

# Minimum Construction Standards

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM, NO CONSTRUCTION ON SUNDAYS AND RECOGNIZED HOLIDAYS, (CHAPTER 8,48, SCMC)

APPROVED PLANS SHALL BE AVAILABLE AT THE JOBSITE DURING INSPECTIONS,(CHAPTER 15,04,SCMC)

SANITARY FACILITY FOR CONSTRUCTION SITE MUST BE PROVIDED, (CHAPTER 15,04,SCMC)

FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMODELING, ADDITION OR TENANT IMPROVEMENT PROJECT, (CHAPTER 15,08,SCMC)

**SPECIAL REQUIREMENT FOR INSPECTION:** FOR MULTI-RESIDENTIAL AND COMMERCIAL BUILDINGS WITH 2 STORIES OR MORE, PLANNING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL. DUE TO SPECIAL AND UNUSUAL TOPOGRAPHICAL CONDITIONS AT THE SITE, A SURVEYOR'S CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOOR'S SLAB OR FINISH FLOOR SHALL BE REQUIRED,(SCBD POLICY)

RETAINING WALLS, WHICH ARE NOT PART OF THE STRUCTURE,INCLUDING MASONRY GARDEN WALLS, WILL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE, (CHAPTER 12-08,SCMC)

CURBS, GUTTERS AND SIDEWALKS ARE REQUIRED, (CHAPTER 12-08,SCMC)

ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAINPIPES TO THE STREET OR OTHER APPROVED LOCATION OR AN APPROVED NON-ERODIBLE SURFACE DRAIN. WATER SHALL NOT DRAIN OVER PUBLIC SIDEWALK, (CHAPTER 15-20,SCMC)

NO FERROUS WATER PIPING IS ALLOWED UNDERGROUND. COPPER WATER PIPING UNDER SLAB SHALL BE TYPE "K" PLACED IN SAND BED & PROTECTED WITH PLASTIC SLEEVE WHEN PENETRATING SLAB, (CHAPT 15.08.020.20,SCMC)

3/4" HOSE BIB REQUIRED IN FRONT AND BACK OF BUILDING, (CHAPTER15-20,SCMC)

A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE JUNCTION BOX, ONE PAIR OF NO.19 CONTROL WIRES SHALL BE INSTALLED FOR USE BY THE WATER DIVISION, (SCWD)

APPROVED BACK FLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NONRESIDENTIAL BUILDINGS OR ANY OTHER FACILITY AS REQUIRED BY CHAPTER 13-04, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949)366-1553.

NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL,(CHAPT 15-12,SCMC)

LOW FLUSH FIXTURES(1.6 GAL TOILETS, 1 GAL URINALS, & 2.5 GAL SHOWER HEADS) ARE REQUIRED,(STATE LAW)

TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT ENCRROACH ONTO PUBLIC SIDEWALKS AND STREETS, (CHAPTER 12.20, SCMC)

ADDRESS NUMBERS IN CONTRASTING COLOR TO THE STRUCTURE FOR RESIDENTIAL A MIN OF 4"HIGH; FOR NON RESIDENTIAL, A MIN OF 8" HIGH TO BE PLACED ON THE FRONT OF THE BUILDINGS. EACH UNIT SHALL BE IDENTIFIED WITH AN ALPHABETICAL LETTER AND THE RELATED GARAGE MUST BE SIMILARLY MARKED,(SECTION 10.208-JFB & CHAPTER 8-16, SCMC)

SUB DIVIDER SHALL NOT PAVE ANY STREET UNDER WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT ACTUAL NOTICE TO COX COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT. NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MGR, COX COMMUNICATIONS; 29947 AVE DE LA BANDERAS, RANCHO SANTA MARGARITA,92688 (949) 546-2000.

ELECTRIC AND GAS METERS WILL NOT BE SET UNTIL ALL PHASES OF WORK ARE COMPLETED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED,(SCBD POLICY)

NOTE:SCMC: SAN CLEMENTE MUNICIPAL CODE; SCBD SAN CLEMENTE BLDG DIV; SCWD: SAN CLEMENTE WATER DIVISION (REV 12-6-07)



# CASA ROSA TRIPLEX CONDOMINIUMS

130 Avenida Rosa  
San Clemente, CA

Michael Luna & Associates

34932  
Capo Beach, California 92624  
Phone: (949) 493-5200  
Fax: (949) 493-5248

Architect  
Project  
CUP

Casa Rosa Triplex Condominiums

130 Avenida Rosa San Clemente, CA

Sheet Title

Project Title Sheet



Project No. 2107  
Plot Date 5-11-22  
B.D. Submittal  
Bid Issue  
Const. Issue  
Revision  
Revision  
Revision  
Revision

T.0

Sheet No.

## SPECIAL INSPECTION

City of San Clemente  
Phone: (949) 361-6100 Fax: (949) 361-8281  
Building@San-Clemente.org

### SPECIAL INSPECTION FORM PERMIT NO: \_\_\_\_\_

Project Address: 136 Avenida Victoria Plan Review Project No: B18 -0364  
Property Owner: Craig Anderson - CHA Construction Architect: Michael Luna & Associates  
Engineer: Simply Strong Engineering Plans Examiner: Saeed Amirazzi

Prior to issuance of building permit, the owner, or the architect or engineer of record acting on the behalf of the owner, shall appoint an approved special inspector registered by the City of San Clemente and shall sign and submit this form to the Building Division. Selection of the special inspector/agency cannot be changed once the building permit is issued, except with the specific permission of the Building Official.

Special Inspector: \_\_\_\_\_ Phone No: \_\_\_\_\_  
Inspection Agency (Firm): \_\_\_\_\_ Phone No: \_\_\_\_\_  
Owner / Architect or Engineer (Signature) \_\_\_\_\_ Phone No: \_\_\_\_\_

The above signed hereby certifies that the special inspector identified above has been engaged to perform the special inspections outlined below as required by Chapter 17 of the California Building Code:

**GEOTECHNICAL / SOILS**  
 Prior to foundation inspection submit a field memo stamped and signed by licensed geotechnical engineer to certify foundation excavations are located in proper soils bearing material and to confirm required soils bearing capacity.  
 Soil Bearing Confirmation 2,000 psf

**FOUNDATION CONCRETE**  
 f'c = 4,500 psi concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates  
 Type V cement required exposed to sulfates  
 Special Inspection and concrete lab testing IS REQUIRED  
 Special Inspection NOT required. Submit concrete batch mix trip ticket to building inspector.

**PILE INSTALLATION**  
 Drilled Cast-in Place Caissons / Piles  Precast Concrete Piles  
 Foundation Underpinning Installation  Steel Piles

**REINFORCED CONCRETE**  
 High Strength Concrete (>2,500 psi) f'c= 4,500 psi  Cast-in Place Concrete  
 Grade Beams  Cast-in Place Caissons / Piles  Reinforcing Placement  
 Concrete Frames  Post-Tensioned (tendon placing / stressing and concrete placement)  
 Shotcrete / Gunite

**STRUCTURAL STEEL**  
 Field Welding  
 Steel Erection  High Strength Bolting  Spray Applied Fire Proofing

**STRUCTURAL MASONRY**  
 Retaining Walls  Walls & Pilasters

**MISCELLANEOUS**  
 **STRUCTURAL OBSERVATION IS REQUIRED** (See attached structural observation form)  
 Epoxy Anchors / Bolts  
 Shear Wall / Diaphragm Nailing WHERE NAILS 4" OR LESS  
 Other SIMPSON STRONG WALL  
 Other

Building Division, 910 Calle Negocio, Suite 100 San Clemente CA 92673

## PROJECT DIRECTORY

**Owner:**  
CAMINO VALENCIA, LLC  
16715 YVETTE WAY  
CERRITOS, CA 90703  
562.537.4087  
email: caminovalencia20@gmail.com

**Legal Description:**  
TRACT: 779  
LOT: 29 & 30  
BLOCK: 8  
APN: 058-091-14; 058-091-43

**Job Address:**  
100 / 130 AVENIDA ROSA  
SAN CLEMENTE, CA 92672

**Architect:**  
MICHAEL LUNA & ASSOCIATES, INC.  
MICHAEL LUNA, ARCHITECT  
34932 CALLE DEL SOL, SUITE A  
CAPO BEACH, CA 92624  
TEL: (949) 493-5200 FAX: (949) 493-5248  
email: michael@lunaarch.com

**Civil:**  
MILANI CO  
BABAK S. MILANI  
84 VIA ATHENA  
ALISO VIEJO, CA 92656  
TEL: (714) 655-3463  
email: bmilani@milanico.com

**Landscape:**  
MICHAEL BUNGANICH  
LANDSCAPE ARCHITECT  
112 EAST SAN JUAN  
SAN CLEMENTE, CA 92672  
TEL/FAX: (949) 498-4548  
CELL: (949) 637-7799  
email: mjblandarc@cox.net

## NOTE:

## SHEET INDEX

00 General
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## PROJECT SUMMARY TABLES

### Zoning Standards

Description	Allowed	Proposed	Conforms
	RM	RM	
Zone			
Lot Area	8,000 SF	6,000 SF	Yes
Lot Width	80'	80'	Yes
Lot Depth	100'	100'	Yes
Max. Building Height	25'	-	Yes
Setbacks (Minimum)			
Front Setback to Primary Structure	15'-0"	15'-0"	Yes
Left Sideyard Setback	5' / 8'	5' / 8'	Yes
Right Sideyard	5'-0"	24'-0"	Yes
Rear	5'-0"	5'-0"	Yes
Lot Coverage	55% MAX	50.6% (4,731 SF)	Yes

