



# STAFF REPORT SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: August 4, 2022

**PLANNER:** Kyle Webber, Associate Planner

**SUBJECT:** **Minor Conditional Use Permit 22-126, Chaupain Bakery**, a request to allow an existing restaurant the sale of beer and wine service for indoor, on-site consumption and off-site consumption.

**LOCATION:** 211 Avenida Del Mar, Ste. B

**ZONING/GENERAL PLAN:** Mixed Use 3.0 Zone and Architectural, Central Business, and Coastal Zone Overlay Districts (MU3.0-A-CB-CZ)

**BACKGROUND:**

- The project site is an approximately 8,630 square-foot lot located in the Downtown Architectural and Central Business Overlays. A location map is provided as Attachment 2.
- The site’s frontage is on Avenida Del Mar and the rear of the property abuts a parking lot with 10 parking spaces. Figure 1 shows existing conditions of the front façade and rear parking lot. The site is surrounded by multi-residential development to the east and general retail and commercial services to the west, north, and south.
- The site was developed in 1957 as a single-story, multi-tenant mixed-use building, and is currently occupied by a food retail store, clothing retail store, and Chaupain Bakery.

**Figure 1 – Existing Site Conditions – Front and Rear Parking Lot**



**PROJECT SUMMARY:**

- The applicant proposes expanding the existing restaurant use to include beer and wine service for off-site consumption as well as on-site consumption within their indoor dining area.
- Zoning Ordinance Section 17.40.030 (Mixed-Use Regulations) requires Zoning Administrator approval of a Minor Conditional Use Permit (MCUP) to allow beer and wine service for on and off-site consumption.
- Chaupain Bakery does not have outdoor seating on property at 211 Avenida Del Mar, therefore, outdoor consumption of beer and wine will not take place on the property where the restaurant operates; however, outdoor seating does take place in the public right of way in front of the restaurant permitted through a Temporary Outdoor Operating Permit set to expire 2023.
- The project does not propose any modifications to the interior or exterior of the building. Figure 2 below shows the interior of the restaurant where a total of 14 seats are available for dining.

**Figure 2 – Proposed Site Conditions – Front**

- The sale of beer and wine for consumption indoors will be restricted from 6:00 a.m. to 8:00 p.m. daily, consistent with the hours of operation for the use.
- The project meets required parking standards for the Mixed-Use zone. The project's seating is conditioned to ensure parking is maintained per Section 17.64 (Parking and Access Standards) of the Zoning Ordinance.
- The project is located in the Architectural Overlay. The intent of this overlay is to "require new and renovated buildings within the Overlay district be designed to reflect the City's Spanish Colonial Revival heritage in accordance with the urban design

element and design guidelines." No modifications to the building are proposed with this application.

- The project meets required findings for approval because:
  - On and off-site consumption of beer and wine at a restaurant is permitted within the Mixed Use 3.0 Zone pursuant to the approval of a MCUP.
  - The proposed use is located in an existing commercial development that contains other similar uses, such as food retail, does not abut residential development, and is consistent with General Plan goals and policies related to compatibility and intensity of uses.
  - Conditions relevant to hours of operation and beer and wine service are imposed to maintain compatibility with the downtown core and ensure there are no adverse impacts to surrounding properties.
  - The existing building where the restaurant will operate meets development standards, including, but not limited to parking, accessibility, and height.
  - Adequate parking is provided at the rear of the restaurant for the subject establishment. Restaurants in the Central Business overlay require one parking space per five indoor seats. Chaupain Bakery requires three parking spaces where 10 parking spaces exist on the property and are allotted to the business.
- The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities).
- The property is located in the Coastal Zone and does not require a separate permit for the expansion of the existing use.
- Public comments have not been received on this item.

### **RECOMMENDATION**

Based on the information in the staff report and subject to the required findings and conditions of approval, staff recommends that the Zoning Administrator:

1. Determine the project is Categorically Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: Conversion of Small Structures); and
2. Adopt Resolution ZA 22-013, approving MCUP 22-126, Chaupain Bakery, subject to the attached conditions of approval.

### ***Attachments:***

1. Resolution ZA 22-013  
Exhibit A - Conditions of Approval
2. Location Map
3. Site plan

## RESOLUTION NO. ZA 22-013

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING MINOR CONDITIONAL USE PERMIT 22-126, CHAUPAIN BAKERY, A REQUEST TO CONSIDER ALLOWING RESTAURANT BEER AND WINE SERVICE FOR OFF-SITE AND ON-SITE CONSUMPTION INDOORS AT AN EXISTING RESTAURANT LOCATED AT 211 AVENIDA DEL MAR, STE. B

WHEREAS, on April 12, 2022, an application was submitted by Sami Ellouze, 25212 Sacul Pl. Laguna Niguel, 92677, and deemed complete on June 24, 2022, for Minor Conditional Use Permit (MCUP) 22-126; a request to consider allowing beer and wine service for off-site and on-site consumption indoors at an existing restaurant. The site is located at 211 Avenida Del Mar, Ste. B in the Mixed Use 3.0 Zoning District and Architectural, Central Business, and Coastal Zone Overlays (MU3.0-A-CB-CZ). The site's legal description is Lot 6 and 40, Block 17 of Tract 779, Assessor's Parcel Number 058-112-67; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends the Zoning Administrator determine the project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities) because the project involves the permitting, operation, and licensing of an existing commercial tenant space involving negligible expansion of the existing use; and

WHEREAS, on May 5 and June 23, 2022, the City's Development Management Team (DMT) reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, on August 4, 2022, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Zoning Administrator of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined

below, the Zoning Administrator hereby finds and determines that the proposed project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities).

The Class 1 exemption applies to the operation, repair, permitting, or alteration of existing structures with negligible expansion of the existing or former use. The proposed project involves permitting the sale and on-site consumption of beer and wine at an existing restaurant currently permitted to operate within an existing commercial tenant space, to which constitutes a negligible expansion from the existing use.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time, given the proposed use is consistent with General Plan policies and Zoning regulations, which were studied and addressed in the General Plan Environmental Impact Report (EIR). There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment because the project is developed and there are no sensitive resources (endangered species, wetlands, etc.) on the project site or in the vicinity. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources, because there are no such resources nearby. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource, given there are none on or adjacent to the site. Thus, the Class 1 exemption applies, and no further environmental review is required.

