



**FROM ALLEY LOOKING NORTHWEST**

Calvada Development  
Mixed Use  
1430 S. El Camino Real  
San Clemente, California

DESIGNED BY  
*Petrosky*  
AND ASSOCIATES  
INC.  
1000 BRISTOL STREET N STE. 270  
NEWPORT BEACH, CA 92660  
TEL. (949) 833-3240



**FROM EL CAMINO REAL LOOKING SOUTHEAST**

Calvada Development  
Mixed Use  
1430 S. El Camino Real  
San Clemente, California

DESIGNED BY  
*Petross*  
AND ASSOCIATES  
INC.  
1000 BENTLEY STREET N STE 270  
NEWPORT BEACH, CA 92660  
TEL: (949) 833-3240



**FROM EL CAMINO REAL LOOKING SOUTHWEST**

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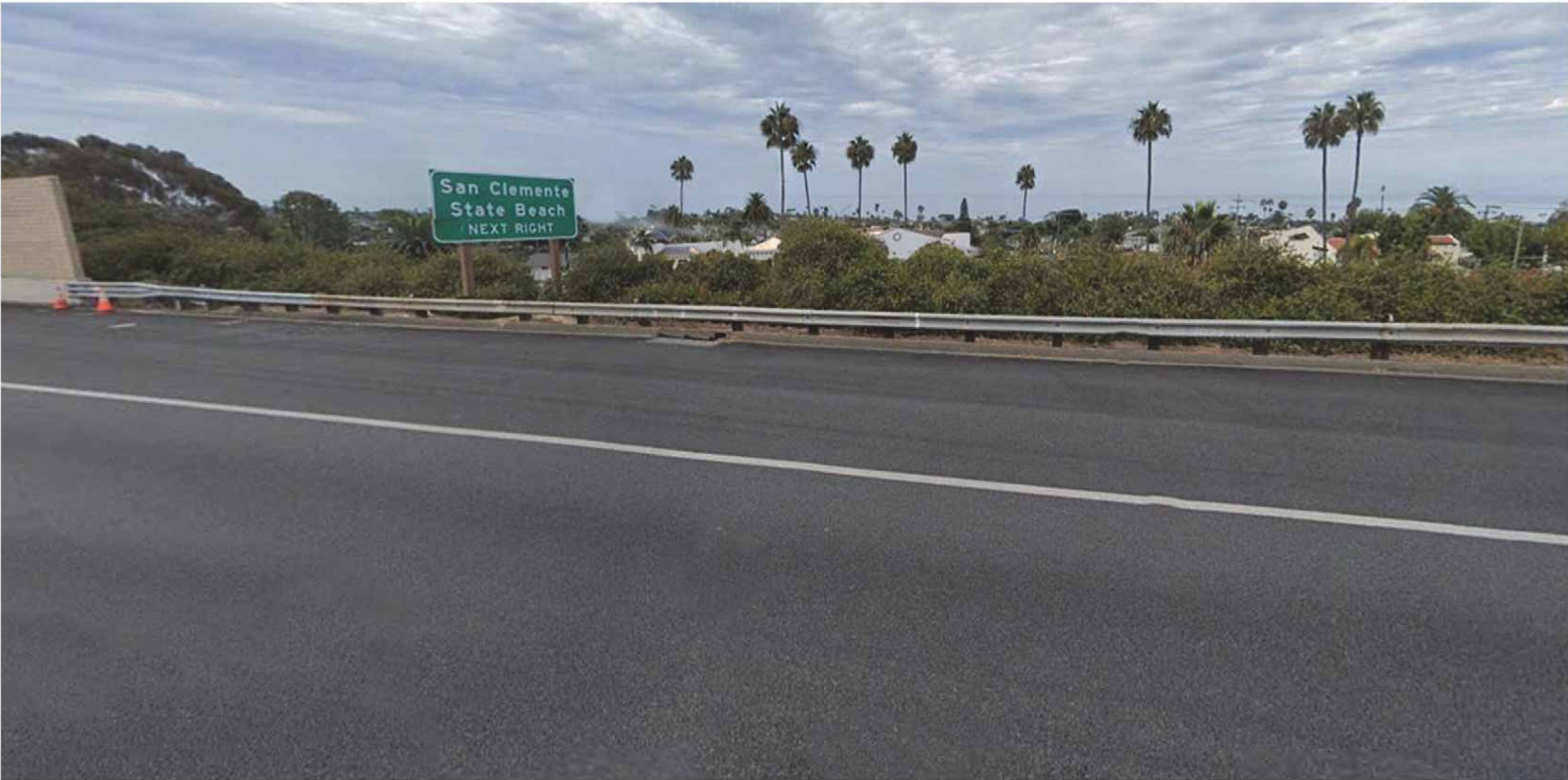
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**FROM ALLEY LOOKING EAST**

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*Looking From Interstate 5*

Calvada Development  
Mixed Use  
1430 S. El Camino Real  
San Clemente, California



# CALVADA DEVELOPMENT

MASTER SIGN PROGRAM  
1430 S. EL CAMINO REAL  
SAN CLEMENTE, CA 92672  
OCTOBER 12, 2021

DRAWINGS CHECKED BY:

PROGRAM NO: 10-21-0005

DESIGN \_\_\_\_\_

PRODUCTION \_\_\_\_\_

INSTALLATION \_\_\_\_\_



12226 Coast Drive  
Whittier, California 90610  
562-946-7545 Telephone  
562-949-5707 Facsimile  
[www.lorenindustries.com](http://www.lorenindustries.com)

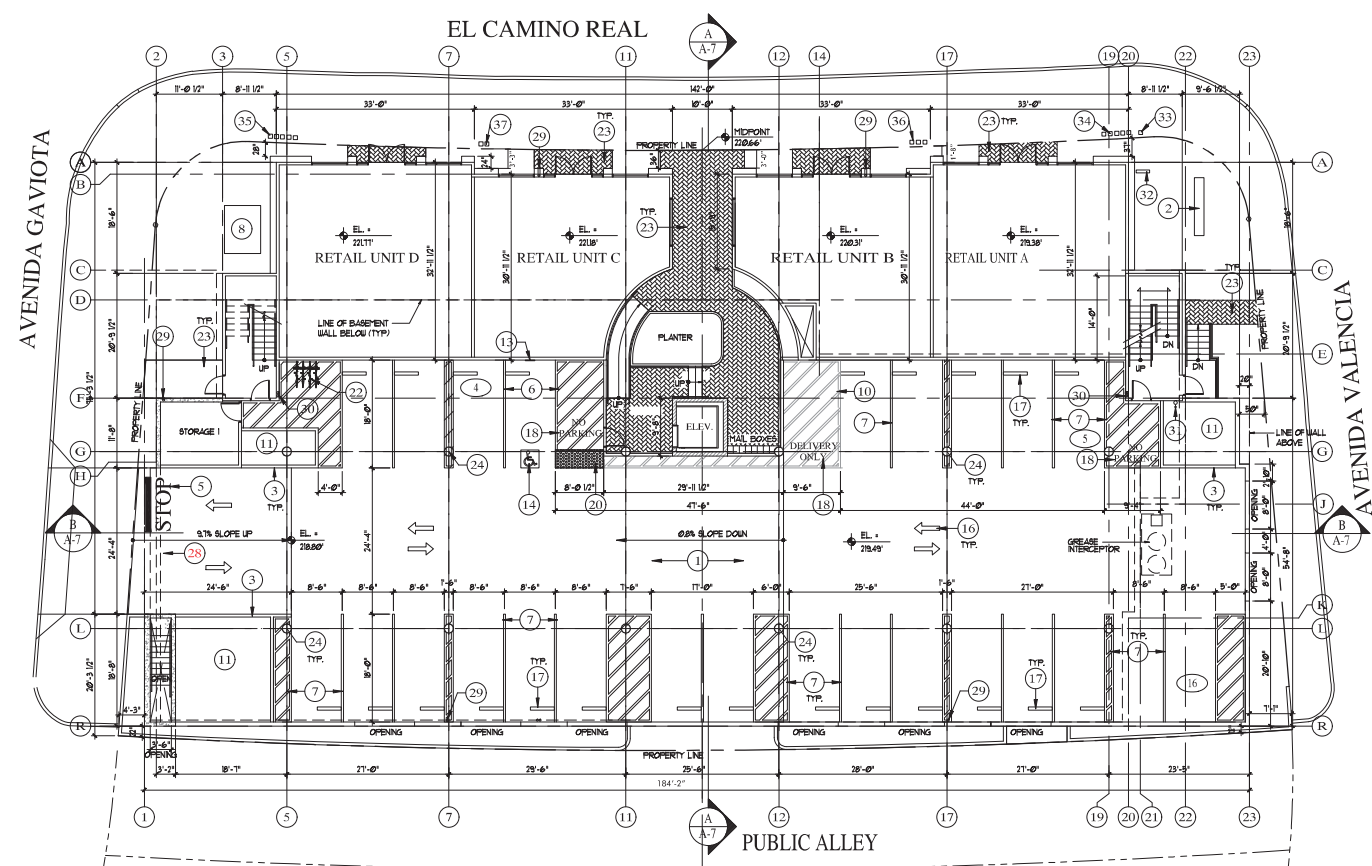
RESIDENTIAL VS. COMMERCIAL FAR  
 T-1: TOTAL FAR: 1.27; RESIDENTIAL: 0.90; COMMERCIAL: .37  
 MU3.2 ZONE REQUIRES THAT THE COMMERCIAL FAR FOR