### Project Data

Area	Unit A	Unit B	Unit C
Living Area			
First Floor Living Area	804 SF	492 SF	751 SF
Second Floor Living Area	1420 SF	1047 SF	1212 SF
Totals	2224 SF	1539 SF	1963 SF
Balcony / Deck	81 SF	0 SF	53 SF
Roof Deck	372 SF	334 SF	271 SF
Total Project Living Area	5726 SF		
Total Project Balcony / Deck	134 SF		
Total Project Roof Deck	977 SF		
Coverd Parking Area	462 SF		
Garage	423 SF	387 SF	377 SF

### Parking

2 units x 2.5 = 5 Spaces  
1 unit x 2.0 = 2 Spaces  
Guest Parking 3 x .333 spaces = 1 Space  
Total Spaces Required: 8 Spaces  
Total Spaces Provided: 8 Spaces

### Scope of Work

CONSTRUCTION OF A NEW TWO STORY TRIPLEX WITH ATTACHED COVERED PARKING AND ROOF DECKS

## CODE DATA

Occupancy Group: R-2, U-1  
Deferred Submittals: 1. FIRE SPRINKLERS

Zoning Designation: RM  
DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

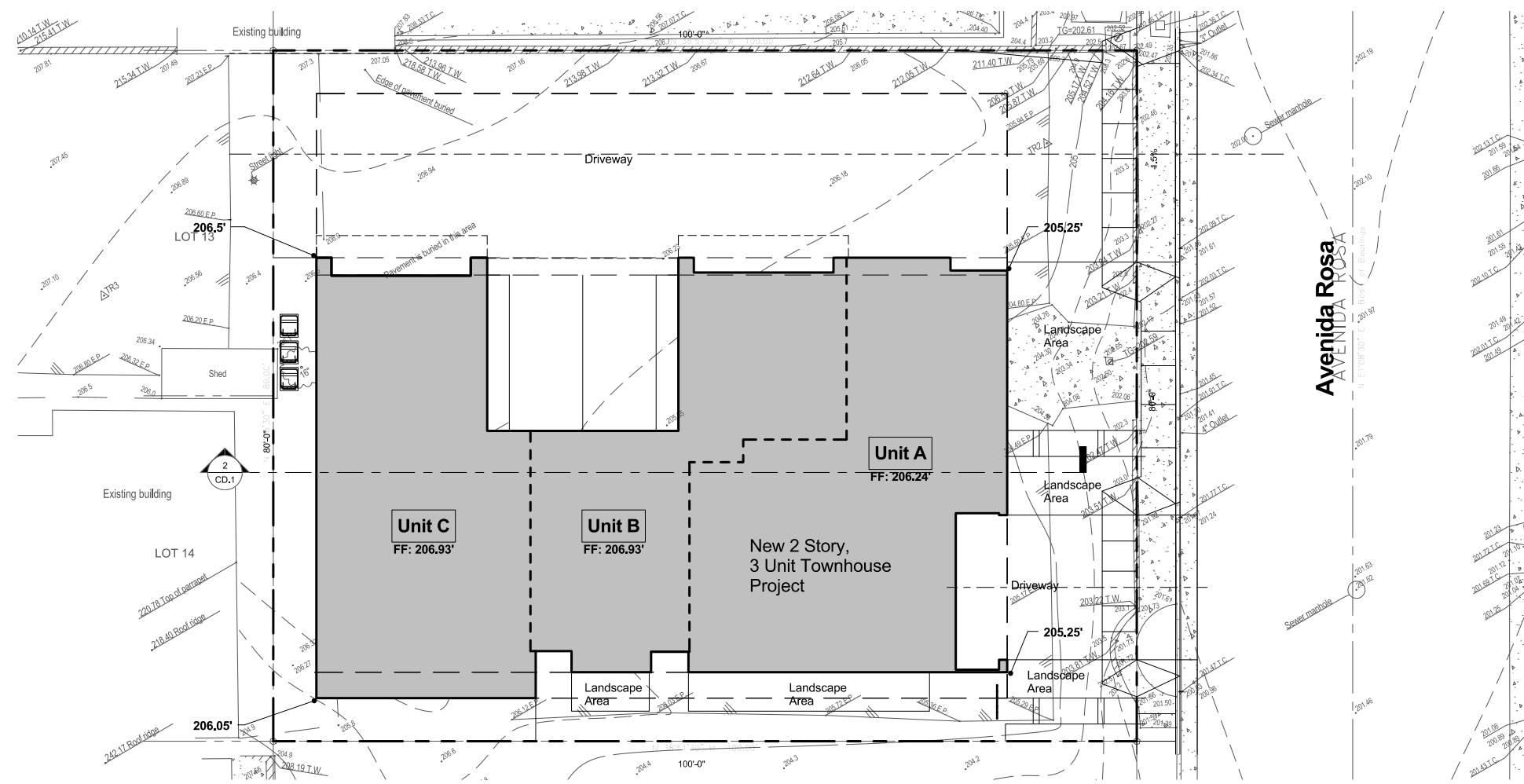
Type of Construction: TYPE VB, FIRE SPRINKLERED\*  
Separate Permit: SEPARATE PERMIT IS REQUIRED FOR ALL DETACHED BUILDING STRUCTURES, E.G., FENCE, WALLS, RETAINING WALLS, OUTDOOR SWIMMING POOLS/SPAS.

Number of Stories: TWO STORIES  
NOTES:  
1. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH N.F.P.A. 13  
2. 3/4" HOSE BIB SHALL BE PROVIDED AT FRONT AND REAR OF THE BUILDING.  
3. REVIEW AND APPROVAL FROM UTILITY COMPANIES WILL BE REQUIRED PRIOR TO ISSUANCE OF PERMITS FOR CONSTRUCTION.

Code Information:  
2019 CRC - BASED ON 2018 IRC  
2019 CBC - BASED ON 2018 IBC  
2019 NEC - BASED ON THE 2017 NATIONAL ELECTRICAL CODE (NEC)  
2019 CPC - BASED ON THE 2018 UPC  
2019 CMC - BASED ON THE 2018 UMC  
2019 CAL ENERGY CODE  
2019 CFC - BASED ON 2018 IFC  
2019 CAL GREEN BLDG. STDS. CODE

### Vicinity Map





OCCUPANCY:	R-2
CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA 13)
NO. OF BUILDINGS:	ONE PER CBC 503.1.2
ALLOWABLE NO. OF STORIES:	3 (ABOVE GRADE PLANE)
(PER TABLE 504.4)	
MAX. ALLOWABLE BLDG. HT.:	40 FT. (ABOVE GRADE PLANE)
(PER TABLE 504.3)	
ALLOWABLE AREA (PER TABLE 506.2):	R-2 7000 SF
1ST FLOOR:	2022 SF / 7000 SF = 0.29 < 1.0
2ND FLOOR:	4458 SF / 7000 SF = 0.64 < 1.0
EACH STORY COMPLIES	
$0.29 + 0.64 = 0.93 < 2.0$	
ENTIRE BUILDING COMPLIES	

**AVERAGE GRADE ELEVATION AT EACH EXTERIOR WALL:**

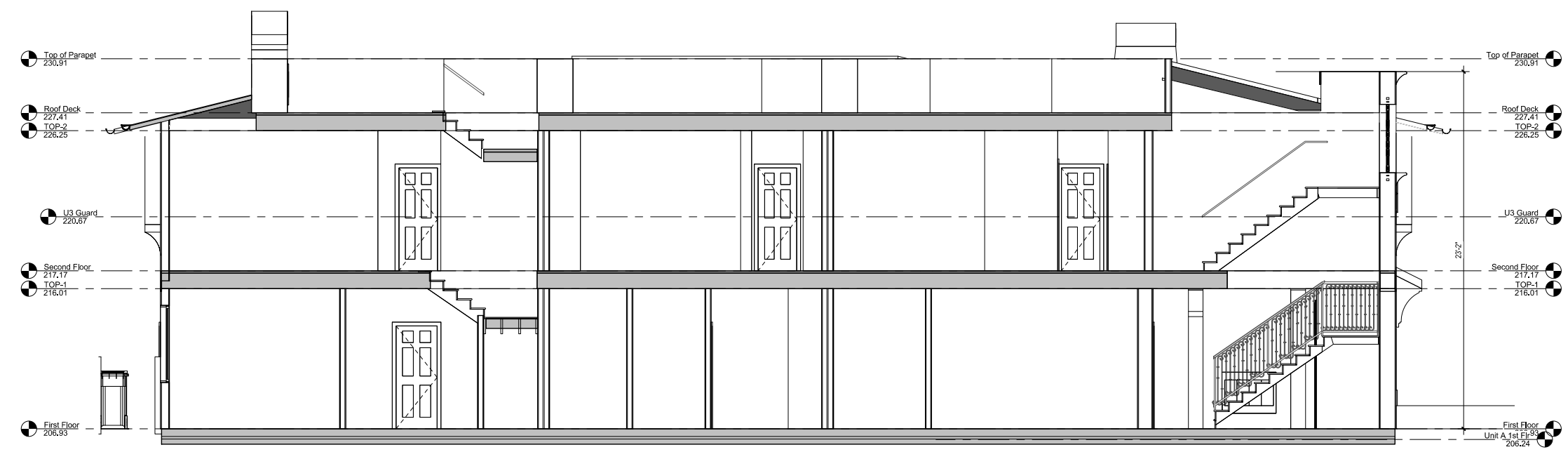
**BLDG. PORTION 1**

NORTHEAST:  $(206.50' + 205.25') / 2 = 411.75' / 2 = 205.87'$   
 SOUTHEAST:  $(205.25' + 205.25') / 2 = 410.50' / 2 = 205.25'$   
 SOUTHWEST:  $(205.25' + 206.05') / 2 = 411.30' / 2 = 205.65'$   
 NORTHWEST:  $(206.05' + 206.50') / 2 = 412.55' / 2 = 206.28'$   
 GRADE PLANE ELEVATION:  $823.05' / 4 = 205.76'$

