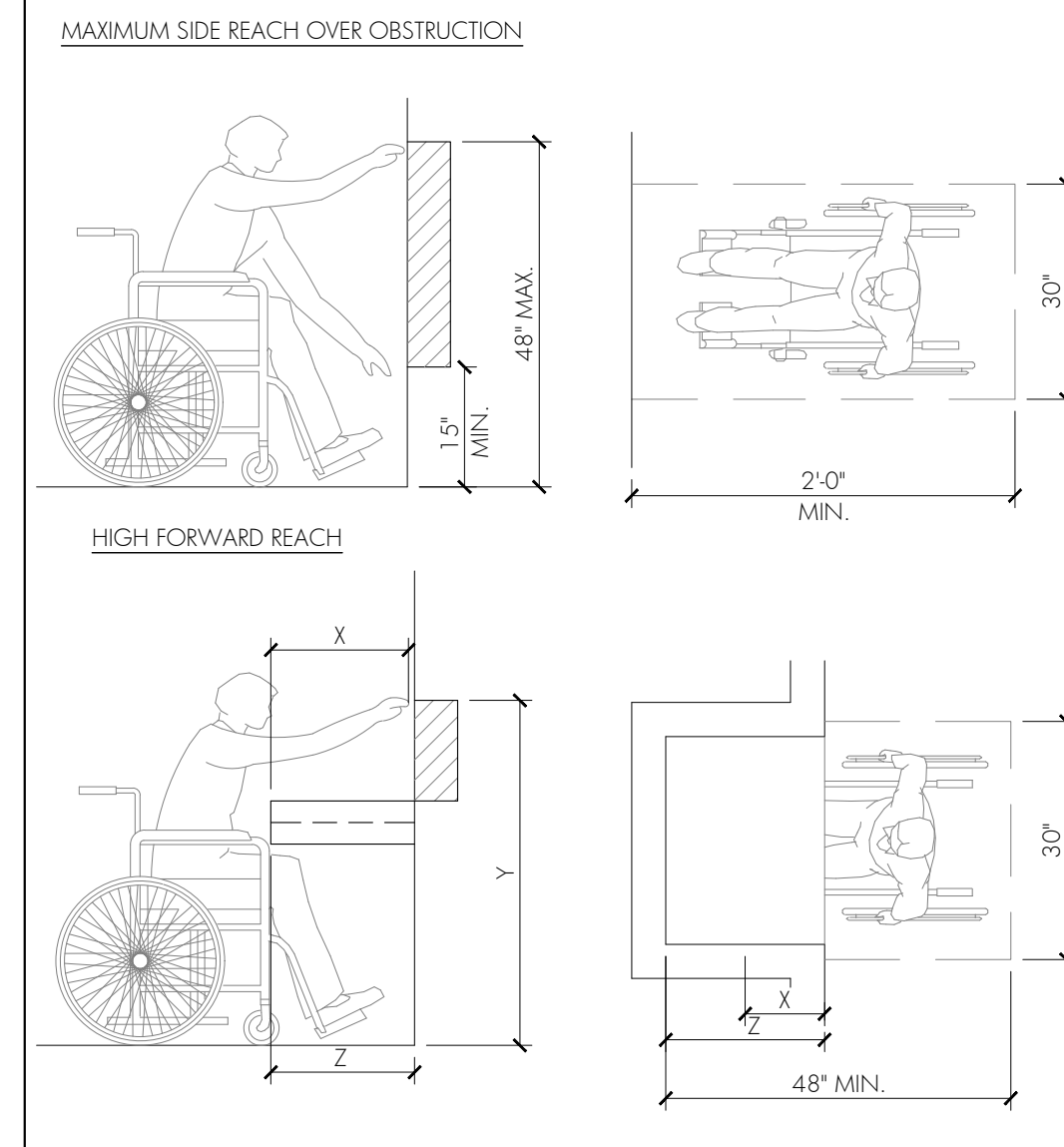
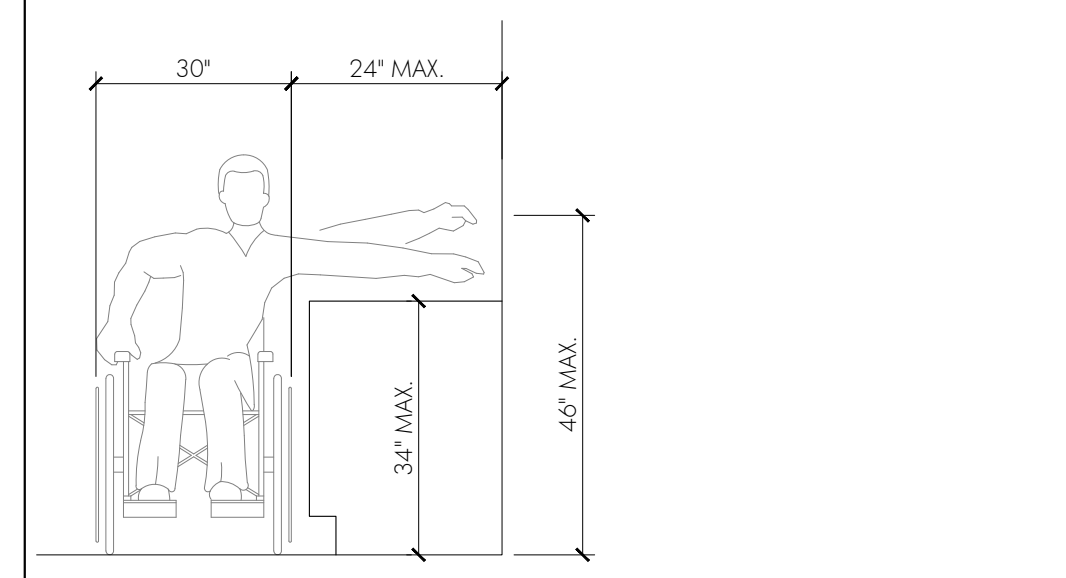
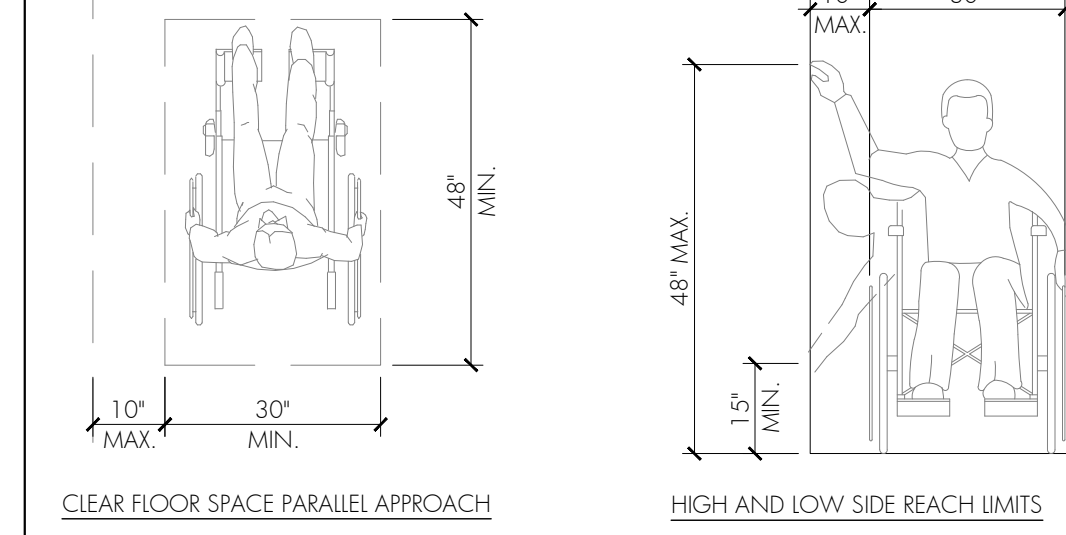
VERTICAL CLEARANCE. VERTICAL CLEARANCE SHALL BE 80 INCHES (2032 MM) HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES (2032 MM) HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES (686 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A GUY SUPPORT IS USED PARALLEL TO A CIRCULATION PATH, INCLUDING BUT NOT LIMITED TO SIDEWALKS, A GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT AN OVERHANGING OBSTRUCTION.

EXCEPTION: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES (1981 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND.

REQUIRED CLEAR WIDTH. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES.



NOTE: X SHALL BE LESS THAN OR EQUAL TO 25". Z SHALL BE GREATER THAN OR EQUAL TO X. WHEN X IS LESS THAN 20", THEN Y SHALL BE 48" MAXIMUM. WHEN X IS 20" TO 25", THEN Y SHALL BE 44" MAXIMUM.



SIZE AND SPACING OF DOMES 15

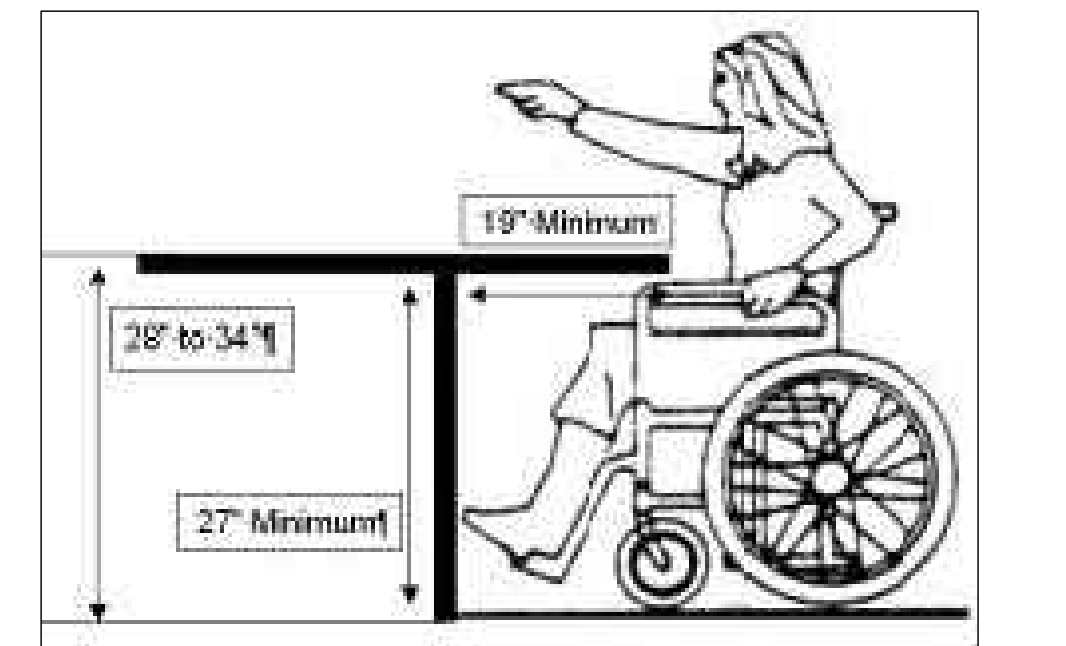
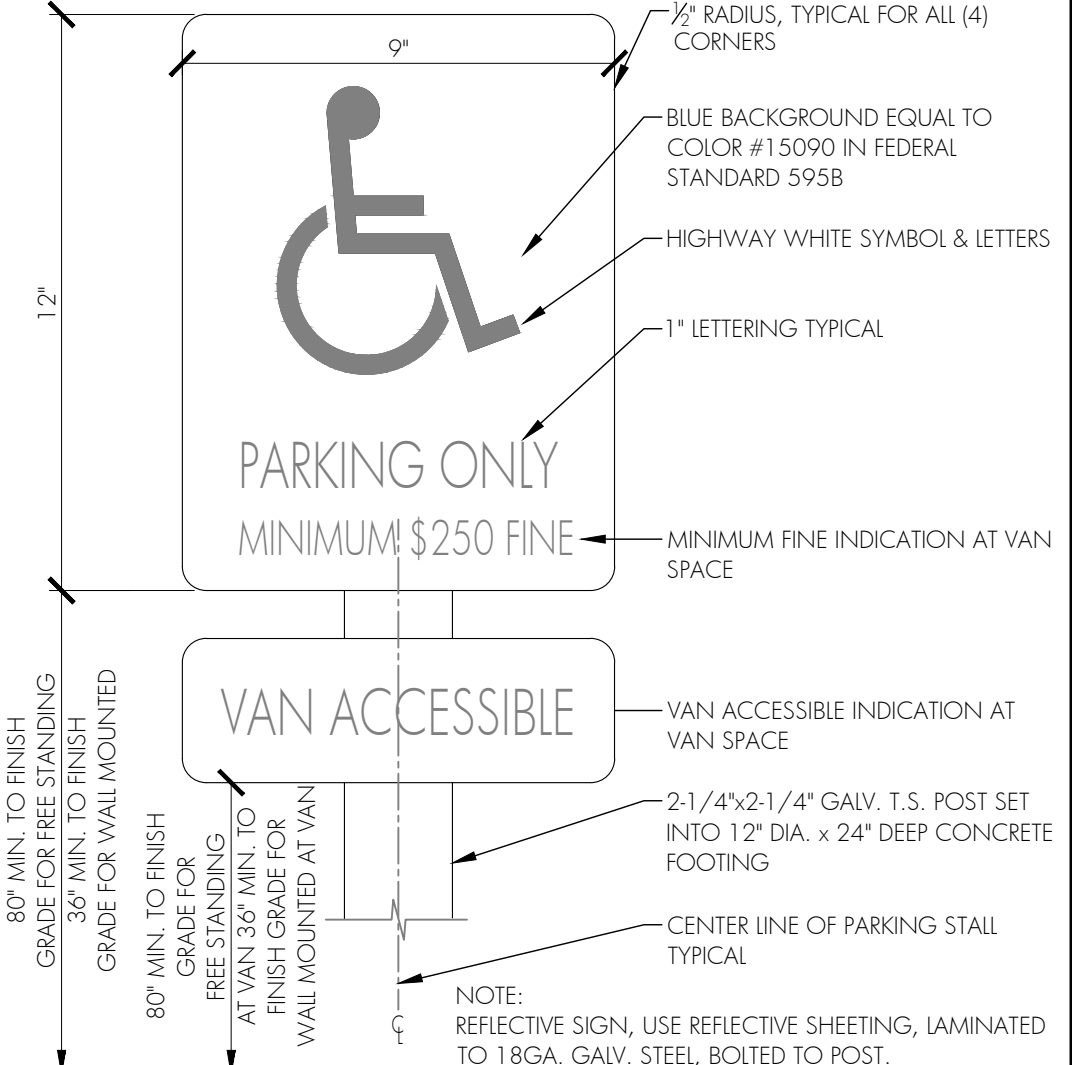


TABLE HEIGHT 34" MAXIMUM, 28" MINIMUM
KNEE CLEARANCE 27" MINIMUM (FROM FLOOR TO BOTTOM OF TABLE SURFACE)
CLEAR FLOOR AREA OF 30" BY 48" NEEDED AT EACH SEATING AREA
KNEE CLEARANCE EXTENDS AT LEAST 19" UNDER THE TABLE

