



Design Review Subcommittee (DRSC)

Meeting Date: September 28, 2022

PLANNER: Laura Coury, Assistant Planner

SUBJECT: **Minor Cultural Heritage Permit (CHP) 22-127 and MEP22-XXX, Hager-Lannen Remodel and Addition**, a request to consider an expansion greater than 50% to an 840 square-foot single-family residence with a 225 square-foot non-conforming garage to remain without modification, that includes an addition of 545 square-feet of living space and 190 square-foot studio attached to the garage. The project abuts two buildings on the City's list of historic resources.

BACKGROUND:

The subject property is a 4,000 square foot lot in the Residential Medium zoning district and coastal overlay zone (RM-CZ). In 1949, the property was improved with an 840 square foot, single story house, and 225 square foot attached garage. The project proposes to remodel the existing site with a Mid-Century design and add 545 square-feet of living space and a 190 square-foot studio at the attached garage.

The project site is adjacent to two historic houses located across the street from the project site at 215 Avenida Victoria and 219 Avenida Victoria (see Attachment 1 Vicinity Map). The historic houses are eligible as contributors to a potential local district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea Period of Development (1925-1936). More information about the historic houses is provided as Attachment 3. The project site is outside of the Architectural Overlay; Spanish Colonial Revival architecture is not required. The residence being across the street cannot be seen when viewing the historic houses. The design, style and scale is in character with the buildings in this neighborhood.

The existing residence is nonconforming to the 5-foot side-yard setback and the 18-foot front yard garage setback. The applicant proposes to keep the current house and garage by obtaining the MCHP and MEP which allow for the maintenance of such nonconformities pursuant to the zoning Administrator findings that "....." and , "....", and meeting all setbacks for any new construction per to Zoning Ordinance Section 17.72, Nonconforming Structures and Uses.

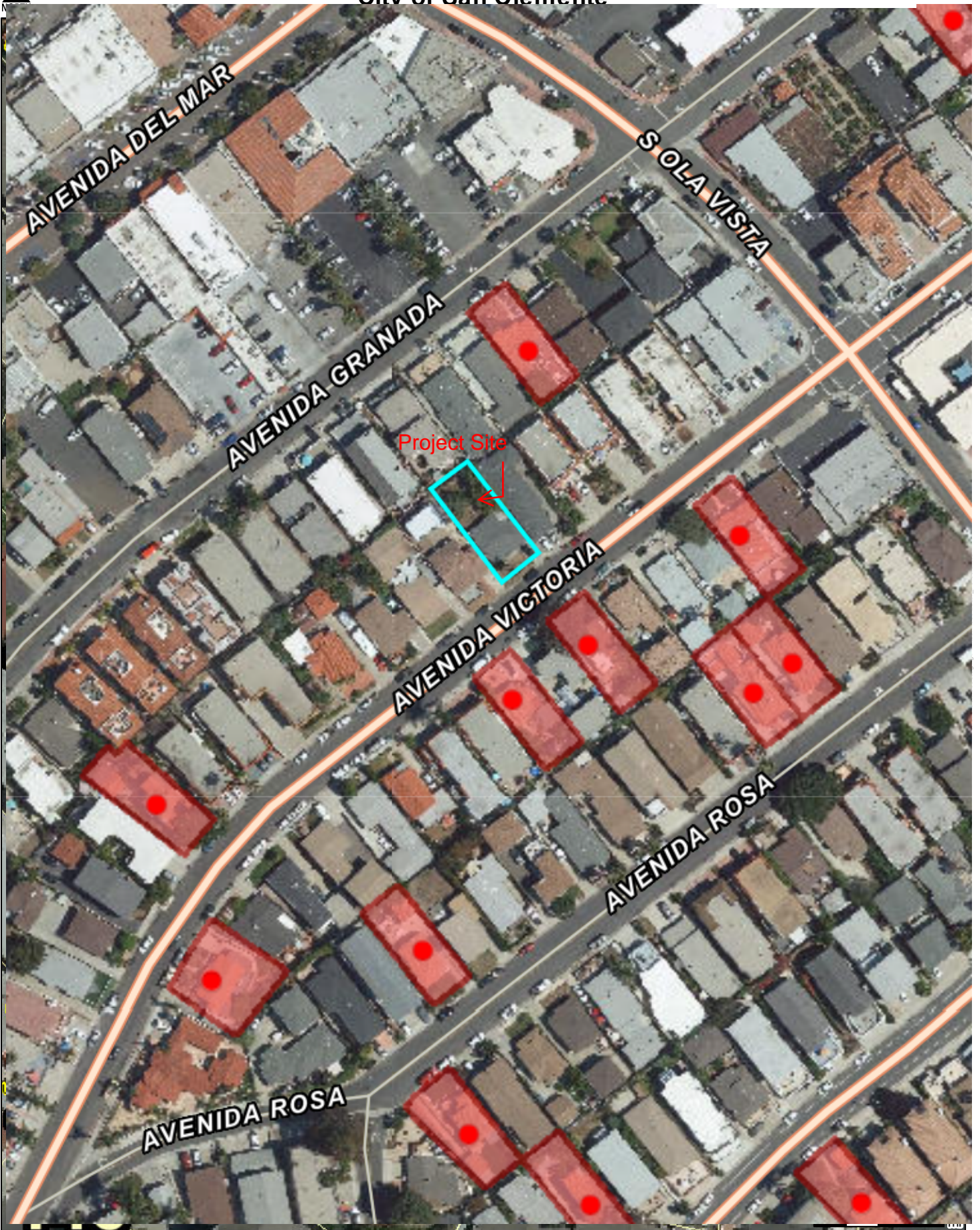
RECOMMENDATIONS:

Staff seeks a recommendation from the DRSC, related to design and architecture, to provide to the Zoning Administrator.

Attachments:

1. Vicinity Map
2. Project Plans

3. Historic Resource Analysis Report
4. Photographic Inventory



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216 Avenida Victoria
MCHP/MEP 22-127

PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 215 AVENIDA VICTORIA

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted **a. County** Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec ; **B.M.**

c. Address 215 Avenida Victoria **City** San Clemente **Zip** 92672

d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-101-08

P3a. Description:

The property contains a one-story single family residence with an L-shaped plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a flat roof with stepped a clay tile clad parapet. The exterior walls are clad with smooth stucco. A small entry porch occupies the ell of the primary (west) facade, and features a shed roof with asphalt shingles and an arched door opening. An original wood-frame rounded arch picture window occupies the northernmost portion of the primary elevation. The fenestration consists of non-original vinyl sliding windows throughout the residence. The residence is in good condition. Its integrity is fair.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

North elevation, south view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Brophy, Edward Andrew & Brophy, Maria L.
215 Avenida Victoria

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/21/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

DPR 523A (1/95) HRG

BUILDING, STRUCTURE, AND OBJECT RECORD

Resource Name or #: 215 AVENIDA VICTORIA

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved? No Yes Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: (Unknown)

b. Builder: (Unknown)

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This one-story single family residence was built in 1926. This property is a modest example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

B12. References: Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/21/2006

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3

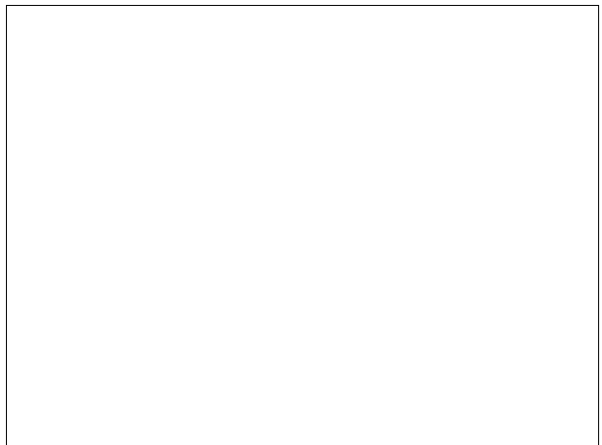
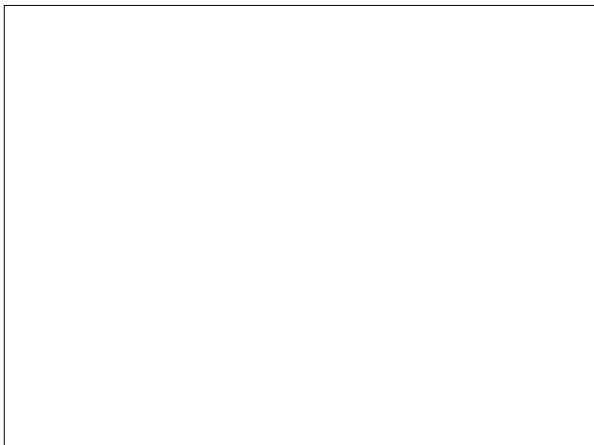
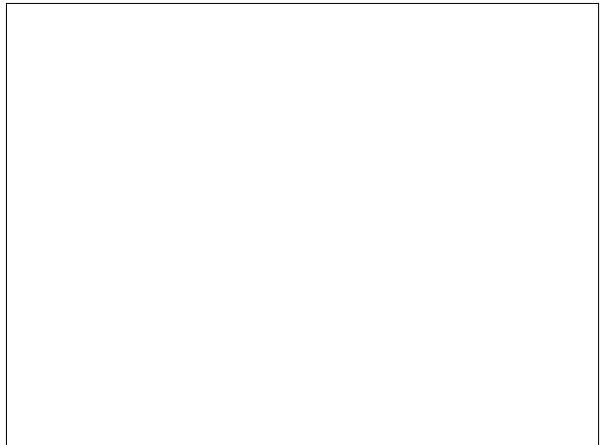
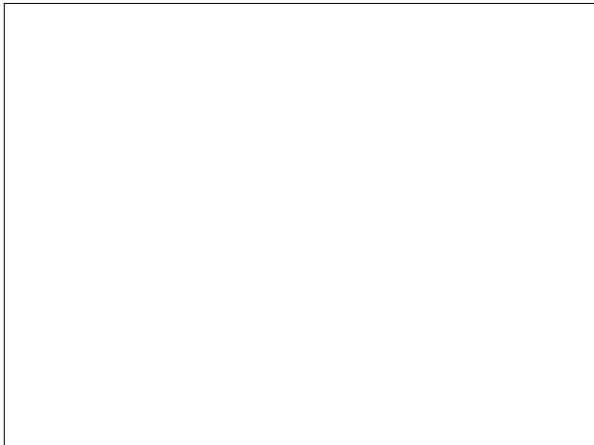
Resource Name or #: 215 AVENIDA VICTORIA

Recorded by: Historic Resources Group

Date: 9/21/2006

Continuation Update

Photographs of the Subject Property, Continued:



PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 219 AVENIDA VICTORIA

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County Orange

and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 219 Avenida Victoria City San Clemente Zip 92672

d. UTM: Zone; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-101-10

P3a. Description:

The property contains a one-story single family residence with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a low-pitched side-gable roof with clay tiles. The exterior walls are clad with original smooth stucco. The primary facade includes a projecting covered entry porch with a shed roof and an arched door opening. A courtyard in front of the residence is enclosed with a low stucco wall. The fenestration consists of original wood casement windows throughout the residence. Non-original awnings shelter the window openings. The residence is in good condition. Its integrity is good.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

North elevation, south view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Macey, Carolyn B.
219 Avenida Victoria

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/21/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

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 Artifact Record Photograph Record Other:

DPR 523A (1/95) HRG

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code 3D

Resource Name or #: 219 AVENIDA VICTORIA

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved? No Yes Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: (Unknown)

b. Builder: (Unknown)

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This one-story single family residence was built in 1926. This property is a modest example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

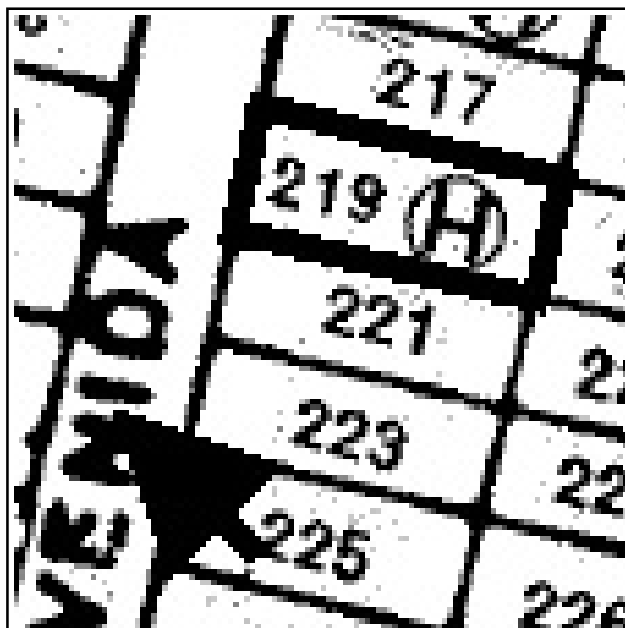
B12. References: Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/21/2006