### Section 3. Minor Conditional Use Permit Findings

With respect to Minor Conditional Use Permit (MCUP) 22-126, the Zoning Administrator finds as follows for the proposed on-site sale and consumption of alcohol:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, the San Clemente General Plan, and the purpose and intent of the zone in which the use is being proposed, in that:
  1. The proposed alcohol service (for off-site and on-site consumption) is ancillary to a permitted restaurant use. Restaurants are a pedestrian-oriented, visitor-serving commercial use encouraged in the General Plan Del Mar/T-zone focus area and downtown core Mixed Use 3.0 (MU 3.0) Zone; and
  2. The proposed use is located in an existing commercial development that contains other similar uses, such as a food retail store, and does not abut residential development, consistent with General Plan goals and policies related to compatibility and intensity of uses.
- B. The site is suitable for the type and intensity of use that is proposed, in that:
  1. The proposed alcohol service (for on-site consumption) is ancillary to a

permitted restaurant use. Restaurants are a pedestrian-oriented, visitor-serving commercial use encouraged in the General Plan Del Mar/T-zone focus area and downtown core Mixed Use 3.0 (MU 3.0) Zone;

2. The alcoholic beverages will be purchased and consumed on-site and within an enclosed dining area in conjunction with the existing indoor restaurant use. Alcohol will not be consumed outdoors anywhere on the property of the subject address; and
  3. The proposed use does not increase the required amount of on-site parking spaces. The building has sufficient parking for the existing restaurant.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity, in that:
1. Code compliance staff and the Orange County Sheriff's Department reviewed the proposed alcohol service and concluded alcohol can be served and consumed on-site without compatibility issues, provided that operations comply with licensing requirements, conditions of approval, and all applicable regulations;
  2. All employees of the establishment are required to receive Responsible Alcoholic Beverage Service training as offered through programs established by the Orange County Health Care Agency and Alcoholic Beverage Control of the State of California.
  3. The hours during which beer and wine may be sold have been restricted to maintain compatibility with the surrounding properties and compliance with the City's Noise Ordinance; and
  4. No modifications to the existing tenant space or site are proposed.
- D. The proposed use will not negatively impact surrounding land uses, in that:
1. The subject tenant space is in a mixed-use zoning district where a variety of general commercial, restaurant, service, office, and bar uses exist. The nearest residential uses are separated from the proposed use by a residential street and rear parking lot.
  2. In the event of noise impacts, soundproofing of the restaurant space in conjunction with best management practices for noise control is conditioned to maintain compatibility with the surrounding property and compliance with the City's Noise Ordinance; and
  3. The proposed use does not increase the required amount of on-site parking spaces.

Section 4. Zoning Administrator Approval.

Based on the foregoing recitals and findings above, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Minor Conditional Use Permit (MCUP) 22-126, Chaupain Bakery, subject to the above Findings, and the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on August 4, 2022.

---

Cecilia Gallardo-Daly, Zoning Administrator

CONDITIONS OF APPROVAL  
MCUP 22-216, CHAUPAIN BAKERY

**1.0 GENERAL CONDITIONS OF APPROVAL**

- |     |   |                 |
|-----|---|-----------------|
| 1.1 | Within 30 days of approval of this application, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner.  | Planning        |
| 1.2 | The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs, The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning        |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180.  | Planning        |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws.  | All             |
| 1.5 | Use of the subject property shall conform to all occupancy requirements, including posting of signs related to the maximum occupancy limitations.   | Code<br>Comp    |
| 1.6 | No signage is approved through this permit. All signs, including permanent, window, and temporary signage shall comply with Zoning Ordinance, including issuance of any applicable required permits.  | Code<br>Comp ** |



- 1.7 MCUP 22-126 shall be deemed to have expired if within one year of approval the project is not commenced, or the project permitted by the approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150. Planning

## 7.0 OPERATIONAL CONDITIONS OF APPROVAL

- 7.3 The sale of alcoholic beverages for indoor, on-site consumption shall be limited to the hours of 6:00 a.m. to 8:00 p.m. Planning
- 7.4 All employees shall receive Responsible Alcoholic Beverage Service training as offered through programs established by the Orange County Health Care Agency and Alcoholic Beverage Control of the State of California. Training shall be provided as soon as practical following the hire date of each employee. Evidence of such training shall be maintained on-site during business hours, and made available for inspection by any city official upon request. (SCMC Section 17.16.070) Code  
Comp
- 7.6 A manager shall be on the premises at all times, and available to respond to issues raised by representative from the Orange County Sheriff's Department, Orange County Fire Authority, or City of San Clemente Code Compliance, during the hours of operation when alcohol service is occurring. Code  
Comp
- 7.7 These conditions of approval shall be posted in a conspicuous location clearly visible to employees to ensure they are informed of and adhere to requirements and policies for all operations of the business, including but not limited to alcohol service. Code  
Comp
- 7.8 The Applicant (including any property owners and managers, and their designees) shall use her/his best judgment and best management practices to ensure the commercial activities on the premises will be conducted in a manner that will not be disruptive to neighbors. The business owner/property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, "It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval," and any subsequent revision Code  
Comp \*\*

of this section of the code. [Citation - Section 8.52.030(Y) of the SCMC]

- 7.9 There shall be a maximum number of indoor dining seats to maintain parking compliance with Table 17.28.205 – Parking Requirements for restaurants which requires one parking space per five indoor seats. Planning  
\*\*
- 7.10 The Applicant (including any property owners and managers, and their designees) shall ensure that discharge of washwater and other pollutants is prohibited from entering the storm drain system. Applicant must prevent pollutants (e.g. sediment, trash, food waste etc.) and any washwater used during cleanup from entering the storm drain system. Code  
Comp  
WQ  
\*\*
- 7.11 The Applicant (including any property owners and managers, and their designees) shall abide by all applicable laws, including Orange County Health Department and the California Department of Alcoholic Beverage Control (ABC) laws. Code  
Comp  
OCHealth  
ABC  
\*\*
- 7.12 The Applicant (including any property owners and managers, and their designees) shall use his/her best judgment and best management practices to ensure activities on the premises will be conducted in a manner that will not be disruptive to other commercial or residential neighbors and result in police services, which cost the City of San Clemente expense. Code  
Comp  
OCSD  
\*\*
- 7.13 All employees shall receive Responsible Alcoholic Beverage Service training as offered through programs established by the Orange County Health Care Agency and Alcoholic Beverage Control of the State of California. Training shall be provided as soon as practical following the hire date of each employee. Evidence of such training shall be maintained on-site during business hours, and made available for inspection by any city official upon request. [Citation- Section 17.16.070 of the SCMC] Code  
Comp
- 7.14 The service and consumption of alcoholic beverages shall only be permitted in conjunction with hot food service, with same hot foods prepared on site. The hot foods shall be available at all times that alcoholic beverages are being served. Code  
Comp
- 7.16 These conditions of approval shall be posted in a conspicuous location clearly visible to employees to ensure they are informed of and adhere to requirements and policies for all operations of the business. Code  
Comp