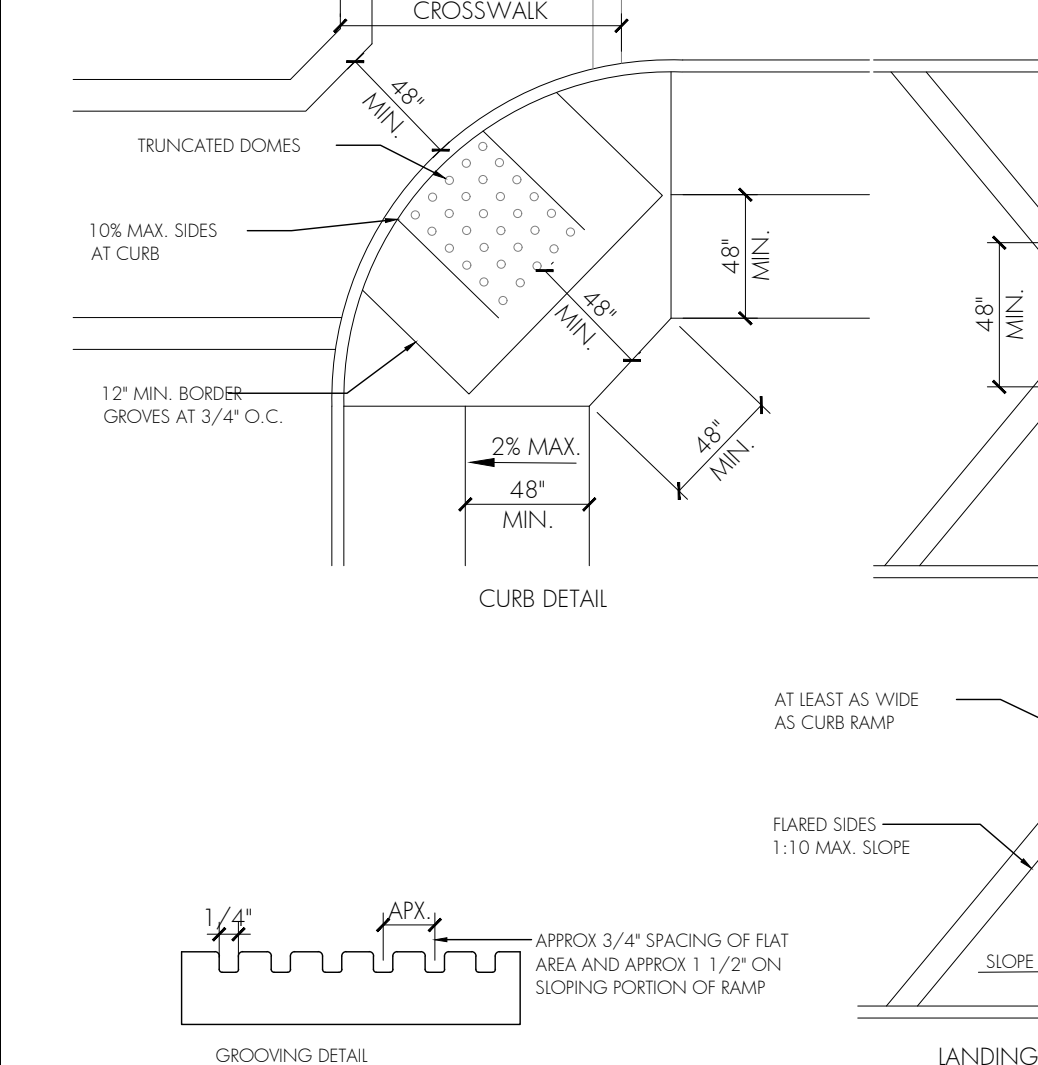
ACCESSIBLE TABLE 14

EXTERIOR ROUTES OF TRAVEL 11



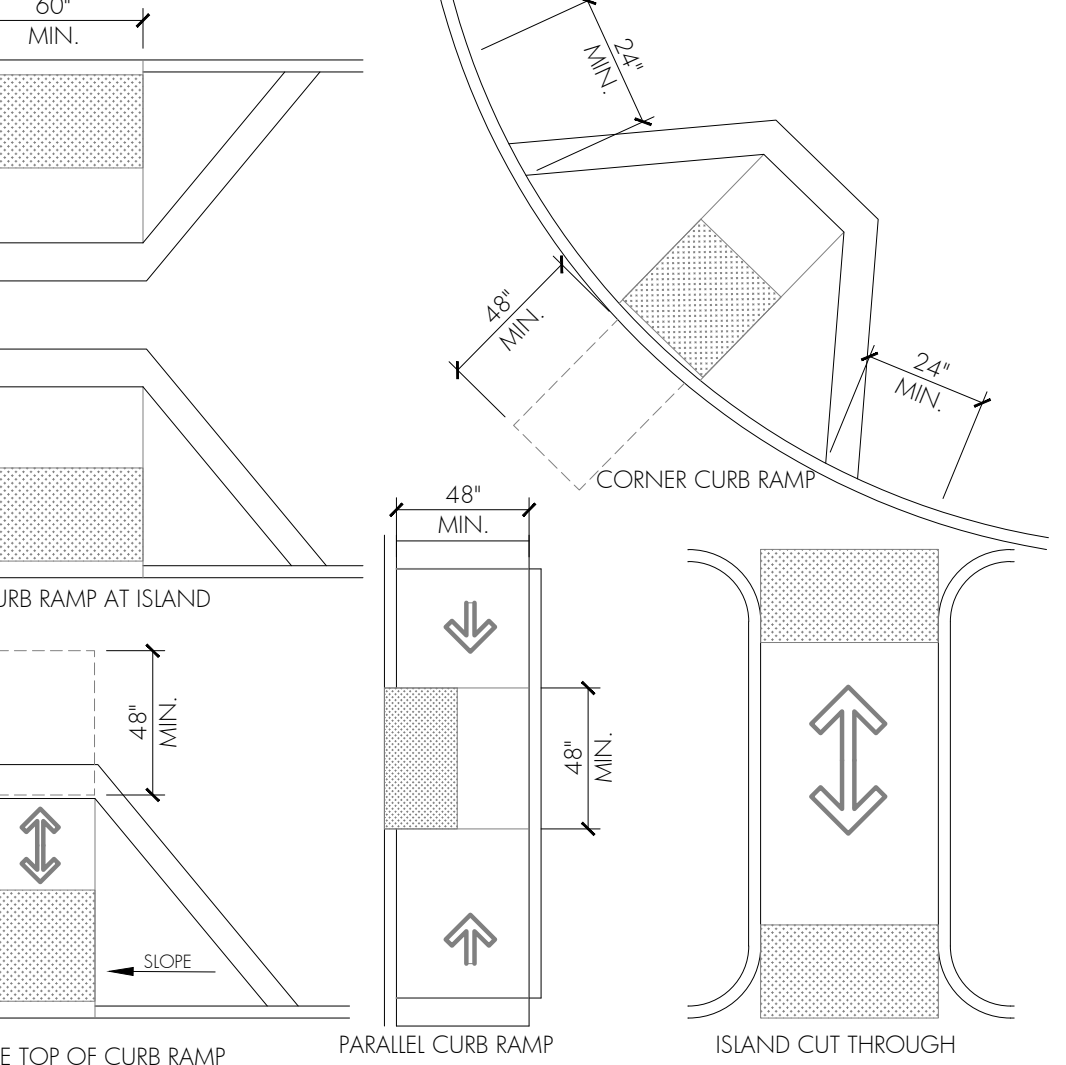
ACCESSIBLE PARKING SIGNAGE 10

HAZARDS ON ACCESSIBLE ROUTE 8

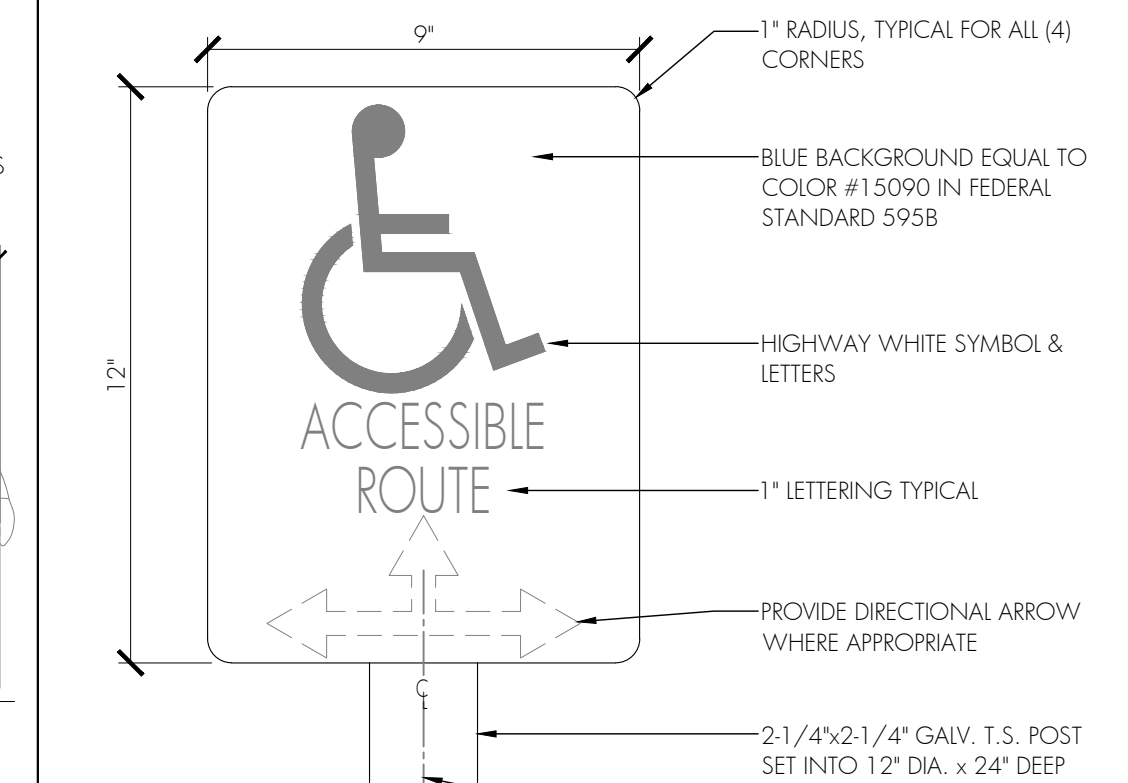


CURB RAMP AT ACCESSIBLE ROUTES 4

REACH REQUIREMENTS 5

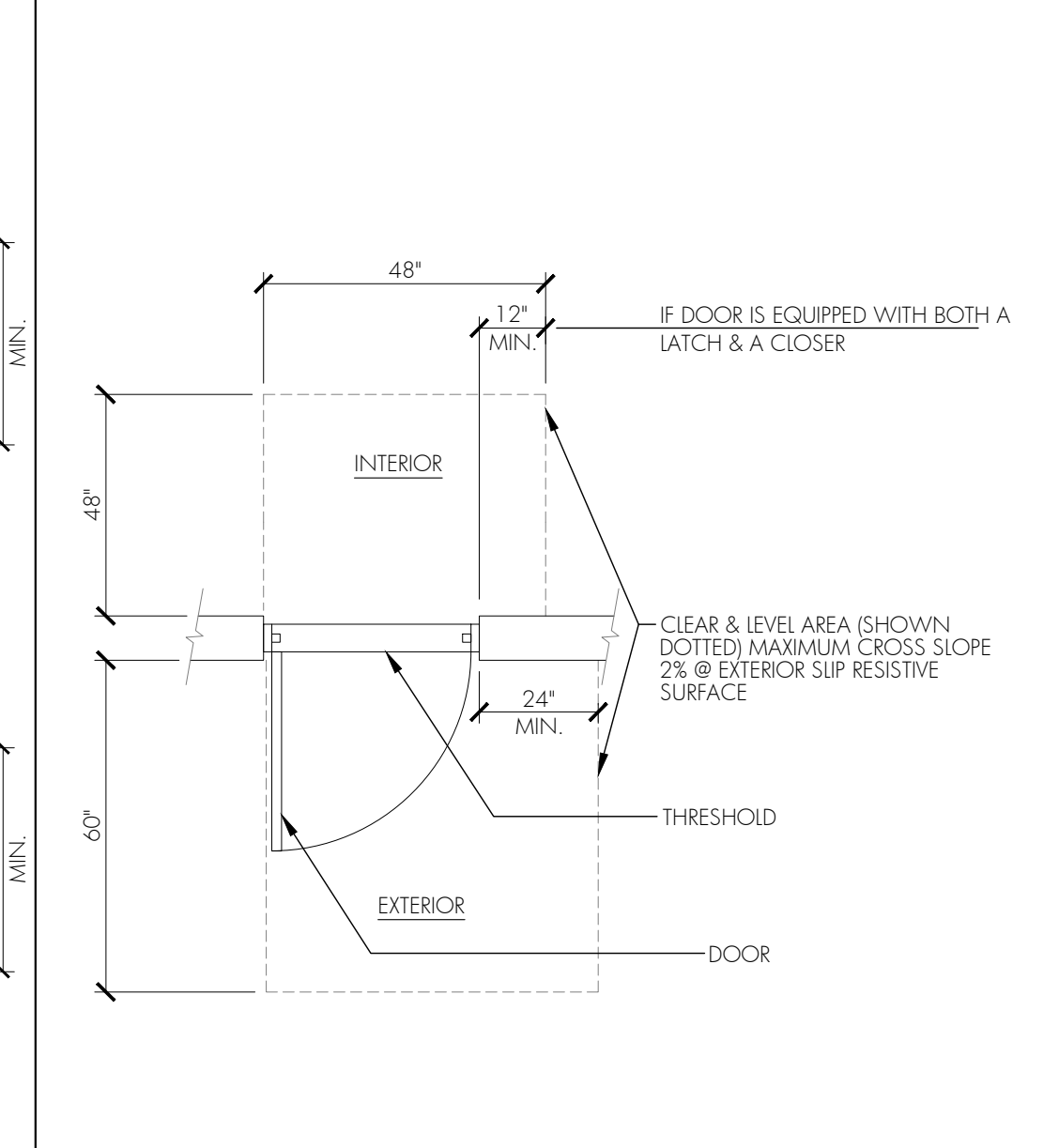


ACCESSIBLE DOORS 1

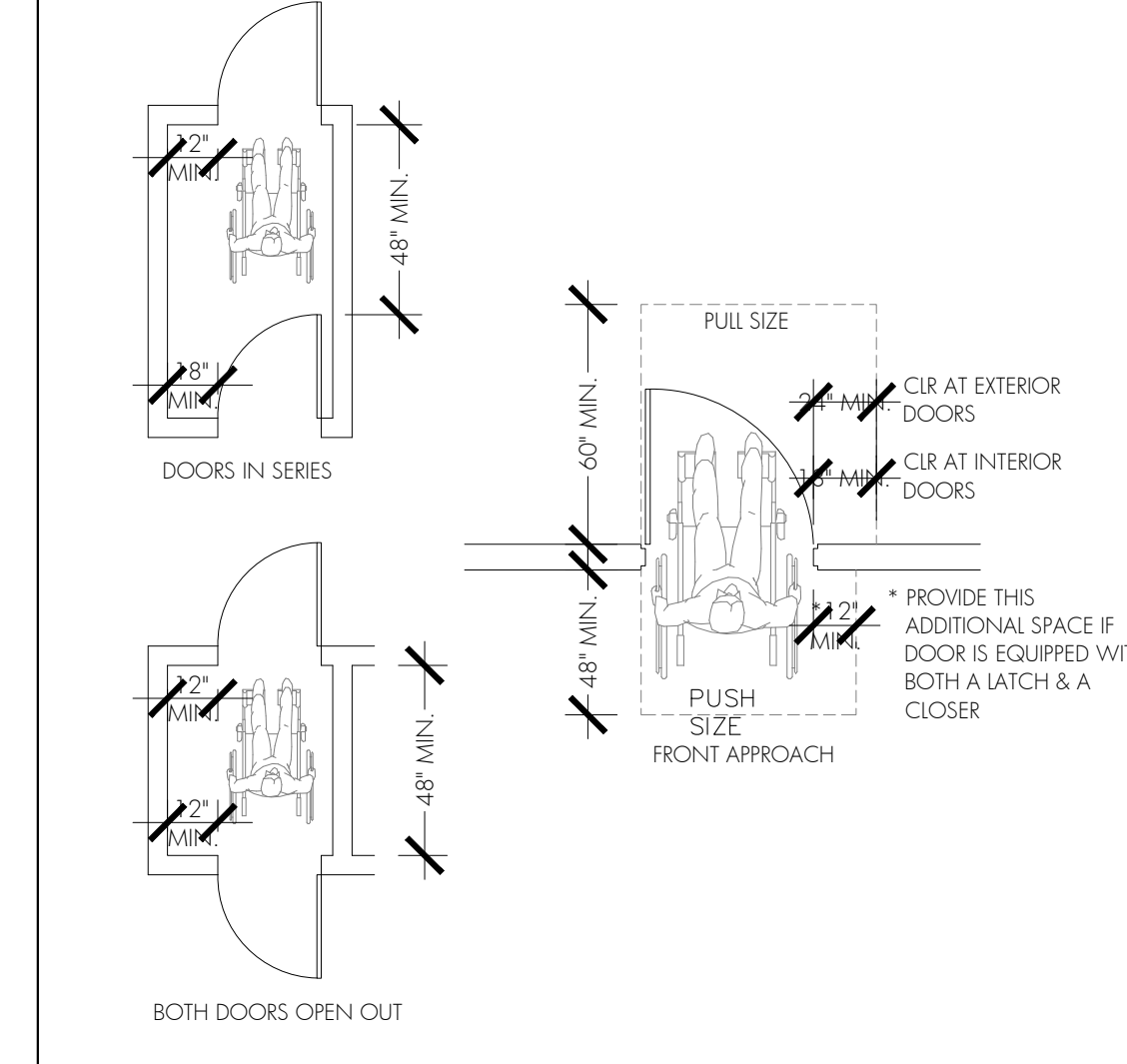


DIRECTIONAL SCHEDULE			
I.D.	DIRECTION	I.D.	DIRECTION
1A	←	1F	↗
1B	→	1G	↘
1C	↔		
1D	↕		
1E	↑		

ACCESSIBLE ROUTE SIGNAGE 3



DOOR CLEARANCES 2



ACCESSIBLE DOORS 1

FLIGHTS & IRONS

376 CAMINO DE ESTRELLA
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MIGLIOZZI ARCHITECTURE

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SHEET ISSUE & REVISION LOG

	date	comments
	04/18/2022	Preliminary Design
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	05/10/2022	City Submittal
A	07/11/2022	City Comments
A	07/11/2022	Health Department Comments

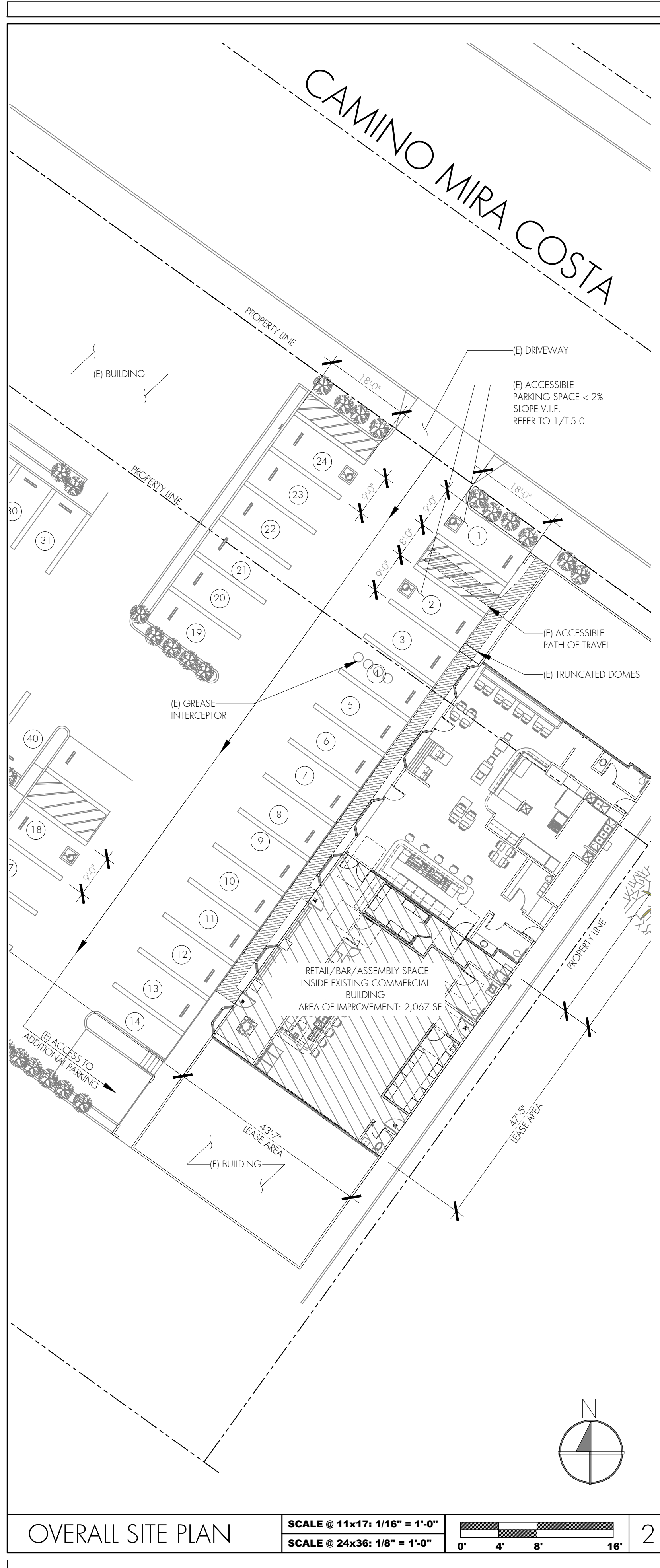
SCOPE:

TENANT IMPROVEMENT

ACCESSIBILITY DETAILS

PAGE:

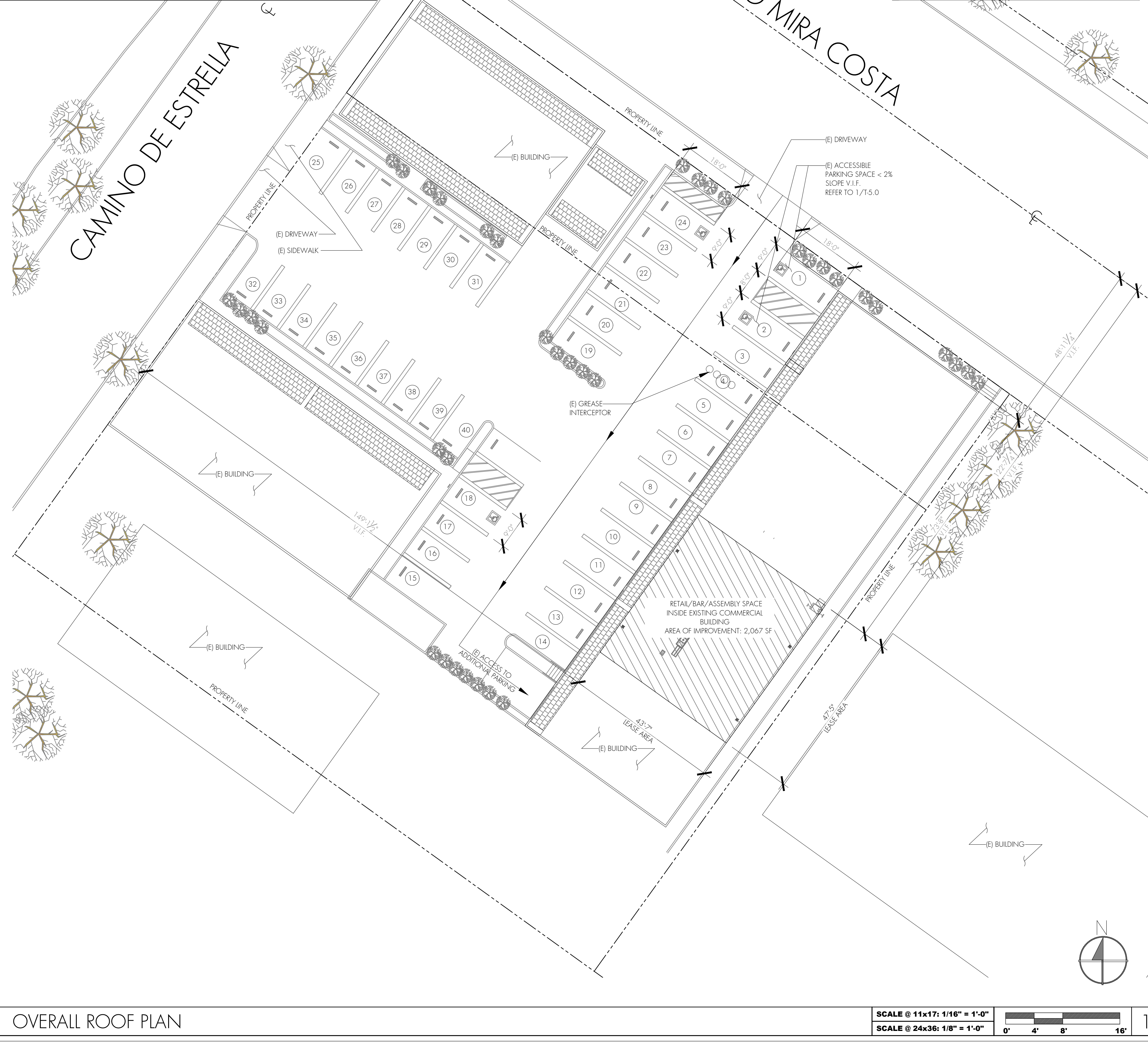
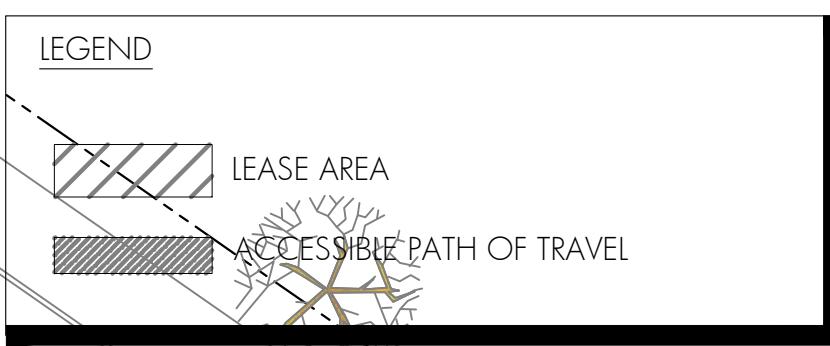
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PARKING CALCULATION

PARKING REQUIREMENTS PER ZONING ORDINANCE CHAPTER 17.64 - PARKING AND ACCESS STANDARDS

BUSINESS	ONE PER 120 SF
4,207 SF OF LEASED	4,207/120
AREA TOTAL REQUIRED	35