Site Plan - Grade Plan Calculation

SCALE: 1/8" = 1'-0" 1

Code Analysis



Bldg. Section: Grade Plan Calculation; Bldg. Ht.; No. of Stories

SCALE: 1/8" = 1'-0" 2

Michael Luna & Associates

34922  
 Calle Del Sol  
 Suite A  
 Capitran  
 Beach,  
 California  
 92624  
 Phone (949) 493-5200  
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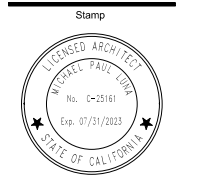
Architect  
 Project  
 CUP

Casa Rosa  
 Triplex  
 Condominiums

130 Avenida Rosa  
 San Clemente, CA

Sheet Title

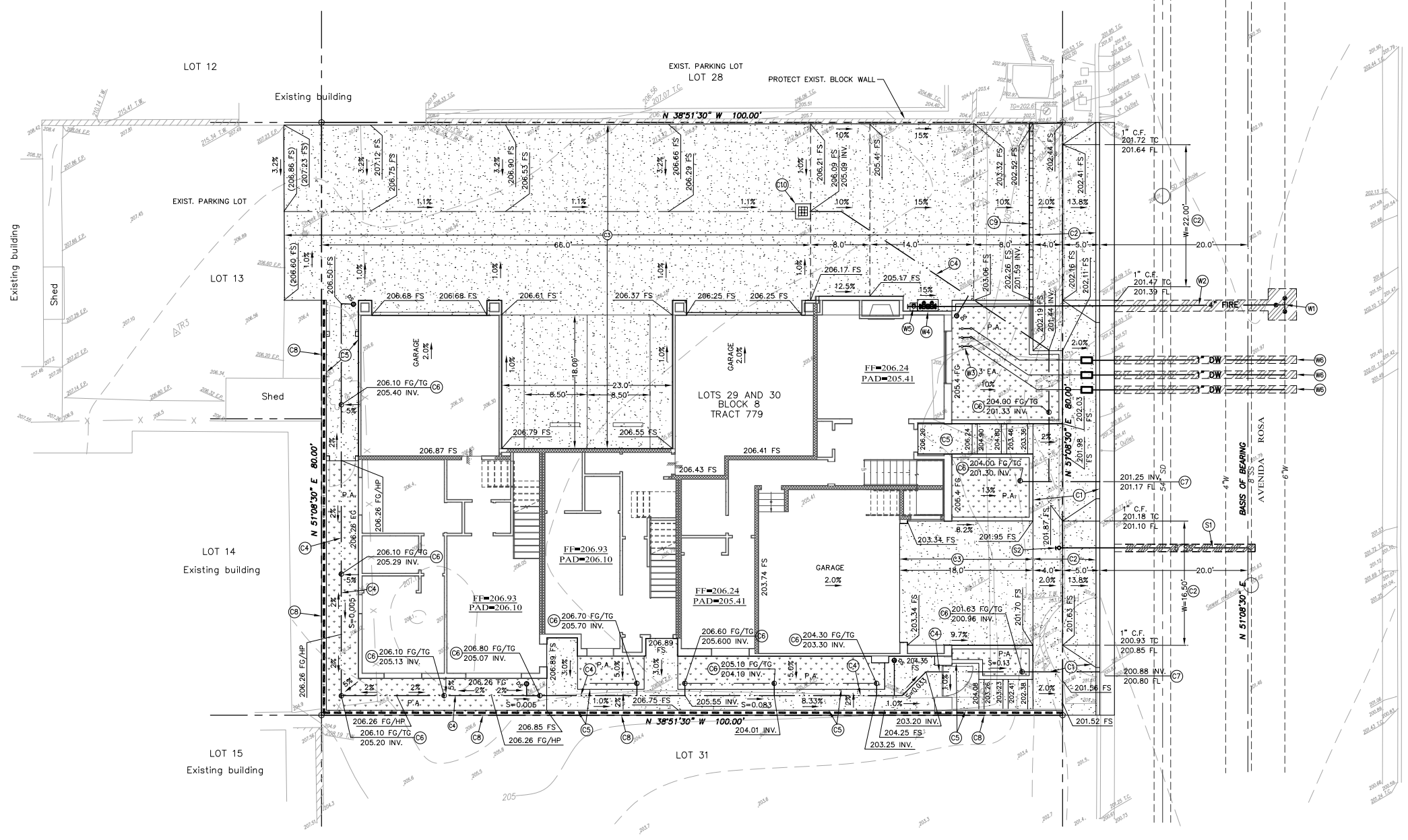
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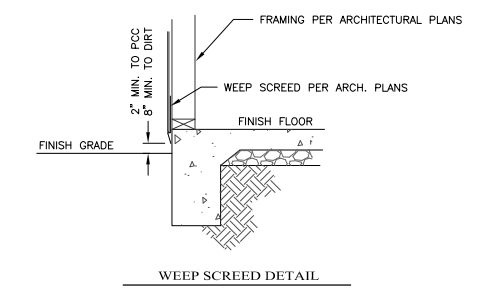
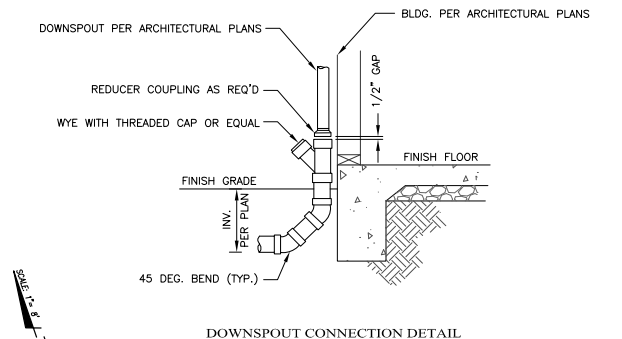
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Plot Date	21-1217
B.D. Submittal	
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CD.1

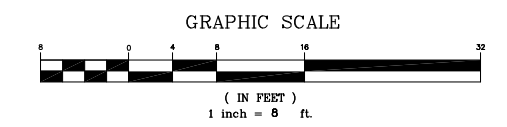
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- CONSTRUCTION NOTES**
- (C1) CONSTRUCT SIDEWALK PER CITY OF SAN CLEMENTE STD. NO. ST-5. SIDEWALK SHALL BE 6" THICK WHERE DRIVEWAY OCCURS.
  - (C2) CONSTRUCT RESIDENTIAL DRIVEWAY (X=3') PER CITY OF SAN CLEMENTE STD. NO. ST-9. WIDTH PER PLAN.
  - (C3) CONSTRUCT 6" P.C.C. PAVEMENT WITH #4 REBAR @ 16" O.C. EACH WAY. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH (SCORING, TEXTURE, COLOR, TILE).
  - (C4) CONSTRUCT 6" PVC (SCH. 40) DRAINAGE PIPE.
  - (C5) CONSTRUCT 4" PCC LANDSCAPE WALKWAY.
  - (C6) CONSTRUCT 6" DRAIN INLET PER DETAIL ON SHEET 1.
  - (C7) CONSTRUCT CURB DRAIN PER CITY OF SAN CLEMENTE STD. NO. ST-7. USE 2-4" SCHEDULE 80 PVC PIPES FROM INLET TO CURB.
  - (C8) CONSTRUCT SITE WALL PER SEPARATE PERMIT. SEE SHEET X FOR PROFILE.
  - (C9) INSTALL NDS PRO SERIES TRAFFIC RATED TRENCH DRAIN PER DETAIL ON SHEET X.
  - (C10) CONSTRUCT 12"x12" CAST-IN-PLACE PCC CATCH BASIN PER DETAIL ON SHEET X.
- WATER AND SEWER NOTES**
- (W1) CUT INTO EXISTING 6" A.C.P. WATER LINE AND INSTALL 6"x6"x4" D.I. TEE, SERVICES AND VALVES PER DETAIL ON SHEET X.
  - (W2) INSTALL 4" C900 PVC DR 14 WATER LINE PER CITY OF SAN CLEMENTE REQUIREMENTS.
  - (W3) INSTALL FEBCO MODEL 825YA REDUCED PRESSURE BACKFLOW ASSEMBLY PER DETAIL W3 ON SHEET X.
  - (W4) INSTALL FEBCO MODEL 876V DOUBLE CHECK DETECTOR ASSEMBLY PER DETAIL W4 ON SHEET X.
  - (W5) INSTALL 4"x2 1/2" 2-WAY FIRE DEPARTMENT CONNECTION PER DETAIL ON SHEET X.
  - (W6) INSTALL 1" METER SERVICE ASSEMBLY PER CITY OF SAN CLEMENTE STD. NO. W-1.
  - (S1) INSTALL 6" SEWER LATERAL PER CITY OF SAN CLEMENTE STD. NO. S-6.
  - (S2) INSTALL 6" SEWER CLEAN OUT PER CITY OF SAN CLEMENTE STD. NO. S-9.



NOTE: ALL DOWNSPOUTS AS SHOWN ON THE PLANS SHALL BE CONNECTED DIRECTLY TO THE AREA DRAIN SYSTEM PER DETAIL HEREON.



**DIGALERT**  
 DIAL TOLL FREE  
 1-800-227-2600  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

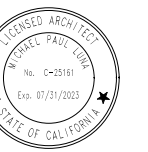
PLANS PREPARED BY:  
**MILANI.CO**  
 CONSULTING ENGINEERS  
 25872 WHITE ALDER LANE  
 LAGUNA HILLS, CA. 92653  
 714-655-3463 PH.