MU3.2 ZONE REQUIRES THAT THE COMMERCIAL FAR FOR MIXED USE PROJECTS BE A MINIMUM OF 0.35. COMMERCIAL FAR IN EXCESS OF 0.35 CAN RECEIVE A PARKING CREDIT FOR AN INCREASE ABOVE THE MINIMUM FAR FOR COMMERCIAL USES. HOWEVER, THIS COULD BE WAIVED UNDER AN INCENTIVE/CONCESSION CONSIDERATION FOR AFFORDABLE HOUSING.

Move to your development plan set -- not in your sign program

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MONUMENT ( NORTH-EAST )	



**SITE PLAN**  
1/32"=1'-0"

**TENANT**

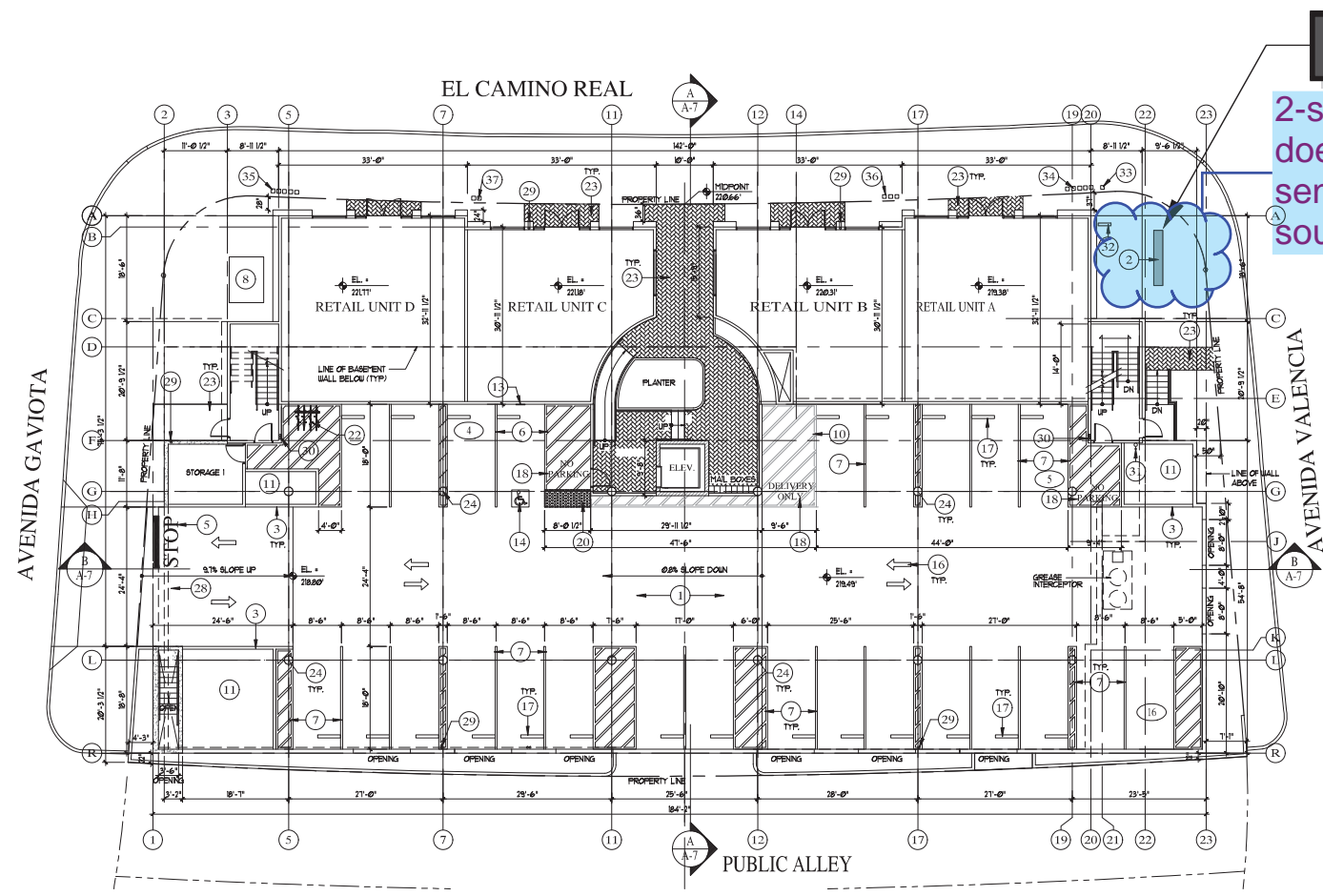
The signage design guidelines set by this document apply to retail and food service areas of Calvada Development.

And office?