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CONTINUATION SHEET

Page 3 of 3

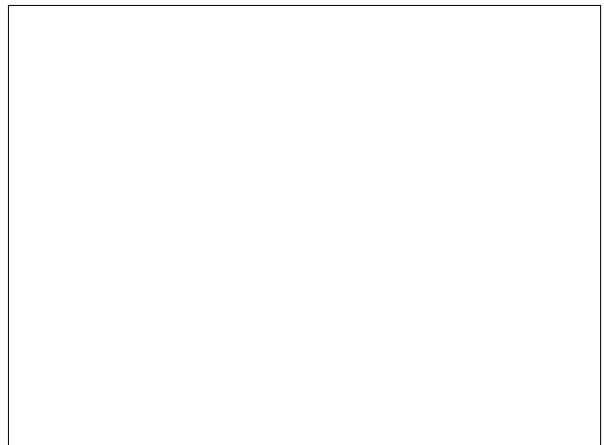
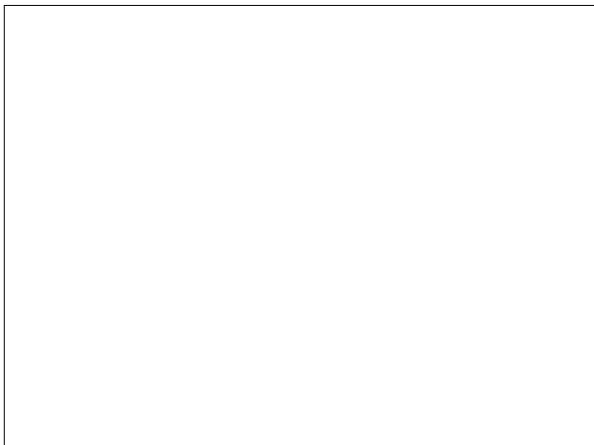
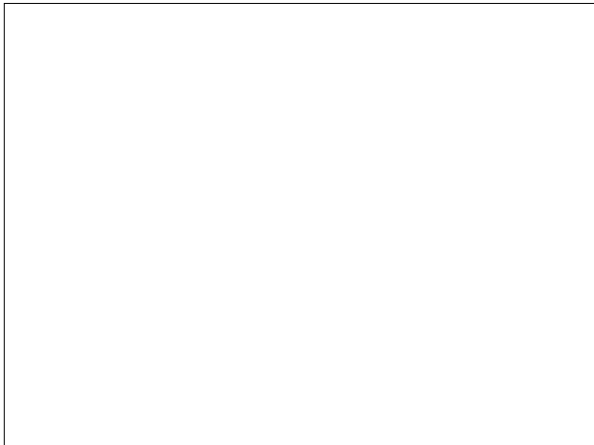
Resource Name or #: 219 AVENIDA VICTORIA

Recorded by: Historic Resources Group

Date: 9/21/2006

Continuation Update

Photographs of the Subject Property, Continued:





SITE PHOTOGRAPHS

216 Avenida Victoria



215 Avenida Victoria





SITE PHOTOGRAPHS

219 Avenida Victoria



SCOPE OF WORK

REMODEL EXISTING 840 SQ FT TWO BEDROOM ONE BATH SFD W/ ONE CAR (225 SQ FT) GARAGE.
 EXTEND REAR OF HOUSE TO ADD ON NEW LIVING RM AND KITCHEN ADD ONE NEW BATHROOM. ADD NEW STUDIO ONTO BACK OF EXISTING GARAGE.

EXISTING HOUSE	820 SQ FT
ADDITION TO 1ST FL.	445 SQ FT
1ST FL TOTAL	1365 SQ FT
TOTAL LIVING SQ FT AT COMPLETION	1365 SQ FT

PARKING & SHOP:

GARAGE (1 CAR EXISTING)	225 SQ FT
STUDIO/SHOP	190 SQ FT

GROSS SQ FT OF PROJECT	1775 SQ FT
GROSS ACREAGE OF PROJECT	.031 ACRES
TOTAL SQ FT OF LOT	4000.0 SQ FT
ACREAGE OF LOT	.092 ACRES

TOTAL COVERAGE OF LOT	1641.0 SQ FT
% OF COVERAGE TO LOT SIZE	41.0 %

EXISTING BUILDING:

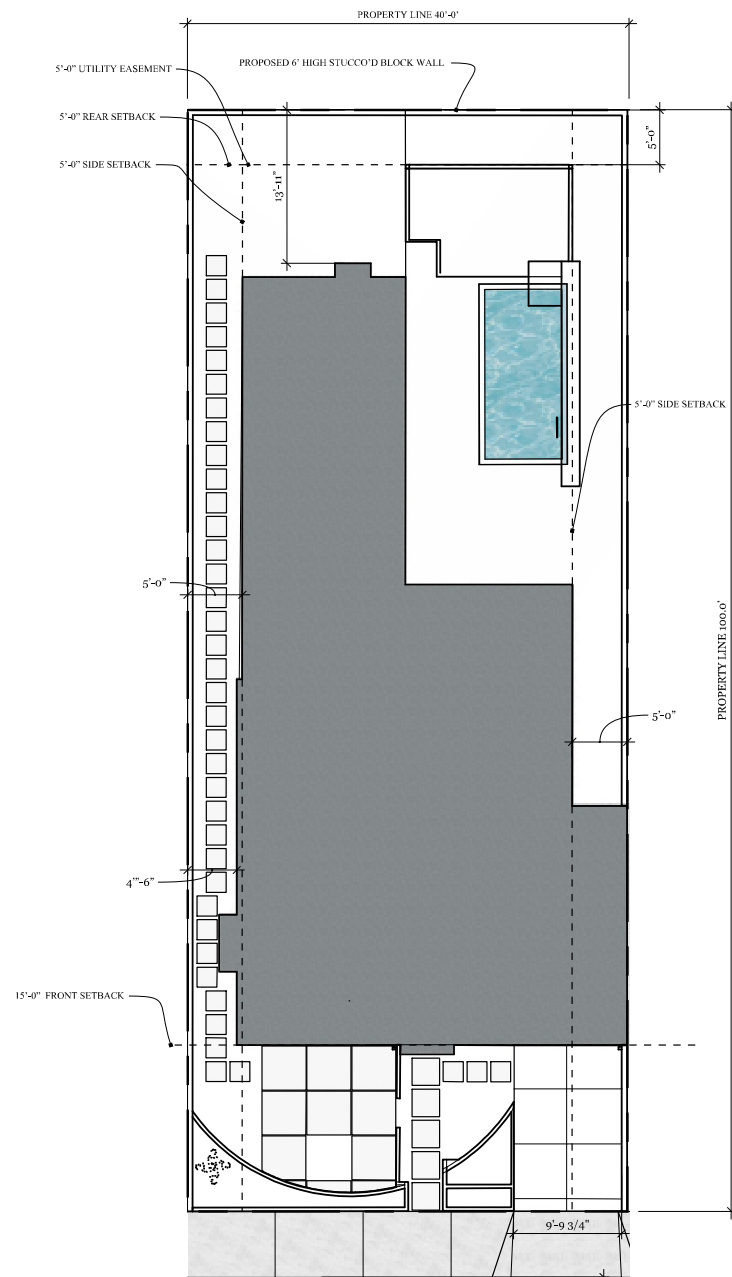
840 SQ FT. SINGLE FAMILY DWELLING - NON SPRINKLERED
 225 SQ FT. GARAGE - NON SPRINKLERED

LEGAL DESCRIPTION:

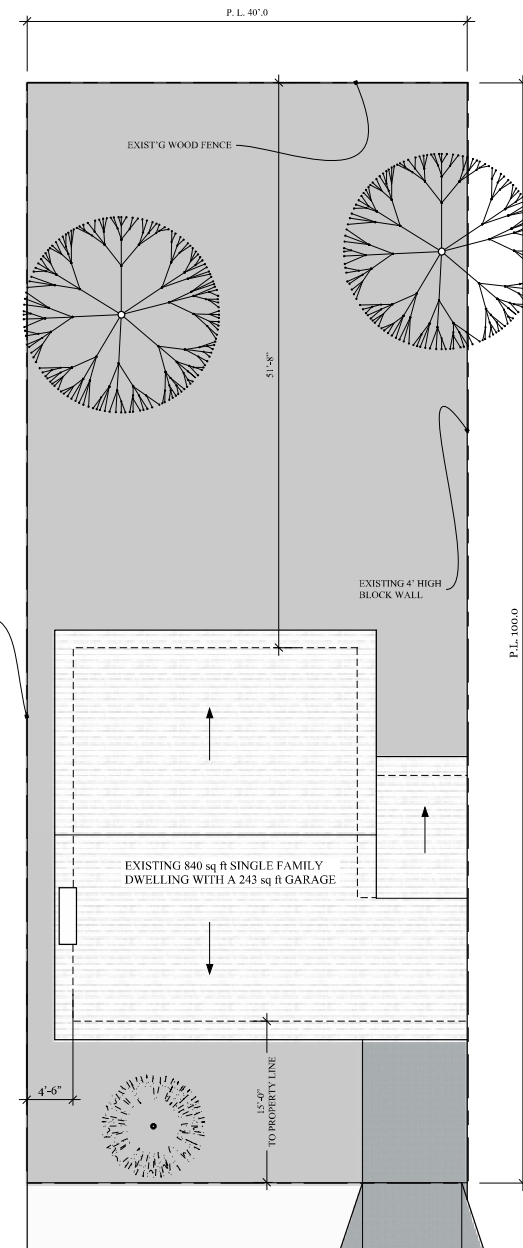
LOT 46 BLOCK 18 TRACT 779	
ASSESSOR'S PARCEL NUMBER	058-113-30
GENERAL PLAN DESIGNATION	RM
ZONING DESIGNATION	RM (C2)

SITE PLAN NOTES:

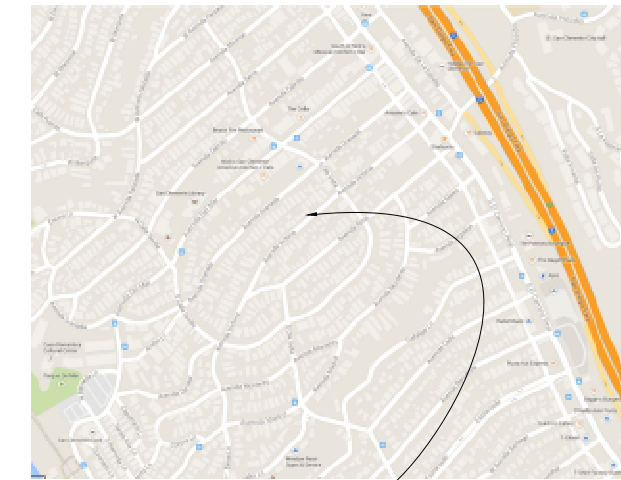
- NOTE: FRONT DRIVEWAY TO BE BUILT TO CITY OF SAN CLEMENTE STANDARDS AND NOT TO EXCEED 10% GRADE.
- NOTE: THE PROJECT SHALL COMPLY WITH THE NPDES AND STATE WATER QUALITY REQUIREMENTS
- NOTE: AN ENCROACHMENT PERMIT WILL BE REQUIRED TO ANY WORK IN THE RIGHT OF WAY
- NOTE: A GRADING PERMIT WILL BE REQUIRE
- NOTE: THERE IS A 5'-0" EASEMENT ALONG THE REAR PROPERTY LINE.