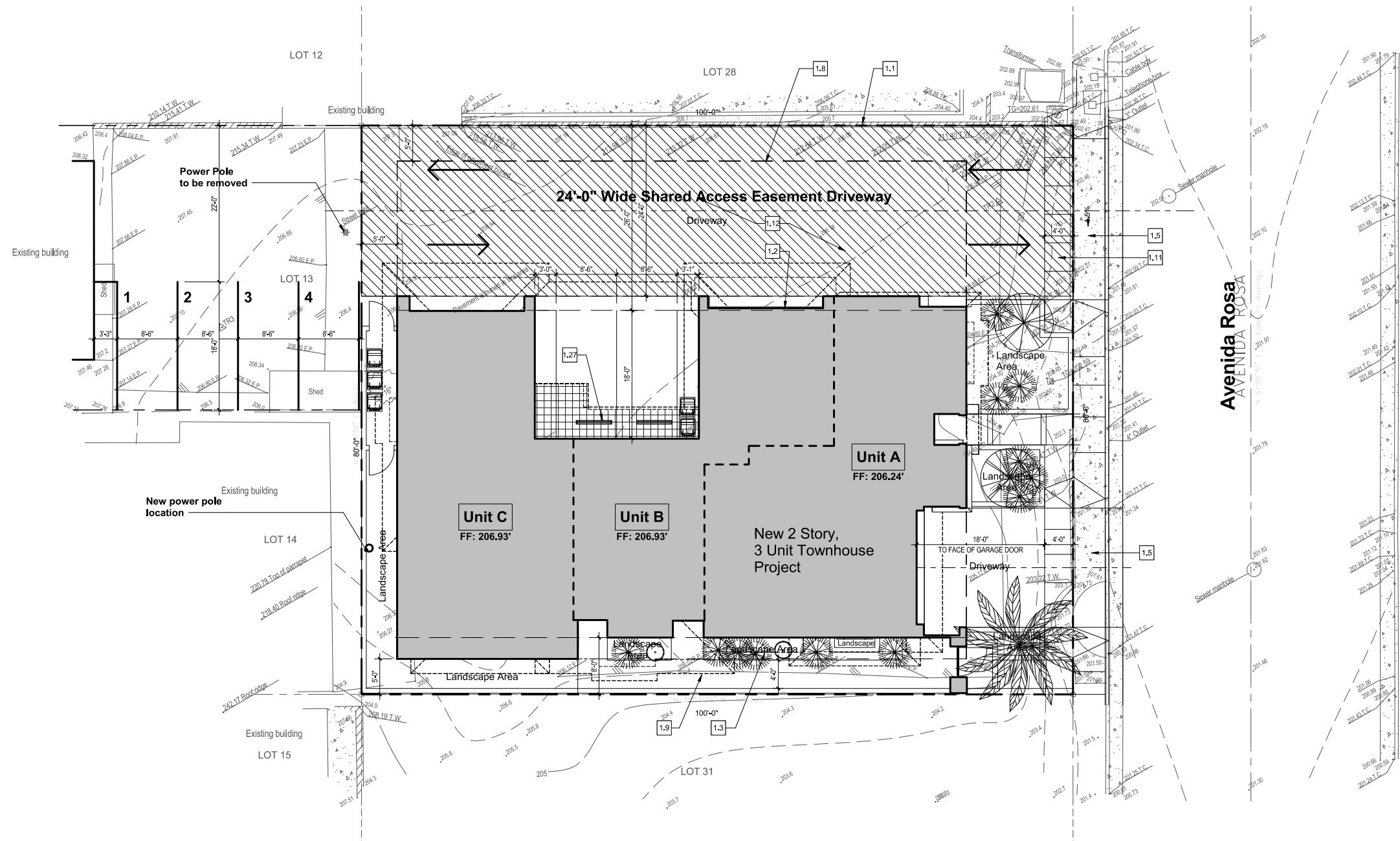
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AS NOTED	BM	BM	BM
ACAD FILE NO.			
PROJECT NO.			
	BABAK S. MILANI ENGINEER OF WORK		

**CITY OF SAN CLEMENTE**  
**PRELIMINARY GRADING PLAN**  
 CASA ROSA DUPLEX  
 XXX AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
 LOT NO. 29 AND 30, BLOCK 8, TRACT 779 (APN 058-091-15)

SHEET  
**1**  
 OF  
**1**



1.1	PROPERTY LINE, TYPICAL
1.2	BUILDING FOOTPRINT
1.3	NEW LANDSCAPING
1.5	NEW DRIVEWAY APRON
1.8	BUILDING SETBACK LINE
1.9	NEW HARDSCAPE, REFER TO LANDSCAPE PLAN
1.11	PROVIDE ADA COMPLIANT SIDEWALK (4' WIDE MIN., 2% MAX CROSS SLOPE) UP AND AROUND NEW DRIVEWAY APPROACH
1.12	NEW CONC. DRIVEWAY - SEE CIVIL PLANS
1.27	CONC. WHEEL STOP



Keynotes

- ALL CONTOURS SHOWN INDICATE EXISTING GRADES.
- HOUSE ADDRESS IS TO BE LOCATED SO THAT THE NUMBER IS VISIBLE AND LEGIBLE FROM THE STREET.
- FINISH FLOOR ELEVATIONS ARE FOR BUILDING DEPARTMENT REFERENCE ONLY. REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS.
- FOOTING AT TREE LOCATIONS MUST BE BOARD FORMED TO ELIMINATE BOIL OVER AND ALL EXTRANEOUS CONCRETE MUST BE REMOVED FROM THE SITE.
- THESE PLANS AND THE OWNER SHALL COMPLY WITH ALL ORANGE COUNTY FIRE AUTHORITY COMMUNITY SAFETY AND EDUCATION BUREAU GUIDELINES FOR FUEL MODIFICATION PLANS AND MAINTENANCE.
- REFER TO THE LANDSCAPE DRAWING FOR ALL GATES, GUARDRAILS, AND HANDRAILS.
- ALL DOWNSPOUT (D.S.) LOCATIONS TO BE VERIFIED WITH EXTERIOR ELEVATIONS. ELEVATIONS TAKE PRECEDENCE.
- ALL ROOF AND DECK DRAINS SHALL CONNECT TO UNDERGROUND STORM DRAIN SYSTEM.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE CONTROLLED THAT ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER CONDITIONS.
- FINISHED GRADE AROUND NEW STRUCTURE SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN THE EASEMENTS.

	BUILDING FOOTPRINT
	SIGNATURE OF OWNER OR AUTHORIZED AGENT
	PROPERTY LINE
	BUILDING SETBACK LINE



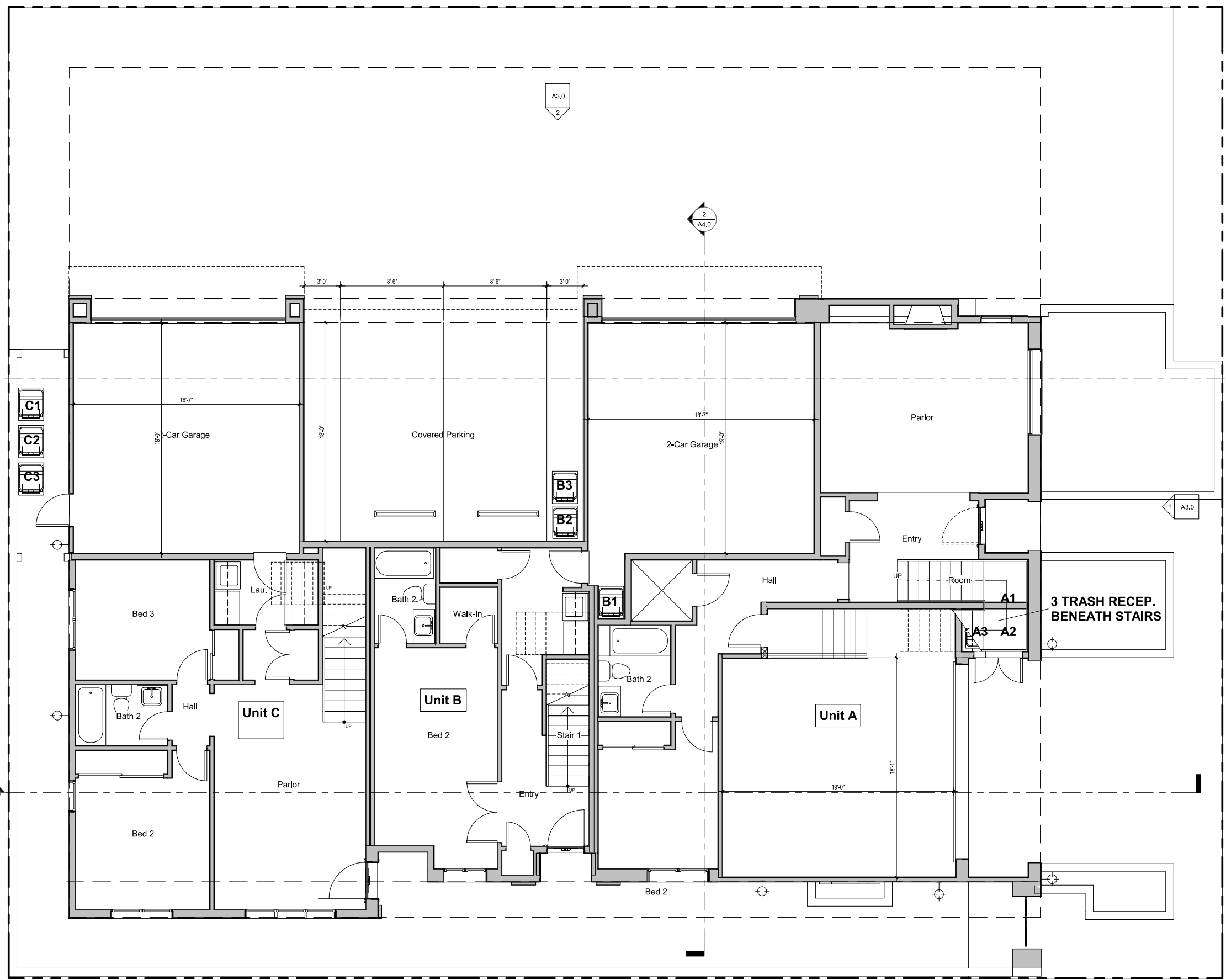
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Legend & Notes