**PLAN KEY NOTES :**

- |   |   |   |  |
|---|---|---|--|
| <ul style="list-style-type: none"> <li>① CONCRETE SLAB REFER TO STRUCT. PLAN</li> <li>② FREE STANDING MONUMENT SIGN UNDER SEPARATE PERMIT</li> <li>③ CONC. CURB AT PLANTER</li> <li>④ CONC. CURB</li> <li>⑤ 4" WIDE HIGHWAY WHITE PAINTED LETTERING "STOP" (2 COATS)</li> <li>⑥ 4" WIDE BLUE COLOR PAINTED STRIPS (2 COATS.) INDICATING PEDESTRIAN WALK (TYP.)</li> <li>⑦ PAINT 4" WIDE PARKING STRIPING W/ HIGHWAY WHITE PAINT (2 COATS)</li> <li>⑧ EDISON TRANSFORMER PAD - REFER TO ELECTRICAL DWGS.</li> <li>⑨ ENTRANCE HANDICAP PARKING SIGN</li> <li>⑩ 4" WIDE YELLOW COLOR PAINTED STRIPS (2 COATS.)</li> <li>⑪ LANDSCAPE AREA - REFER TO LANDSCAPE DWGS.</li> </ul> | <ul style="list-style-type: none"> <li>⑫ FUTURE GREASE INTERCEPTOR SEE CIVIL DWGS.</li> <li>⑬ HANDICAP PARKING SIGN</li> <li>⑭ INTERNATIONAL SYMBOL ACCESSIBILITY</li> <li>⑮ FIRE LANE, PAINT TOP AND FACE OF CURB RED COLOR AT HATCHED CONC. CURB AREAS (TYP.)</li> <li>⑯ PAINTED DIRECTIONAL ARROWS HIGHWAY WHITE PAINT (2 COATS)</li> <li>⑰ CONCRETE WHEEL STOP</li> <li>⑱ HIGHWAY WHITE "NO PARKING" AND "NO PARKING FIRE LANE" PAINT ON GROUND NOT LESS THAN 12" HIGH</li> <li>⑲ TRASH ENCLOSURE</li> <li>⑳ TRUNCATED DOME</li> <li>㉑ CONCRETE WALL</li> </ul> | <ul style="list-style-type: none"> <li>㉒ BICYCLE RACK</li> <li>㉓ CONCRETE PAVER</li> <li>㉔ CONCRETE COLUMN</li> <li>㉕ (E) CONCRETE SIDEWALK</li> <li>㉖ PROPERTY LINE</li> <li>㉗ ROLL UP GRILL GATE</li> <li>㉘ SWINGING WROTH IRON GATE</li> <li>㉙ ROOF DRAIN DOWN FROM GUTTER ABOVE DAYLIGHT OVER PAVERS</li> <li>㉚ ROOF DRAIN DOWN FROM ROOF DAYLIGHT OVER CONC. SLAB</li> <li>㉛ FIRE SPRINKLER RISER</li> </ul> | <ul style="list-style-type: none"> <li>㉜ BACK FLOW PREVENTER FOR FIRE LINE</li> <li>㉝ IRRIGATION METER</li> <li>㉞ 5 DOMESTIC METERS FOR APARTMENT UNITS 1, 2, 3, 6, 10</li> <li>㉟ 5 DOMESTIC METERS FOR APARTMENT UNITS 4, 5, 7, 8, 9</li> <li>㊱ 3 DOMESTIC METERS FOR RETAIL UNITS A &amp; B AND OFFICE SPACES</li> <li>㊲ 2 DOMESTIC METERS FOR RETAIL UNITS C &amp; D</li> </ul> |
|---|---|---|--|





**M1** MONUMENT ( NORTH-EAST )

2-sided sign  
doesn't make  
sense? Not visible  
south-bound

**FREESTANDING SIGN LOCATIONS**

The signage design guidelines set by this document apply to retail and food service areas of Calvada Development.

**SITE PLAN**  
1/32"=1'-0"



## GENERAL GUIDELINES

The Signage Design Guideline is a controlled signage and graphics program. These guidelines describe the types of signs allowed and their design criteria within retail areas of the Calvada Development. (refer to map on p. 3).

- The purpose of these criteria is to establish the sign standards necessary to insure coordinated, proportional exposure for all tenants.

Existing signs of any type may remain until tenant space is vacated and re-tenanted. • The existing tenant signs shall be required to come into conformance with the approved tenant design guidelines upon change in tenant occupancy or a change to the sign, unless otherwise approved by the Planning Department.

## DESIGN

**Signs should be removed within 90 days of being vacated**

All work shall be of excellent quality. Landlord reserves the right to reject any work determined to be of insufficient quality by Landlord or the project architect.

Sign contractor shall provide necessary fastenings and bracings to securely install the sign.

All conductors, transformers or other equipment will be concealed where possible.

No exposed neon tubing lamps will be permitted.

No animated, flashing, floating, balloon or audible signs will be permitted.

No advertising placards, banners pennants, names, insignias, trademarks, or other descriptive material shall be affixed upon the glass panes and supports of the show windows and doors or upon the exterior walls of the building or storefront and anywhere on the property grounds without prior written approval from Landlord.

Window signs will be permitted with the total signage allowance for each tenant determined by the overall size of their storefront. A maximum of 25% of the area of glass in a storefront opening may be blocked by window graphics. Window graphics do not count toward overall allowed signage area. Area can be calculated by assuming a square field around graphics that may have irregular shape. Signs taped on storefront are prohibited.

Both the location of the proposed sign(s) and the design of their visual elements (lettering, words, figures, color, decorative motifs, spacing and proportions) are to be legible under normal viewing conditions.

Location and design of proposed signs (e.g. size, shape, illumination and color) shall compliment the visual characteristics of the surrounding area so as not to detract from nor cause to decrease the value or quality of adjacent properties.

Location and design of proposed sign shall not obscure from view or unduly detract from existing or adjacent signs.

## APPROVALS

Each tenant shall submit to the landlord, via email PDFs, a detailed shop drawing of his proposed sign indicating conformance to this criteria, such submittals shall include but not be limited to pertinent dimensions, details and color call-outs.

### **New tenant signs require a building permit from the City.**

~~Any proposed sign that is not in compliance with the requirements of the Tenant Design Guidelines shall require approval by the Planning Department and Landlord.~~

~~All signs and their installation must comply with local building and electrical codes. City of San Clemente ordinances should be consulted for requirements not covered in this criteria.~~

**Sign Approval Process:** If Landlord determines that the submitted signs are in conformance with these Tenant Signage Design Guidelines, Tenant may proceed in obtaining a sign permit for the approved sign with all city departments. Electrical permits will be required for all signage lighting. Specialty Tenant Signs require submittal to the Planning Department for determination of conformance to these guidelines.

The tenant shall submit Landlord approved drawings to the City of San Clemente per the required approvals and permits.

All signs permitted under the Tenant Design Guidelines shall be constructed and installed in accordance with the applicable sections of the approved Calvada Development Tenant Design Guidelines.

## TENANT RESPONSIBILITY

The tenant shall pay for all signs including their installations, graphic design/fees, lighting and maintenance.

Electrical service to all signs shall be on Tenant's meter unless otherwise approved by Landlord.

Tenant shall be responsible for penetrations, leaks, and/or defacement caused by his sign contractor.

Signs shall be maintained in good condition at all times and shall be repaired or replaced at tenant cost, pursuant to lease.

Tenant shall be responsible to follow all City of San Clemente Provision codes, including **Prohibited Signs.**

## GENERAL GUIDELINES II

### TYPE OF SIGNS

#### Tenant Storefront Signage - Revers Pan Halo Illuminated Channel Letters

All Tenants storefront signage in the Calvada Development should be designed to conform with specifications required in this criteria

All Tenant Signs in the center are to be individual front halo illuminated pin mounted channel letters. The sign should be internal illuminated with white LED modules. Externally illuminated signs are not permitted ~~unless sign is existing.~~

Channel letter faces and returns shall be constructed from aluminum face with clear lexan back.

Cabinet signs are not permitted only if Tenant has a registered corporate trademark logo. Design of cabinet will need to have dimensional elements in order to be permitted and granted written approval from the Landlord.