- 7.17 The Applicant (including any property owners and managers, and their designees) understands and acknowledges that banners and any temporary signage must meet the City's standards as to placement and time frame displayed according to the City's Municipal Code 17.84.010. No human, moving, or event-related signs placed off-site are permitted. Code Comp \*\*
- 7.18 The Applicant (including any property owners and managers, and their designees) understands and agrees that no window, banner, or temporary signage is part of this review, nor is any such signage approved or permitted by this permit. Window, banner, and temporary signage shall comply with Zoning Ordinance Table 17.84.030A & Section 17.84.030(H), and any applicable Master Sign Programs. Applicant understands and agrees that as a condition of approval of this permit that Applicant is aware of the City's window, banner, and temporary sign regulations and that compliance with those regulations is a term of the subject permit's approval by the City. As such, any violation of the City's regulations related to window, banner, or temporary signs shall constitute a violation of SCMC Section 8.52.030(Y), as discussed in accompanying conditions of approval. [Citation - Section 17.16.240.D of the SCMC] Code Comp \*\*
- 7.19 The Applicant (including any property owners and managers, and their designees) understands and agrees that in the event noise generated by the use approved by this permit impacts neighboring properties, the tenant must soundproof the facility, or use other best management practices as determined by the City Planner and/or City Building Official, to comply with the City's noise standards, as described in SCMC Chapter 8.48. Code Comp \*\*
- 7.20 The Applicant (including any property owners and managers, and their designees) understands and acknowledges that the use of sound amplification devices located outside any business's primary building are not permitted, unless specifically identified and approved in this permit or subsequent permits approved by the City. [Citation - Section 8.48.080 of the SCMC] Code Comp \*\*
- 7.21 The Applicant (including any property owners and managers, and their designees) shall be responsible for ensuring that no noise-generating maintenance activities on the subject property are conducted between the hours of ten (10:00) p.m. and seven (7:00) a.m. Such prohibited activities include, but are not limited to, dumping trash into outside trash bins, the use of parking lot sweepers, and the use of high-pressure washers. [Citation - Section 8.48.070(P) of the SCMC] Code Comp \*\*

7.22 The Applicant (including any property owners and managers, and their designees) shall be responsible for ensuring that no loud and excessive noise-generating activities on the subject property in connection with loading or unloading any vehicle or the opening and destruction of bales, boxes, crates and containers are conducted between the hours of ten (10:00) p.m. and seven (7:00) a.m. [Citation - Section 8.48.070(O) of the SCMC]

Code  
Comp  
\*\*

All Conditions of Approval are standard, unless indicated as follows:

\* Denotes a modified standard Condition of Approval.

\*\* Denotes a project specific Condition of Approval

City of San Clemente



Printed 6/17/2022 @ 1:06 PM



Minor Conditional Use Permit (MCUP) 22-126  
Chaupain Bakery Beer & Wine  
211 Avenida Del Mar, Ste. B

# CHAUPAIN BAKERY

SAN CLEMENTE, CALIFORNIA

### SYMBOLS

- ROOM NAME
- ROOM NUMBER
- ELEV. NO.
- INT. ELEV. SHEET
- CEILING HEIGHT
- BLDGS. SECTION LETTER
- BLDGS. SECTION SHEET
- DETAIL NUMBER
- DIRECTION OF DETAIL
- DETAIL SHEET
- EQUIPMENT ITEM NO.
- REVISION NUMBER
- SYMBOL INDICATES ADA ACCESSIBILITY REQUIREMENT HAVE BEEN APPLIED
- DOOR NUMBER
- WINDOW NUMBER
- EXTERNAL WALL FINISH NUMBER
- SHEAR WALL TYPE
- KEYNOTE
- EQUIPMENT NUMBER
- BLDGS. HEIGHT REFERENCE POINT

### PROJECT TEAM

#### CLIENT / TENANT:

SAM4 SARAH ELLOUZE  
23552 COMMERCE CENTER DR, STE 1'  
LAGUNA HILLS, CA 92653  
TEL: 714-391-3616

#### ARCHITECT / DESIGNER:

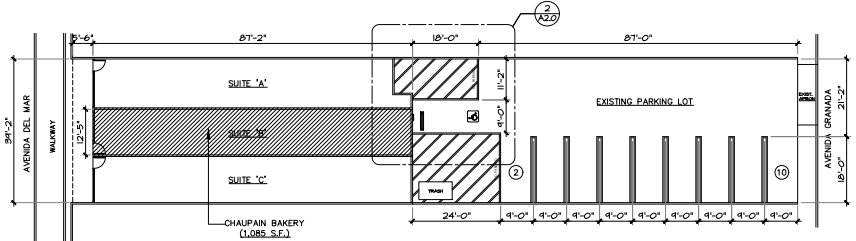
7 DESIGNS/DEVELOPMENT  
188 UNIT 'N' TECHNOLOGY DRIVE  
IRVINE, CA 92618  
TEL: 949-471-3501  
CONTACT: BARAY KARIM

#### M.P.F. ENGINEER:

PRO ENGINEERING CONSULTING, INC.  
1120 SYCAMORE AVE, STE. 2A  
VISTA, CA 92081  
TEL: 760-586-4946  
CONTACT: RAMIN PARSY, P.E.

### SITE PLAN NOTES

- BUILDING ADDRESS SHALL BE POSTED VISIBLE AND LEGIBLE FROM THE STREET, 6" TALL MIN. AND IN A CONTRASTING COLOR, SHALL BE DAGBLIT OR HAVE TWO LIGHTS FROM THE FRONT.
- 65% OF THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE RECYCLED, UNLESS SELF-HAULED BY THE CONTRACTOR OF THE PROJECT. THE USE OF ANY WASTE HAULER OTHER THAN THE CITY'S FRANCHISED HAULER, OR AN ENVIRONMENTAL SERVICES TO HAUL CONSTRUCTION DEBRIS IS PROHIBITED AND SUBJECT TO ADMINISTRATION ACTION.



### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2006 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, STANDARDS AND REGULATIONS OF THE CITY OF SAN CLEMENTE, CALIFORNIA.
- A COMPLETE PROJECT IS INTENDED, THE BUILDING IS TO BE READY FOR OCCUPANCY WHEN COMPLETED.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- DRAWINGS ARE BASED ON EXISTING BUILDING.
- DO NOT SCALE OFF THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE CORRECTED BY THE ARCHITECT PRIOR TO STARTING WORK.
- ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER/ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- G.C. IS RESPONSIBLE FOR SUBMITTAL PAYING FEES AND OBTAINING ALL PERMITS ASSOCIATED WITH THIS PROJECT (GENERAL BUILDING PERMIT OR HEALTH DEPT. PERMIT). THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL PERMITS, MECHANICAL PERMITS, PLUMBING PERMITS, ENRICHMENT PERMIT, ETC. CLIENT WILL PAY FOR CONNECTION FEES ASSOCIATED WITH ALL PERMITS. CLIENT WILL PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TRUCK YARD.
- G.C. SHALL COMPLY WITH ALL CITY APPROVED CONDITIONS OF APPROVAL RELATING TO THE CONSTRUCTION OF THIS PROJECT.
- G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-FURNISHED PERMIT SET AT THE TIME OF CONSTRUCTION.
- THESE DOCUMENTS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE IMPROVEMENT, THE MAJOR ARCHITECTURAL ELEMENTS, THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE 2006 CALIFORNIA BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IF THE WORK DONE BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR OTHER CLIENT APPROVED REPRESENTATIVE, THE CONTRACTOR SHALL MAKE GOOD ANY DEFECTIVE WORK OR DEFECT TO THE SATISFACTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON SITE TO THE AREAS PERMITTED BY THE CITY. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, STATE ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION. FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENDANGERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
- CONTRACTOR SHALL DETERMINE COORDINATE AND ACCOMMODATE ALL SERVICES (ELECTRICAL, GAS, WATER, TELEPHONE, TELEMETRY, ETC.) REQUIREMENTS FOR THE UTILITY WITH THE APPROVED ARCHITECT/OTHERS REPRESENTATIVE PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE EXIT SIGNS PER BUILDING CODE 2016 CBC 101.
- PENETRATIONS THRU RATED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL, CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE RESISTANCE.
- EXTINGUISHER LOCATIONS AND RATINGS TO BE DETERMINED BY THE FIRE INSPECTOR. FIRE EXTINGUISHER REQUIREMENTS SHALL BE DETERMINED BY FIELD INSPECTION. FIRE CODE 2030(a).
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1003.5 - FIRE CODE 1204.
- PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR ACCESSORIES, HANDING, GAS, GRAB BARS, PLUMBING FIXTURES, CABINETS, LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND ALL OTHER ITEMS REQUIRED.
- THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS, FEES, INSURANCE AND TAXES REQUIRED FOR THE PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WORK PROVIDED BY OTHERS.
- ALL MANUFACTURED MATERIALS SHALL BE DELIVERED IN THE ORIGINAL PACKAGES, CONTAINERS, OR BUNDLES BEARING THE NAME OF THE MANUFACTURER OR BRAND.
- ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE IT ENJOINED PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN THE COURSE OF WORK SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
- EXIT DOORS SHALL BE MARKED SO THAT THEY ARE READILY DETERMINABLE FROM THE ADJACENT CONSTRUCTION.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
- THE HVAC SYSTEM MUST COMPLY WITH THE REQUIREMENTS OF CALIFORNIA FIRE CODE.
- PROVIDE 2A IBC, MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH FLOOR WITHIN 15 FEET OF TRAVEL DISTANCE FROM ALL AREAS.
- CHANGES OF TYPES OF FLOOR FINISHES SHALL BE MADE UNDER THRESHOLDS AT DOORS AND WHERE THRESHOLDS DO NOT OCCUR, AT CENTER OF DOORS.
- ALL 'EXIT' SIGNS SHALL BE ILLUMINATED AT ALL TIMES (2016 CBC 101)
- 'EXIT' SIGNS SHALL BE IN BLOCK LETTERS, A MINIMUM OF 6 INCHES HIGH WITH A STROKE OF NOT LESS THAN 3/4 INCH. LUMINANCE ON FACE OF SIGN SHALL BE 35.82 LUX. MIN.
- EXIT CORRIDOR FINISHES SHALL NOT EXCEED 5 FLAME SPREAD RATINGS.
- SURFACE FINISHES INDICATED OR NOTED SHALL BE CARRIED INTO ALCOVES, CLOSETS, AND SIMILAR FEATURES WHERE SUCH OCCUR UNLESS OTHERWISE INDICATED OR NOTED.
- CONTINUE 5/8" TYPE 'B' EXP. BEHIND WALL CABINETS, RECESSED FIRE HOSE CABINETS AND ELECTRICAL PANELS TO MAINTAIN FIRE RATINGS.
- WHERE DOORS ARE LOCATED NEXT TO A HALL, THERE SHALL BE 2 1/2" MIN. CLEARANCE BETWEEN HALL FINISH SURFACE AND FACE OF DOOR IN 90 DEGREES OPEN POSITION UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- DETAILS HARRIED TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY DETAILED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.

### PROJECT DATA

JURISDICTION: CITY OF SAN CLEMENTE, CA  
 ZONE: COMMERCIAL  
 AFD#: C058-112-671  
 USE: RETAIL BAKERY  
 OCCUPANCY TYPE: B-2  
 NUMBER OF STOREYS: 1  
 TYPE OF CONSTRUCTION: TYPE V-B, NON-SPRINKLERED  
 UNIT AREA: 1,085 S.F.  
 OCCUPANCY LOAD = 29  
 COFF./DINING: 192 S.F. / 15 = 13  
 BLENDING: 84 S.F. / 11 = 8  
 KITCHEN B.O.H.: 553 S.F. / 200 = 3  
 STORAGE: 82 S.F. / 300 = 1  
 RESTROOMS/HALLWAY: 174 S.F.  
 TOTAL: 1,085 S.F. = 29  
 PRIOR OCCUPANT: FOOD SERVICE

### APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE  
 CMC 2016  
 CEC 2016  
 CPC 2016  
 CALIFORNIA GREEN BUILDING STANDARDS CODE (GGBC)  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA FIRE CODE  
 CITY OF SAN CLEMENTE MUNICIPAL CODE

### SHEET INDEX

T-1	TITLE SHEET
<b>ARCHITECTURAL:</b>	
A1.0	DEMOLITION PLAN
A1.0	DIMENSIONAL & FLOOR FINISH PLANS
A1.1	FURNITURE & REFLECTED CEILING PLANS
A2.0	EXTERIOR ELEVATION & ACCESSIBLE PARKING LAYOUT/ DETAILS
A2.1	INTERIOR ELEVATIONS
A3.0	HALL SECTIONS & DETAILS
A4.0	ENLARGED RESTROOM PLAN & ELEVATIONS
A5.0	DOOR, WINDOW & FINISH SCHEDULES
K1.0	EQUIPMENT PLAN & DOOR/HWIDOM SCHEDULE
K2.0	KITCHEN B.O.H. & SERVICE AREA INTERIOR ELEVATIONS
K3.0	FINISH SCHEDULE & DETAILS
<b>MECHANICAL / ELECTRICAL / PLUMBING:</b>	
M0.1	MECHANICAL SCHEDULES & NOTES
M0.2	MECHANICAL DETAILS
M0.3	CAPTIVEAIRE, PART 1
M0.4	CAPTIVEAIRE, PART 2
M0.5	CAPTIVEAIRE, PART 3
M0.6	CAPTIVEAIRE, PART 4
M0.7	CAPTIVEAIRE, PART 5
M0.8	CAPTIVEAIRE, PART 6
M1.1	MECHANICAL FLOOR PLAN
M1.2	MECHANICAL ROOF PLAN
E0.1	ELECTRICAL SCHEDULES, NOTES & DETAILS
E0.2	PANEL SCHEDULES & I-LINE
E0.3	TITLE 24, LTS
E1.1	ELECTRICAL LIGHTING & POWER PLAN
E1.2	ELECTRICAL EQUIPMENT & ROOF PLAN
P0.1	PLUMBING SCHEDULES & NOTES
P0.2	PLUMBING DETAILS, PART 1
P0.3	PLUMBING DETAILS, PART 2
P1.1	WASTE & VENT PLAN
P1.2	HW & CH PLAN
P1.3	GAS PLAN