Site Plan



Project No.	2107
Plot Date	5-11-22
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△



UNIT A: 780 SF  
UNIT B: 491 SF  
UNIT C: 751 SF

Keynotes

- NEW 2 x 6 WALL TO BE CONSTRUCTED
- NEW WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED



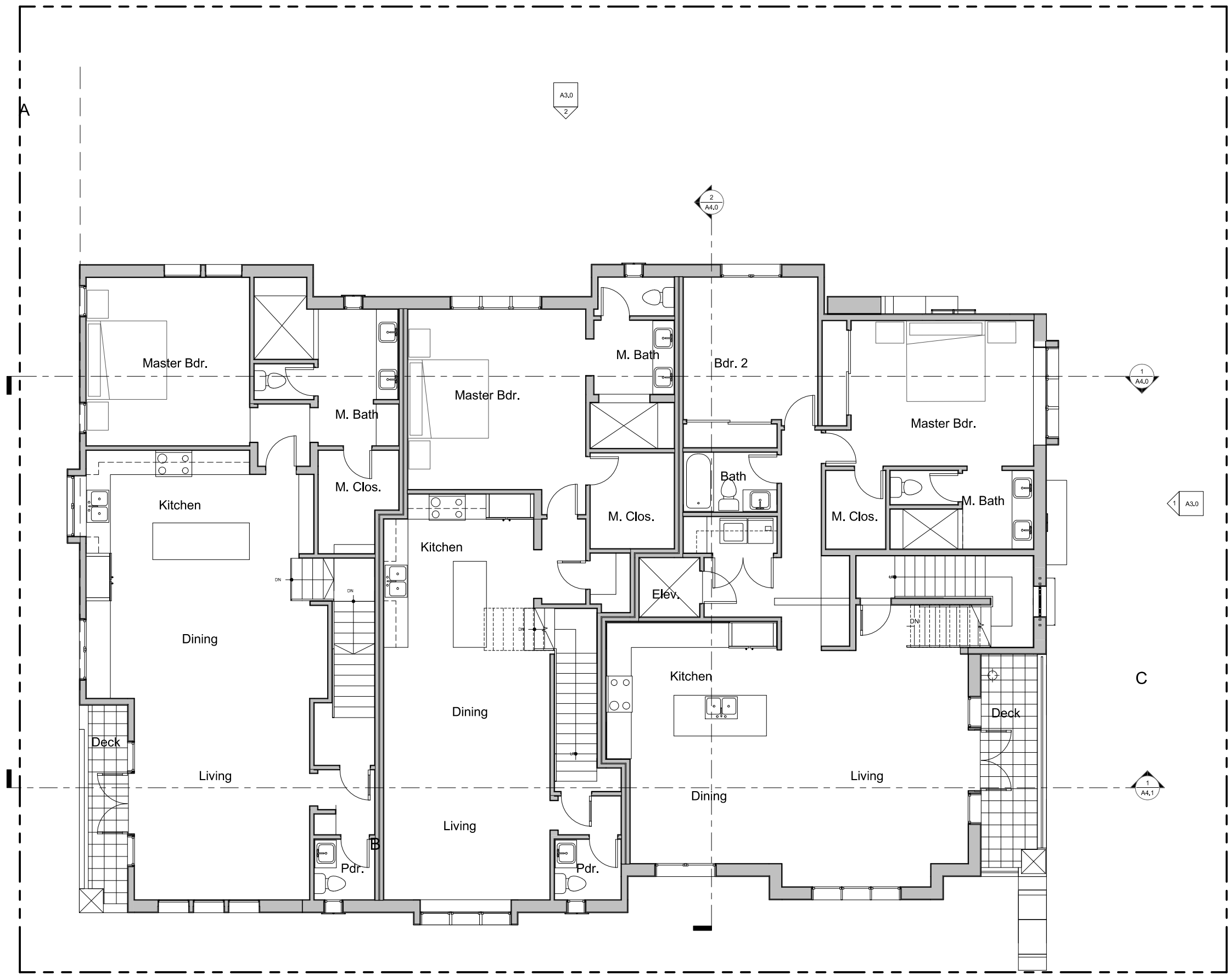
SCALE: 1/4" = 1'-0"

Legend & Notes

First Floor Plan



Project No.	2107
Plot Date	5-11-22
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△



**Keynotes**

	NEW 2 x 6 WALL TO BE CONSTRUCTED
	NEW WALL TO BE CONSTRUCTED
	NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED
	NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED

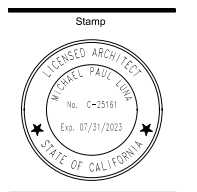


SCALE: 1/4" = 1'-0"

Second Floor Plan

Legend & Notes





Project No.	2107
Plot Date	5-11-22
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
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Revision	△
Revision	△

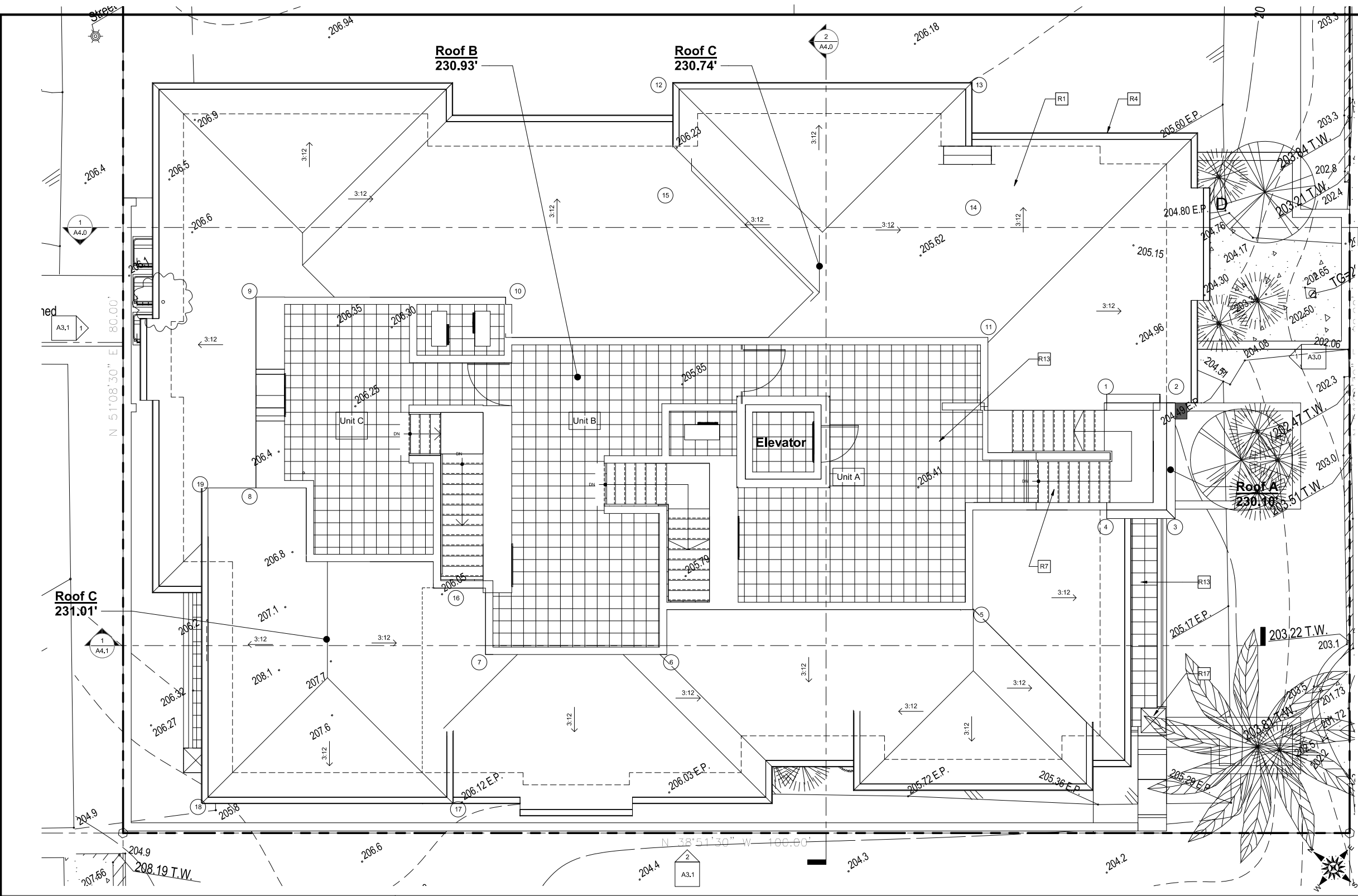
R1	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICF# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED W/ BOOSTER TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
R4	6" HALF-ROUND COPPER COLORED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6" O.C.)
R7	STAIRS BELOW W/ TERRA-COTTA PAVERS
R13	18" SQ. TERRA COTTA TILE PAVERS MUDSET W/ "DEX-O-TEX" WEATHERWEAR WATERPROOF DECK SYSTEM (ESR-1757) - SLOPE TO DRAIN, SCUPPER, OR AWAY FROM BUILDING @ MN. 1/4" PER FOOT
R17	STUCCO PLASTER CAP- PAINT TO MATCH BUILDING