1 SITE PLAN
 scale: 1/8" = 1'



2 EXISTING SITE PLAN
 scale: 1/8" = 1'



216 AVENIDA VICTORIA
VICINITY MAP

SHEET SCHEDULE:

- A.0 SITE PLAN, COVERAGE, PROFILE, VICINITY MAP.
- A.1 EXIST'G SITE PLAN, ROOF PLAN, LANDSCAPE PLAN
- A.2 FLOOR PLANS
- A.3 ELEVATIONS - NORTH & SOUTH
- A.4 ELEVATIONS - EAST & WEST, SECTION CC
- A.5 SECTIONS - AA, BB, DD
- A.M MATERIAL SAMPLES
- A.P SITE PHOTO'S & LEGEND
- A. P.1 COLOR PERSPECTIVES



NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

DESIGNER:
 MICHAEL LANNEN
 482 W San Ysidro
 San Diego CA 92173

HAGER/LANNEN RESIDENCE
 216 AVENIDA VICTORIA
 SAN CLEMENTE, CA

OWNER:
 JUDY HAGER
 MICHAEL LANNEN
 482 W San Ysidro
 San Diego CA 92173

CULTURAL HERITAGE PERMIT

VICINITY MAP
SQ FT & COVERAGE
SITE PLAN
SHEET SCHEDULE

A.0

March 29, 2022

PLANTING LIST:

- 01 CALIFORNIA SEA LAVENDER - 1 GAL (LIMONIUM CALIFORNICUM) **
- 02 RED SALVIA - 1 GAL
- 03 PACIFIC REED GRASS - 1 GAL (CALAMAGROSTIS NUTKAENSIS)**
- 04 GRASS - ST. AUGUSTINE (STRENOTAPHRUM SECUNDATUM)
- 05 PALM TREE - EXIST'G
- 06 HUMMINGBIRD SAGE SALVIA SPATHACE **
- 07 DIERVILLA - KODIAK ORANGE

** NATIVE PLANTS

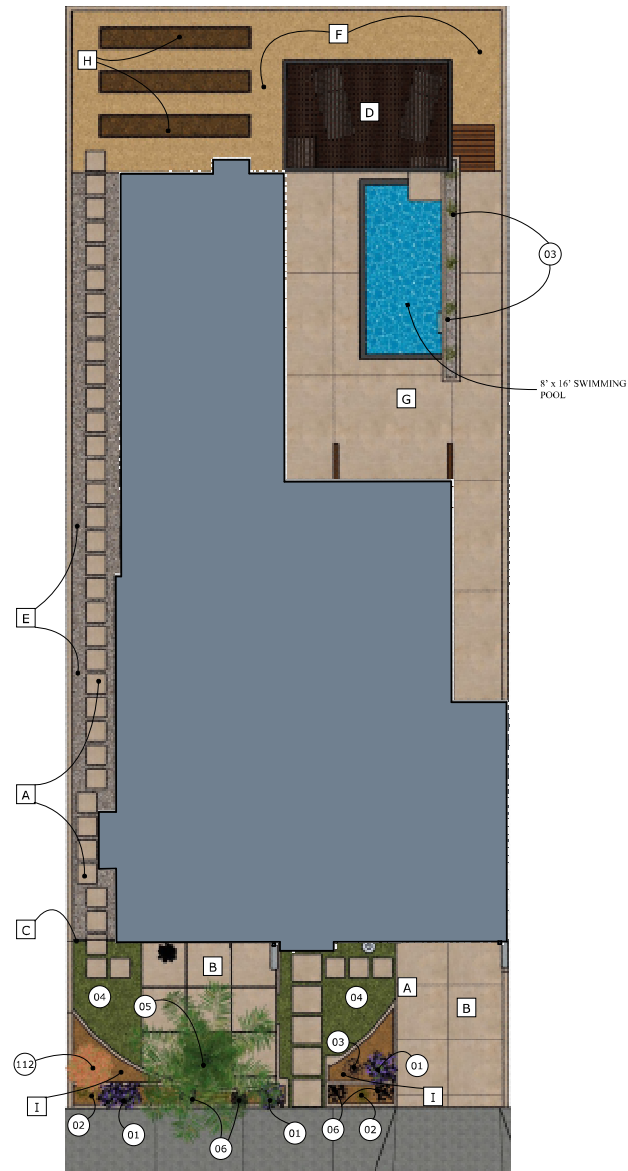
MATERIAL LIST:

- A POURED IN PLACE CONCRETE STEPPING STONES. (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- B 4' x 4' POURED IN PLACE PATIO AND DRIVE. 2" SPACE BETWEEN SLABS AT PATIO (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- C CORTON STEEL - GATE & GARBAGE STORAGE
- D WOOD & STEEL PERGOLA
- E PEA GRAVEL
- F DECOMPOSED GRANITE
- G POOL DECK - POUR IN PLACE CONCRETE (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- H RAISED VEGETABLE PLANTS
- I 24" HIGH PLANTERS - DESCENDING TO 16" HIGH TOWARDS THE HOUSE -

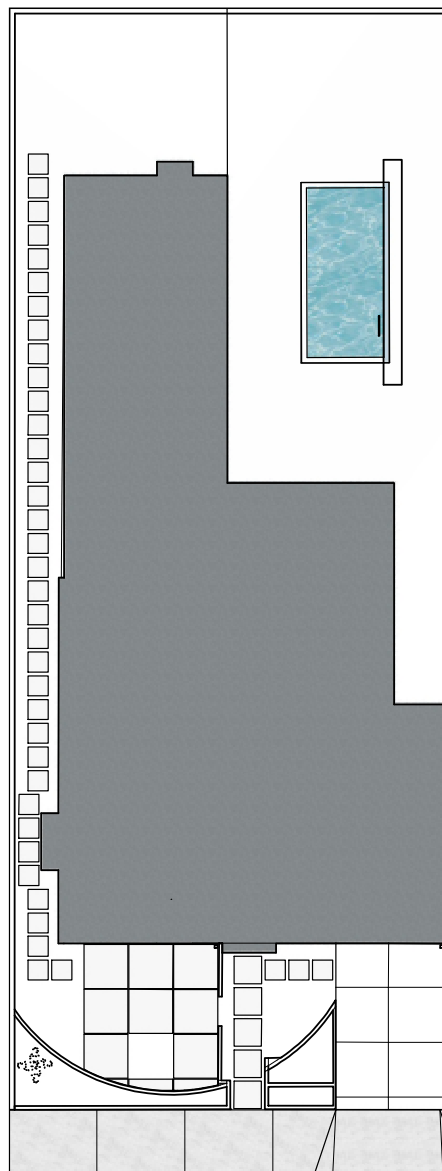
LANDSCAPING NEW VS PROPOSED

EXISTING:	BACK YARD	52 x 30	1560 sq ft
	FRONT YARD	20 x 15	300 sq ft
	TOTAL EXIST'G		1860 sq ft
PROPOSED:	BACK YARD		
	PLANTER	2 x 20	40 sq ft
	(POOL)	8 x 16	128 sq ft
	FRONT YARD	20 x 15	300 sq ft
	TOTAL PROPOSED		468 sq ft

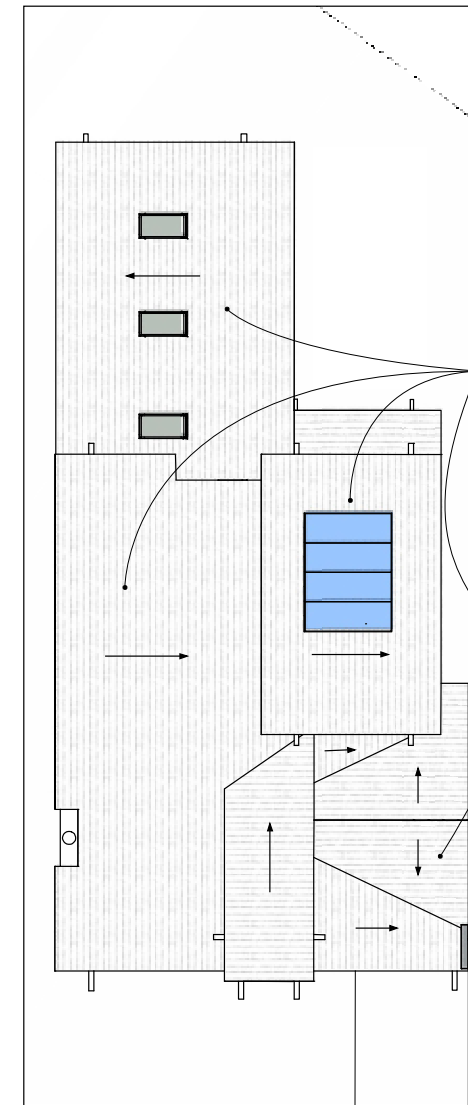
NOTE: MORE THAN 50% OF THE FRONTYARD LANDSCAPING STATED IS POURED IN PLACE CONCRETE.



1 LANDSCAPE PLAN
scale: 1/8" = 1'



A DRAINAGE PLAN - to be submitted later
scale: 1/8" = 1'



2 ROOF PLAN
scale: 1/8" = 1'

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

DESIGNER:
MICHAEL LANNEN
482 W San Ysidro
San Diego CA 92173

HAGER/LANNEN RESIDENCE
216 AVENIDA VICTORIA
SAN CLEMENTE, CA

OWNER:
JUDY HAGER
MICHAEL LANNEN
482 W San Ysidro
San Diego CA 92173

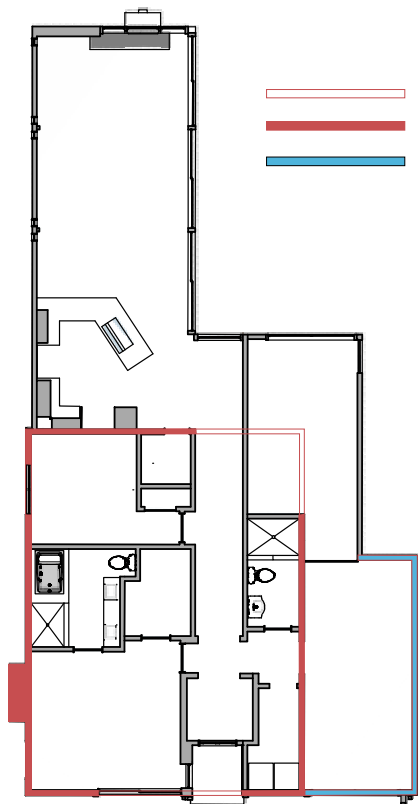
CULTURAL HERITAGE PERMIT

LANDSCAPE PLAN
ROOF PLAN
EXIST'G SITE PLAN

DOOR & WINDOW SCHEDULE

WINDOW #	SIZE	TYPE	MATERIAL	DESCRIPTION	GLASS TYPE	COLOR	HANDING	SPECIAL INSTRUCTIONS
1	3'-0" x 8'-0" x 1'-3/4"	EXT. THD	WOOD	EXT. PNT GRADE				
2	2'-8" x 8'-0" x 1'-3/4"	INT. 1 PANEL	WOOD	INT. PNT GRADE				
3	2'-8" x 8'-0" x 1'-3/4"	INT. 1 PANEL	WOOD	INT. PNT GRADE				
4	3'-0" x 8'-0" x 1'-3/4"	INT. 1 PANEL	WOOD	INT. PNT GRADE				30 MIN RATING - W SELF CLOSING HARDWARE
5	2'-10" x 8'-0" x 1'-3/4"	INT. 1 PANEL	WOOD	INT. PNT GRADE				
6	9'-0" x 8'-0"	OX SLIDER	VINYL	EXT.	DBLE PANE TEMPERED			
7	9'-0" x 8'-0"	OX SLIDER	VINYL	EXT.	DBLE PANE TEMPERED			
8	8'-0" x 8'-0"	OX SLIDER	VINYL	EXT.	DBLE PANE TEMPERED			
9	8'-0" x 8'-0"	ROLL UP - GARAGE DR	ALUM & GLASS	GARAGE DOOR	DBLE PANE TEMPERED			
10	3'-0" x 8'-0" x 1'-3/4"	EXT. - SLAB	METAL	EXT. PNT GRADE				
11	8'-0" x 8'-0"	ROLL UP - GARAGE DR	ALUM & GLASS	GARAGE DOOR	DBLE PANE TEMPERED			
12	7'-6" x 8'-0"	OX SLIDER	VINYL	EXT.	DBLE PANE TEMPERED			