TOTAL PROVIDED	56 PARKING SPACES WITH SHARED PARKING



FLIGHTS & IRONS

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SCOPE:

TENANT
IMPROVEMENT

OVERALL SITE PLAN

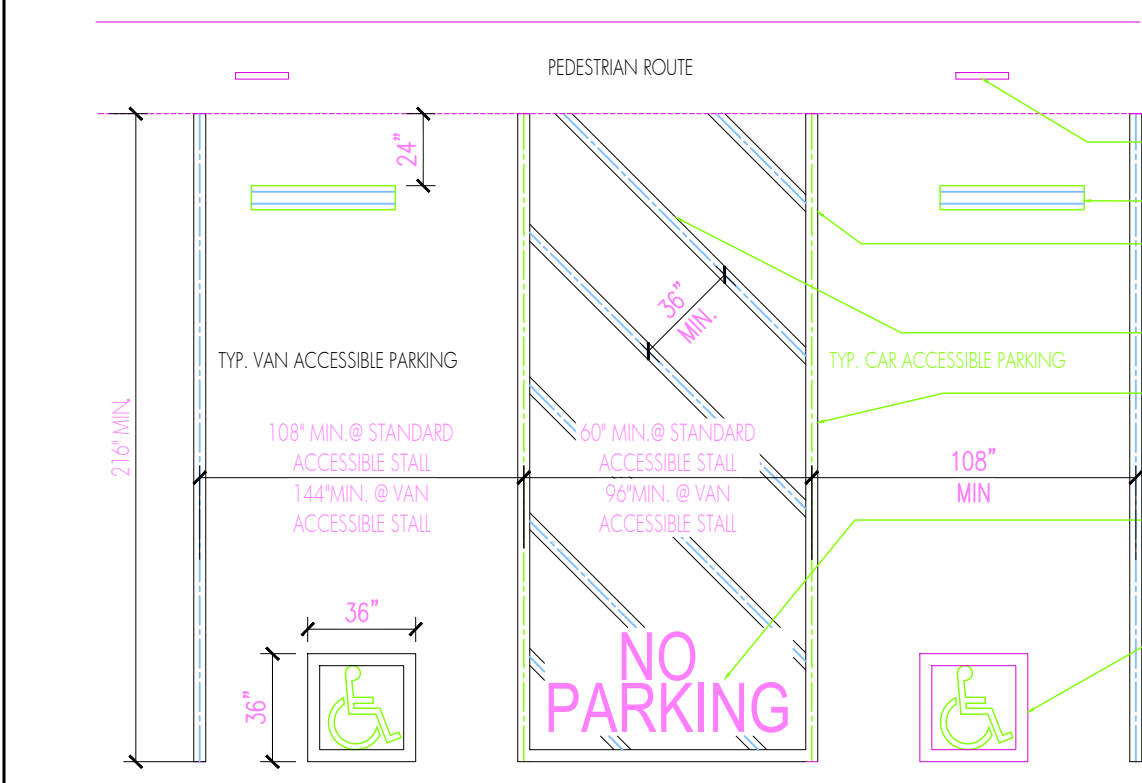
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ACCESSIBLE ROUTES SHALL COMPLY WITH 11B-402 OF THE 2016 CALIFORNIA BUILDING CODES.
 ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:
 1. WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20
 2. DOORWAYS
 3. RAMPS
 4. CURB RAMPS EXCLUDING THE FLARED SIDES
 5. ELEVATORS
 6. PLATFORM LIFTS.
 ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF DIVISION 4 OF THE 2016 CBC.
 WALKING SURFACES THAT ARE A PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11 B-403 OF THE 2016 CBC.
 FLOOR OR GROUND SURFACES SHALL COMPLY WITH SECTION 11 B-302 OF THE 2016 CBC.
 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20.
 THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
 EXCEPTION: THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.
 CHANGES IN LEVEL: CHANGES IN LEVEL SHALL COMPLY WITH SECTION 11B-303 OF THE 2016 CBC.
 CLEARANCES: WALKING SURFACES SHALL PROVIDE CLEARANCES COMPLYING WITH SECTION 11 B-403.5.
 EXCEPTION: WITHIN EMPLOYEE WORK AREAS, CLEARANCES ON COMMON USE CIRCULATION PATHS SHALL BE PERMITTED TO BE DECREASED BY WORK AREA EQUIPMENT PROVIDED THAT THE DECREASE IS ESSENTIAL TO THE FUNCTION OF THE WORK BEING PERFORMED.