Keynotes

- ALL RIDGES, HIPs AND VALLEYS SHALL BE FLASHED W/ 26 GA G.L. FLASHING (CONTINUOUS) UNDERNEATH TILE AND SHALL NOT BE VISIBLE. FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAID ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER, 2 LAYERS 15# FELT PAPER SHALL LAY IN CONTINUOUS STRIPS. OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURERS ("REDLANDS CLAY TILE") RECOMMENDATIONS. WHERE FLASHING MUST BE EXPOSED, FLASHING SHALL BE 26 GA CORROSION-RESISTANT METAL W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT, TYP.
- RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL. CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
- ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 85 MPH.
- ALL ROOF PITCHES ARE 3.5:12 (UN)
- ALL CONTOURS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES.
- USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN TILE A MINIMUM OF 2 1/2" TO HELP DIMINISH IT'S APPEARANCE.
- ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PROCLUDE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR.
- ROOF TILE IS TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL
- PROVIDE ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- PROTECTION OF OPENINGS INTO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" NOR MORE THAN 1/2" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPARK ARRESTORS OF A MAXIMUM OF 1/2" SQUARE SCREEN PAINT "OT" FOREST BLACK TO CONCEAL ARRESTOR.
- ALL PORTABLE EQUIPMENT SHALL NOT EXCEED 42" IN HEIGHT EXCEPTING SHADE STRUCTURES.
- NO PART OF THIS BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.

NOTES:

- CLAY ROOF TILE SHALL COMPLY WITH ASTM C1167 AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND TO RESIST WIND LOAD OF NOT LESS THAN 85 M.P.H., PER C.R.C
- PROVIDE UNDERLAYMENT PER CRC 905.1.1 AND INSTALL 2 LAYERS OF 30# FELTS ALTERNATE SEAMS PER CRC
- MAXIMUM ROOF TILE WEIGHT - 11 PSF
- CLASS A FIRE RATING
- FOR FLAT ROOFS (ROOF DECKS) AND SLOPED ROOFS WHERE CEILING IS ATTACHED DIRECTLY TO THE BOTTOM OF JOISTS (CATHEDRAL CEILINGS) - PROVIDE FULL-DEPTH INSULATION AT ROOF JOISTS.



Roof Plan

PROPOSED F.F. = 206.93	MAX ROOF HGT: 25'-0"			
	1	2	3	4
<b>A</b> PARAP. ELEV. EX. GRADE	230.10 205.00 25.10	230.10 205.15 24.95	230.10 205.30 24.80	230.10 205.80 24.30
	99.15 / 4 = 24.79'			
<b>B</b> ROOF ELEV. EX. GRADE	230.93 205.30 24.63	230.93 205.80 24.63	230.93 206.30 24.08	230.93 206.85 24.43
	174.52 / 7 = 24.93'			
<b>C</b> ROOF ELEV. EX. GRADE	230.74 206.45 24.29	230.74 205.98 24.76	230.74 205.62 25.12	230.74 206.20 24.54
	98.71 / 4 = 24.68'			
<b>D</b> ROOF ELEV. EX. GRADE	231.01 206.45 24.56	231.01 205.98 25.03	231.01 205.62 25.39	231.01 206.20 24.81
	99.79 / 4 = 24.95'			

Height Analysis

Roof Notes



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Front (South) Elevation

1/4" = 1'-0"

1

E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E3	DECORATIVE, SOLID WROUGHT IRON GUARDRAIL +42" ABOVE FINISH FLOOR
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS. COLOR: WEATHERED BROWN DEC756
E5	METAL CLAD FRENCH DOORS PER PLAN, COLOR: WEATHERED BROWN DEC756
E6	6" HALF-ROUND PAINTED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6" O.C.)
E7	CHIMNEY CAP w/ STUCCO FINISH
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	SHAPED FOAM w/ STUCCO FINISH
E22	4x8 RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
E36	CUSTOM WOOD DOOR PER PLAN
E41	6x6 CATALINA TILE
E47	WROUGHT IRON GATE- PAINTED BLACK
E49	SECTIONAL GARAGE DOOR w/ WOOD VENEER - COLOR: WEATHERED BROWN DEC756

Keynotes



Right (East) Elevation

1/4" = 1'-0"

2

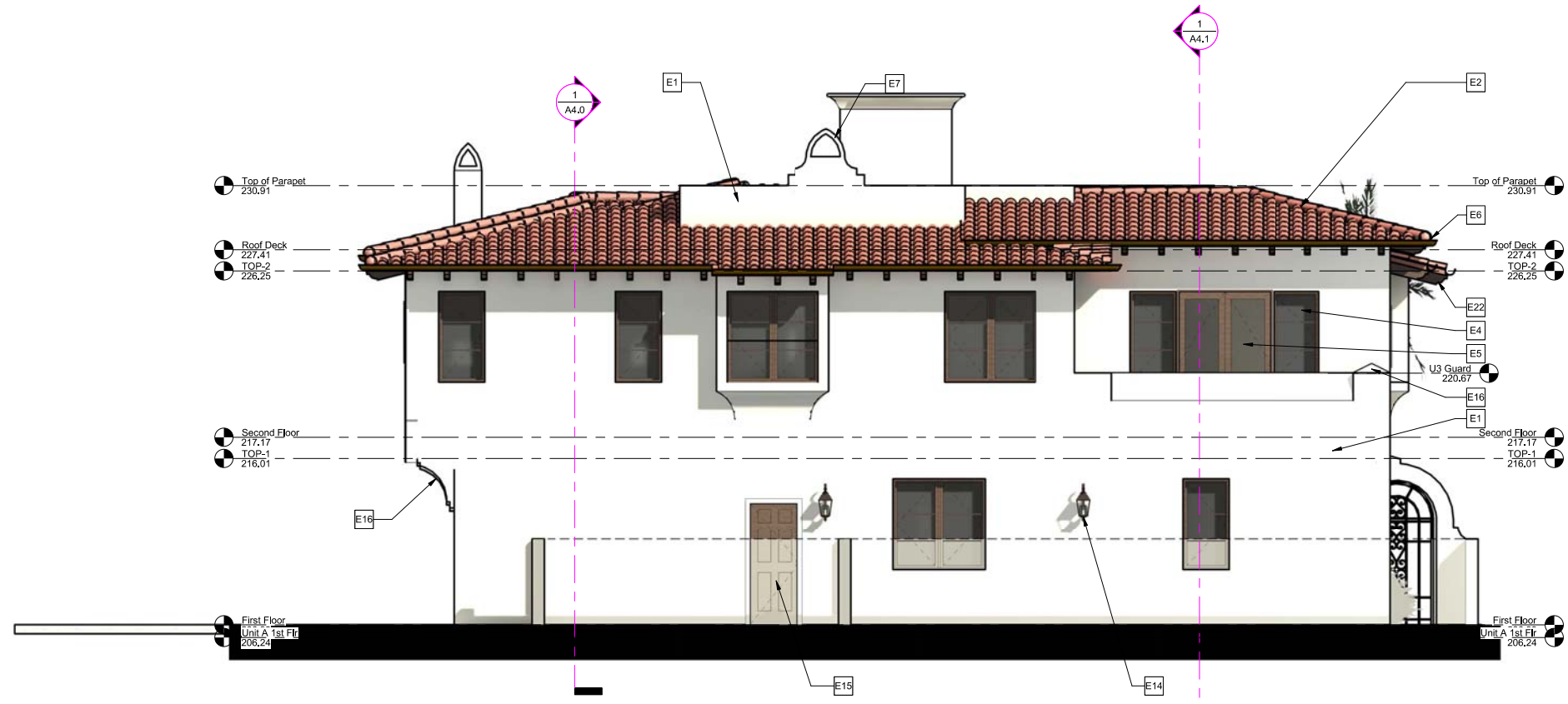
Legend & Notes

- ⊙ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
  - ▲ INDICATES TEMPERED GLASS
  - ◆ 3/4 HOUR RATED FIRE WINDOW ASSY. OR DOOR ASSY.
- NOTES:  
MODIFIED BITUTHANE WATERPROOF MEMBRANE SHALL BE INSTALLED BELOW ALL EXTERIOR PLASTER WALL CAPS, LEDGES, ANGLED WALLS, WINDOW HEADS AND SILLS, ETC. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.





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Rear (North) Elevation

1/4" = 1'-0"

1

1.1	PROPERTY LINE, TYPICAL
E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICF# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS, COLOR: WEATHERED BROWN DEC756
E5	METAL CLAD FRENCH DOORS PER PLAN, COLOR: WEATHERED BROWN DEC756
E6	6" HALF-ROUND PAINTED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6" O.C.)
E7	CHIMNEY CAP w/ STUCCO FINISH
E14	EXTERIOR LIGHT
E15	SOLID WOOD DOOR PER PLAN, PAINTED WEATHERED BROWN DEC756
E16	SHAPED FOAM w/ STUCCO FINISH
E22	4x8 RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
E36	CUSTOM WOOD DOOR PER PLAN
E41	6x6 CATALINA TILE

Keynotes

- ⊙ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
- ▲ INDICATES TEMPERED GLASS
- ◆ 3/4 HOUR RATED FIRE WINDOW ASSY. OR DOOR ASSY.