188 UNIT 'N' TECHNOLOGY DRIVE  
IRVINE, CA 92618  
TEL: (949) 471-3501  
FAX: (949) 471-3502

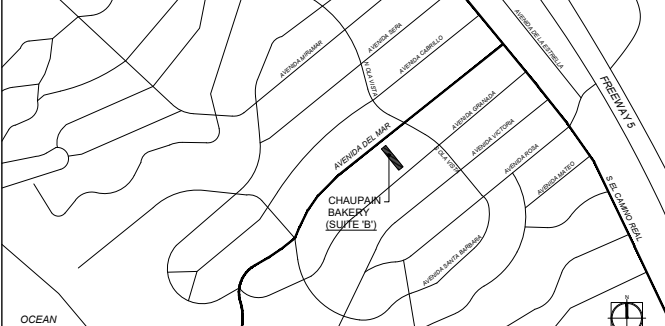


TITLE SHEET  
 CHAUPAIN BAKERY  
 2111 AVENIDA DEL MAR, STE. 1B  
 SAN CLEMENTE, CA 92612

### SCOPE OF WORK

\*\* INTERIOR TENANT IMPROVEMENT OF AN EXIST. 1,085 S.F. SINGLE STORY RETAIL BAKERY UNIT.  
 NOTE: EXTERIOR SIGNAGE UNDER SEPARATE PERMIT.

### VICINITY MAP



NO.	DATE	DESCRIPTION

JOB #  
384-01

BUILDING TYPE  
  
 ISSUE DATE  
06/23/20

SHEET NUMBER  
T1

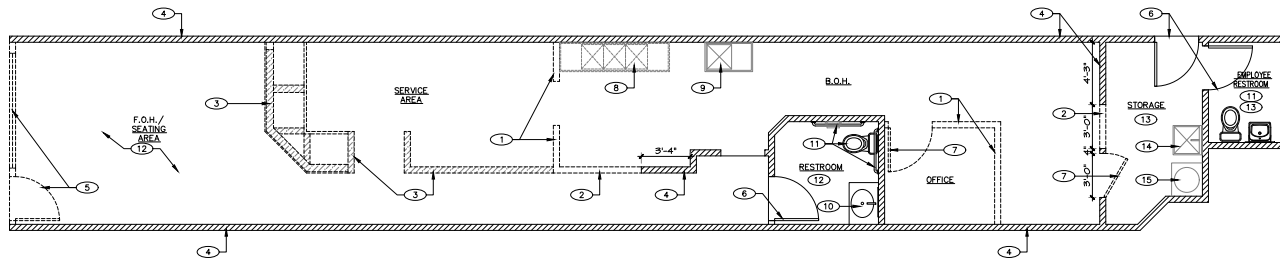
KEY NOTES

- ① EXIST. WALL TO BE REMOVED
- ② EXIST. PARTIAL WALL TO BE REMOVED
- ③ EXIST. LOW WALL TO BE REMOVED
- ④ EXIST. WALL TO REMAIN
- ⑤ EXIST. DOOR/ STOREFRONT TO BE REMOVED
- ⑥ EXIST. DOOR TO REMAIN
- ⑦ EXIST. DOOR TO BE RELOCATED
- ⑧ EXIST. 3-COMP SINK TO BE REMOVED
- ⑨ EXIST. PREP SINK TO REMAIN
- ⑩ EXIST. RESTROOM SINK TO BE REPLACED
- ⑪ EXIST. RESTROOM FIXTURE TO REMAIN
- ⑫ EXIST. F.O.H. 4 RESTROOM HOOD FLOORING TO REMAIN (REPAIR AS REQUIRED)
- ⑬ EXIST. STORAGE 4 EMPLOYEE RESTROOM CERAMIC FLOORING TO REMAIN (REPAIR AS REQUIRED)
- ⑭ EXIST. HOP SINK TO REMAIN
- ⑮ EXIST. WATER HEATER TO REMAIN



7DESIGNS  
Development

188 UNIT 'N'  
TECHNOLOGY DRIVE  
IRVINE, CA 92618  
TEL: (949) 679-3501  
FAX: (949) 679-3502



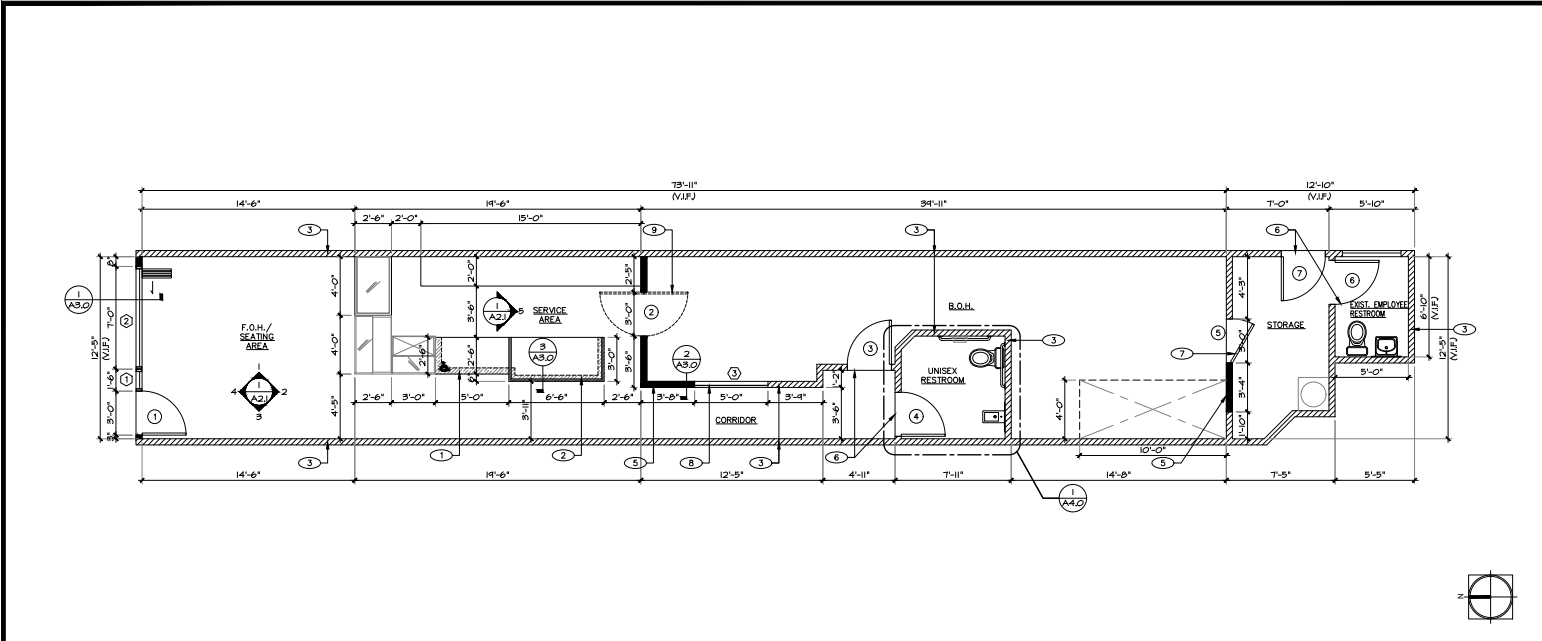
DEMOLITION PLAN  
CHAUPAIN BAKERY  
211 AVENIDA DEL MAR, SITE 'B'  
SAN CLEMENTE, CA 92672