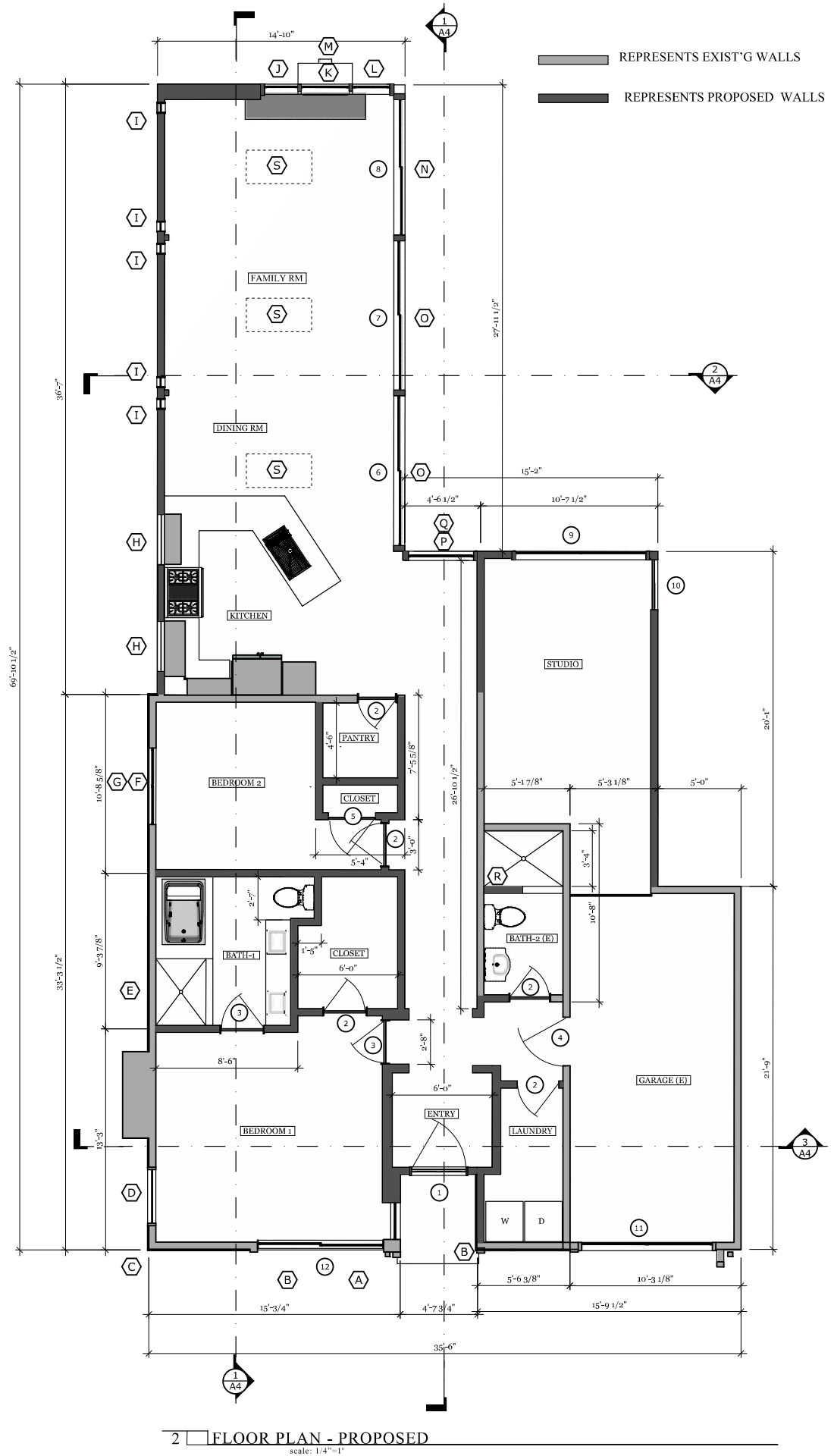
DOOR #	SIZE	TYPE	MATERIAL	COLOR	GLASS TYPE	HANDING	HARDWARE TYPE	SILL HT.	SPECIAL INSTRUCTIONS
A	3'-8" x 1'-8" w/ 2'-2" RAKED HEAD	FIXED	VINYL	BLACK	DBLE PANE		TRO	18"	CLERESTORY WINDOW ABOVE SLIDER
B	3'-8" x 2'-2 1/4" w/ 2'-8" RAKED HEAD	FIXED	VINYL	BLACK	DBLE PANE		TRO	18"	CLERESTORY WINDOW ABOVE SLIDER
C	5'-0" x 4'-0" x 2'-0" w/ 1'-2 1/2" RAKED HEAD	CORNER GLASS - FIXED	WOOD	BLACK	DBLE PANE		N/A		CLERESTORY CORNER GLASS RAKED WINDOW
D	4'-0" x 1'-2"	CASIMENT	VINYL	BLACK	DBLE PANE		LFT HND	38"	
E	4'-0" x 3'-0" w/ 12" STEP AT 2'-0"	FIXED	WOOD	BLACK	DBLE PANE TEMPERED		N/A		WINDOW FOLLOWS SETBACK IN WALL
F	5'-0" x 3'-0"	DBLE CASIMENT	VINYL	BLACK	DBLE PANE	R & L	TRO	38"	TO MEET EMERGENCY EGRESS STANDARDS - SILL NO HIGHER THAN 48" ABOVE FLOOR
G	3'-0" x 2'-0"	AWNING	VINYL	BLACK	DBLE PANE		TRO		CLERESTORY WINDOW
H	3'-0" x 18"	AWNING	VINYL	BLACK	DBLE PANE		TRO	65"	CLERESTORY WINDOW - (2) TOTAL
I	8" x 5'-8"	FIXED	VINYL	BLACK	DBLE PANE		N/A	38"	
J	2'-0" x 3'-0"	CASIMENT	VINYL	BLACK	DBLE PANE		RT HND	58"	
K	2'-10" x 3'-0"	FIXED	VINYL	BLACK	DBLE PANE		N/A	58"	
L	2'-0" x 3'-0"	CASIMENT	VINYL	BLACK	DBLE PANE		LT HND	58"	
M	7'-6" x 2'-0" w/ 3'-8" RAKED HEAD	FIXED	VINYL	BLACK	DBLE PANE		N/A	88 1/2"	CLERESTORY WINDOW
N	8'-0" x 3'-0"	FIXED - 2 LITE	VINYL	BLACK	DBLE PANE		N/A	88 1/2"	CLERESTORY WINDOW
O	9'-0" x 3'-0"	FIXED - 2 LITE	VINYL	BLACK	DBLE PANE		N/A	88 1/2"	CLERESTORY WINDOW
P	4'-0" x 8'-0"	FIXED	VINYL	BLACK	DBLE PANE TEMPERED		N/A	88 1/2"	CLERESTORY WINDOW
Q	4'-0" x 1'-9" w/ 2'-3" RAKED HEAD	FIXED	VINYL	BLACK	DBLE PANE		N/A	88 1/2"	CLERESTORY WINDOW
R	5'-0" w/ 5'-0" x 1'-8" w/ 2'-5" RAKED BOTTOM	CORNER GLASS - FIXED	WOOD	BLACK	DBLE PANE		N/A	N/A	CLERESTORY WINDOW
S	2'-0" x 4'-0" OPENING SKYLIGHTS	AWNING	ALUM	BRONZE	DBLE PANE		N/A	N/A	



— REPRESENTS EXTERIOR WALLS EXISTING SFD PROPOSED TO BE REMOVED
— REPRESENTS EXTERIOR WALLS EXISTING SFD PROPOSED TO BE REMAIN
— REPRESENTS EXTERIOR WALLS EXISTING GARAGE PROPOSED TO BE REMAIN

TOTAL LINEAL FOOTAGE OF EXISTING EXT. WALL 117'
 MAXIMUM EXT. WALL ALLOWED TO BE REMOVED 117/2 58.5'
 PROPOSED AMOUNT OF EXT WALL TO BE REMOVED 45.75'
 45.75' < 58.5'
 PROJECT FALLS WITHIN *LESS THAN 50% OF EXTERIOR WALLS REMOVAL PROVISION

1 PROPOSED TO EXIST'G OVERLAY
scale: 1/8" = 1'



2 FLOOR PLAN - PROPOSED
scale: 1/4" = 1'

NO.	DATE	REVISIONS	REMARKS
1			
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5			

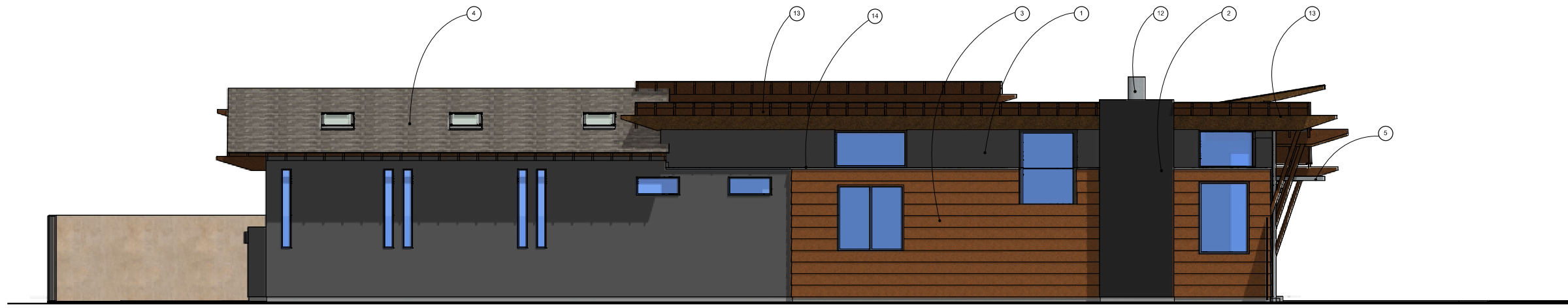
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HAGER/LANNEN RESIDENCE
 216 AVENIDA VICTORIA
 SAN CLEMENTE, CA

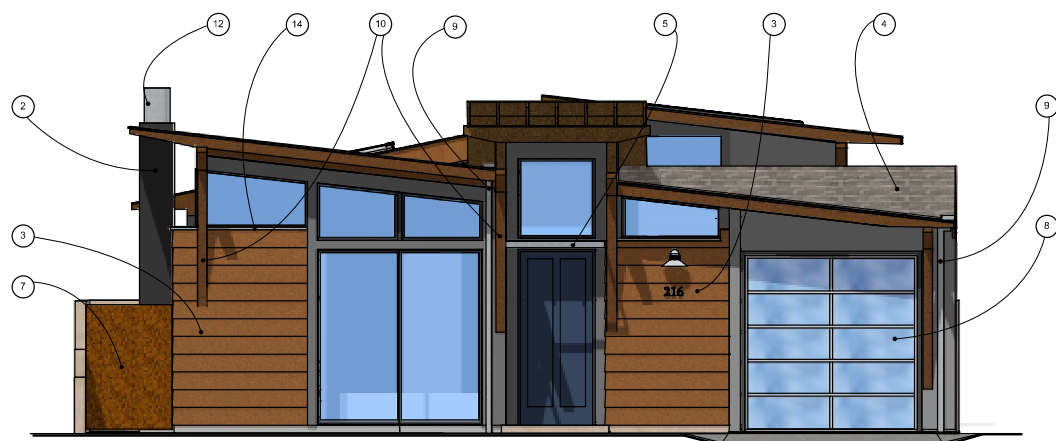
OWNER:
 JUDY HAGER
 MICHAEL LANNEN
 482 W San Ysidro
 San Diego CA 92173

CULTURAL HERITAGE PERMIT

FLOOR PLAN
 D & W SCHEDULE
 EXIST'G TO PROPOSED
 STUDY PLAN



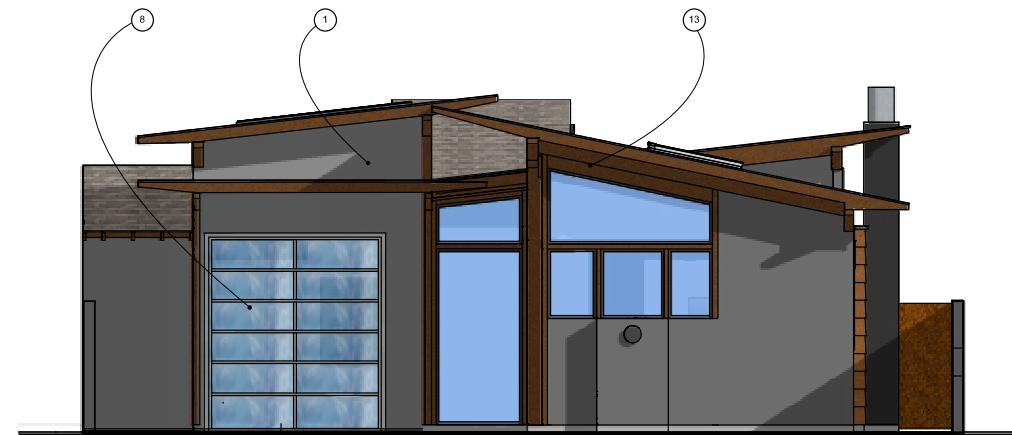
1 SOUTH ELEVATION
scale: 1/4" = 1'



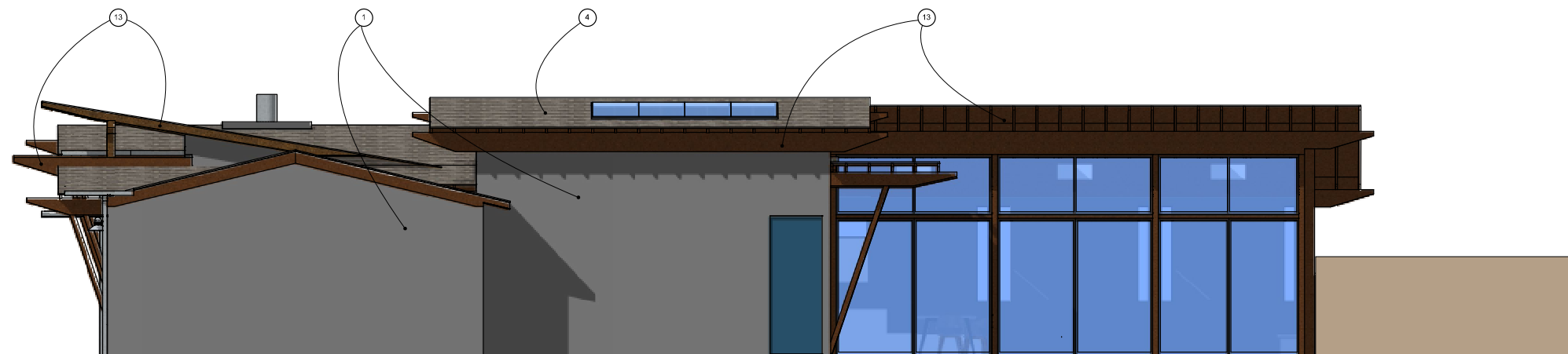
2 FRONT ELEVATION
scale: 1/4" = 1'