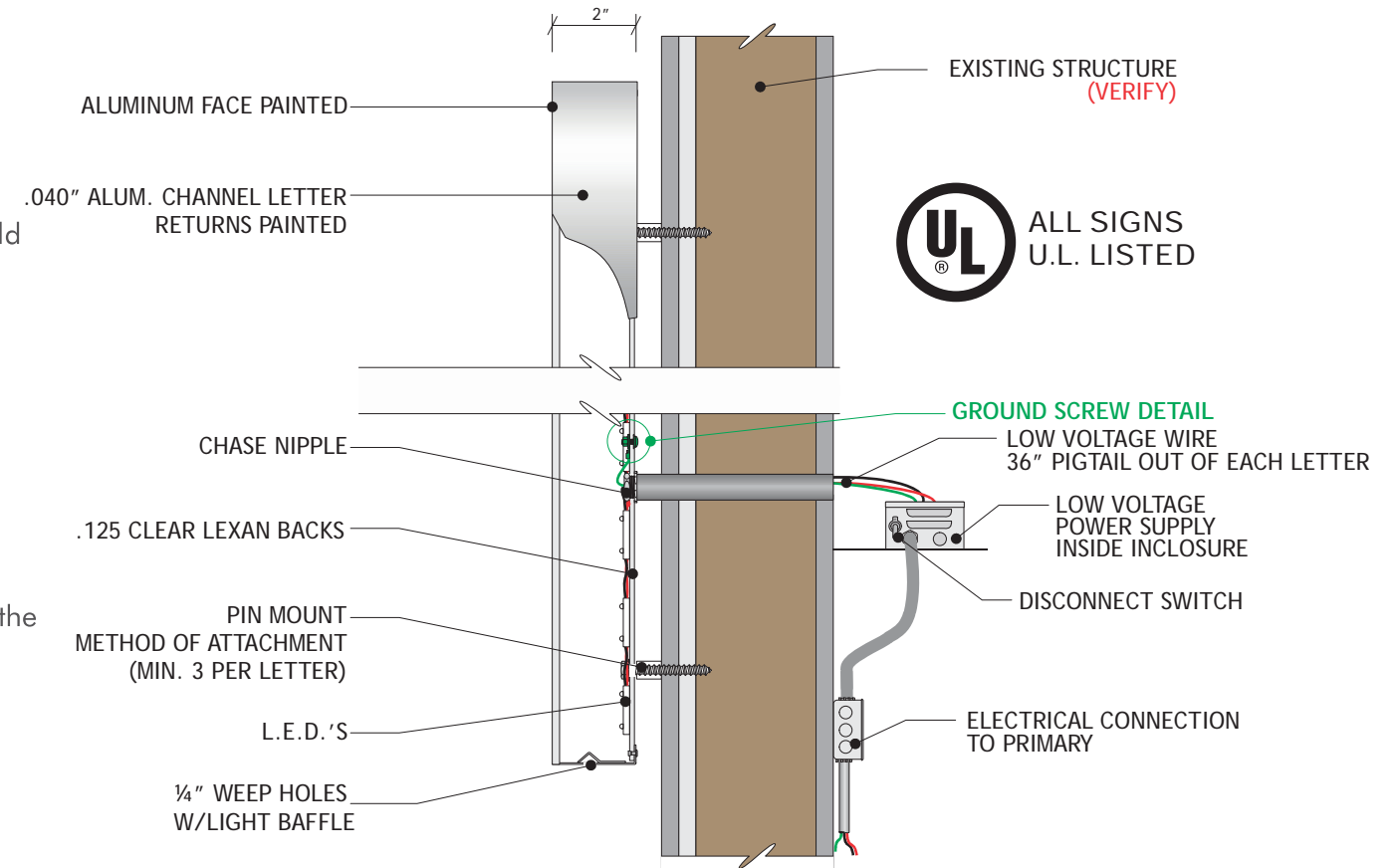
Signs shall be attached to building parallel to the building face. No portion of any sign or its supporting structure may project more than six and half inches (6 1/2") from the face of the building or structure to which it is attached.

Tenants sign widths shall be determined by Tenant lease frontage calculated based on one (1) square foot of sign area for every lineal foot of business facade (1:1) = 25 sq.ft. max per tenant. Tenant copy shall be contained with the dimensions of the designated sign band area for each tenant lease frontage.

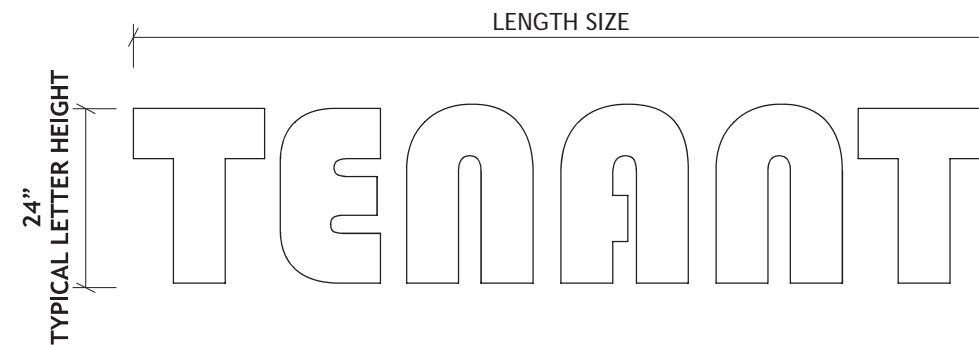
### LOGOS

Logos must follow same sign restrictions as Tenant storefront signage.

Registered corporate trademark logos are permitted to use their color scheme for faces only. Letter returns and trim cap must follow same sign restrictions as stated in the guidelines unless special permission is granted in the form of prior written approval from the Landlord.



**SECTION DETAIL REVERSE PAN CHANNEL W HALO ILLUMINATED CHANNEL LETTERS**  
SCALE: NTS



**ILLUMINATED PIN-MOUNTED HALO-LIT CHANNEL LETTERS**  
FRONT VIEW SCALE: 1/2" = 1'-0"

SPECIFICATIONS:	
LETTERS:	
FACES:.....	.125" <del>WHITE ACRYLIC FACES</del> Aluminum faces
RETURNS:.....	.040" X 5.300 ALUMINUM COIL
BACKS:.....	1/8" ACM WHITE BACKS
TRIM CAP:.....	1" JEWELITE TRIMCAP
ILLUMINATION:..	WHITE LED'S



CALVADA DEVELOPMENT TENANT SIGNAGE - FULL NORTH ELEVATION  
WALL SIGN - TENANT STANDARD  
SCALE: 1/16" = 1'-0"

EL CAMION REAL

**BUILDING FRONTAGE**  
17.5625' AVERAGE PLATE HEIGHT OF BALCONY

Signs are too tight;  
need to reduce height



AVENIDA GAVIOTA

Hand Painted w/ hours

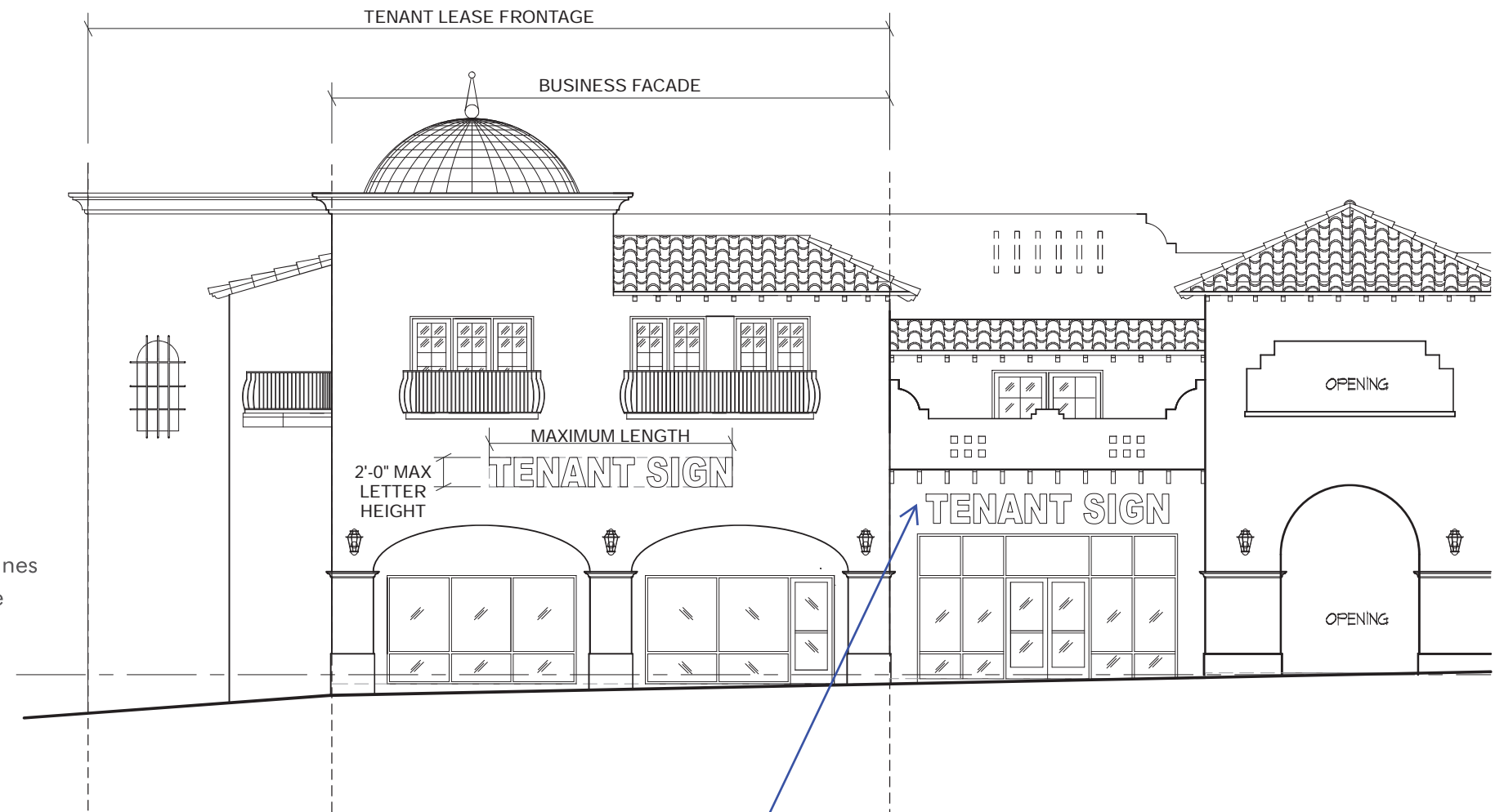
CALVADA DEVELOPMENT TENANT SIGNAGE - FULL WEST ELEVATION  
WALL SIGN - TENANT STANDARD  
SCALE: 1/16" = 1'-0"