ACCESSIBLE ROUTES 3

THE PROVISIONS OF CHAPTER 11B DIVISION 5 OF THE 2019 CALIFORNIA BUILDING CODES SHALL APPLY WHERE REQUIRED BY DIVISION 2 OF THE 2019 CBC OR WHERE REFERENCED BY A REQUIREMENT IN THIS CHAPTER.
 CAR AND VAN PARKING SPACES SHALL COMPLY WITH SECTION 11B-502 OF THE 2016 CBC, WHERE PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS ASIES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.
 EXCEPTION: WHERE PARKING SPACES OR ACCESS ASIES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS ASIE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS ASIE.
 VEHICLE SPACES: CAR AND VAN PARKING SPACES SHALL BE 216 INCHES (5486 MM) LONG MINIMUM. CAR PARKING SPACES SHALL BE 108 INCHES (2743 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 144 INCHES (3658 MM) WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS ASIE COMPLYING WITH SECTION 11B-502.3 OF THE 2016 CBC.
 EXCEPTION: VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (2743 MM) WIDE MINIMUM WHERE THE ACCESS ASIE IS 96 INCHES (2438 MM) WIDE MINIMUM.
 ACCESS ASIE: ACCESS ASIES SERVING PARKING SPACES SHALL COMPLY WITH SECTION 11B-502.3 OF THE 2016 CBC. ACCESS ASIES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS ASIE.
 WIDTH: ACCESS ASIES SERVING CAR AND VAN PARKING SPACES SHALL BE 60 INCHES (1524 MM) WIDE MINIMUM.
 LENGTH: ACCESS ASIES SHALL EXTEND THE FULL REQUIRED LENGTH OF THE PARKING SPACES THEY SERVE.
 MARKING: ACCESS ASIES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE ASIE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS ASIE IN WHITE LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY.
 ACCESS ASIE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.
 LOCATION: ACCESS ASIES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS ASIES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR VAN PARKING SPACES WHICH SHALL HAVE ACCESS ASIES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS ASIES SERVING THEM SHALL COMPLY WITH SECTION 11B-302 OF THE 2016 CBC. ACCESS ASIES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
 EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.
 VERTICAL CLEARANCE: PARKING SPACES, ACCESS ASIES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES (2489 MM) MINIMUM.
 IDENTIFICATION: PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 OF THE 2016 CBC. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE." SIGNS SHALL BE 60 INCHES (1524 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.
 EXCEPTION: SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.
 FINISH AND SIZE: PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES (45,161 MM²) MINIMUM FIN. ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FIN. \$250."
 LOCATION: A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.
 MARKING: EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER SECTIONS 11B-502.6.4.1 OR 11B-502.6.4.2 OF THE 2019 CBC.
 THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 OF THE 2016 CBC IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH (914 MM BY 914 MM). THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES (152 MM) FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH.
 THE PARKING SPACE SHALL BE OBTAINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 OF THE CBC A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH (914 MM BY 914 MM) IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES (152 MM) FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER

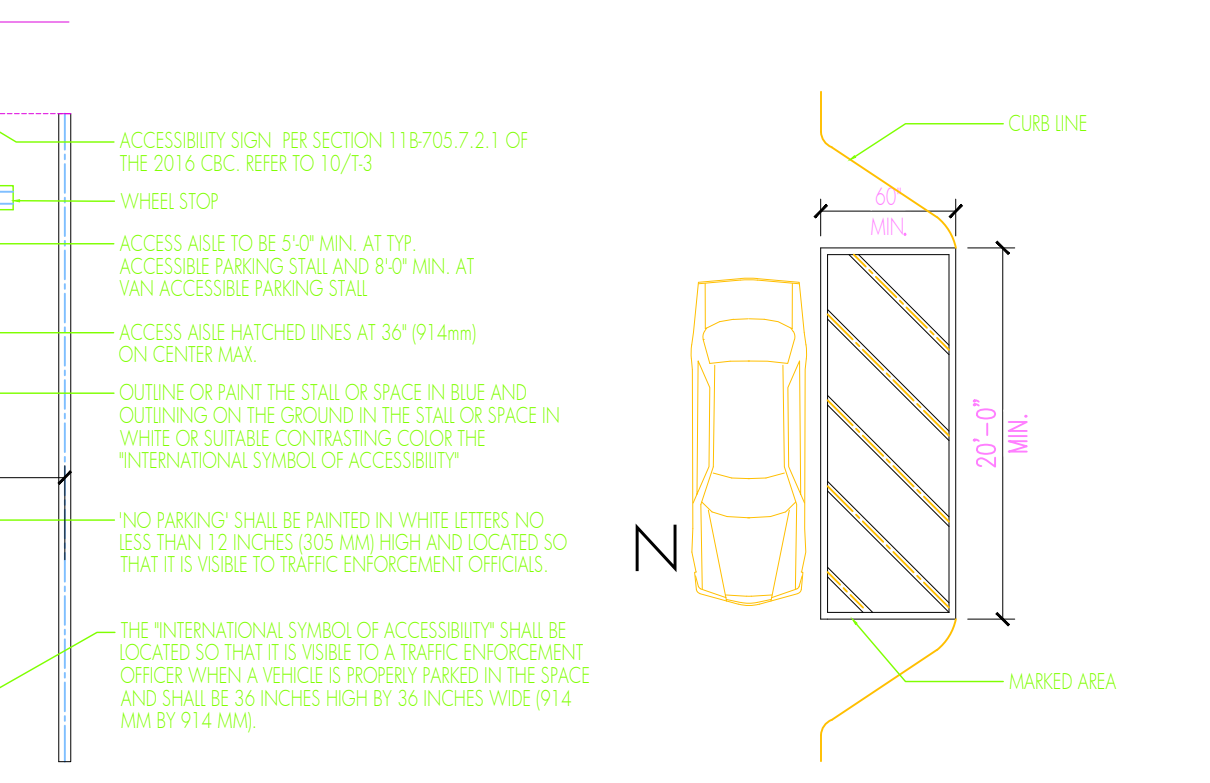


PARKING 2

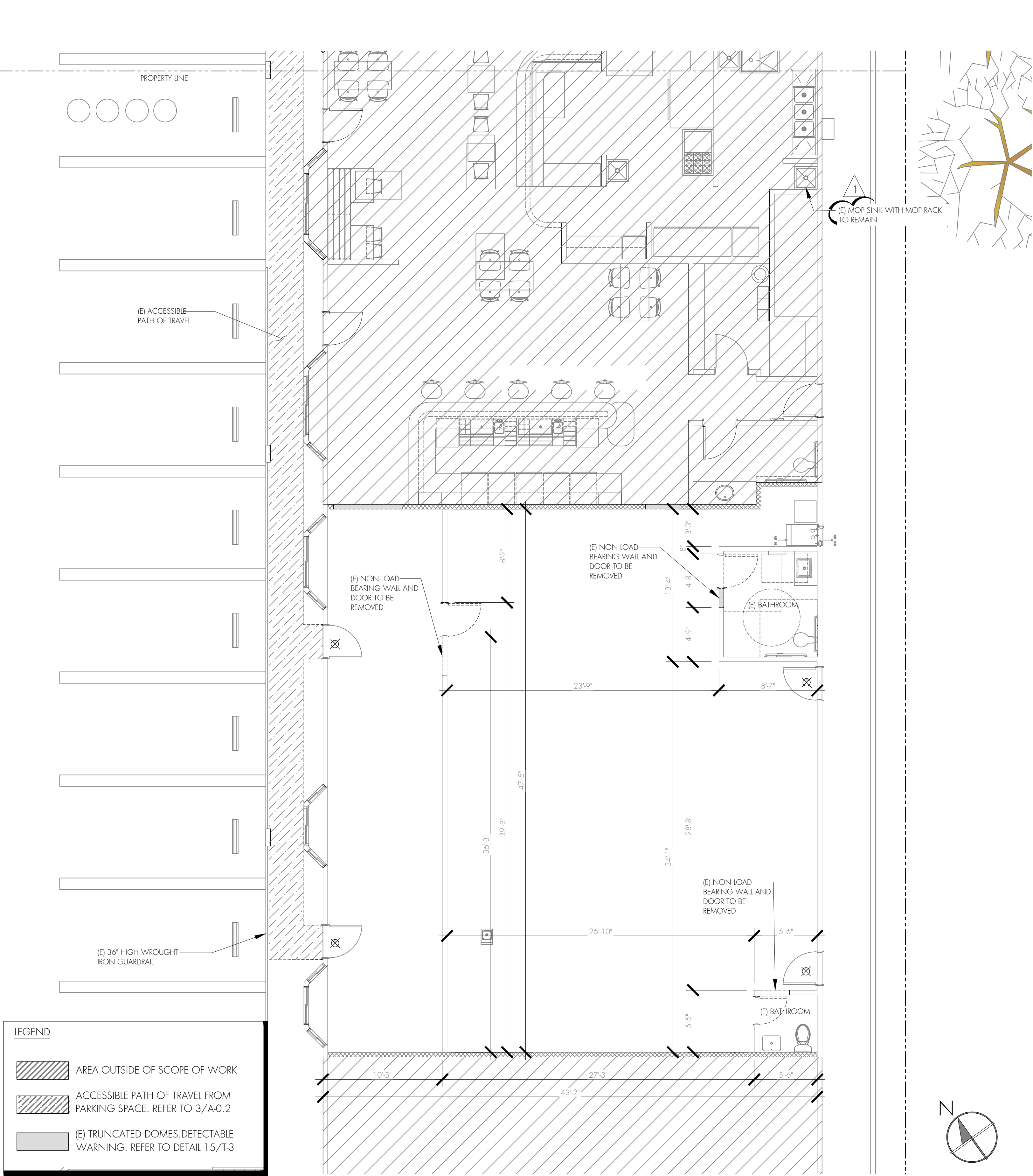
NO BOUNDARY SURVEY AT TIME OF DESIGN
 WRITTEN DIMENSIONS FOR SET BACKS SHALL BE VERIFIED ON THE JOB SITE.
 DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND PRIOR TO COMMENCEMENT OF ANY WORK

CONTRACTOR OR BUILDER SHALL VERIFY ALL PLANS WITH EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE.
 RELATIONSHIP TO ACCESSIBLE ROUTES: PARKING SPACES AND ACCESS ASIES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.
 ARRANGEMENT: PARKING SPACES AND ACCESS ASIES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED.
 WHEEL STOPS: A CURB OR WHEEL STOP SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCRoACHMENT OF VEHICLES OVER THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.
 ADDITIONAL SIGNAGE: AN ADDITIONAL SIGN SHALL BE POSTED EITHER: 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.
 SIZE: THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES (432 MM) WIDE BY 22 INCHES (559 MM) HIGH.
 LETTERING: THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH (25 MM) THE FOLLOWING:
 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: [OR BY TELEPHONING:]"
 BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.
 PASSENGER DROP-OFF AND LOADING ZONES
 GENERAL PASSENGER DROP-OFF AND LOADING ZONES SHALL COMPLY WITH SECTION 11 B-503 OF THE 2016 CBC.
 VEHICLE PULLUP SPACE: PASSENGER DROP-OFF AND LOADING ZONES SHALL PROVIDE A VEHICULAR PULLUP SPACE 96 INCHES (2438 MM) WIDE MINIMUM AND 20 FEET (6096 MM) LONG MINIMUM.
 ACCESS ASIE: PASSENGER DROP-OFF AND LOADING ZONES SHALL PROVIDE ACCESS ASIES COMPLYING WITH SECTION 11 B-503 OF THE 2016 CBC ADJACENT AND PARALLEL TO THE VEHICLE PULLUP SPACE. ACCESS ASIES SHALL ADJOIN AN ACCESSIBLE ROUTE AND SHALL NOT OVERLAP THE VEHICULAR WAY.
 PASSENGER DROP-OFF AND LOADING ZONE ACCESS ASIE
 WIDTH: ACCESS ASIES SERVING VEHICLE PULLUP SPACES SHALL BE 60 INCHES (1524 MM) WIDE MINIMUM.
 LENGTH: ACCESS ASIES SHALL EXTEND THE FULL LENGTH OF THE VEHICLE PULLUP SPACES THEY SERVE.
 MARKING: ACCESS ASIES SHALL BE MARKED WITH A PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE ASIE SURFACE.
 FLOOR AND GROUND SURFACES: VEHICLE PULLUP SPACES AND ACCESS ASIES SERVING THEM SHALL COMPLY WITH SECTION 11 B-302. ACCESS ASIES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULLUP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
 EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.
 VERTICAL CLEARANCE: VEHICLE PULLUP SPACES, ACCESS ASIES SERVING THEM, AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SHALL PROVIDE A VERTICAL CLEARANCE OF 114 INCHES (2896 MM) MINIMUM.
 IDENTIFICATION: EACH PASSENGER LOADING ZONE DESIGNATED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A REFLECTORIZED SIGN COMPLYING WITH SECTION 11B-703.5 OF THE 2016 CBC. IT SHALL BE PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM THE PASSENGER LOADING ZONE STATING "PASSENGER LOADING ZONE ONLY" AND INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A DARK BLUE BACKGROUND.
 EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.