REVISIONS		
NO.	DATE	DESCRIPTION

LEGEND

- [---] EXIST. WALL TO BE REMOVED
- [---] EXIST. LOW WALL TO BE REMOVED
- [---] EXIST. WALL TO REMAIN
- ⌋ EXIST. DOOR TO REMAIN
- ⌋ EXIST. DOOR / EQUIPMENT TO BE REMOVED

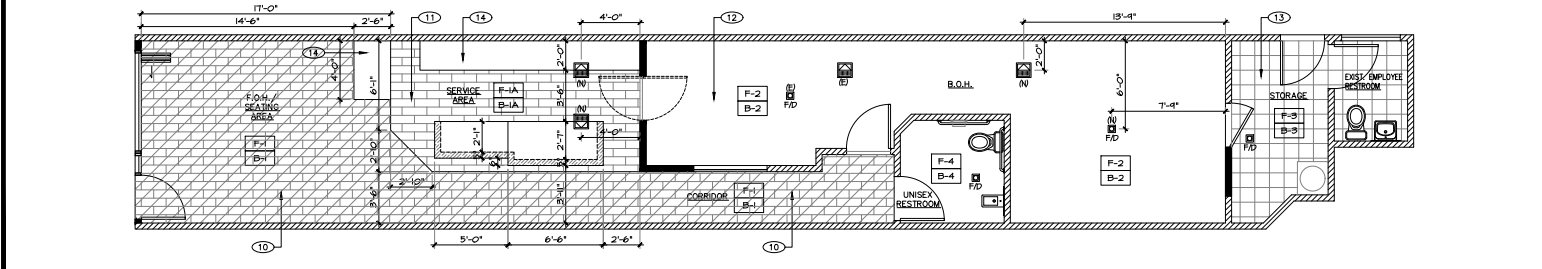




DIMENSIONAL FLOOR PLAN



1/4"=1'-0" 1



FLOOR FINISH PLAN



1/4"=1'-0" 2

KEY NOTES

- 1) 32" HIGH LOH HALL (1 5/8" X 3 5/8" 20 GA.)
- 2) 31" HIGH LOH HALL (1 5/8" X 3 5/8" 20 GA.)
- 3) EXIST. WALL TO REMAIN
- 4) NEW STOREFRONT # DOOR - SEE 1/ A3.0
- 5) NEW INTERIOR PARTITION - SEE 2/ A3.0
- 6) EXIST. DOOR TO REMAIN
- 7) RELOCATED EXIST. DOOR
- 8) NEW HINDOH
- 9) NEW ELIASON DOOR
- 10) EXIST. WOOD TILE FLOORING TO REMAIN
- 11) NEW WOOD TILE FLOORING TO MATCH EXISTING
- 12) NEW EPOXY FLOORING # COVE BASE
- 13) EXIST. FLOOR TILE TO REMAIN
- 14) NEW MILLWORK (LOWER CABINETS)

FLOOR PLAN NOTES

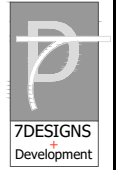
- 1. TENANT GENERAL CONTRACTOR IS REQUIRED TO PROVIDE MEASURES DURING DEMOLITION AND OTHER DUST CREATED WORK TO ENSURE DUST CONTAMINATED AIR DOES NOT GO INTO ADJACENT TENANT PREMISES.
- 2. INSULATION TO EXISTING UNDERSIDE OF THE ROOF STRUCTURE FOR ALL DEMISING WALLS BY TENANTS O.G.C.
- 3. ANY SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN MANNER THAT IS CONCEAL FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITHIN THE STOREFRONT DESIGN AND FINISHES. FREESTANDING SENSOR PEDESTALS ARE PROHIBITED.
- 4. ANY HARD LID CEILING AND SOFFITS CANNOT CONNECT TO THE STOREFRONT BELOW THE STOREFRONT FRAMING SYSTEM.
- 5. ANY NON-ILLUMINATED, AND/OR ILLUMINATED SIGNAGE CANNOT BE PLACED AT THE INSIDE OF STOREFRONT SYSTEM WITHIN THE PREMISE. SIGNAGE MUST BE INSTALLED AT LEAST 3'-0" OFF THE INSIDE OF THE STOREFRONT SYSTEM.
- 6. BUG-EYE TYPE EMERGENCY LIGHTING OR COMBO TYPE EXIT LIGHT FIXTURE IS NOT ALLOWED IN AREAS THAT ARE VISIBLE TO THE PUBLIC. TENANT IMPROVEMENT PLANS AND FINAL CONSTRUCTION MUST INSTALL A RECESSED OR SURFACE MOUNTED CLEAR ACRYLIC BLADE EXIT SIGN AT THE STOREFRONT ENTRY.
- 7. ALL ELECTRICAL RIMS IN THE OPEN CEILING AREA OF THE TENANT PREMISES IN THE FRONT OF HOUSE MUST BE RIGID CONDUIT. THE USE OF FLEX CONDUIT IS PROHIBITED. IN ADDITION, ANY ELECTRICAL RUN FROM THE CEILING TO A SUSPENDED LIGHT FIXTURE MUST BE HIDDEN IN A RIGID SLEEVE.
- 8. ANY REPAIRS OR PLUMBING LINE FAILURES INSIDE THE PREMISE ARE THE SOLE RESPONSIBILITY OF THE TENANT TO REPAIR OR REPLACE AT TENANT'S EXPENSE.
- 9. SIGNAGE UNDER SEPARATE PERMIT.