## SIGN TYPE GUIDELINES **TENANTS**

(RETAIL UNIT A)

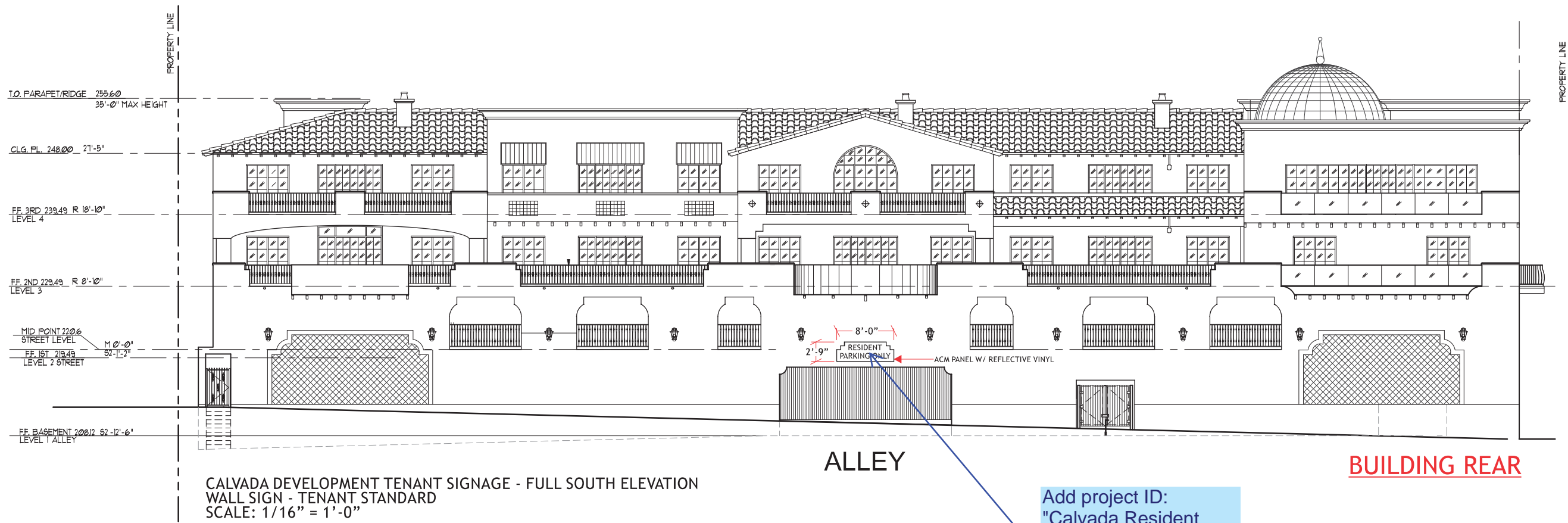
### Tenant Wall Signs

- Individual letters, logos or iconography are permitted.
- Signs must include individual Reverse pan channel letters or similar.
- The sign should be internal illuminated with white LED modules. Externally illuminated signs are not permitted unless sign is existing.
- The maximum letter height is 24" and shall not exceed 25sq.ft. per tenant on the designated sign band area - See Elevation.  
Letters and logos cannot extend beyond the designated sign band area unless special permission is granted in the form of prior written approval from the Landlord.
- Channel letter faces and returns shall be constructed from aluminum ~~painted.~~
- Registered corporate trademark logos are permitted to use their color scheme for faces only. Letter returns must follow same sign restrictions as stated in the guidelines unless special permission is granted in the form of prior written approval from the Landlord. **Still limited to same max height (18"?)**
- Signs shall be attached to building parallel to the building face. No portion of any sign or its supporting structure may project more than six and half inches (6 1/2") from the face of the building or structure to which it is attached.
- ~~Only one Fascia Sign is permitted per tenant unless the tenant has a additional facades, and then more Fascia Signs would be allowed per facade.~~
- Existing signs of any type may remain until tenant space is vacated and retenanted.
- Logos may not exceed twenty-five percent (25%) of the sign area except for registered corporate trademarks. Logos must follow same sign restrictions as Tenant storefront signage.