DEMO FLOOR PLAN 2



DEMO FLOOR PLAN 2

LEGEND

- [Hatched Box] AREA OUTSIDE OF SCOPE OF WORK
- [Hatched Box] ACCESSIBLE PATH OF TRAVEL FROM PARKING SPACE. REFER TO 3/A-0.2
- [Truncated Dome] (E) TRUNCATED DOMES, DETECTABLE WARNING. REFER TO DETAIL 15/T-3

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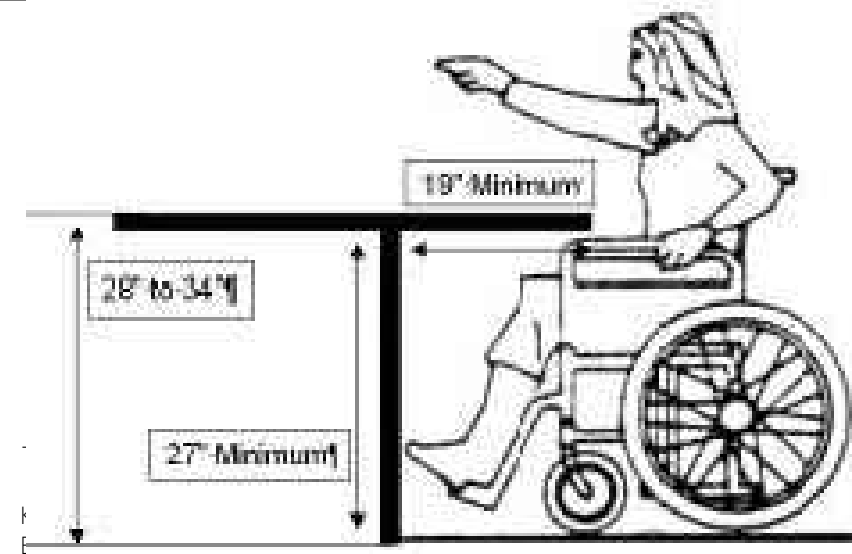
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SCOPE:
TENANT IMPROVEMENT

DEMO FLOOR PLAN

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SCALE @ 11x17: 3/32" = 1'-0"
 SCALE @ 24x36: 3/16" = 1'-0"
 0' 3' 6' 9' 12'



CLEAR FLOOR AREA OF 30" BY 48" NEEDED AT EACH SEATING AREA
KNEE CLEARANCE EXTENDS AT LEAST 19" UNDER THE TABLE

TABLE NOTES

NO CHANGES TO EXISTING MECHANICAL SYSTEM. EXISTING BATHROOMS MECHANICAL TO REMAIN.
NO CHANGES TO EXISTING ELECTRICAL SYSTEM

NOTES

TABLE 422.1 MINIMUM PLUMBING FACILITIES

	WATER CLOSETS PER PERSON		LAVATORIES FIXTURE PER PERSON		URINALS
	MALE	FEMALE	MALE	FEMALE	
B OCCUPANCY	Male 1: 1-50 2: 51-100 3: 101-200 4: 201-400	Female 1: 1-75 2: 76-150 3: 151-300 4: 301-600	Male 1: 1-75 2: 76-150 3: 151-300 4: 301-600	Female 1: 1-50 2: 51-100 3: 101-200 4: 201-400	Male 1: 1-100 2: 101-200 3: 201-400 4: 401-600

3 The total number of required water closets for females shall be not less than the total number of required water closets and urinals for males. [BSC] This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50.
Either
The required urinal shall be permitted to be omitted or
If installed, the urinal shall not require a second water closet to be provided for the female

OCCUPANCY LOAD CALC

(TABLE 1004.1.2)

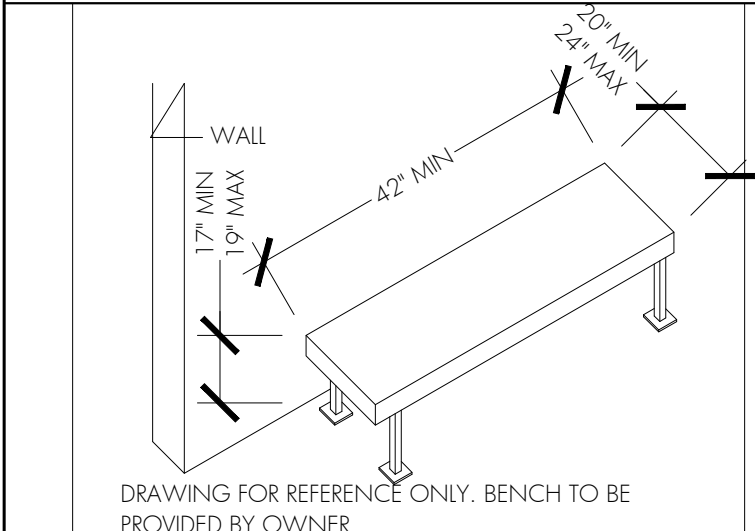
RECEPTION AREA/COUNTERTOP/RETAIL AREA	60 GROSS, 400SF/60	6 OCCUPANTS
BAR COUNTERTOP AREA	254 SF/200 = 1.27 OCCUPANT	1 OCCUPANT
OCCUPANCY LOAD STORAGE	300 GROSS, W.I.FREEZER+DRY STORAGE=156 SF/300	1 OCCUPANT
ASSEMBLY UNCONCENTRATED TABLES AND CHAIRS	747 SF - 356 SF MEANS OF EGRESS = 391 SF NET AREA	38 OCCUPANTS
ASSEMBLY UNCONCENTRATED TABLES AND CHAIRS	578/15 = 38 OCCUPANTS	38 OCCUPANTS
TOTAL OCCUPANCY LOAD		46 OCCUPANTS

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE PER TABLE 1006.2.1 FOR OCCUPANCY "B" = 100'-0"
PROVIDED: = 58'-2"
DISTANCE BETWEEN EXIT DOORS 1007.1
TWO EXITS OR EXIT DOORWAYS, WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMP, OR ANY COMBINATION THEREOF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM
DIAGONAL = 65'-4"
MINIMUM DISTANCE BETWEEN EXIT = 65'-4" / 2 = 32.66'
EXIT DISTANCE PROVIDED = 48'-0"

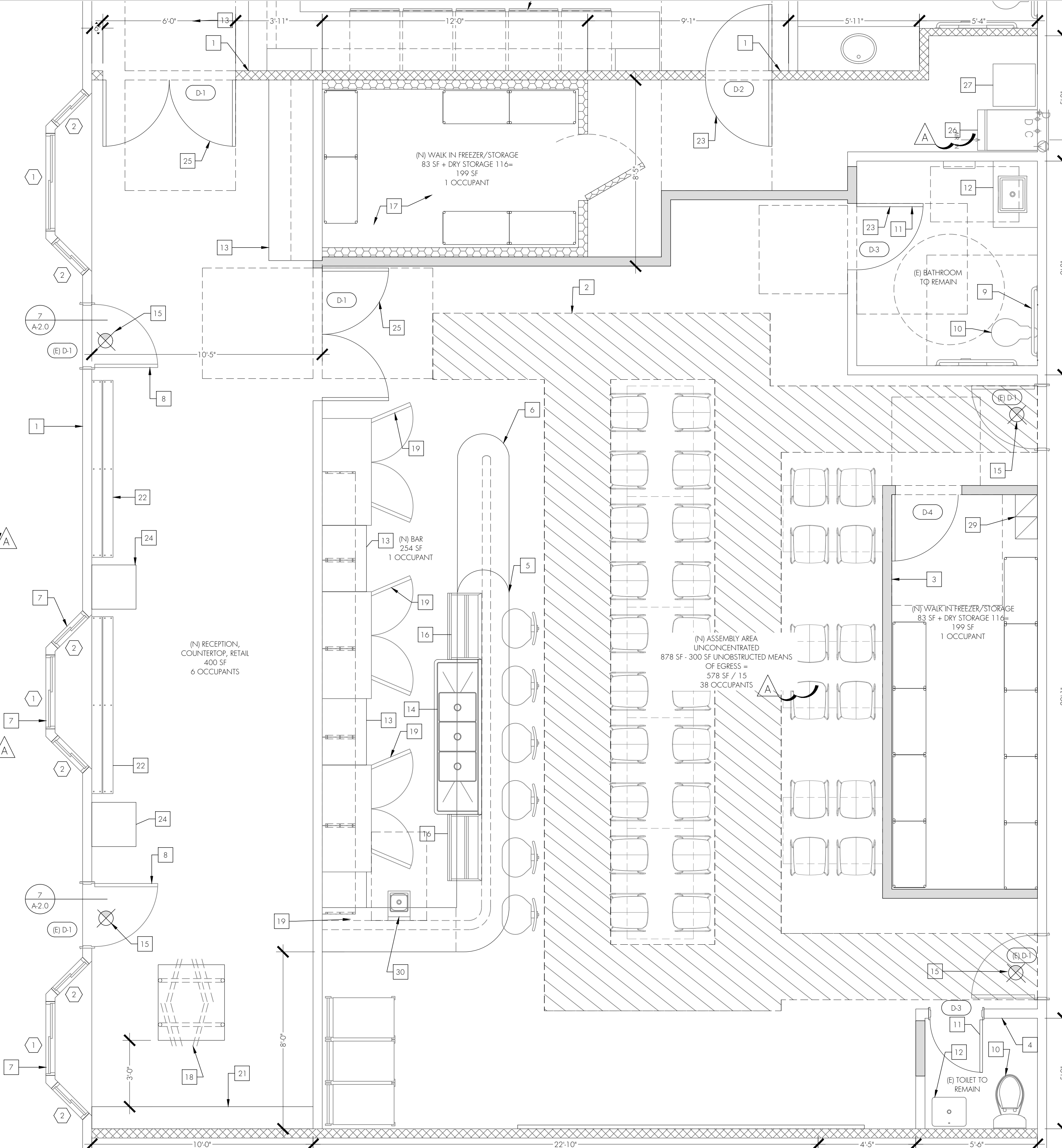
SMALL ASSEMBLY SPACES

303.1.2 SMALL ASSEMBLY SPACES
THE FOLLOWING ARE SMALL ASSEMBLY SPACES THAT SHALL NOT BE CLASSIFIED AS ASSEMBLY OCCUPANCIES OR ARE SPACES USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO AN OTHER OCCUPANCY. 9 SHALL BE CLASSIFIED AS GROUP OCCUPANCY OR AS PART OF THAT OCCUPANCY. AREAS OR SPACES USED FOR ASSEMBLY PURPOSES THAT ARE LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO AN OTHER OCCUPANCY SHALL BE CLASSIFIED AS GROUP OCCUPANCY OR AS PART OF THAT OCCUPANCY.

MEANS OF EGRESS



BENCH



GENERAL NOTES

- WHERE EXISTING SURFACES ARE TO BE FRAISED OR FLURED TO RECEIVE NEW FINISHES, ENSURE THAT THE EXISTING SURFACES HAVE BEEN COMPLETELY CLEANED OF EXISTING MOULD, MILDEW, AND/OR SURFACE DIRT AND THAT ALL EXISTING FINISHES HAVE BEEN REMOVED DOWN TO BARE SUBSTRATE PRIOR TO ENCLOSING OR RECEIVING NEW FINISHES.
- PATCH, REPAIR, IN-FILL AND SMOOTH OUT SURFACES WHERE ITEMS THAT HAVE BEEN MECHANICALLY ATTACHED LEAVE HOLES.
- PATCH AND REPAIR ALL ASSEMBLIES OR SURFACES WHERE DEMOLITION IS REQUIRED TO INSTALL NEW WORK. ALL DISTURBED ASSEMBLIES & SURFACES ARE TO BE PATCHED AND REPAIRED AS TO BE VISUALLY UNDETECTABLE IN PROFILE, LIFT, TEXTURE, COLOR AND TO MATCH ALL ADJACENT SURFACES. PROVIDE ALL MATERIALS BOTH STRUCTURALLY AND COSMETICALLY TO COMPLETE THIS WORK. BRING TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING, ANY FINDINGS, WHICH WERE NOT VISUALLY DETECTABLE PRIOR TO DEMOLITION SO THAT THE ARCHITECT CAN CLARIFY ACTIONS TO BE TAKEN BY THE CONTRACTOR.
- PRIOR TO DEMOLITION REROUTE AS NEEDED EXISTING UTILITIES REQUIRED TO BE MAINTAINED.
- PROTECT ALL EXISTING EVENTS & UTILITIES INDICATED TO REMAIN.
- VERIFY DEPTH & LOCATIONS OF (E) UTILITIES TO REMAIN PRIOR TO START OF DEMOLITION WORK.
- ALL REUSED FIRE EXTINGUISHERS MUST BE TESTED & CERTIFIED PRIOR TO INSTALLATION AT NEW LOCATION.
- WHERE EXISTING SURFACES ARE TO BE FRAISED OR FLURED TO RECEIVE NEW FINISHES, ENSURE THAT EXISTING SURFACES HAVE BEEN COMPLETELY CLEANED OF EXISTING MOULD, MILDEW, AND/OR SURFACE DIRT, & THAT ALL EXISTING FINISHES HAVE BEEN REMOVED DOWN TO BARE SUBSTRATE.
- PATCH & REPAIR ALL (E) ASSEMBLIES OR SURFACES & MAKE READY FOR APPLICATION OF NEW FINISHES & MATERIALS.
- PATCH AND REPAIR ALL EXISTING ASSEMBLIES OR SURFACES WHERE DEMOLITION IS REQUIRED TO INSTALL NEW UTILITIES.
- PROTECT IN PLACE ALL EXISTING MATERIALS ASSEMBLIES AND UTILITIES INDICATED TO REMAIN. REVIEW PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REPAIR AT NO COST TO OWNER DAMAGE TO EXISTING CONDITIONS OUTSIDE LIMITS OF WORK AS A RESULT OF THE WORK PERFORMED UNDER THIS CONTRACT.
- NOTIFY THE OWNER IMMEDIATELY IN WRITING IF ANY AREAS ARE DISCOVERED TO CONTAIN HAZARDOUS MATERIAL WITHIN THE SCOPE OF WORK.

KEY NOTES

- (E) WALL TO RECEIVE NEW PAINT. REFER TO FINISH SCHEDULE
- (E) ACCESSIBLE PATH OF TRAVEL
- (N) NONLOAD BEARING WALL. REFER TO 7 / A/6.0
- (E) ELECTRICAL SUBPANEL
- (N) 44" HIGH CONCRETE BAR COUNTERTOP
- (N) 34" HIGH CONCRETE BAR COUNTERTOP
- (E) WINDOWS. REFER TO WINDOW SCHEDULE A.2.0
- (E) DOOR. REFER TO DOOR SCHEDULE
- (E) GRAB BAR
- (E) TOILET
- (N) DOOR. REFER TO DOOR SCHEDULE. FOR BATHROOM DOOR REFER TO DETAIL 2/14.0
- (E) BATHROOM SINK
- (N) CABINETS. PROVIDE 6" CLEARANCE FROM FLOOR
- (N) UNDERCOUNTER 3 COMPARTMENT BAR SINK. REFER TO EQUIPMENT SCHEDULE
- (E) EXIT SIGN. EXIT SIGN MUST BE ILLUMINATED AT ALL TIMES. THE EXIT SIGNS MUST BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
- (N) REGENCY UNDERBAR ICE BIN. REFER TO EQUIPMENT SCHEDULE
- (N) WALK IN COOLER/FREEZER. FLUSH THE WALK IN FREEZER TO THE CEILING AND WALLS
- (N) CLOTHING RACK
- (N) BACK BAR REFRIGERATOR. REFER TO EQUIPMENT SCHEDULE
- (N) GLASS SHELVES FOR BOTTLES
- (N) CLOTHING SHELVES
- (N) BENCH. REFER TO DETAIL 2/A.1.0
- (N) DIRECTIONAL SIGNAGE TO ACCESSIBLE RESTROOM. 9in. x 9in. Directional Tactile Touch Unless Sign. MANUFACTURER TBD BY OWNER
- (N) RETAIL DISPLAY 24"x24" WITH GLASS
- (N) DOUBLE SWING DOOR
- (N) ICE MAKER. REFER TO EQUIPMENT SCHEDULE
- (N) SODA MAKER. REFER TO EQUIPMENT SCHEDULE
- NOT USED
- (N) LOCKERS. REFER TO EQUIPMENT SCHEDULE A.3.0
- (N) HAND SINK. REFER TO EQUIPMENT SCHEDULE A.3.0
- (E) WATER HEATER TO REMAIN

SYMBOLS

- (N) EXIT SIGN ILLUMINATED AT ALL TIMES AND CONNECTED TO EMERGENCY POWER SYSTEM THAT PROVIDES ILLUMINATION OF NOT LESS THAN 90 MIN IN CASE OF POWER LOSS
- MEANS OF EGRESS / ACCESSIBLE PATH OF TRAVEL
- EXISTING DEMISING WALLS TO REMAIN