NOTES:

MODIFIED BITUTHANE WATERPROOF MEMBRANE SHALL BE INSTALLED BELOW ALL EXTERIOR PLASTER WALL CAPS, LEDGES, ANGLED WALLS, WINDOW HEADS AND SILLS, ETC. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.



Left (West) Elevation

1/4" = 1'-0"

2

Legend & Notes



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Luna



&  
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92624

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Architect

Project

CUP

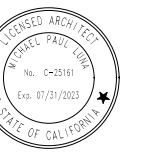
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Triplex  
Condominiums

130 Avenida Rosa  
San Clemente, CA

Sheet Title

3D Views

Stamp

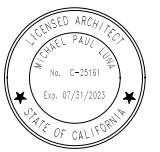


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A3.2

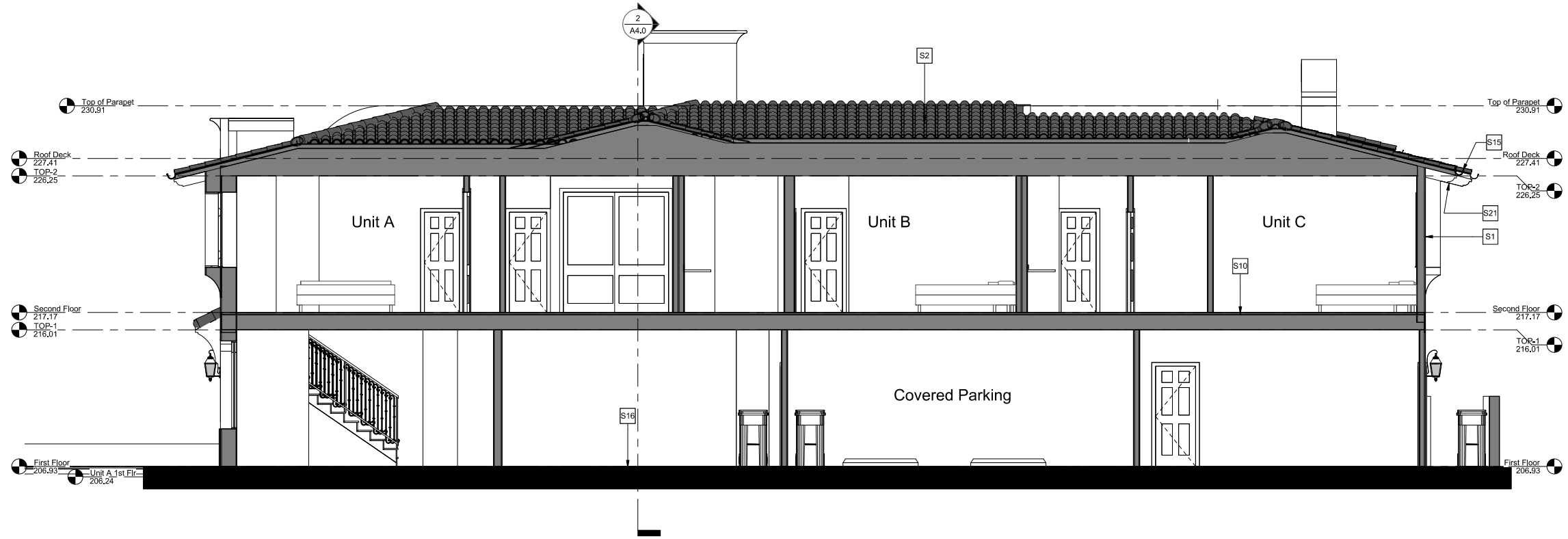
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S1	7/8" EXTERIOR PLASTER OR APPROVED METAL LATH, WHITE, LOWING-SAND MIX, SMOOTH HAND TROWELLED MISSION FINISH WITH SLIGHT UNDULATIONS AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS
S2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY "BORAL ROOFING", ICC# ESR-1017); AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129
S3	SIERRA PACIFIC, ALUMINUM CLAD WINDOWS PER PLAN, DIVIDED LITES W/ MULLIONS
S10	FLOOR FRAMING PER STRUCTURAL
S15	6" COPPER GUTTER AND 3" COPPER DOWNSPOUT - PATINA FINISH
S16	CONC. SLAB PER STRUCTURAL FOUNDATION PLANS
S17	OUTDOOR, DIRECT VENT FIREPLACE
S21	4x8 EXPOSED RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
S23	SECTIONAL GARAGE DOOR w/ WOOD VENEER - COLOR: WEATHERED BROWN DEC756
S24	18" SQ. TERRA COTTA TILE PAVERS MUDSET or "PLI-DEK" WATERPROOF DECK SYSTEM (ICC-ESR #2097) - SLOPE TO DRAIN, SCUPPER, OR AWAY FROM BUILDING @ MIN. 1/8" PER FOOT

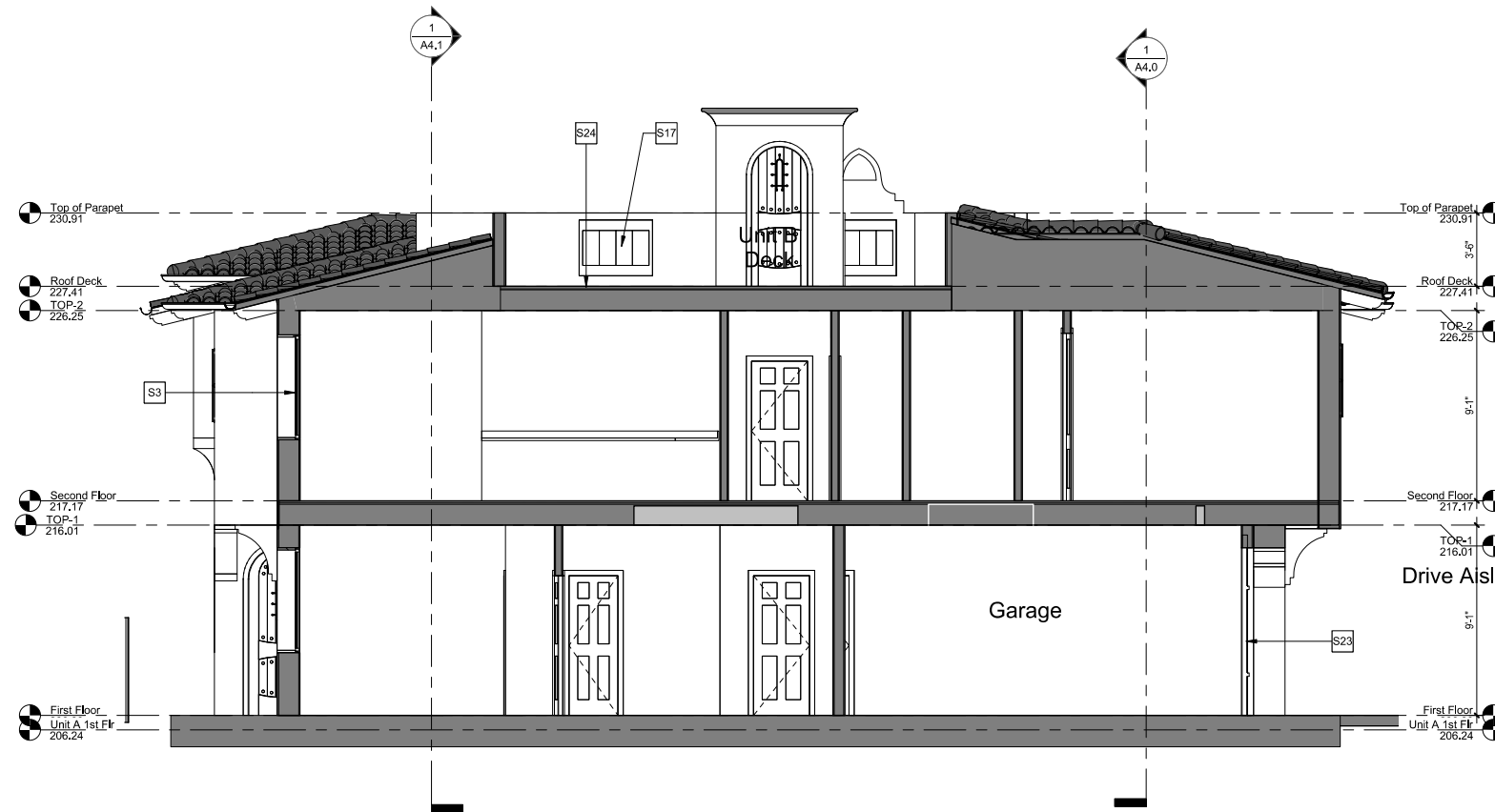


Building Section

1/4" = 1'-0"

1

Keynotes



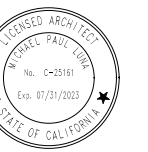
Building Section

1/4" = 1'-0"

2

Note:

1. ALL STEEL AND WOOD BEAMS AT 2ND FLOOR SHALL BE FIRE PROTECTED (TYP.) - SEE SHEET AD.4 FOR DETAILS.
2. ALL STEEL AND WOOD COLUMNS SUPPORTING FLOOR ABOVE SHALL BE FIRE PROTECTED (TYP.) - SEE SHEET AD.4 FOR DETAILS.