MATERIAL'S LEGEND

- 1 STUCCO - SMOOTH TROWELED FINISH - COLOR "B" SHEET A.M
 - 2 STUCCO - SMOOTH TROWELED FINISH - COLOR "A" SHEET A.M
 - 3 1" x 6" WOOD SIDING- IPE CLEAR OILED FINISH
 - 4 50 YEAR COMPOSITION TORCH DOWN ROOFING - COLOR
 - 5 ALUMINUM AND GLASS AWNING
 - 6 WOOD BRACES - DOUGLAS FIR - OIL FINISH
 - 7 CORTEN STEEL GATE
 - 8 ALUMINUM & OBSCURED GLASS GARAGE DOORS
 - 9 GALVANIZED GUTTERS & DOWNSPOUTS WITHIN WALLS
 - 10 DOUGLAS FIR & STEEL PERGOLA - CLEAR OIL FINISH
 - 11 WALLS STUCCO'D - SMOOTH TROWELED FINISH - COLOR "A" SHEET A.M
 - 12 GALVANIZED STEEL CHIMNEY SPARK ARRESTOR
 - 13 FACIA, EAVES & EXPOSED BM'S TO BE OIL STAINED - COLOR CANYON BROWN
 - 14 GALVANIZED METAL CAP AT ALL WALL SETBACKS
- SEE SHEET A.M FOR MATERIAL EXAMPLES



3 REAR ELEVATIONS
scale: 1/4" = 1'



4 NORTH ELEVATION
scale: 1/4" = 1'

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

DESIGNER:
MICHAEL LANNEN
482 W San Ysidro
San Diego CA 92173

HAGER/LANNEN RESIDENCE
216 AVENIDA VICTORIA
SAN CLEMENTE, CA

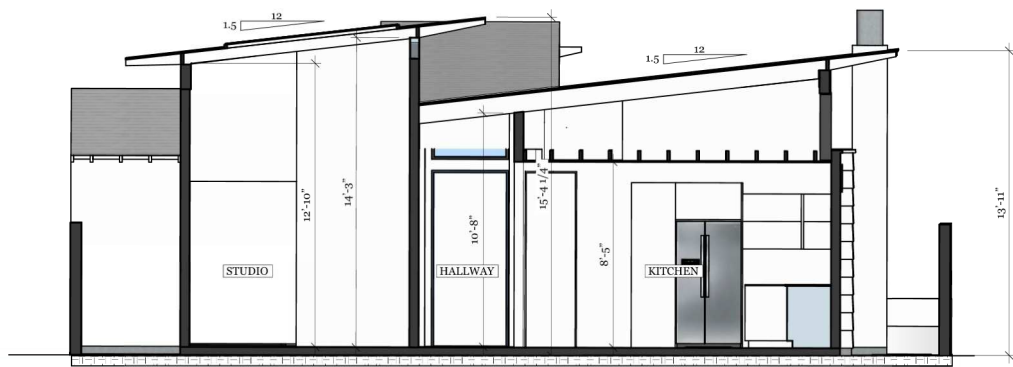
OWNER:
JUDY HAGER
MICHAEL LANNEN
482 W San Ysidro
San Diego CA 92173

CULTURAL HERITAGE
PERMIT

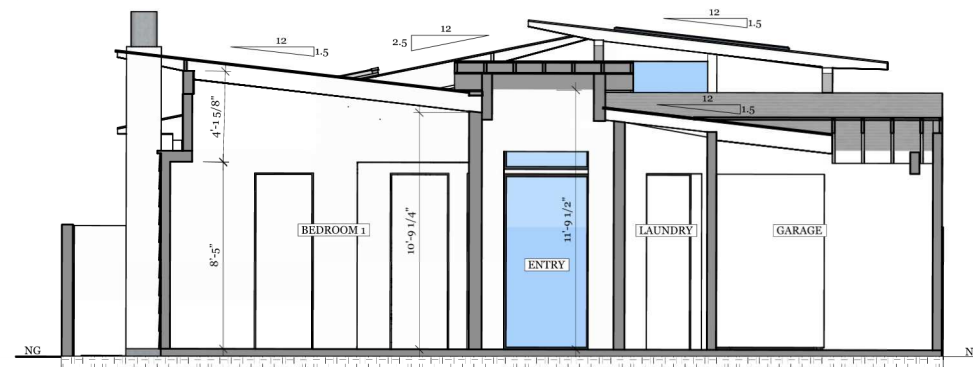
ELEVATIONS
MATERIALS LEGEND



1 SECTION 1
scale: 1/4" = 1'



2 SECTION 2
scale: 1/4" = 1'



3 SECTION 3
scale: 1/4" = 1'



4 SECTION 4
scale: 1/4" = 1'

NO.	DATE	REVISIONS	REMARKS
1			
2			
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4			
5			

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SECTIONS



EXAMPLE OF EXT. COLOR SCHEME



EXAMPLE OF BM & EAVE COLOR



EXAMPLE OF GLASS & ALUMINUM AWNING



EXAMPLE OF ROOFING COLOR



EXAMPLE OF GLASS & ALUMINUM GARAGE DR



EXAMPLE OF BLACK DOORS & WINDOWS - INT. & EXT.



EXAMPLE OF IPEA SIDING



EXAMPLE OF POURED IN PLACE CONCRETE PIECES

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
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MATERIALS

A.M



1a



1b



2



4



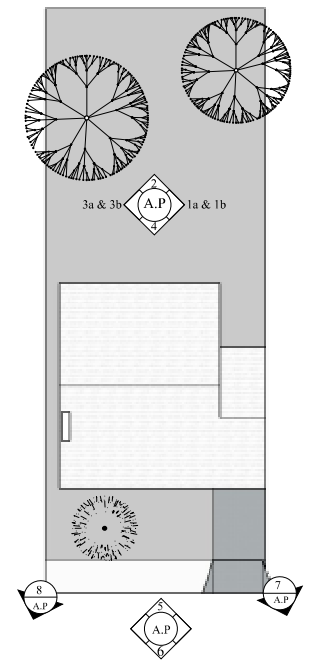
3b



3a



PANORAMIC OF WEST SIDE OF VICTORIA AND SITE



PHOTOGRAPH REFERENCE DRAWING



5



6



7



8



PANORAMIC OF EAST SIDE OF VICTORIA AND HISTORIC HOUSES

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

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San Diego CA 92173

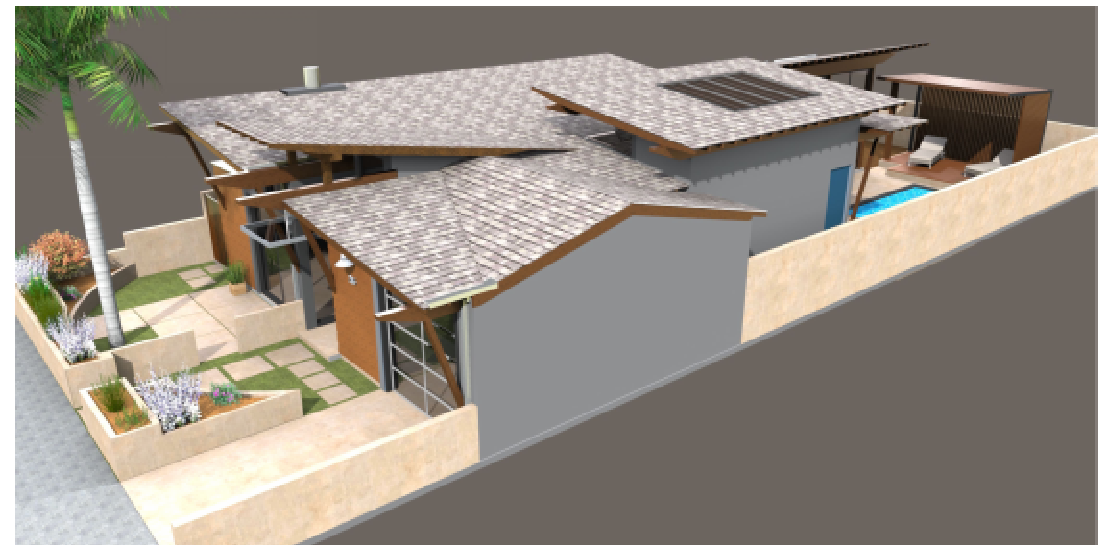
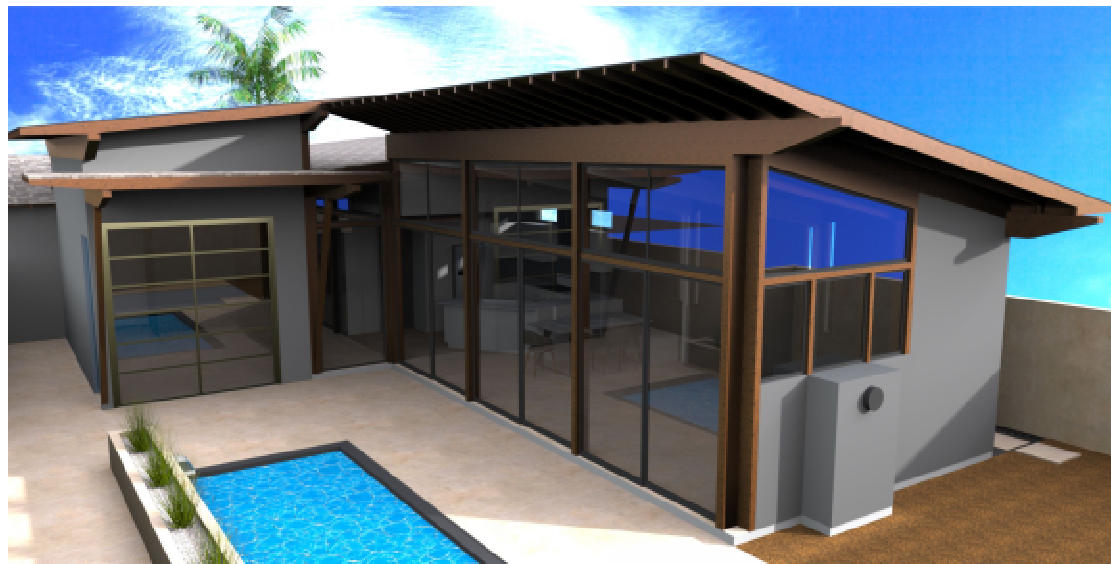
HAGER/LANNEN RESIDENCE
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SAN CLEMENTE, CA

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MICHAEL LANNEN
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San Diego CA 92173

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SITE PHOTO'S

A.P



REVISIONS

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

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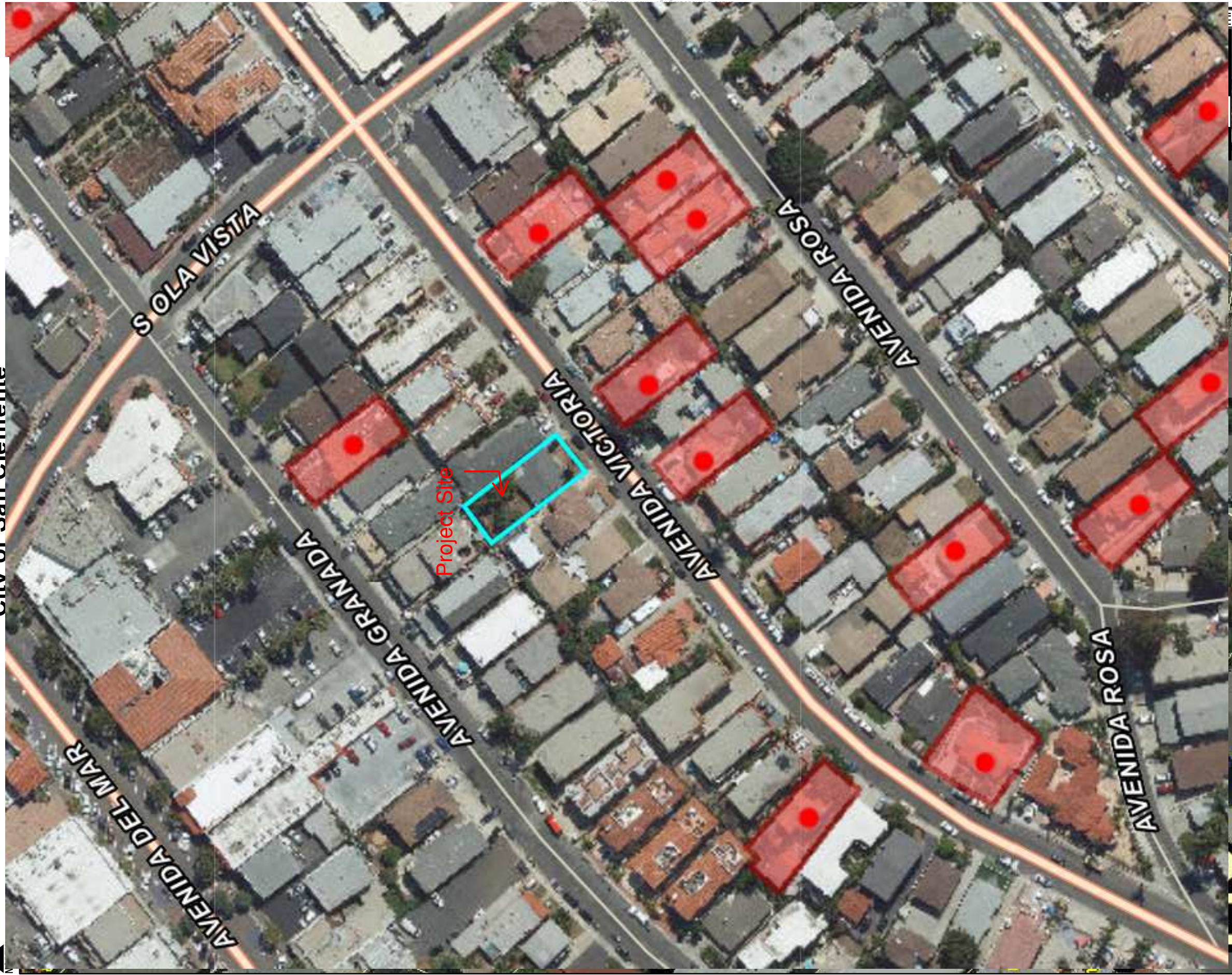
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SAN CLEMENTE, CA

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San Diego CA 92173

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PERSPECTIVES

A.P 1



216 Avenida Victoria
MCHP/MEP 22-127



SCOPE OF WORK

REMODEL EXISTING 840 SQ FT TWO BEDROOM ONE BATH SFD W/ ONE CAR (225 SQ FT) GARAGE. EXTEND REAR OF HOUSE TO ADD ON NEW LIVING RM AND KITCHEN ADD ONE NEW BATHROOM. ADD NEW STUDIO ONTO BACK OF EXISTING GARAGE.