FLIGHTS & IRONS

376 CAMINO DE ESTRELLA
SAN CLEMENTE, CA 92672

MIGLIOZZI ARCHITECTURE

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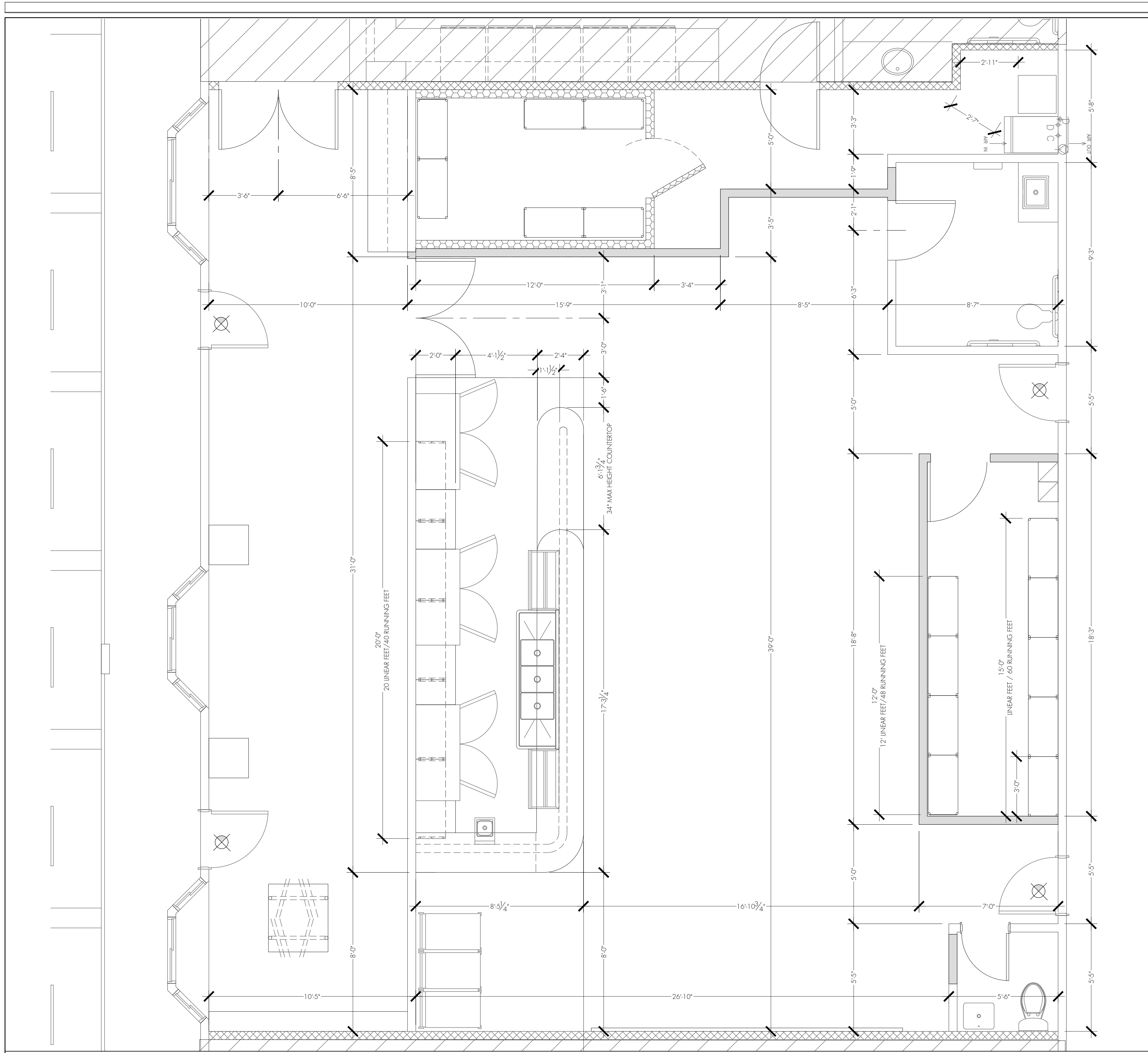
SCOPE:

TENANT IMPROVEMENT

FLOOR PLAN

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FLOOR PLAN

FLIGHTS & IRONS

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SCOPE:

TENANT IMPROVEMENT

DIMENSION FLOOR PLAN

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WITHIN FOOD FACILITIES THAT HAVE FOOD PREPARATION AREAS WHICH TOTAL 400 SF OR LESS AND HAVE 100 CUSTOMER SEATS OR LESS, TYPICALLY A MINIMUM OF 100 SQUARE FEET OF FLOOR SPACE SHOULD BE SUFFICIENT WHEN 32 LINEAR FEET OF APPROVED SHELVING UNITS IS INSTALLED IN THE 100 SQUARE FEET OF DEDICATED FLOOR SPACE OR 96 RUNNING FEET

PROVIDED: (9) SHELVING UNITS 3' WIDE = 27' LINEAR FEET (108) RUNNING FEET

LIQUOR STORAGE

(2) TWO ROWS OF (5) WALL MOUNTED SHELF UNIT 4' WIDE = 20' LINEAR FEET (40) RUNNING FEET

FOR EQUIPMENT DESCRIPTION REFER TO EQUIPMENT SCHEDULE A-3.0

DOOR SCHEDULE				WINDOW SCHEDULE			
MARK	SIZE	HARDWARE	QT	DESCRIPTION	MARK	SIZE (width x height)	DESCRIPTION
(E) D-1	36"x80"	WEATHER STRIPPING- DEADBOLT-KEYED ENTRY- DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS	4	EXISTING SWING DOOR, ALUMINUM FRAME, ANOD WITH TEMPERED GLAZING.	1	5'-4" x 5'-4"	(E) STOREFRONT WINDOW TO REMAIN. WOOD FRAME, DOUBLE GLAZED, TEMPERED GLASS FIXED
D-1	36"x80"	LOCKES- ADA LEVER- WEATHER STRIPPING	2	(N) DOUBLE SWING DOOR, SOLID CORE WOOD DOOR	2	1'-11" x 5'-4"	(E) STOREFRONT WINDOW TO REMAIN. WOOD FRAME, DOUBLE GLAZED, TEMPERED GLASS FIXED
D-2	36"x80"	EIASON EASY SWING-B HINGE SYSTEM, KICKPLATE	1	STAINLESS STEEL SWING TRAFFIC DOOR, 9"x14" CLEAR ACRYLIC WINDOW, MANUFACTURER TBD BY OWNER	MEANS OF EGRESS DOORS: 1010.1.2 DOOR SWING; EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SINGING TYPE 1010.1.2.1 DIRECTION OF SWING; PIVOT OR SIDE-HINGED SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY 1010.1.3 DOOR OPENING FORCE THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE. HARDWARE: 1010.1.9.1 DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. 1010.1.9.2 HARDWARE HEIGHT DOOR HANDLES, PULL, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MINIMUM AND 48" MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHTS 1010.1.9.5 UNLATCHING THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. MEANS OF EGRESS DOORS: 1010.1.5 FLOOR ELEVATION THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) EXCEPTION: VARIATIONS IN ELEVATION DUE TO DIFFERENCES IN FINISH MATERIALS, BUT NOT MORE THAN 1/2"		
D-3	36"x80"	PRIVACY LEVER WITH OCCUPANCY INDICATOR, SCHLAGE B571 INDICATOR DEADBOLT, SELF CLOSING HARDWARE, KICKPLATE	3	PREHUNG SOLID CORE WOOD DOOR IN GRAY STAIN, COLOR, PAINTED HOLLOW METAL TRIM PAINT P-1			
D-4	36"x80"	SELF CLOSING HARDWARE	1	PREHUNG SOLID CORE WOOD DOOR IN GRAY STAIN, COLOR, PAINTED HOLLOW METAL TRIM PAINT P-1			

ALL FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN CBC 803
 ALL FINISH MATERIALS SHALL COMPLY WITH 5.504.4 TO 5.504.5 FROM THE CAL GREEN IN T-2.2

- ACCESSIBLE LAVATORY NOTES:**
- LOCATION: THE LAVATORY SHALL BE LOCATED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 18" HORIZONTALLY FROM AN ADJOINING WALL OR FIXTURE. THE TOP OF THE FIXTURE RIM SHALL BE A MAXIMUM OF 34" ABOVE THE FINISH FLOOR. DISTANCE SHALL BE MEASURED TO THE HIGHER OF THE FIXTURE RIM FOR SURFACE MOUNT OR COUNTER SURFACE FOR UNDER MOUNT.
 - FLOOR SPACE: A CLEAR MANEUVERING SPACE AT LEAST 30" x 48" CLEAR SPACE SHALL BE PROVIDED IN FRONT OF AND CENTERED ON ACCESSIBLE LAVATORIES TO ALLOW FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL NOT EXTEND INTO THE KNEE AND TOE SPACE UNDERNEATH THE LAVATORY MORE THAN 19". THIS CLEAR SPACE SHALL COMPLY WITH ALLOWABLE REACH RANGES.
 - KNEE AND TOE SPACE SHALL BE PROVIDED AS SHOWN BELOW. A MAXIMUM OF 19" OF THE REQUIRED FORWARD APPROACH MAY BE PROVIDED BY KNEE AND TOE CLEARANCES.
 - THE FLOOR FINISH BENEATH THE LAVATORY SHALL EXTEND TO THE WALL.
 - HOT WATER & DRAIN PIPES EXPOSED UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 - LAVATORY FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE. LEVER OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
 - WHERE MIRRORS OR TOWEL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH SHALL BE ACCESSIBLE AND SHALL BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40" FROM THE FLOOR.

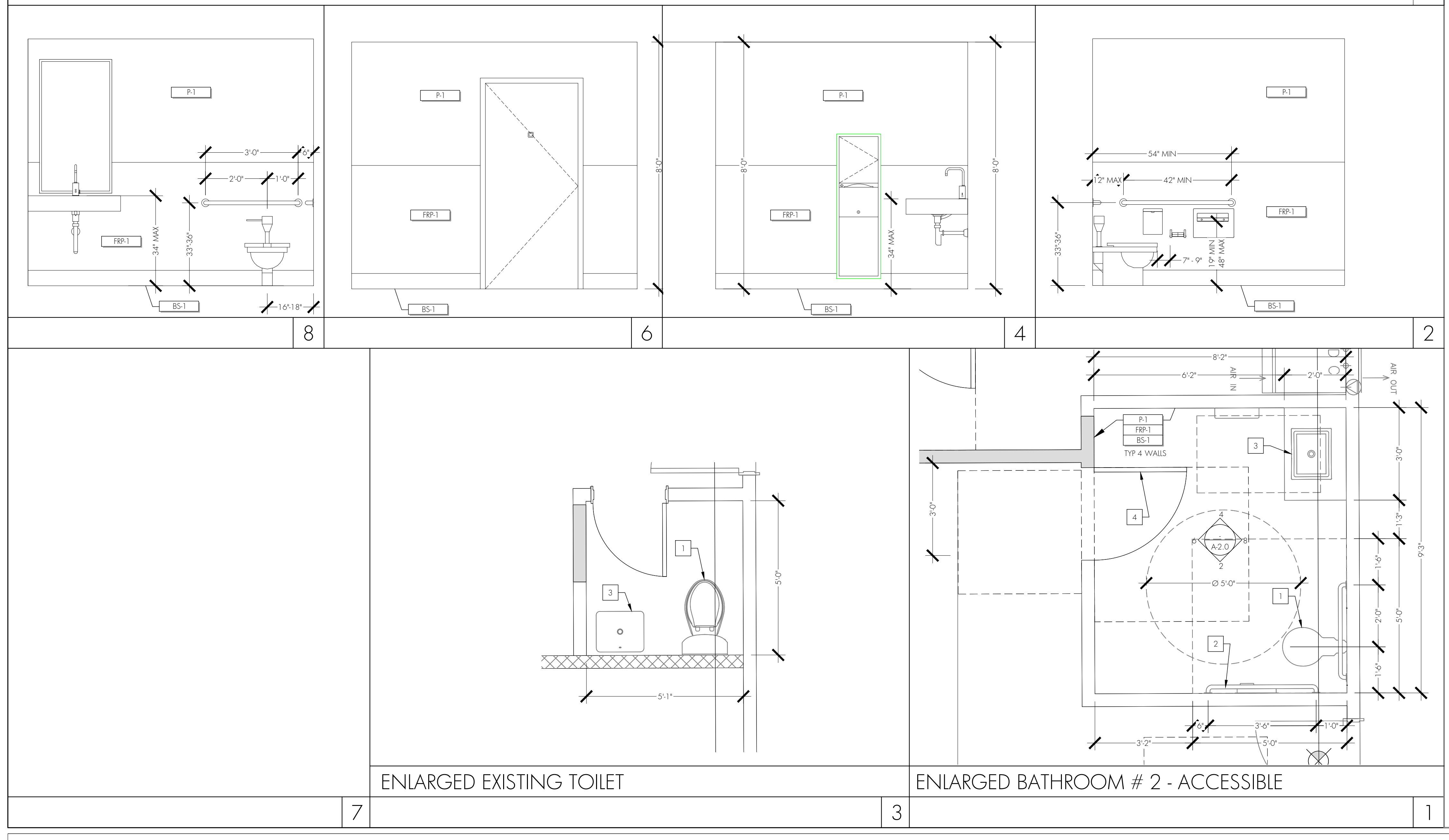
FLIGHTS & IRONS

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MIGLIOZZI
 ARCHITECTURE

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DOOR, WINDOW SCHEDULES



KEY NOTES

- (E) TOILET
- (E) GRAB BAR
- (E) SINK
- (N) ACCESSIBLE UNISEX RESTROOM ISA SIGNAGE. REFER TO 2/7-4

FOR BATHROOM FINISH SCHEDULE REFER TO A-3.0

FINISH SCHEDULE

MANUFACTURER	COLOR
T-1	MANUFACTURER TBD BY OWNER
BS-1	SEALED CONCRETE BASE
P-1	SHERWIN WILLIAMS PAINT
AL-1	MILLWORK LAMINATED COUNTERTOP
W-1	MILLWORK LAMINATED CABINETS
ACT-1	ARMSTRONG ACOUSTIC CEILING TILE
OC	OPEN CEILING
FRP-1	ALUMINUM FRP TO REMAIN

1. PAINT FINISH NOTES:
 *CEBRINGS - FLAT *BULKHEAD - EGGSHELL *NEUTRAL PERKS - SEMI-GLOSS *SERVICE ALCOVES (WALLS & CEBRINGS) - SEMI-GLOSS * DOORS & FRAMES - SEMI-GLOSS (METAL SPECIFIC APPLICATION)