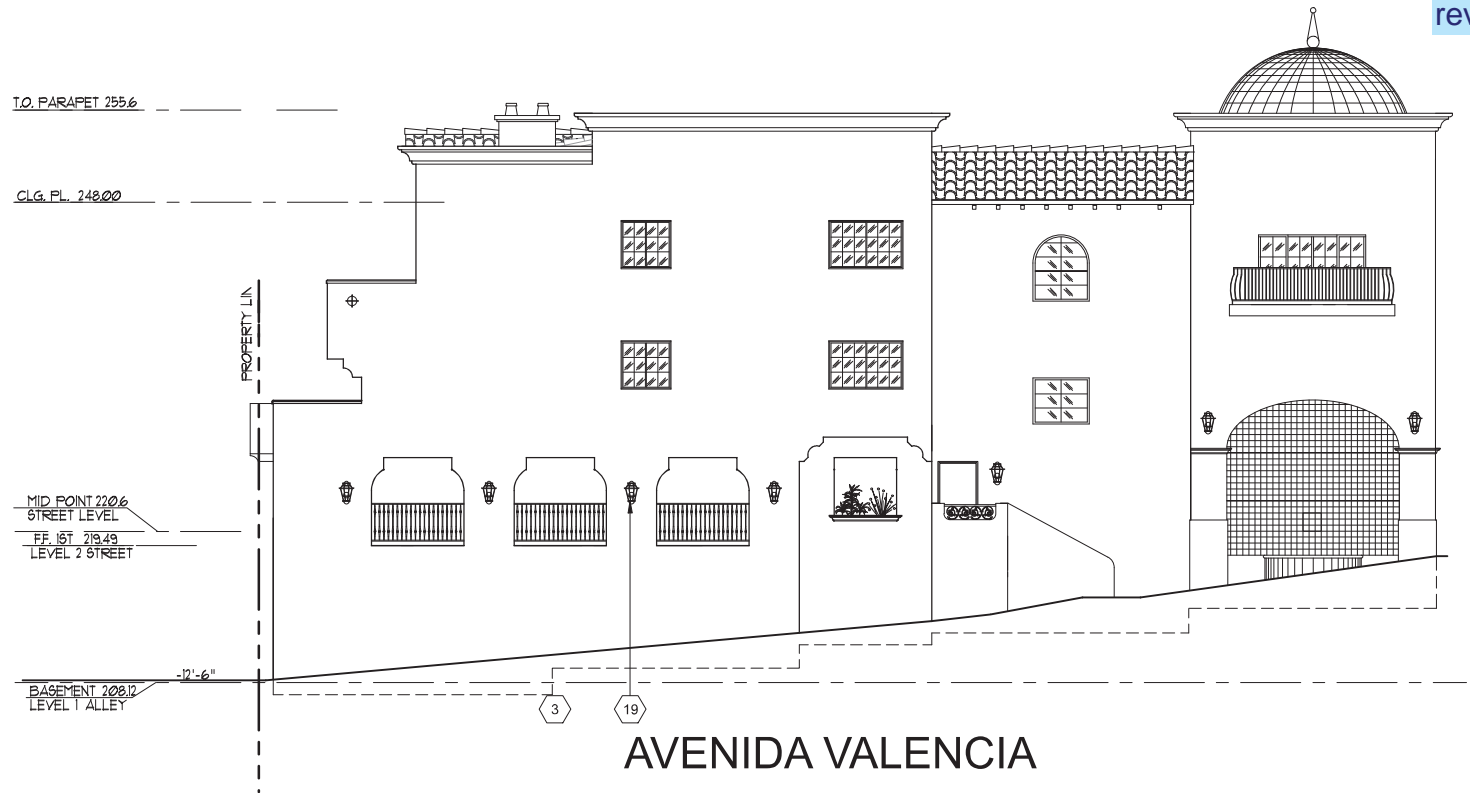


CALVADA DEVELOPMENT TENANT SIGNAGE  
WALL SIGN - TENANT STANDARD  
SCALE: 3/32" = 1'-0"

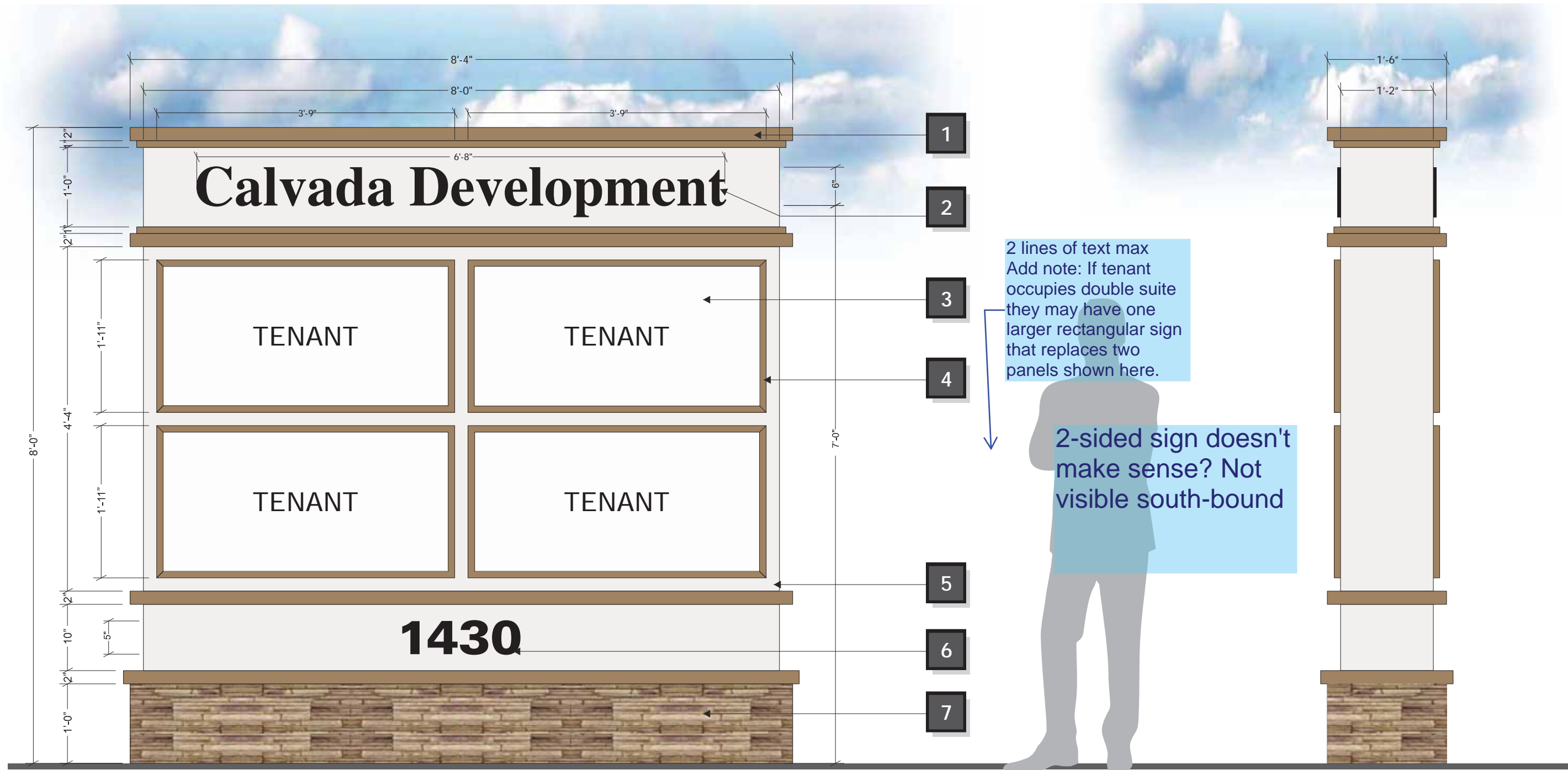
Too tight: 18" max?  
Reduce window  
height?



CALVADA DEVELOPMENT TENANT SIGNAGE - FULL SOUTH ELEVATION  
WALL SIGN - TENANT STANDARD  
SCALE: 1/16" = 1'-0"



CALVADA DEVELOPMENT TENANT SIGNAGE - FULL EAST ELEVATION  
WALL SIGN - TENANT STANDARD  
SCALE: 1/16" = 1'-0"



NOTE:  
ALL TENANT PANELS  
NEED LANDLORD APPROVAL

**MATERIAL CALL OUTS:**

- 1 ALUMINUM FRAME AND SKIN
- 2 ROUTED OUT PUSH THRU COPY WITH 1/2" CLEAR PLEX WITH DAY/NIGHT VINYL
- 3 LEXAN FACE W/ TRANSLUCENT VINYL
- 4 1" RETAINERS PAINTED ACCENT COLOR
- 5 .090 ALUMINUM SKIN PAINTED COLOR (T.B.D.)
- 6 FLAT CUT OUT ADDRESS LETTERS
- 7 BRICKWORK (EXACT STONE TO BE DETERMINED)

Should be  
pin-mounted, halo-lit

**COLOR CALL OUTS:**

- OFF WHITE TO MATCH BUILDING
- TO MATCH BUILDING ACCENTS
- BRICKWORK (EXACT STONE T.B.D.)
- BLACK A.C.M
- TO BE ILLUMINATED BY WHITE LED



# Calvada Mixed Use

1430 S. El Camino Real

DRSC – 2nd Review – November 9, 2022

Staff: Jonathan Lightfoot, Economic Development Officer

Applicant: Architect / Hannibal Petrossi





San  
Clemente  
THE SPANISH VILLAGE BY THE SEA



# Project

- Description: 10 apartment units (1 affordable) totaling 16,864 square feet of interior space, with 25 corresponding parking stalls; and 6,942 square feet of retail/office space with 24 corresponding parking stalls.
- DRSC required for SPP / CHP / DSP
- Site: 18,703 square feet (0.43 acres) at S. ECR and Valencia
  - Gateway: El Camino Real off ramp
  - Zoning: MU3.2 / A / AH / Coastal Zone

# Existing Site



# Rendering of Proposal



# MU in SC: Venetian Villas



# MU in SC: 1010 Santiago





San  
Clemente  
THE SPANISH VILLAGE BY THE SEA



# Recommendations

# 1. Signs vs Glazing.

Reduce the height of tenant glazing and break up with divided lites. Reducing the 10-foot storefront systems would improve the stucco proportions and create more breathing room for tenant signage.