WALL LEGEND

- EXISTING WALL
- NEW INTERIOR WALL (1 5/8" X 3 5/8" 20 GA. METAL STUD UNLOJ)
- NEW LOW HALL (1 5/8" X 3 5/8" 20 GA. METAL STUD)

FLOOR LEGEND

- EXISTING WOOD TILE TO REMAIN
- NEW WOOD TILE TO MATCH EXISTING
- EXISTING FLOOR TILE TO REMAIN



188 UNIT 'N' TECHNOLOGY DRIVE IRVINE, CA 92618  
 TEL: (949) 679-3501  
 FAX: (949) 679-3502



DIMENSIONAL & FLOOR FINISH PLANS

CHAUPAIN BAKERY  
 211 AVENIDA DEL MAR, STE 'B'  
 SAN CLEMENTE, CA 92672

REVISIONS		
NO.	DATE	DESCRIPTION

JOB #  
384-01

BUILDING TYPE

ISSUE DATED  
06/23/20

SHEET NUMBER  
A1.0

08/18/20





188 UNIT 'N'  
TECHNOLOGY DRIVE  
IRVINE, CA 92618  
TEL: (949) 679-3501  
FAX: (949) 679-3502



FURNITURE & REFLECTED CEILING PLANS  
 CHAUPAIN BAKERY  
 211 AVENIDA DEL MAR, SITE 'B'  
 SAN CLEMENTE, CA 92672

REVISIONS		
NO.	DATE	DESCRIPTION

JOB #  
**384-01**

BUILDING TYPE

ISSUE DATED  
**06/23/20**

SHEET NUMBER

**A1.1**

08/18/20

**KEY NOTES**

- ① 34" HIGH ACCESSIBLE SERVICE COUNTER
- ② 34" HIGH SERVICE COUNTER
- ③ DOUBLE SLING DOOR
- ④ GOLD/ DRY DISPLAY UNIT
- ⑤ 34" HIGH COFFEE CONDIMENT STATION
- ⑥ TACTILE EXIT SIGN (CHARACTERS SHALL BE SANS SERIF UPPERCASE ACCOMPANIED BY GRADE 2 BRAIL) - SEE 6/1 A2.10
- ⑦ RESTROOM ACCESSIBLE SIGN - SEE 5/1 A2.2
- ⑧ NEW CAPTIVE AIR (48"X120") TYPE-I HOOD
- ⑨ NEW OVEN
- ⑩ EXIST. DROPPED SOFFIT @ T-4" A.F.F.
- ⑪ EXIST. EXHAUST FAN TO BE REMOVED, PATCH & REPAIR CEILING
- ⑫ EXIST. ELECTRICAL PANEL
- ⑬ EXIST. DOWN LIGHT TO REMAIN
- ⑭ RELOCATED EXIST. DOWN LIGHT
- ⑮ NEW DOWN LIGHT
- ⑯ NEW 6'-0" TRACK LIGHT
- ⑰ EXIST. 24"X48" FLUORESCENT LIGHT TO REMAIN
- ⑱ EXIST. MECHANICAL AIR REGISTER
- ⑲ 42" HIGH STANDING COUNTER
- ⑳ COVE LIGHT

**TABLE & CHAIR COUNT**

- TABLE COUNT :**
- TABLE TYPE (A) - 42"X 24"X 34" - 1
  - TABLE TYPE (B) - 24"X 24"X 34" - 1
  - TABLE TYPE (C) - 27"X 12"X 36" - 1

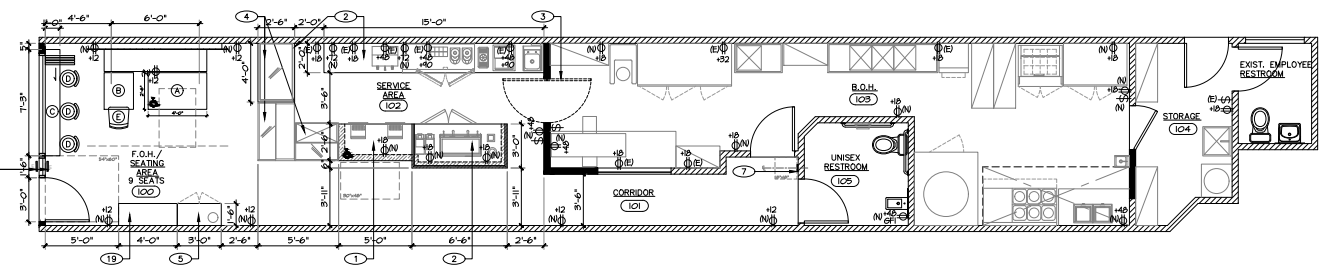
- CHAIR COUNT :**
- CHAIR TYPE (D) - 3
  - CHAIR TYPE (E) - 4

**CEILING SYMBOLS**

- DOWNLIGHT
- ⊙ ACCENT DOWNLIGHT
- ⊕ PENDANT DOWNLIGHT
- D WALL SCONCE
- ⊕ EXIT LIGHT/ EMERGENCY LIGHT
- WALL SCONCE
- 6' LONG TRACK LIGHT
- ==== I.E.D. ROPE LIGHT/ STRIP LIGHT
- ▨ 2x4' FLUORESCENT LIGHT
- ▨ 2x4' EMERGENCY LIGHT
- ⊕ BATTERY OPERATED EMERGENCY LIGHT - SEE ELECTRICAL
- ⊕ CEILING MOUNT RECESSED EXIT LIGHT
- ⊕ 18"x18" CEILING ACCESS PANEL (STYLEMARK TYPE DRYMALL CEILING ACCESS DOOR)
- (E) EXISTING LIGHT
- (N) NEW LIGHT
- (R) RELOCATED EXISTING LIGHT

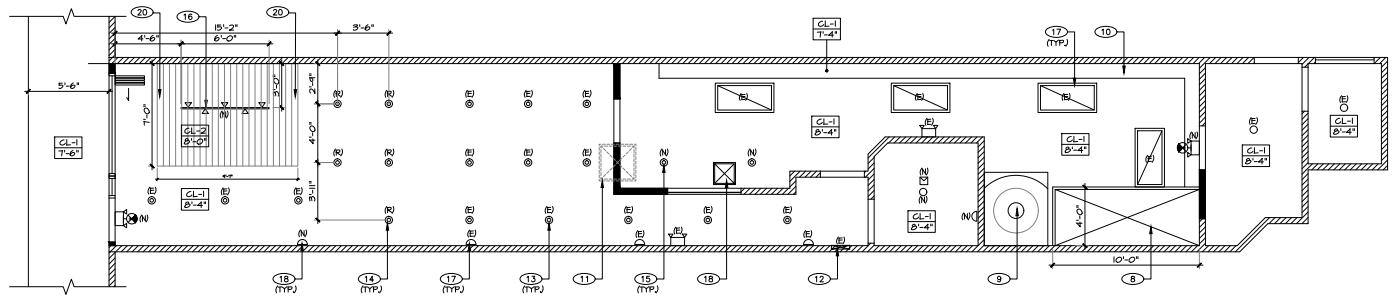
**WALL LEGEND**

- ▨ EXISTING HALL
- ▨ NEW INTERIOR HALL (1 5/8"X5 5/8" 20 GA. METAL STUD U.S.L.O.)
- ▨ NEW LOW HALL (1 5/8"X5 5/8" 20 GA. METAL STUD)