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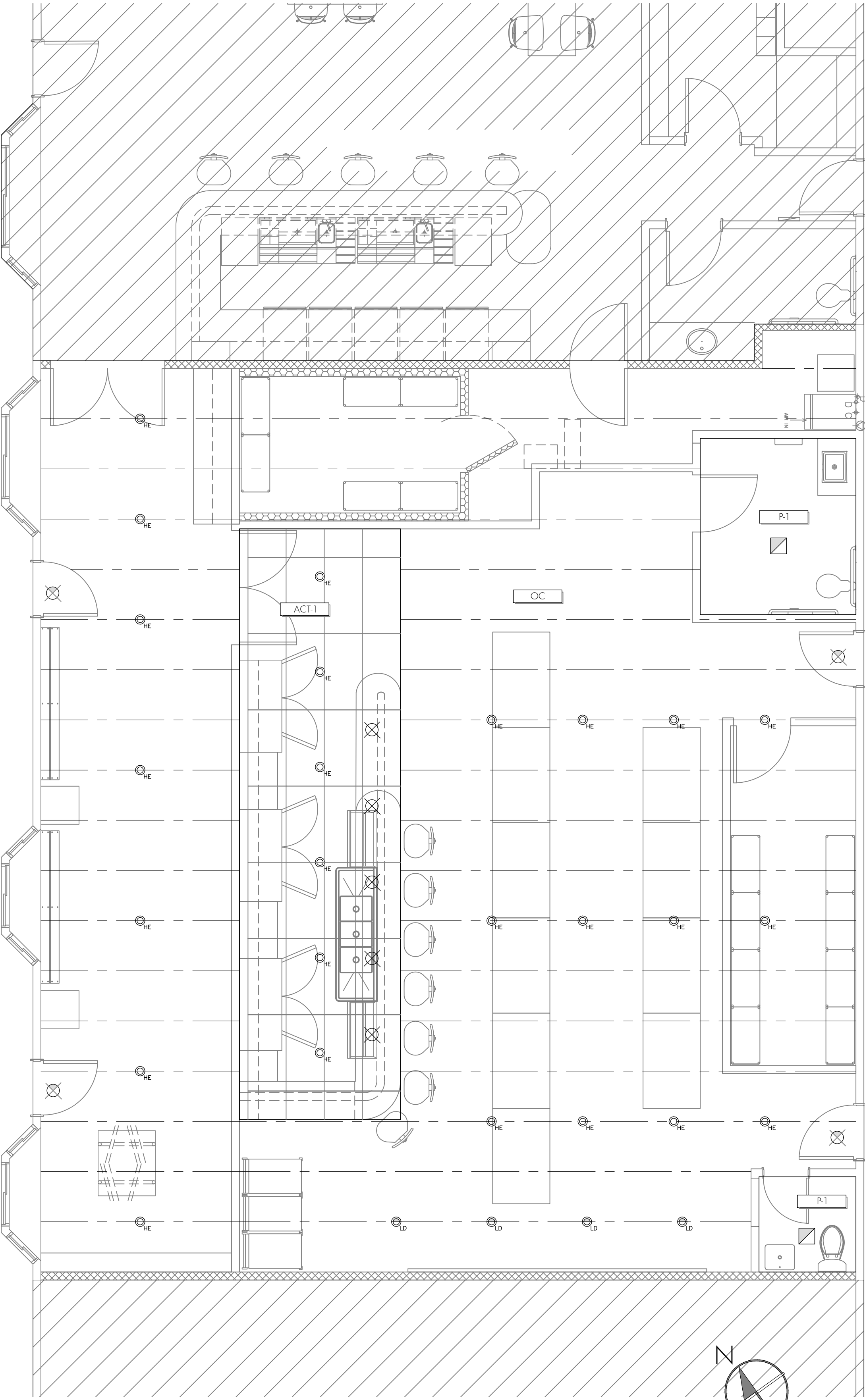
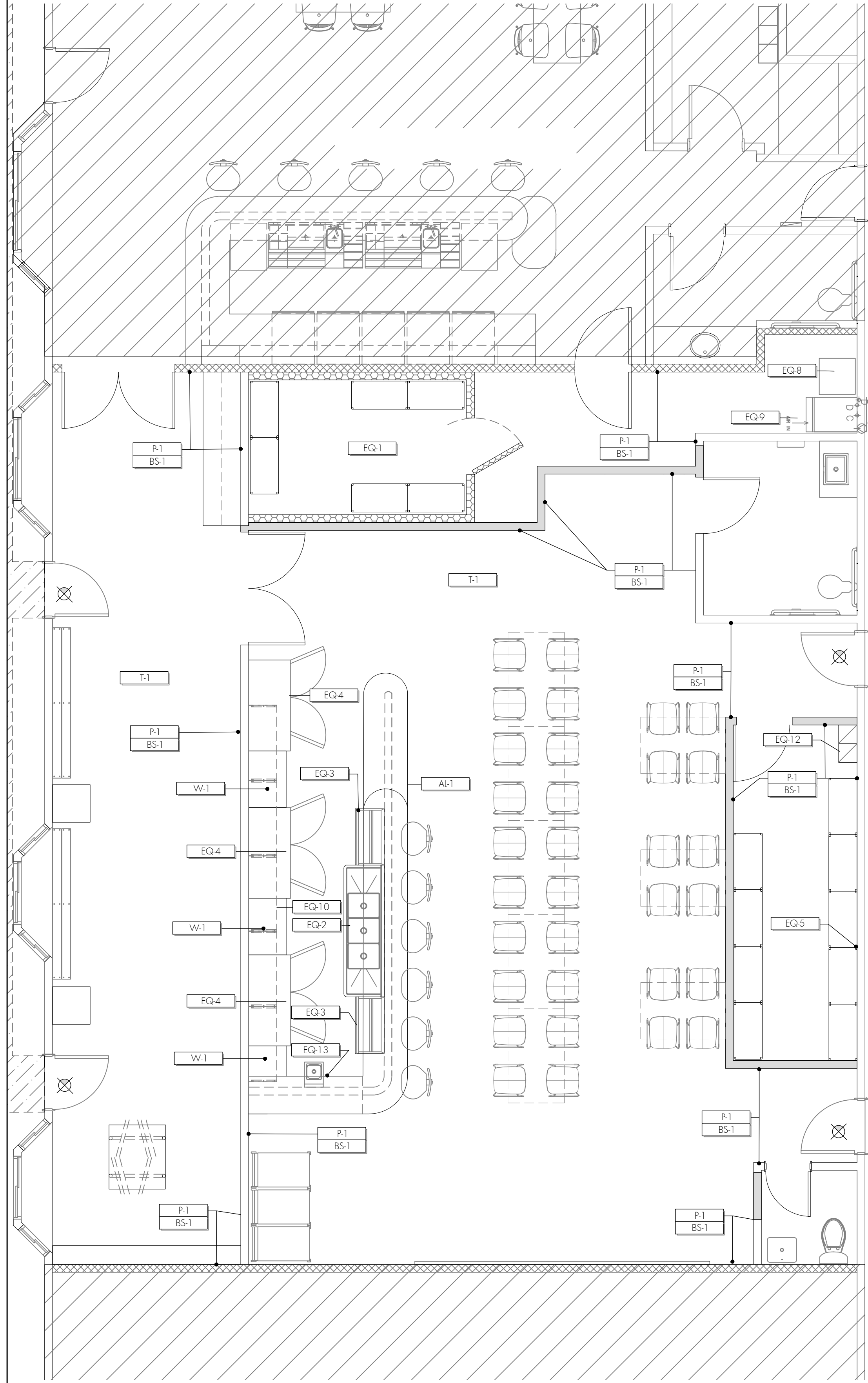
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ENLARGED BATHROOM
 PLANS & SCHEDULES

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EQUIPMENT INSTALLATION
 ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY SIX (6) INCH HIGH EASILY
 CLEANABLE LEGS, COMMERCIAL CASTERS, OR COMPLETELY SEALED IN POSITION ON A FOUR
 (4) INCH HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB.



EQUIPMENT SCHEDULE

MARK	DIMENSIONS (width x depth x height)	MODEL	MANUFACTURER	DESCRIPTION
EQ-1	8' x 12' x 8'	T-72 (3 doors, 9 shelves)	ARCTIC COOLERS	(N) WALK IN COOLER/FREEZER
EQ-2	84" (11x25"DEPTH)	PRB-24-73C	ADVANCE TABCO	(N) PRESTIGE SIGNATURE BAR 3 COMPARTMENT SINK
EQ-3	18"x36"	#600B1 836 KIT	REGENCY	STAINLESS STEEL UNDERBAR ICE BIN WITH SLIDING LID
EQ-4	58 7/8"x27 3/4" Dx.36 1/4"HT	#178UBB2H C	UBB SERIES	(N) AVANTCO BACK BAR REFRIGERATOR
EQ-5	18" X 36" X 74"	#460E1836 SDS	REGENCY 5-SHELF RACK	5 SHELF STATIONARY RACK
EQ-6				TBD BY OWNER
EQ-7				TBD BY OWNER
EQ-8				(N) SODA DISPENSER
EQ-9				ICE MAKER
EQ-10	W 48" X D 18"		REGENCY	WALL MOUNTED SHELF 16 GAUGE STAINLESS STEEL HEAVY DUTY SOLID WALL SHELF
EQ-11				
EQ-12	12" WIDE SINGLE TIER	#61168	LOCKERS.COM	(N) LOCKER
EQ-13	17" x 15" -80Vx 14" x 10"	B086ZFYFJ4	PROFESSHAW	(N) WALL MOUNTED 20 GAUGE STAINLESS STEEL HAND SINK NSF- COMMERCIAL

FINISH SCHEDULE

	MANUFACTURER	COLOR
T-1	TILE	MANUFACTURER TBD BY OWNER
BS-1	SEALED CONCRETE BASE	STAINED GRAY. REFER TO 1/A.6.0 FOR SEALANT MANUFACTURER
P-1	SHERWIN WILLIAMS PAINT	SW 7006 EXTRA WHITE (1)
MILLWORK		
AL-1	MILLWORK LAMINATED COUNTERTOP	STEEL FINISH
W-1	MILLWORK LAMINATED CABINETS	WOOD FINISH
CEILING FINISHES		
ACT-1	ARMSTRONG ACOUSTIC CEILING TILE 2"x4" - 681/684 MESA ANGIED REGULAR WHITE	OPTIMA HEALTH ZONE. MEETS USDA/FSIS GUIDELINES FOR USE IN FOOD PROCESSING AREAS. WASHABLE AND SCRUBBABLE
OC	OPEN CEILING	OPEN CEILING
FRP-1	ALUMINUM FRP TO REMAIN	ALUMINUM FRP TO REMAIN

1. PAINT FINISH NOTES:
 *CEILINGS - FLAT *BUCKHEAD - EGGSHELL *NEUTRAL PERS - SEMI-GLOSS *SERVICE ALCOVES (WALLS
 & CEILINGS) - SEMI-GLOSS * DOORS & FRAMES - SEMI GLOSS (METAL SPECIFIC APPLICATION)

KEY NOTES

- (N) BENCH. REFER TO 2/A1.0. MANUFACTURER TBD BY OWNER
- (N) RETAIL DISPLAY
- (N) COUNTERTOP
- (N) TABLES AND CHAIRS
- (N) BAR STOOLS
- (N) CLOTHES HANGER
- (N) SERVICE CART
- (N) RACKS
- (N) SERVICE CABINETS. TBD BY OWNER

LIGHT FIXTURE SCHEDULE

MARK	TYPE	LUMENS	MANUFACTURER	SIZE	QT	DESCRIPTION
⊙ _D	LED CYLINDER DOWNLIG HT	1000L 15 WATTS /2700 K	ALCON	6"	25	ALCON 11235-DR COMMERCIAL LED 6" NEW CONSTRUCTION 12" STEM MOUNT DIRECT DOWN LIGHT DIMMABLE
⊙ _D	LED CYLINDER ADJUSTABLE	700 L CRI 2700 2700 K	ALCON	4"	5	ALCON 11235-ADJ. SURFACE MOUNT ADJUSTABLE CYLINDER
⊗	LED DIMMABLE STANDARD		POSSINI		5	JANIE 15 1/2" WIDE BLACK AND GOLD DOME PENDANT LIGHT

FLIGHTS & IRONS

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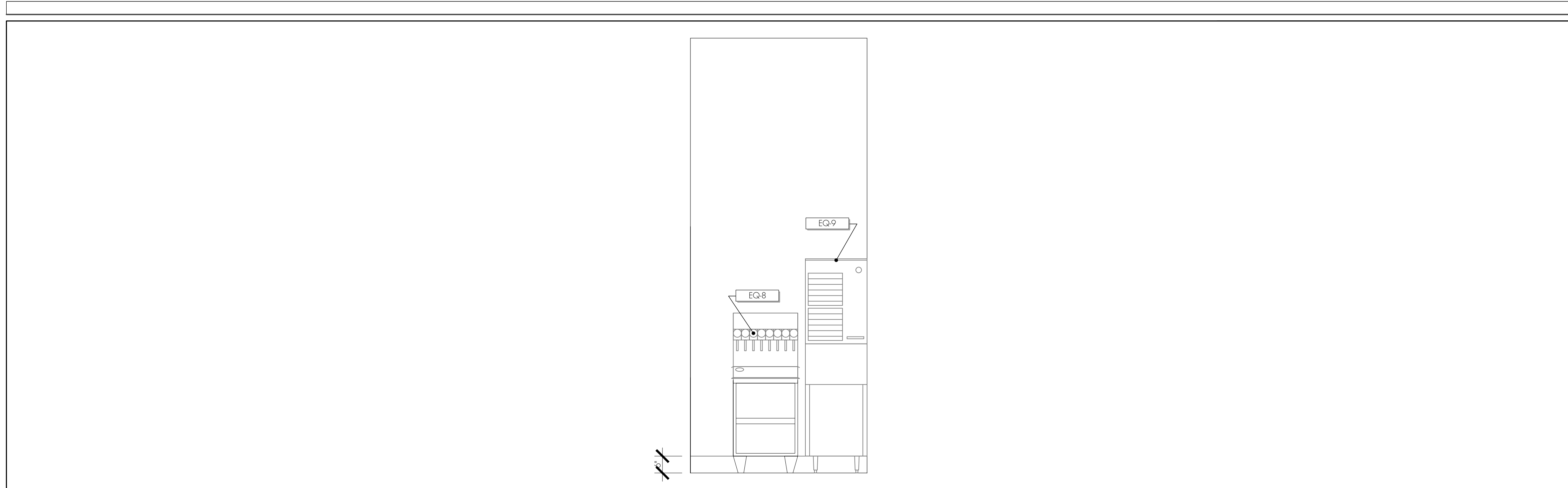
SCOPE:

TENANT
 IMPROVEMENT

EQUIPMENT PLAN &
 RCP

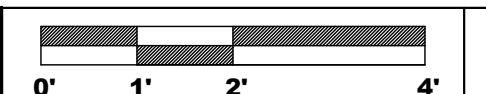
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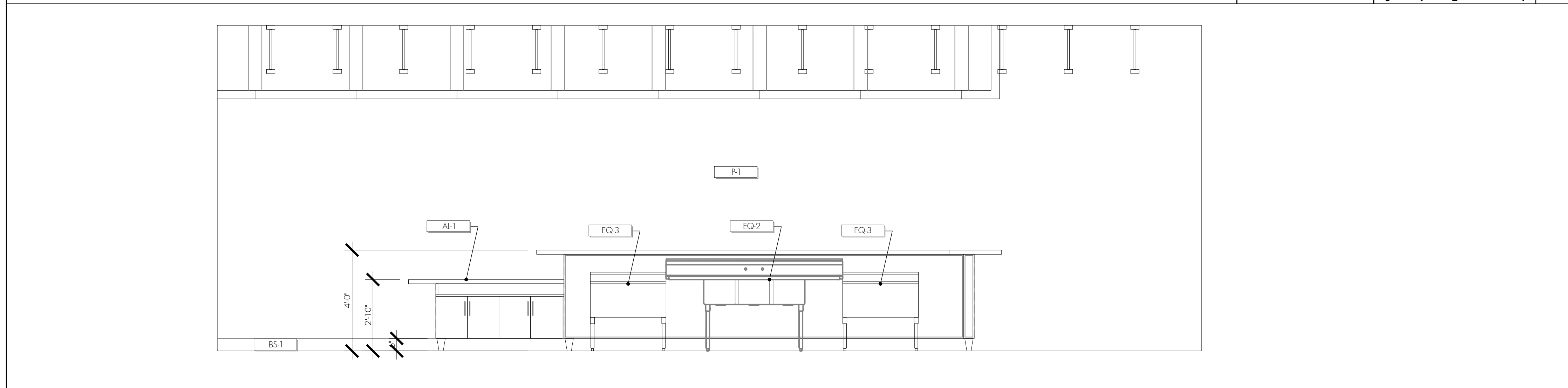