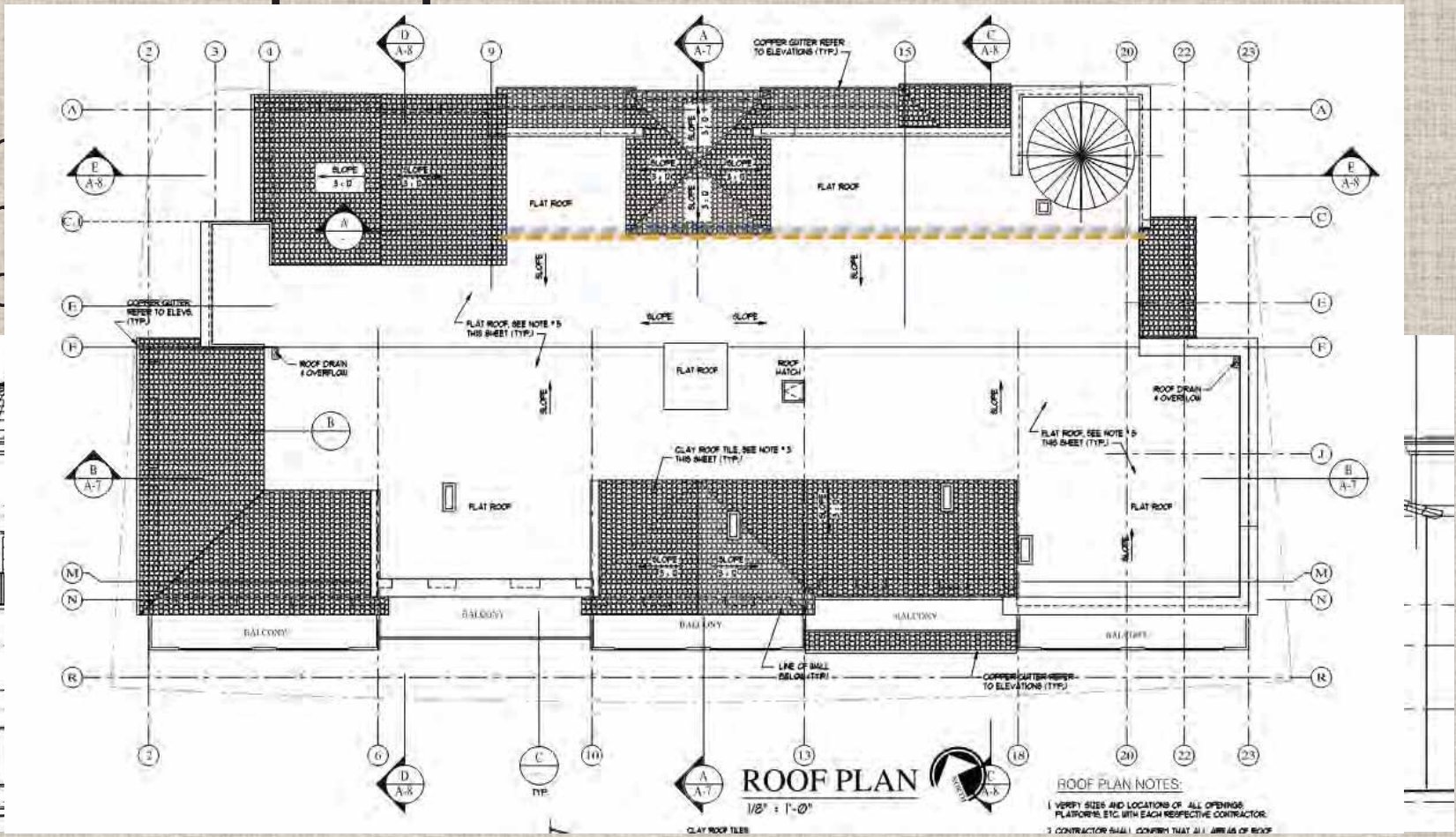
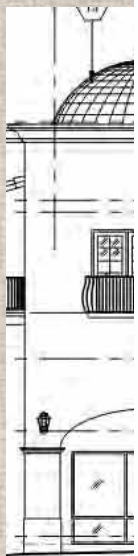


FROM EL CAMINO REAL LOOKING SOUTHWEST



# 3. Minimize parapet.

Minimize  
maximize  
the area



## 4. Exposed Rafter Tails

On the northwest perspective from the alley, clarify the roof treatment. Roof tiles should terminate beyond the soffit. Fascia boards should not cover rafter tails.



## 5-6. Long Planes of Glass & Bull Nosed Edges

- On the east perspective from the alley, long planes of glass are discouraged in SCR design. Replace the glass guardrail with stucco or wrought iron.
- For stucco, note that all corners should have bull-nosed edges and that control joints are not permitted.



## 7. Roof Tiles

Roll tiles over rakes and slake the tile to encapsulate these tiles. Boosters should be used at ridges, edges, and hips.





## 8. Sign Program Comments

## A-b. Signs vs Glazing.

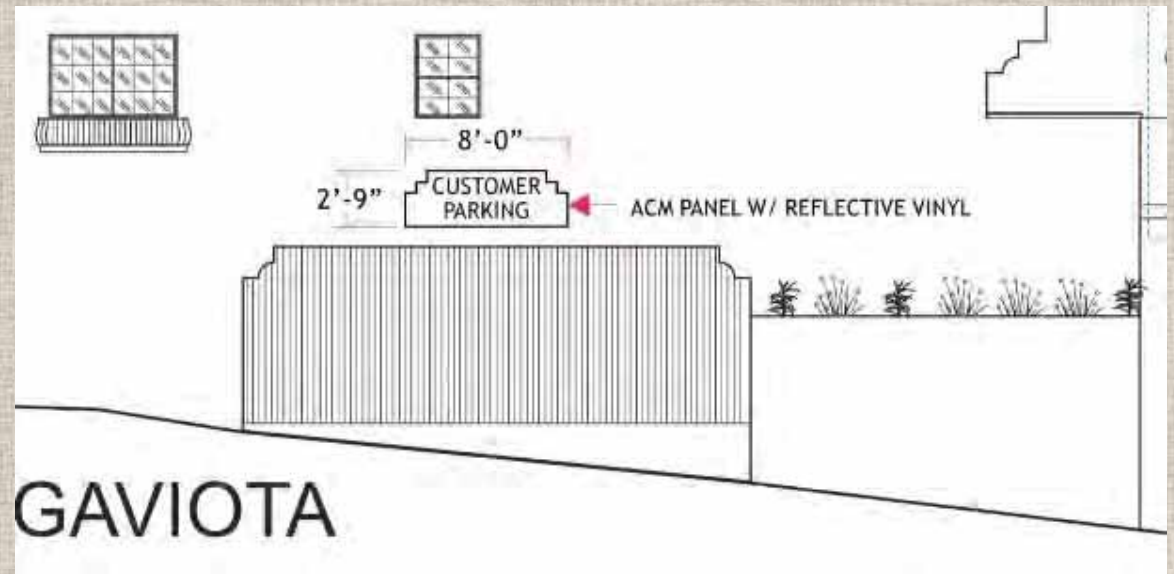
Reducing storefront height would improve the stucco proportions and create more breathing room for tenant signage.

Will 2nd floor office tenants get any signage?