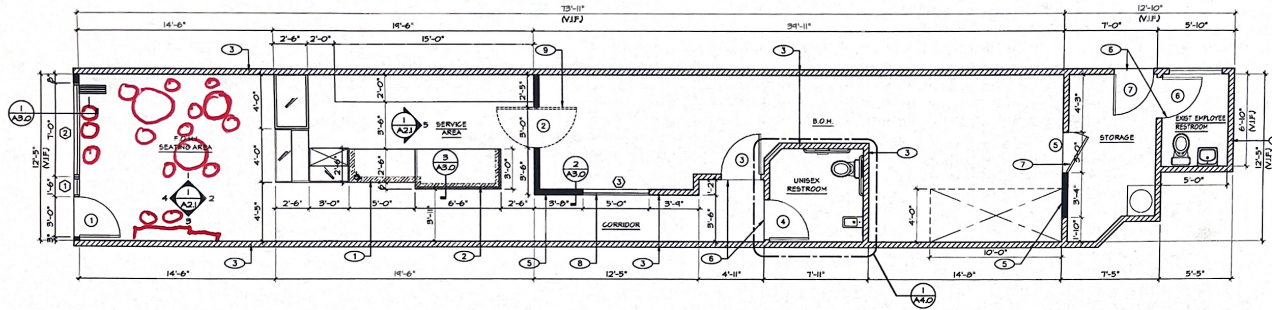
FURNITURE & ELECTRICAL OUTLET PLAN

1/4"=1'-0" 1



REFLECTED CEILING PLAN

1/4"=1'-0" 2



SEATING PLAN - 14 SEATS

- KEY NOTES**
- 1 32" HIGH LOH HALL @ 5/8" X 3 5/8" 20 GAJ
  - 2 37" HIGH LOH HALL @ 5/8" X 3 5/8" 20 GAJ
  - 3 EXIST. HALL TO REMAIN
  - 4 NEW STOREFRONT 4 DOOR - SEE V/A2.0
  - 5 NEW INTERIOR PARTITION - SEE 2/ A3.0
  - 6 EXIST. DOOR TO REMAIN
  - 7 RELOCATED EXIST. DOOR
  - 8 NEW HINDOX
  - 9 NEW ELASION DOOR
  - 10 EXIST. HOOD TILE FLOORING TO REMAIN
  - 11 NEW HOOD TILE FLOORING TO MATCH EXISTING
  - 12 NEW EPOXY FLOORING 4 COVE BASE
  - 13 EXIST. FLOOR TILE TO REMAIN
  - 14 NEW MELLORCK GLOVER CABINETS!

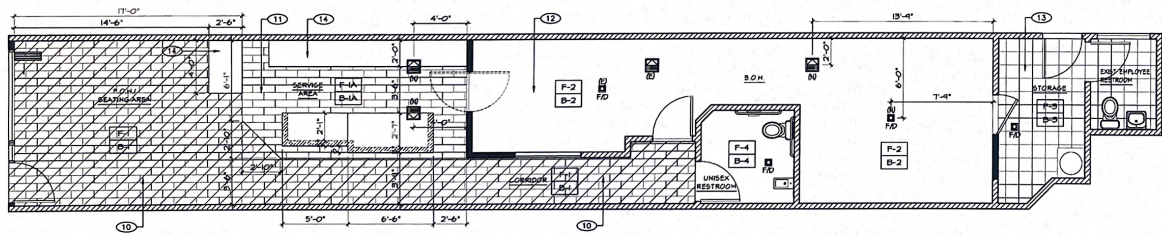
**FLOOR PLAN NOTES**

1. TENANT GENERAL CONTRACTOR IS REQUIRED TO PROVIDE MEASURES DURING DEMOLITION AND OTHER DASH-CREATED WORK TO ENSURE DUST CONTAMINATED AIR DOES NOT GO INTO ADJACENT TENANT PREMISES.
2. INSULATION TO EXISTING UNDERSIDE OF THE ROOF STRUCTURE FOR ALL DRESSING HALLS BY TENANTS E.G.
3. ANY SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN MANNER THAT IS CONCEAL FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITHIN THE STOREFRONT DESIGN AND FINISHES. PRE-EXISTING SENSOR PEDESTALS ARE PROHIBITED.
4. ANY HARD LID CEILINGS AND SOFFITS CANNOT CONNECT TO THE STOREFRONT BELOW THE STOREFRONT FRAMING SYSTEM.
5. ANY NON-ILLUMINATED AND/OR ILLUMINATED SIGNAGE CANNOT BE PLACED AT THE ROSE OF STOREFRONT SYSTEM WITHIN THE PREMISE SIGNAGE MUST BE INSTALLED AT LEAST 3'-0" OFF THE INSIDE OF THE STOREFRONT SYSTEM.
6. BUBBLE-TYPE EMERGENCY LIGHTING OR COMBO TYPE EXIT LIGHT FIXTURE IS NOT ALLOWED IN AREAS THAT ARE VISIBLE TO THE PUBLIC. TENANT IMPROVEMENT PLANS AND FINAL CONSTRUCTION MUST INSTALL A RECESSED OR SURFACE MOUNTED CLEAR ACRYLIC BLACK EXIT SIGN AT THE STOREFRONT ENTRY.
7. ALL ELECTRICAL RIMS IN THE OPEN CEILING AREA OF THE TENANT PREMISES IN THE FRONT OF HOUSE MUST BE ROSS CONDUIT. THE USE OF PLEX CONDUIT IS PROHIBITED. IN ADDITION, ANY ELECTRICAL SIGN FROM THE CEILING TO A SUSPENDED LIGHT FIXTURE MUST BE HIDDEN IN A ROSS SLEEVE.
8. ANY REPAIRS OR PLUMBING LINE FAILURES INSIDE THE PREMISE ARE THE SOLE RESPONSIBILITY OF THE TENANT TO REPAIR OR REPLACE AT TENANT'S EXPENSE.
9. SIGNAGE UNDER SEPARATE PERMIT.

DIMENSIONAL FLOOR PLAN



1/4"=1'-0" 1



**WALL LEGEND**

- EXISTING HALL
- NEW INTERIOR HALL (1/2" X 3/8" 5/8" 20 GA. METAL STUD UNLO.)
- NEW LOH HALL (1/2" X 3/8" 5/8" 20 GA. METAL STUD)

**FLOOR LEGEND**

- EXISTING HOOD TILE TO REMAIN
- NEW HOOD TILE TO MATCH EXISTING
- EXISTING FLOOR TILE TO REMAIN



1/4"=1'-0" 2

FLOOR FINISH PLAN



188 UNIT 'N' TECHNOLOGY DRIVE IRVINE, CA 92618  
TEL: (949)679-4501  
FAX: (949)679-3500



**DIMENSIONAL & FLOOR FINISH PLANS**

CHAUPAIN BAKERY  
210 AVENIDA DEL MAR, STE. 101  
SAN CLEMENTE, CA 92672

REVISIONS

NO.	DATE	DESCRIPTION
1	10/29/20	1/4"=1'-0" HALL W. DIFF. CORR.
2	10/29/20	B.L.C. DIFF. CORR.

384-01

BUILDING TYPE

ISSUE DATED  
06/23/20

SHEET NUMBER  
A1.0