ELEVATION

SCALE @ 11x17: 1/4" = 1'-0"
SCALE @ 24x36: 1/2" = 1'-0"

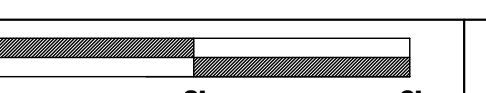


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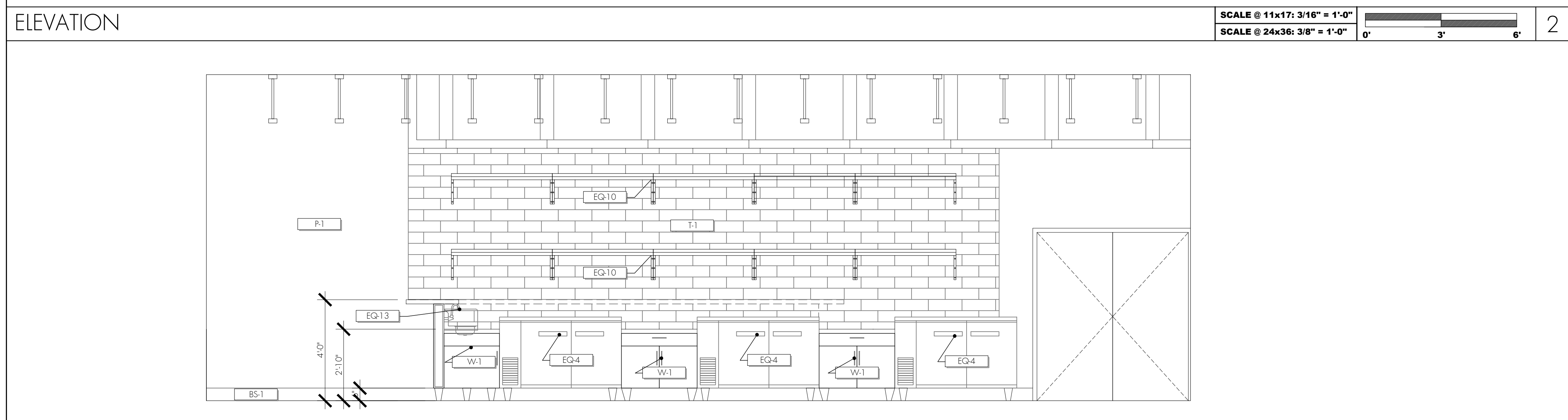


ELEVATION

SCALE @ 11x17: 3/16" = 1'-0"
SCALE @ 24x36: 3/8" = 1'-0"

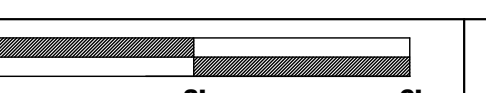


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ELEVATION

SCALE @ 11x17: 3/16" = 1'-0"
SCALE @ 24x36: 3/8" = 1'-0"



1

EQUIPMENT SCHEDULE

MARK	DIMENSIONS (width x depth x height)	MODEL	MANUFACTURER	DESCRIPTION
EQ-1	8' x 12' x 8'	T-72 (3 doors, 9 shelves)	ARCTIC COOLERS	(N) WALK-IN COOLER/FREEZER
EQ-2	84" (1x25" DEPTH)	PRB-24-73C	ADVANCE TABCO	(N) PRESTIGE SIGNATURE BAR 3 COMPARTMENT SINK
EQ-3	18"x36"	#600B1836 KIT	REGENCY	STAINLESS STEEL UNDERBAR ICE BIN WITH SLIDING LID
EQ-4	58 7/8" W x 27 3/4" D x 36 1/4" H	#17BUBB2H C	LUBB SERIES	(N) AVANTCO BACK BAR REFRIGERATOR
EQ-5	18" X 36" X 74"	#460EC1836 SDS	REGENCY 5-SHELF RACK	5 SHELF STATIONARY RACK
EQ-6	TV SCREEN			TBD BY OWNER
EQ-7	SERVICE CARTS			TBD BY OWNER
EQ-8	(N) DROP IN DISPENSER			(N) SODA DISPENSER
EQ-9	HOSHIZAKI			ICE MAKER
EQ-10	W 48" X D 18"		REGENCY	WALL MOUNTED SHELF 16 GAUGE STAINLESS STEEL HEAVY DUTY SOLID WALL SHELF
EQ-11	12" WIDE SINGLE TIER	#61168	LOCKERS.COM	(N) LOCKER
EQ-12	17" x 15" - 80VOLT 14" x 10"	B086ZFYFJ4	PROFEESHAW	(N) WALL MOUNTED 20 GAUGE STAINLESS STEEL HAND SINK NSF-COMMERCIAL

FINISH SCHEDULE

MARK	MANUFACTURER	COLOR
T-1	TILE	MANUFACTURER TBD BY OWNER
BS-1	SEALED CONCRETE BASE	STAINED GRAY. REFER TO 1/A-6.0 FOR SEALANT MANUFACTURER
P-1	SHERWIN WILLIAMS PAINT	SW 7006 EXTRA WHITE (1)
MILLWORK		
AL-1	MILLWORK LAMINATED COUNTERTOP	STEEL FINISH
W-1	MILLWORK LAMINATED CABINETS	WOOD FINISH
CEILING FINISHES		
ACT-1	ARMSTRONG ACOUSTIC CEILING TILE 2'x4' - 681/684 MESA ANGLIED REGULAR WHITE	OPTIMA HEALTH ZONE. MEETS USDA/FSIS GUIDELINES FOR USE IN FOOD PROCESSING AREAS. WASHABLE AND SCRUBBABLE
OC	OPEN CEILING	OPEN CEILING
FRP-1	ALUMINUM FRP TO REMAIN	ALUMINUM FRP TO REMAIN

1. PAINT FINISH NOTES:
* CEILINGS - FLAT * BULKHEAD - EGGSHELL * NEUTRAL PERS - SEMI-GLOSS * SERVICE ALCOVES (WALLS & CEILINGS) - SEMI-GLOSS * DOORS & FRAMES - SEMI GLOSS (METAL SPECIFIC APPLICATION)

KEY NOTES

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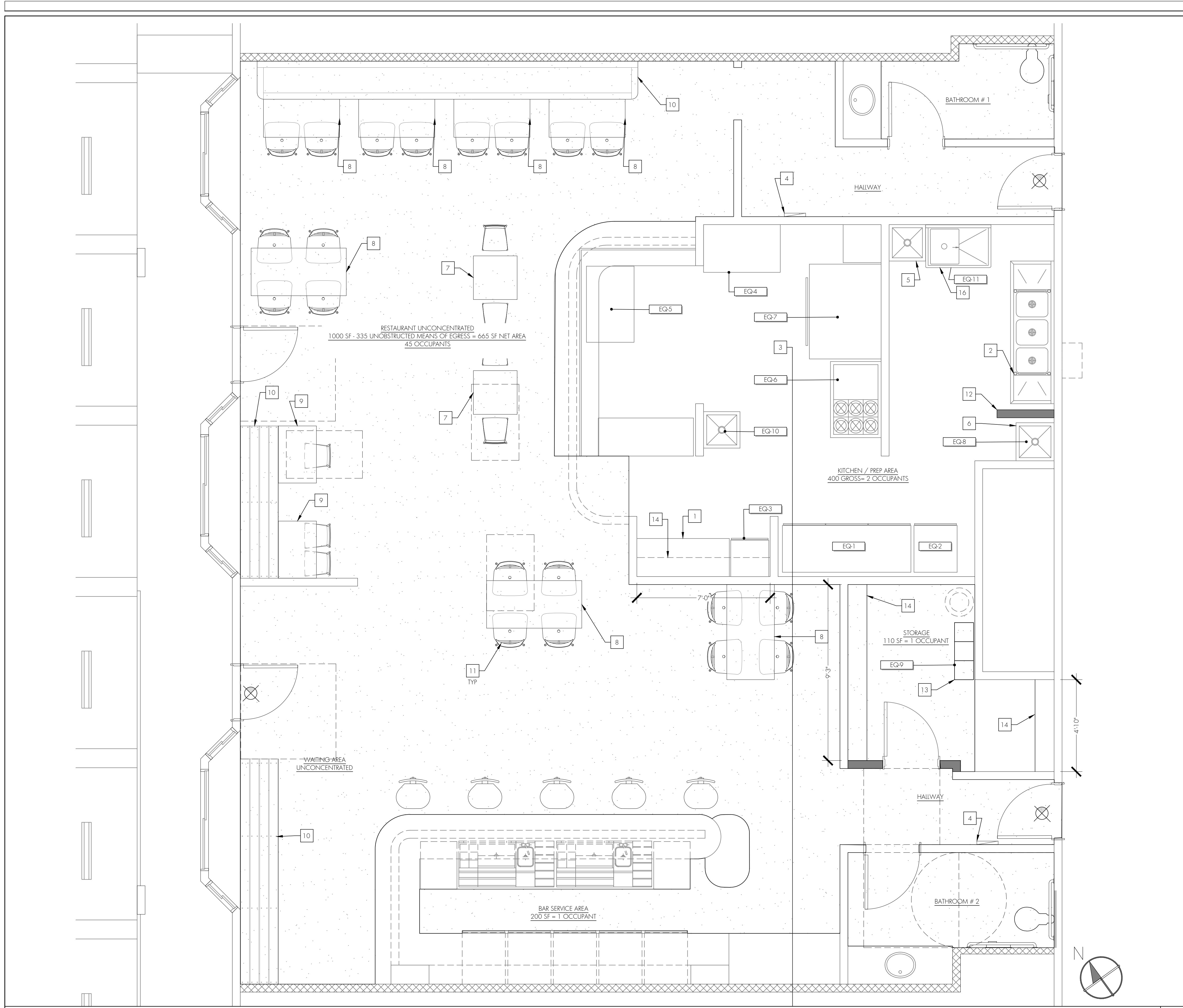
SCOPE:

TENANT
IMPROVEMENT

ELEVATIONS

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EQUIPMENT PLAN

1

EQUIPMENT SCHEDULE

MARK	DIMENSIONS (width x depth x height)	MODEL	MANUFACTURER	DESCRIPTION
EQ-1	78 1/8" x 29 1/2" x 79 1/8"	T-72 (3 doors, 9 shelves)	TRUE (FOOD SERVICE EQUIPMENT)	(E) REACHIN SOLID SWING DOOR REFRIGERATOR
EQ-2	32 3/4" x 26 3/4" x 82 3/4"	AR23	ARCTIC AIR	(E) SINGLE DOOR REACHIN REFRIGERATOR
EQ-3	24 7/8" x 23 1/8" x 53 1/2"	GDM-10	TRUE	(E) GLASS DOOR SWING DOOR REFRIGERATOR
EQ-4	48 3/8" x 30 1/8" x 36 3/4"	TSSU-48-12	TRUE	(E) FOOD PREP TABLE: SOLID DOOR SANDWICH/SALAD UNIT
EQ-5	48" x 29" 1/4" x 34 1/2"	UCR48	BEVERAGE-AIR	(E) STANDARD UNDERCOUNTER REFRIGERATOR CABINET
EQ-6	48" x 30" x 10"	ARHP48-8	AMERICAN RANGE	(E) HEAVY DUTY HOT PLATES
EQ-7	60" x 45 1/4" x 78 1/4"	WSFD-6045	WOOD STONE	(E) FIRE DECK 6045 STONE HEARTH OVEN
EQ-8	24" x 24"	SR2424	FLORESTONE	(E) MOLDED MOP SINK
EQ-9	12" x 3" x 5"	Model # 62352	LOCKERS.COM	12" WIDE DOUBLE TIER STANDARD METAL LOCKER. SERVES 6
EQ-10	12" x 12"	WHS-1212.5 D	I&J Import	STAINLESS STEEL HAND SINK - NSF - COMMERCIAL EQUIPMENT 12" X 12"
EQ-101	40.3/16" X 23.1/2" bowl size= 18 X 18 X 12	1PB18-1D18	John Boos & Co	Bowls & 16 gauge stainless Steel.

EQUIPMENT INSTALLATION
 ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY SIX (6) INCH HIGH EASILY CLEANABLE LEGS, COMMERCIAL CASTERS, OR COMPLETELY SEALED IN POSITION ON A FOUR (4) INCH HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB.

KEY NOTES

- 1 (E) COUNTERTOP AND CABINETS
- 2 (E) 3 COMPARTMENT SINK TO REMAIN
- 3 (E) OVEN TO REMAIN. REFER TO EQUIPMENT SCHEDULE
- 4 (E) ELECTRICAL METER
- 5 (E) SINGLE SINK TO REMAIN
- 6 (E) MOP SINK
- 7 (N) 24"x24" WOOD TABLE. MANUFACTURER TBD BY OWNER
- 8 (N) 60" x 30" WOOD TABLE. MANUFACTURER TBD BY OWNER.
- 9 (N) 24"x36" WOOD TABLE. MANUFACTURER TBD BY OWNER
- 10 (N) BENCH. REFER TO 2/A1.0. MANUFACTURER TBD BY OWNER
- 11 (N) CHAIR. MANUFACTURER TBD OWNER.
- 12 (N) SIX (6) FOOT HIGH PARTITION, AS MEASURED FROM THE FLOOR
- 13 12" WIDE DOUBLE TIER STANDARD METAL LOCKER - 3 WIDE - 5 FEET HIGH - 12 INCHES DEEP
- 14 (N) DRY FOOD STORAGE. PROVIDE 96 RUNNING FEET OF FRY FOOD STORAGE SHELVING (8 SHELVES x 9" = 72") + (4 SHELVES x 4" = 16") + (2 SHELVES x 7" = 14") = 106' REQUIRED - 96' / PROVIDED = 106'
- 15 (N) WALL MOUNTED HANDWASHING BASIN AT A READILY ACCESSIBLE CENTRAL LOCATION WITHIN THE FOOD PREPARATION AREA. THE MINIMUM REQUIRED SIZE IS 8" X 8" X 5" DEPTH WITH 6" HIGH INTEGRAL BACK SPRAY
- 16 (N) (18" X 18" X 12") SINGLE COMPARTMENT, STAINLESS STEEL SINK WITH AN INTEGRAL DRAINBOARD, OR AN APPROVED PREPARATION TABLE ADJOINING IT. THE LIQUID WASTE FROM THE SINK MUST DRAIN INTO A FLOOR SINK VIA AN INDIRECT CONNECTION.

SYMBOLS

(Hatched pattern) FLOOR AREA TO RECEIVE (N) STAIN

FLIGHTS & IRONS

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SHEET ISSUE & REVISION LOG

date	comments
04/27/2018	2nd City Submittal
07/23/2018	City Comments

SCOPE:

TENANT IMPROVEMENT

INFORMATION ONLY

EQUIPMENT PLAN

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