EXISTING HOUSE 840 SQ FT
 ADDITION TO 1ST FL. 545 SQ FT
 1ST FL TOTAL 1385 SQ FT

TOTAL LIVING SQ FT AT COMPLETION 1930 SQ FT

PARKING & SHOP:

GARAGE (1 CAR EXISTING) 225 SQ FT
 STUDIO/SHOP 190 SQ FT

GROSS SQ FT OF PROJECT 1775 SQ FT
 GROSS ACREAGE OF PROJECT .031 ACRES
 TOTAL SQ FT OF LOT 4000.0 SQ FT
 ACREAGE OF LOT .092 ACRES

TOTAL COVERAGE OF LOT 1641.0 SQ FT
 % OF COVERAGE TO LOT SIZE 41.0 %

EXISTING BUILDING:

840 SQ FT. SINGLE FAMILY DWELLING - NON SPRINKLERED
 225 SQ FT. GARAGE - NON SPRINKLERED

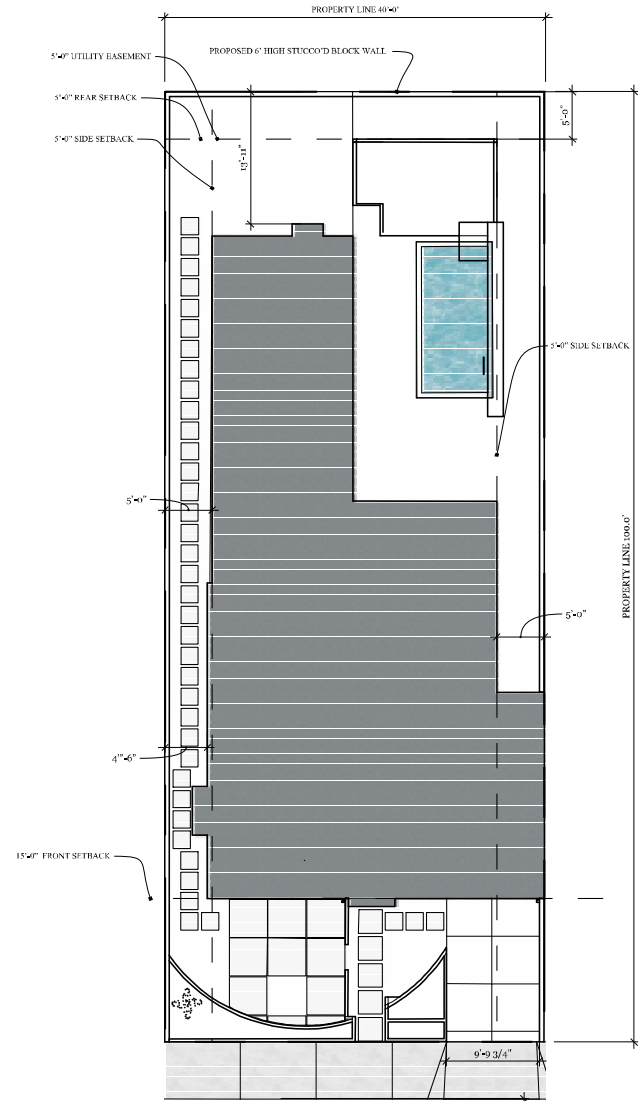
LEGAL DESCRIPTION:

LOT 46 BLOCK 18 TRACT 779
 ASSESSOR'S PARCEL NUMBER 058-113-30
 GENERAL PLAN DESIGNATION RM
 ZONING DESIGNATION RM (C2)

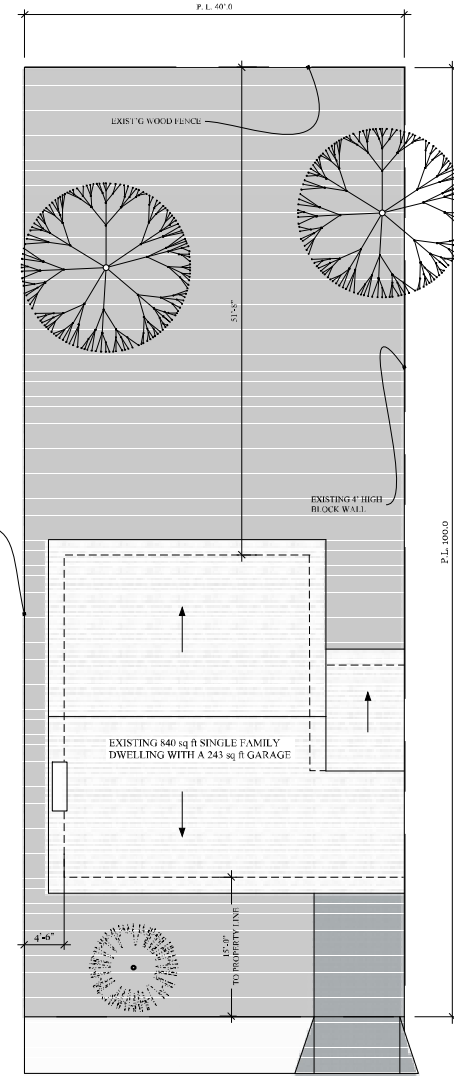


SITE PLAN NOTES:

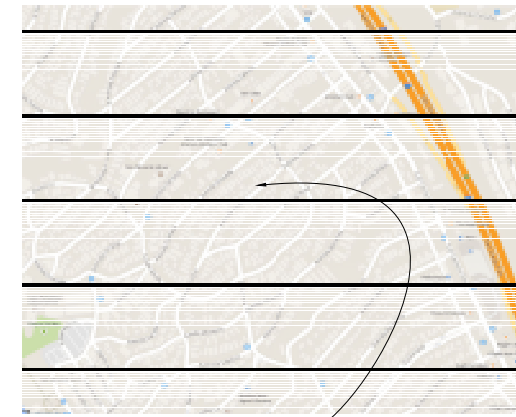
- NOTE: FRONT DRIVEWAY TO BE BUILT TO CITY OF SAN CLEMENTE STANDARDS AND NOT TO EXCEED 10% GRADE.
- NOTE: THE PROJECT SHALL COMPLY WITH THE NPDES AND STATE WATER QUALITY REQUIREMENTS
- NOTE: AN ENCROACHMENT PERMIT WILL BE REQUIRED TO ANY WORK IN THE RIGHT OF WAY
- NOTE: A GRADING PERMIT WILL BE REQUIRED
- NOTE: THERE IS A 5'-0" EASEMENT ALONG THE REAR PROPERTY LINE.



SITE PLAN
 scale: 1/8" = 1'



EXISTING SITE PLAN
 scale: 1/8" = 1'



**216 AVENIDA VICTORIA
 VICINITY MAP**

SHEET SCHEDULE:

- A.0 SITE PLAN, COVERAGE, PROFILE, VICINITY MAP.
- A.1 EXIST'G SITE PLAN, ROOF PLAN, LANDSCAPE PLAN
- A.2 FLOOR PLANS
- A.3 ELEVATIONS - NORTH & SOUTH
- A.4 ELEVATIONS - EAST & WEST, SECTION CC
- A.5 SECTIONS - AA, BB, DD
- A.M MATERIAL SAMPLES
- A.P. SITE PHOTOS & LEGEND
- A.P.1 COLOR PERSPECTIVES

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

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CULTURAL HERITAGE PERMIT

VICINITY MAP
 SQ FT & COVERAGE
 SITE PLAN
 SHEET SCHEDULE

A.0

PLANTING LIST:

- 01 CALIFORNIA SEA LAVENDER - 1 GAL (LIMONIUM CALIFORNICUM) **
- 02 RED SALVIA - 1 GAL
- 03 PACIFIC REED GRASS - 1 GAL (CALAMAGROSTIS NUTKAENSIS)**
- 04 GRASS - ST. AUGUSTINE (STRENOTAPHIRUM SECUNDATUM)
- 05 PALM TREE - EXIST'G
- 06 HUMMINGBIRD SAGE SALVIA SPATHACE **
- 07 DIERVILLA - KODIAK ORANGE

** NATIVE PLANTS

MATERIAL LIST:

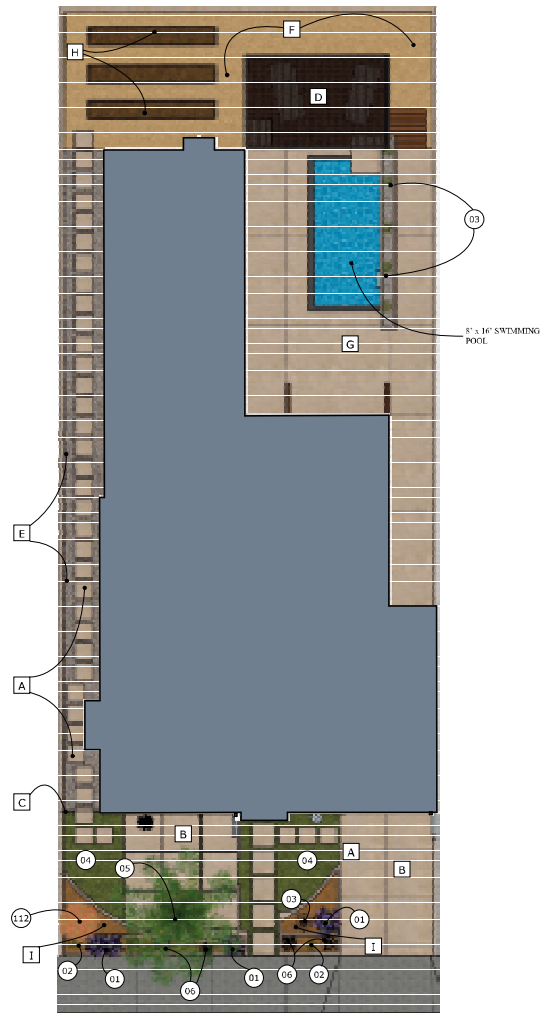
- A POURED IN PLACE CONCRETE STEPPING STONES. (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- B 4" x 4" POURED IN PLACE PATIO AND DRIVE. 2" SPACE BETWEEN SLABS AT PATIO (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- C CORTON STEEL - GATE & GARBAGE STORAGE
- D WOOD & STEEL PERGOLA
- E PEA GRAVEL
- F DECOMPOSED GRANITE
- G POOL DECK - POUR IN PLACE CONCRETE (COLOR - SEE SHEET A.M. - CONCRETE COLOR)
- H RAISED VEGETABLE PLANTS
- I 24" HIGH PLANTERS - DESCENDING TO 16" HIGH TOWARDS THE HOUSE -

LANDSCAPING NEW VS PROPOSED

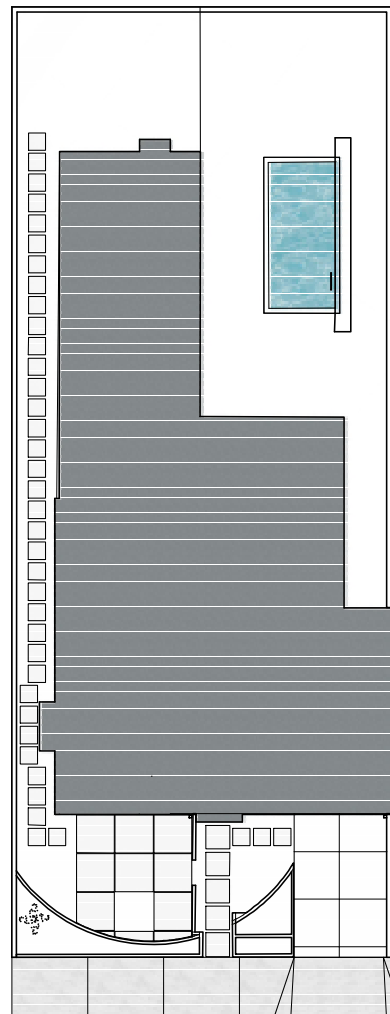
EXISTING:	BACK YARD	52 x 30	1560 sq ft
	FRONT YARD	20 x 15	300 sq ft
	TOTAL EXIST'G		1860 sq ft