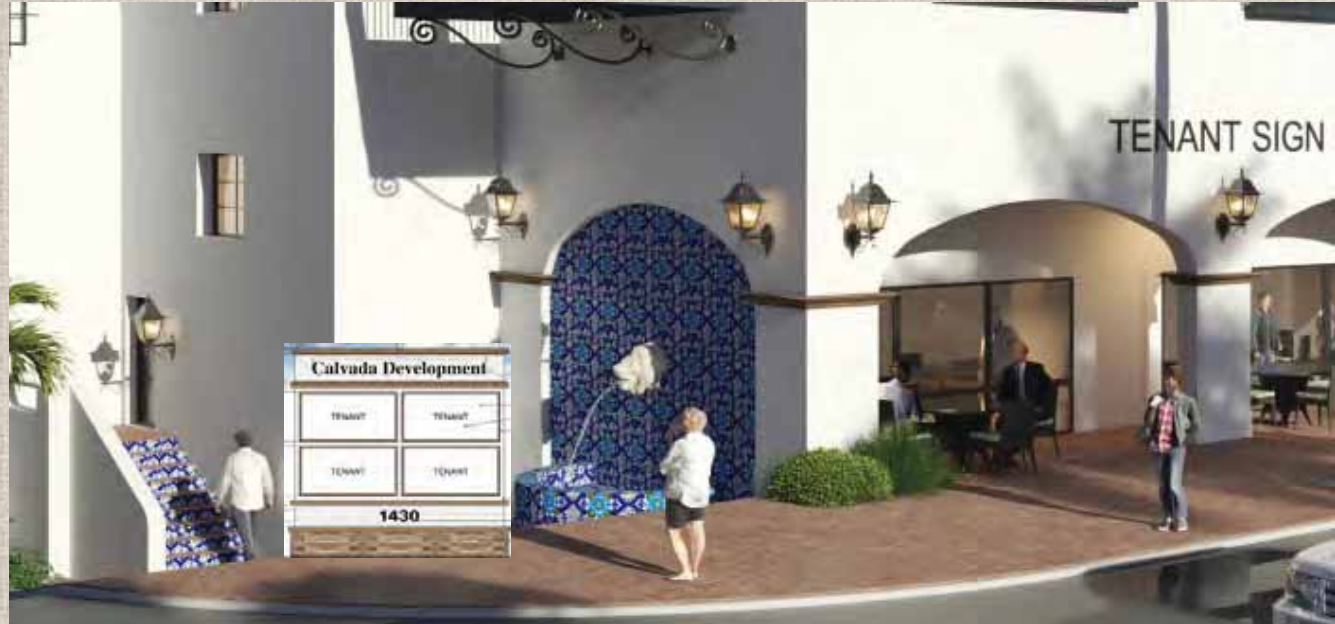
## C. Garage signage

- Use hand painted or reverse lit sign above parking garages instead of the ACM panel shown.



## D. Monument Sign vs Fountain.

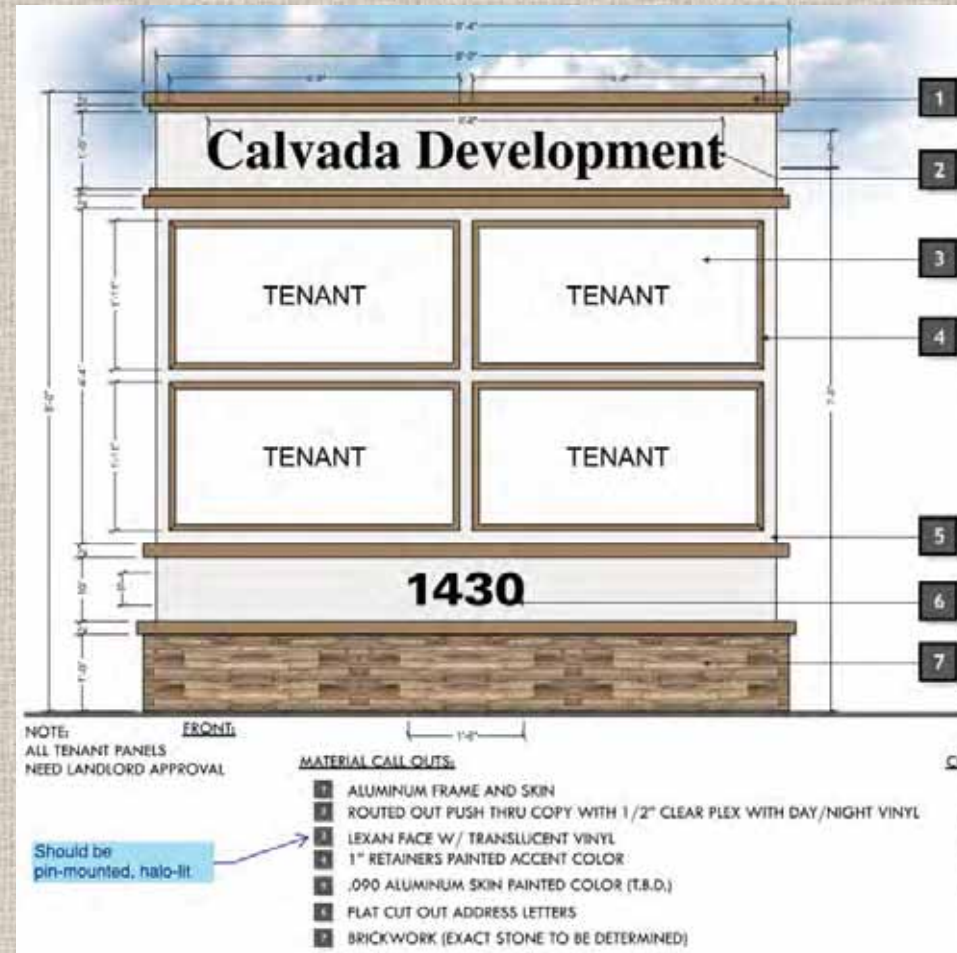
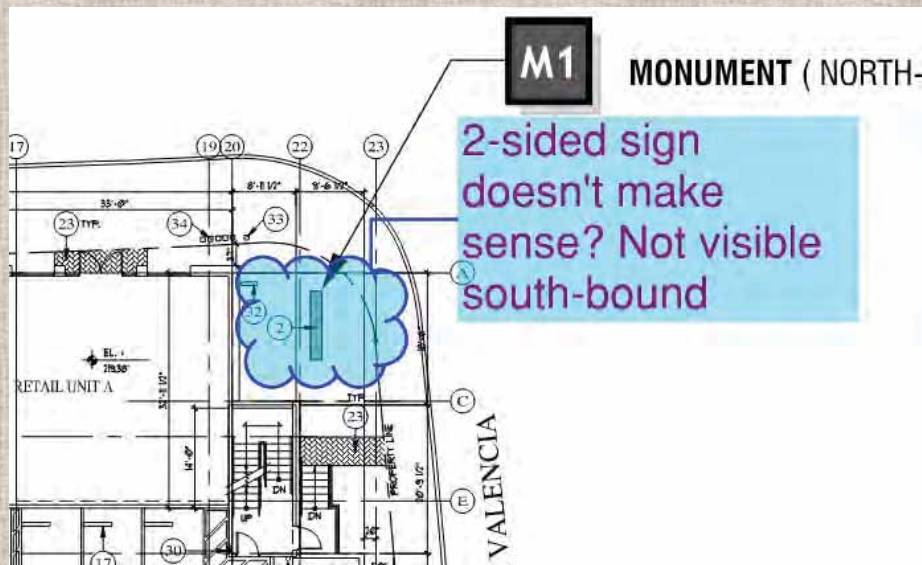
Show the monument sign in the project renderings. While the fountain is an attractive new element, it may be completely obscured by the monument sign.





# D. Monument Sign

- The location shown is not conducive to a 2-sided monument sign.
- Tenant name plates should also be routed or reverse lit – not push through.





San  
Clemente  
THE SPANISH VILLAGE BY THE SEA



# Discussion