PROPOSED:	BACK YARD		
	PLANTER	2 x 20	40 sq ft
	(POOL)	8 x 16	128 sq ft
	FRONT YARD	20 x 15	300 sq ft
	TOTAL PROPOSED		468 sq ft

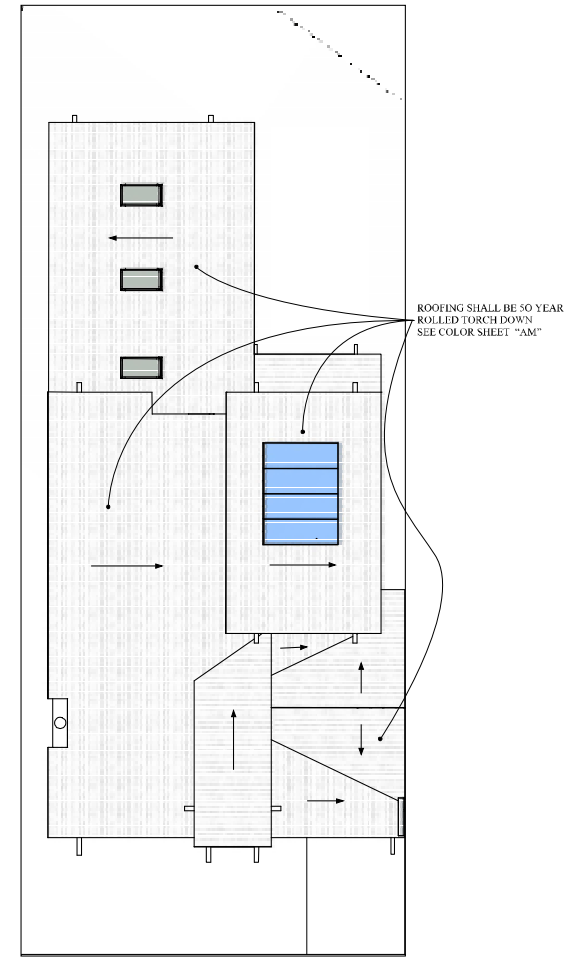
NOTE: MORE THAN 50% OF THE FRONTYARD LANDSCAPING STATED IS POURED IN PLACE CONCRETE.



1 LANDSCAPE PLAN
scale: 1/8" = 1'



A DRAINAGE PLAN - to be submitted later
scale: 1/8" = 1'



2 ROOF PLAN
scale: 1/8" = 1'

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

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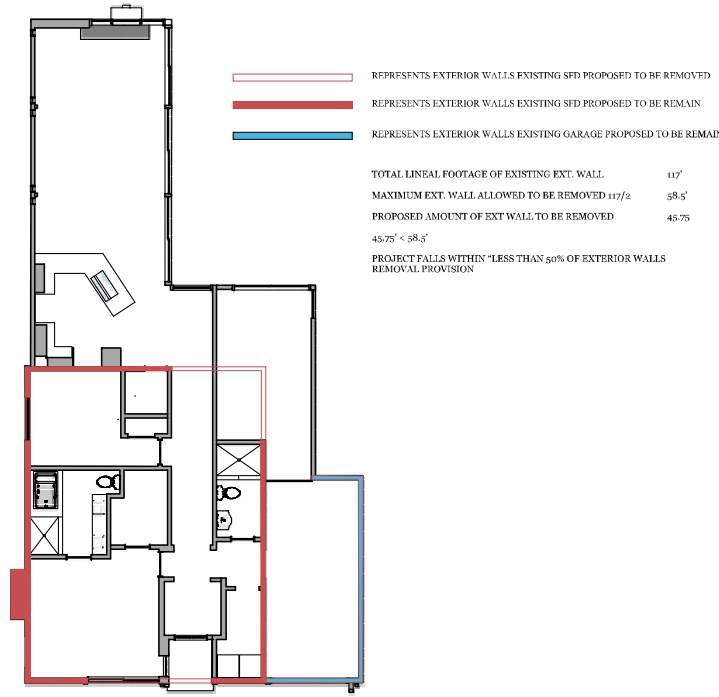
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San Diego CA 92173

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LANDSCAPE PLAN
ROOF PLAN
EXIST'G SITE PLAN

DOOR & WINDOW SCHEDULE

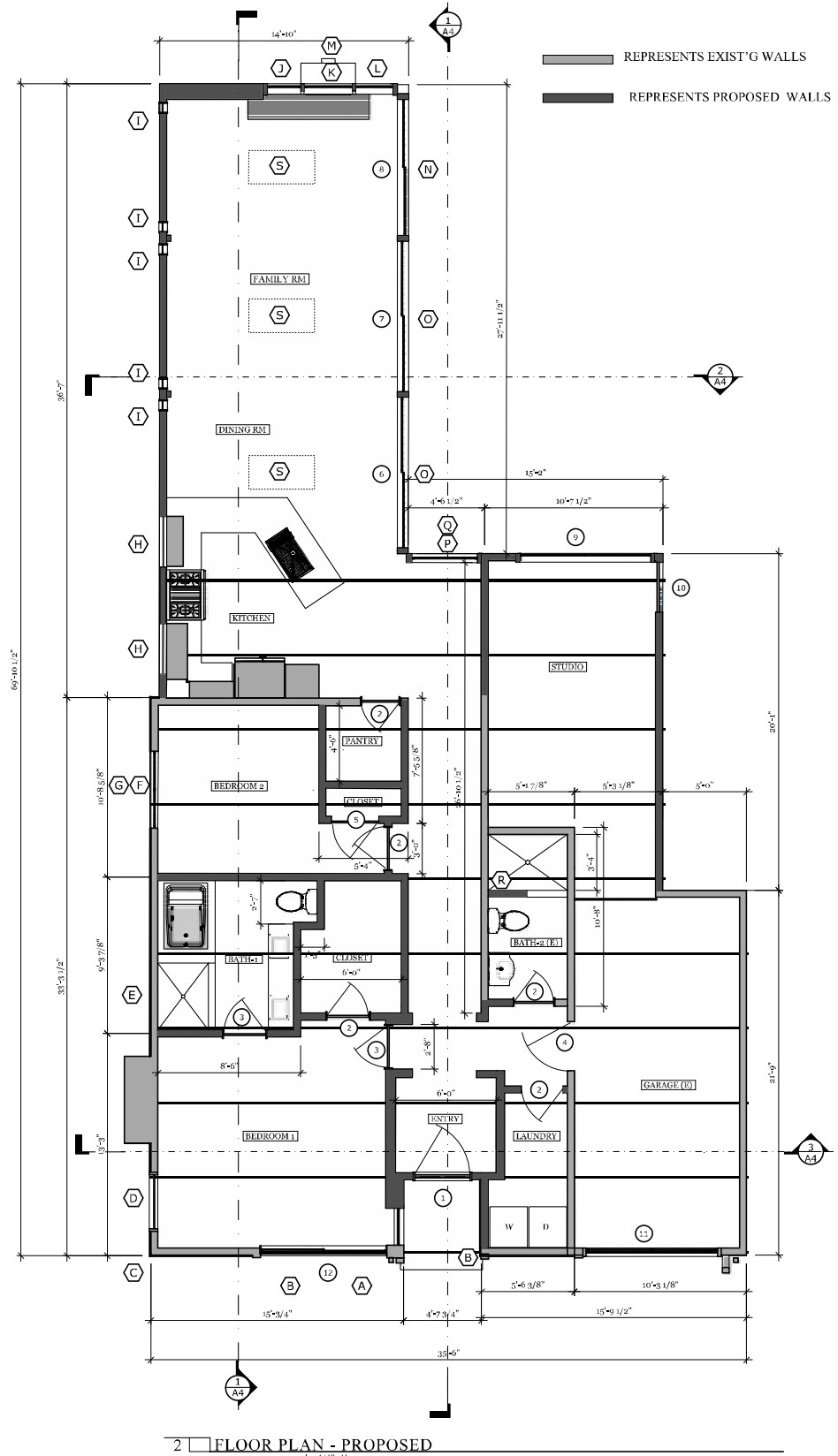
NO.	TYPE	SIZE	LOCATION	FINISH	GLASSING	COLOR	REMARKS
1	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
2	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
3	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
4	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
5	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
6	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
7	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
8	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
9	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
10	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
11	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
12	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
13	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
14	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
15	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
16	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
17	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
18	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
19	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
20	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
21	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
22	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
23	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
24	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
25	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
26	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
27	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
28	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
29	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
30	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
31	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
32	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
33	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
34	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
35	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
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60	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
61	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
62	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
63	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
64	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
65	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
66	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
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70	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
71	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
72	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
73	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
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91	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
92	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
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94	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
95	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
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97	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
98	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
99	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G
100	DOOR	36" x 80"	HALL	WOOD	GLASS	WHITE	EXIST'G



— REPRESENTS EXTERIOR WALLS EXISTING SFD PROPOSED TO BE REMOVED
— REPRESENTS EXTERIOR WALLS EXISTING SFD PROPOSED TO BE REMAIN
— REPRESENTS EXTERIOR WALLS EXISTING GARAGE PROPOSED TO BE REMAIN

TOTAL LINEAL FOOTAGE OF EXISTING EXT. WALL 117'
 MAXIMUM EXT. WALL ALLOWED TO BE REMOVED 117/2 = 58.5'
 PROPOSED AMOUNT OF EXT WALL TO BE REMOVED 45.75'
 45.75' < 58.5'
 PROJECT FALLS WITHIN *LESS THAN 50% OF EXTERIOR WALLS REMOVAL PROVISION

1 PROPOSED TO EXIST'G OVERLAY
scale: 1/8"=1'-0"



2 FLOOR PLAN - PROPOSED
scale: 1/4"=1'-0"

REVISIONS	
NO.	DESCRIPTION
1	
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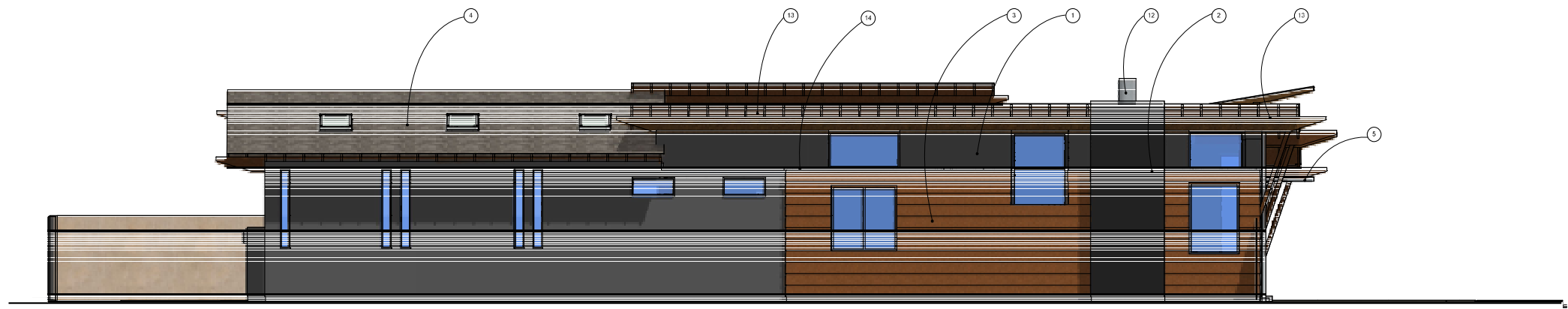
DESIGNER:
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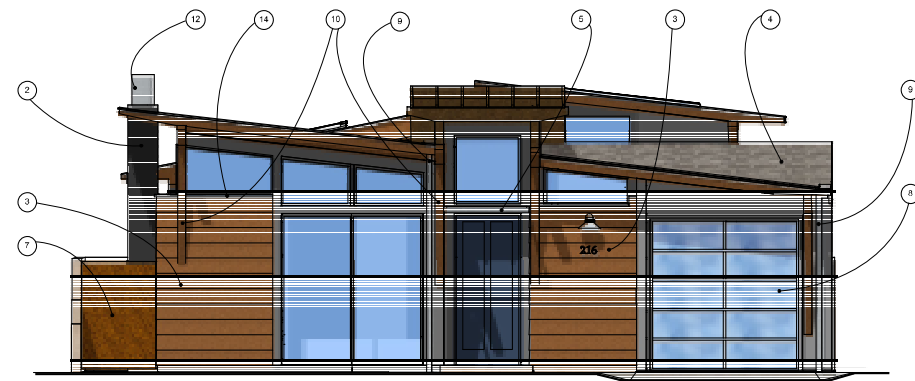
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 San Diego CA 92173

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FLOOR PLAN
 D & W SCHEDULE
 EXIST'G TO PROPOSED
 STUDY PLAN



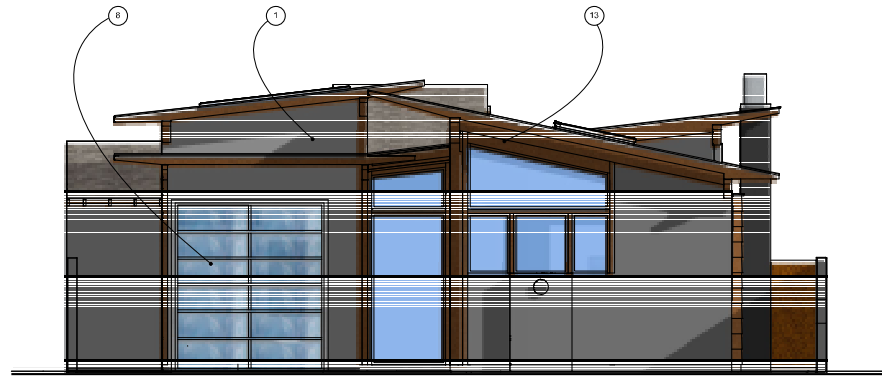
1 SOUTH ELEVATION
scale: 1/4" = 1'



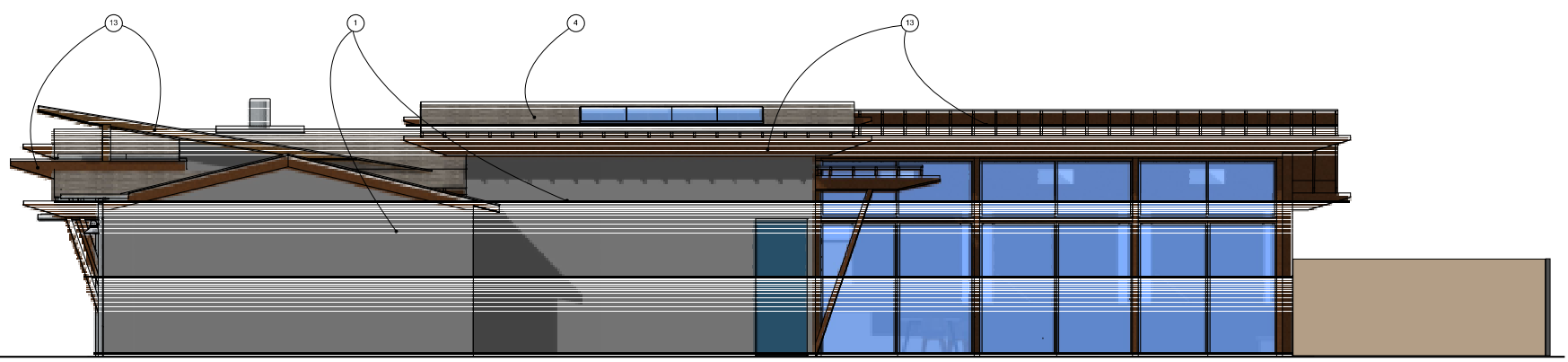
2 FRONT ELEVATION
scale: 1/4" = 1'

MATERIAL'S LEGEND

- 1 STUCCO - SMOOTH TROWELED FINISH - COLOR "B" SHEET A.M
 - 2 STUCCO - SMOOTH TROWELED FINISH - COLOR "A" SHEET A.M
 - 3 1" x 6" WOOD SIDING - IPE CLEAR OILED FINISH
 - 4 50 YEAR COMPOSITION TORCH DOWN ROOFING - COLOR
 - 5 ALUMINUM AND GLASS AWNING
 - 6 WOOD BRACES - DOUGLAS FIR - OIL FINISH
 - 7 CORTEN STEEL GATE
 - 8 ALUMINUM & OBSCURED GLASS GARAGE DOORS
 - 9 GALVANIZED GUTTERS & DOWNSPOUTS WITHIN WALLS
 - 10 DOUGLAS FIR & STEEL PERGOLA - CLEAR OIL FINISH
 - 11 WALLS STUCCO'D - SMOOTH TROWELED FINISH - COLOR "A" SHEET A.M
 - 12 GALVANIZED STEEL CHIMNEY SPARK ARRESTOR
 - 13 FACIA, EAVES & EXPOSED BM'S TO BE OIL STAINED - COLOR CANYON BROWN
 - 14 GALVANIZED METAL CAP AT ALL WALL SETBACKS
- SEE SHEET A.M FOR MATERIAL EXAMPLES



2 REAR ELEVATIONS
scale: 1/4" = 1'



4 NORTH ELEVATION
scale: 1/4" = 1'

REVISIONS	
NO.	REMARKS
1	
2	
3	
4	
5	

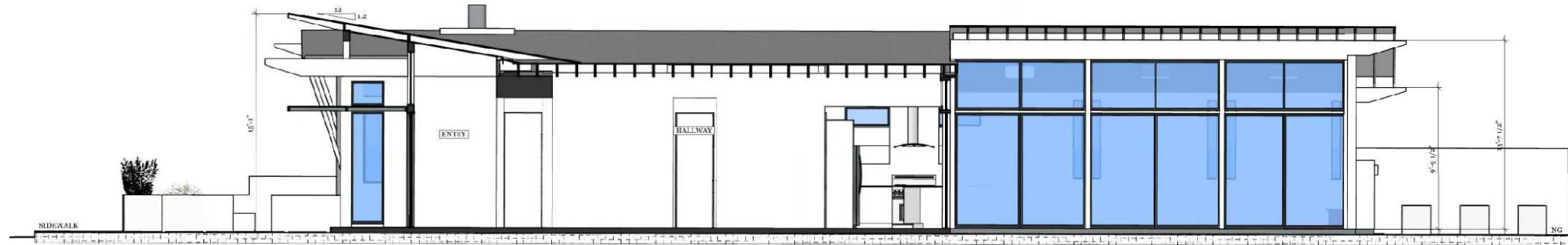
DESIGNER:
MICHAEL LANNEN
482 W San Ysidro
San Diego CA 92173

HAGERLANNEN RESIDENCE
216 AVENIDA VICTORIA
SAN CLEMENTE, CA

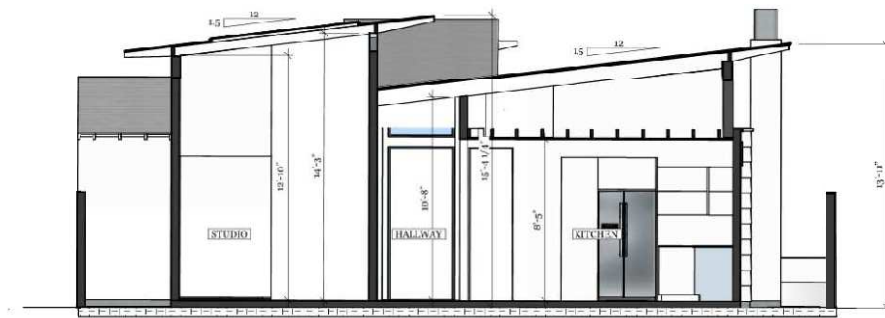
OWNER:
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CULTURAL HERITAGE
PERMIT

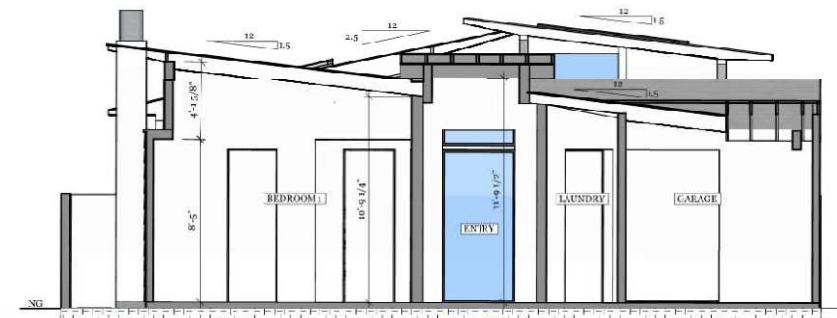
ELEVATIONS
MATERIALS LEGEND



1 SECTION 1
scale: 1/4" = 1'



2 SECTION 2
scale: 1/4" = 1'



3 SECTION 3
scale: 1/4" = 1'



4 SECTION 4
scale: 1/4" = 1'

REVISIONS	
NO.	REMARKS
1	ADD STUDY
2	ADD LAUNDRY
3	ADD GARAGE
4	ADD ENTRY
5	ADD HALLWAY

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SECTIONS

A.4



EXAMPLE OF EXT. COLOR SCHEME



EXAMPLE OF BM & EAVE COLOR



EXAMPLE OF GLASS & ALUMINUM AWNING



EXAMPLE OF ROOFING COLOR



EXAMPLE OF GLASS & ALUMINUM GARAGE DR



EXAMPLE OF BLACK DOORS & WINDOWS - INT. & EXT.



EXAMPLE OF IPEA SIDING



EXAMPLE OF POURED IN PLACE CONCRETE PIECES

REVISIONS	
NO.	REMARKS
1	
2	
3	
4	
5	

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MATERIALS

A.M



1a



1b



2



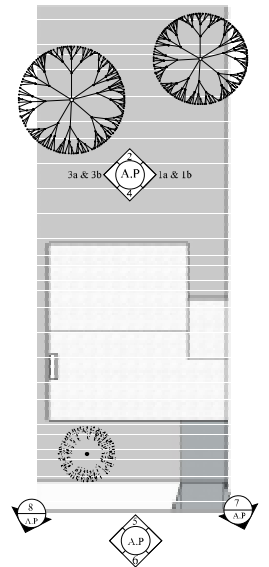
4



3b



3a



PHOTOGRAPH REFERENCE DRAWING



5



6



7



8



PANORAMIC OF WEST SIDE OF VICTORIA AND SITE



PANORAMIC OF EAST SIDE OF VICTORIA AND HISTORIC HOUSES

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

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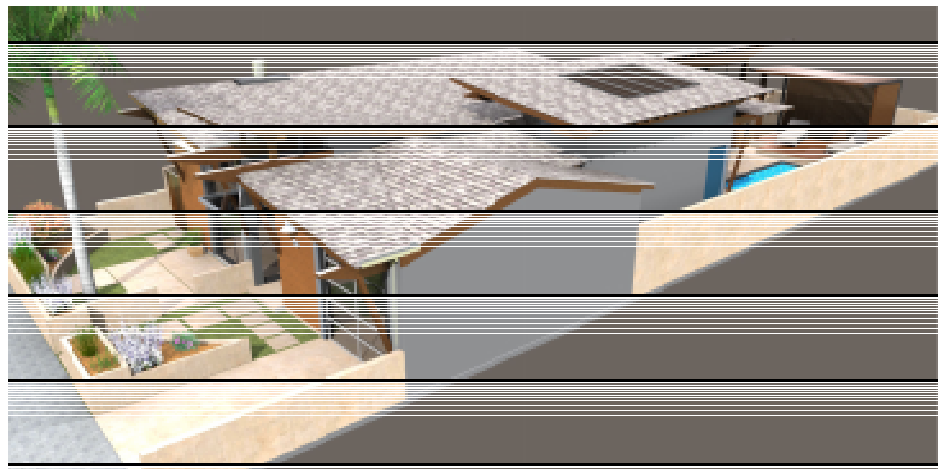
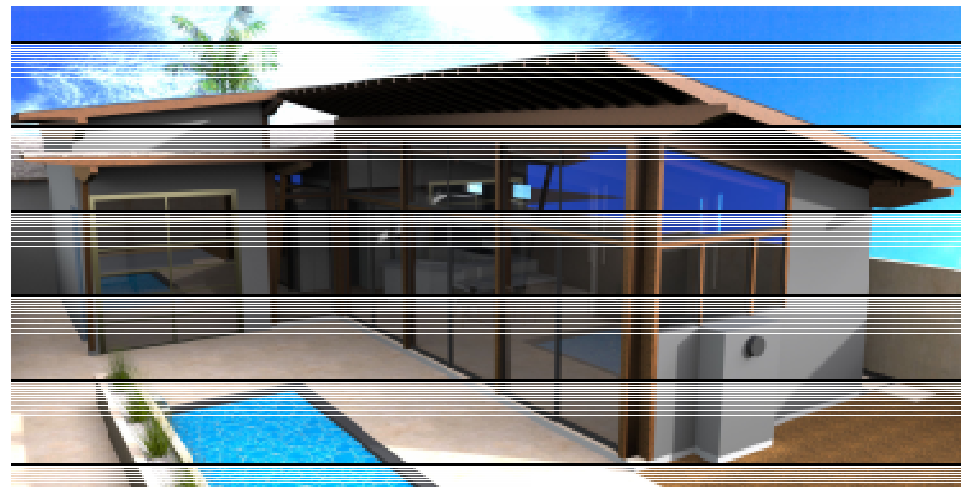
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SITE PHOTO'S

A.P



REVISIONS	
NO.	REMARKS
1	
2	
3	
4	
5	

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PERSPECTIVES

A.P 1