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S1	7/8" EXTERIOR PLASTER or APPROVED METAL LATH, WHITE, LOWWINDSAND MIX, SMOOTH HAND TROWELLED MISSION FINISH WITH SLIGHT UNDULATIONS AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS
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S4	ALUMINUM CLAD FRENCH DOORS PER PLAN w/ DIVIDED LITES
S8	DECORATIVE, 42" HIGH, WROUGHT-IRON RAILING (PAINTED BLACK) or STUCCO LOW WALL
S11	ROOF FRAMING PER STRUCTURAL
S21	4x8 EXPOSED RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
S23	SECTIONAL GARAGE DOOR w/ WOOD VENEER - COLOR: WEATHERED BROWN DEC756
S24	18" SQ. TERRA COTTA TILE PAVERS MUDSET or "PLJ-DEK" WATERPROOF DECK SYSTEM (ICC-ESR #2097) - SLOPE TO DRAIN, SCUPPER, OR AWAY FROM BUILDING @ MIN. 1/8" PER FOOT



Building Section

1/4" = 1'-0"

1

Keynotes

1. ALL STEEL AND WOOD BEAMS AT 2ND FLOOR SHALL BE FIRE PROTECTED (TYP.) - SEE SHEET AD.4 FOR DETAILS.
2. ALL STEEL AND WOOD COLUMNS SUPPORTING FLOOR ABOVE SHALL BE FIRE PROTECTED (TYP.) - SEE SHEET AD.4 FOR DETAILS.

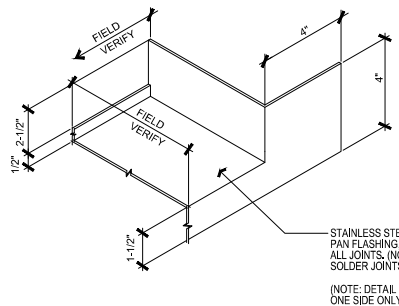
Building Section

1/4" = 1'-0"

2

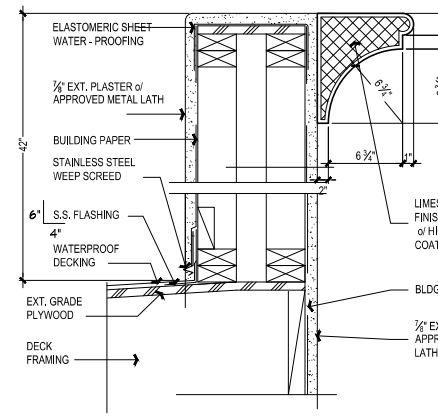
Note:





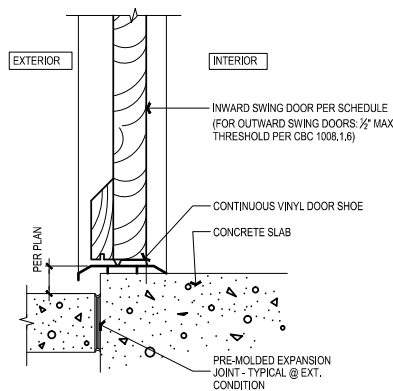
**PAN FLASHING**

17



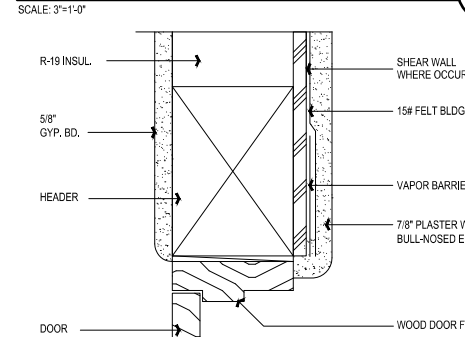
**CORBEL AT GUARD WALL**

18



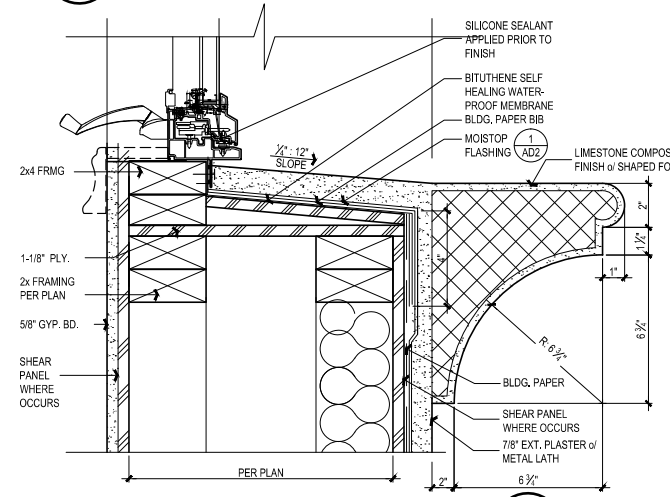
**THRESHOLD AT SLAB**

13



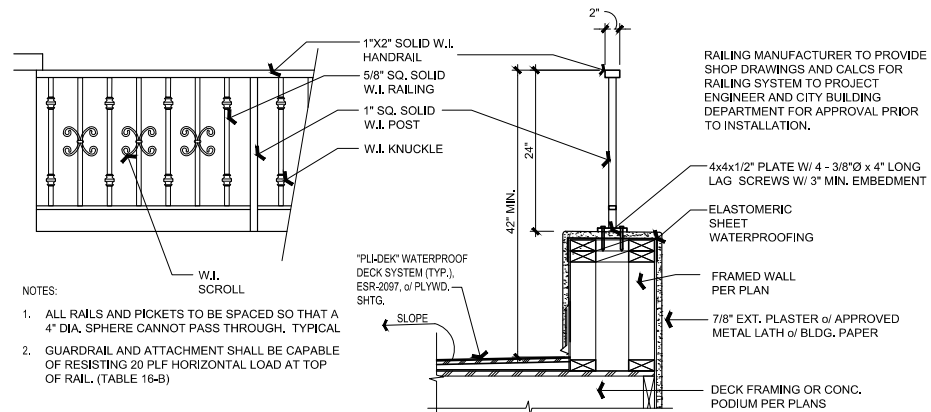
**DOOR HEAD/JAMB @ EXT.**

14



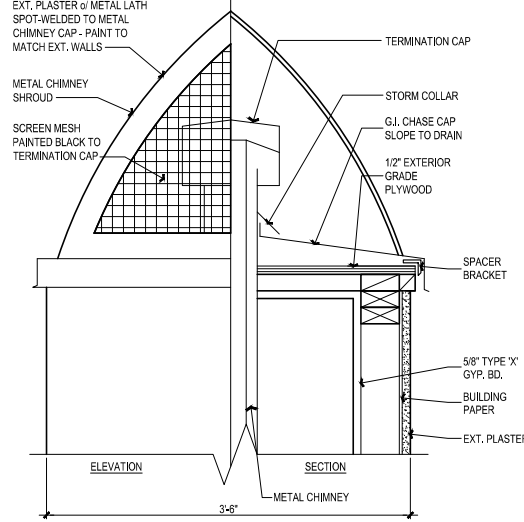
**WINDOW SILL**

15



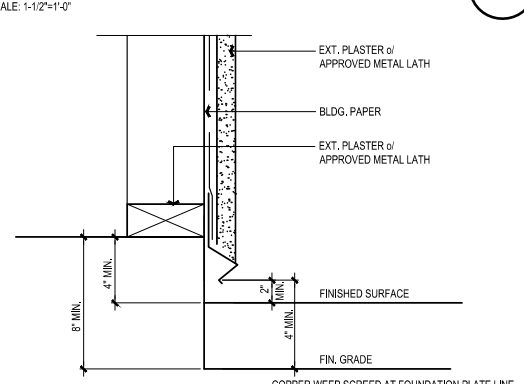
**W.I. GUARD RAIL**

16



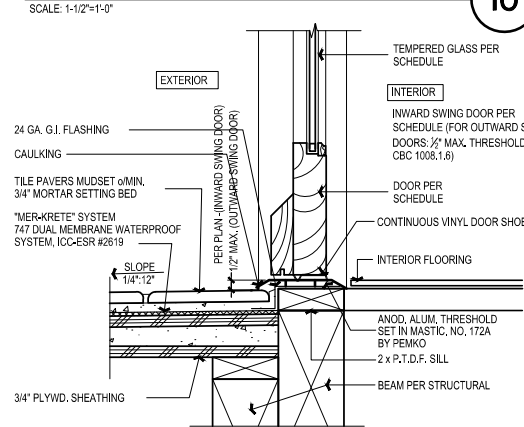
**CHIMNEY CAP**

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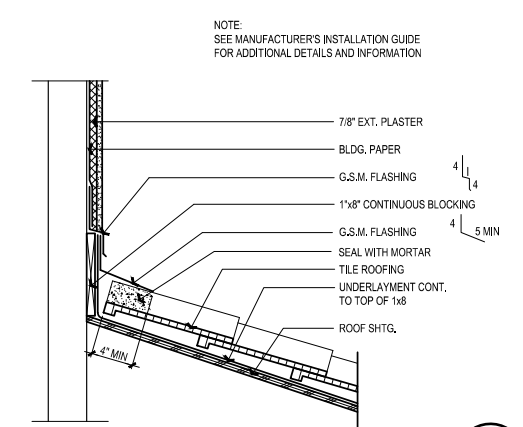
**WEEP SCREED**

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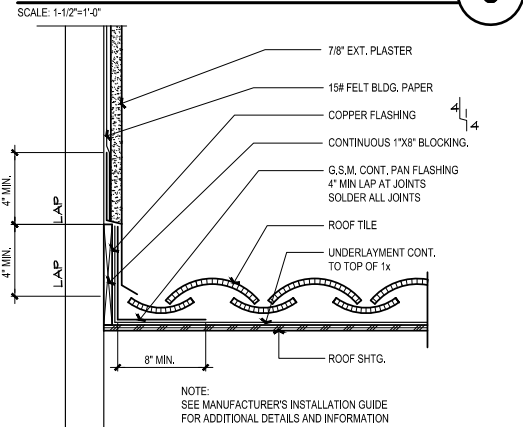
**THRESHOLD AT DECK**

11



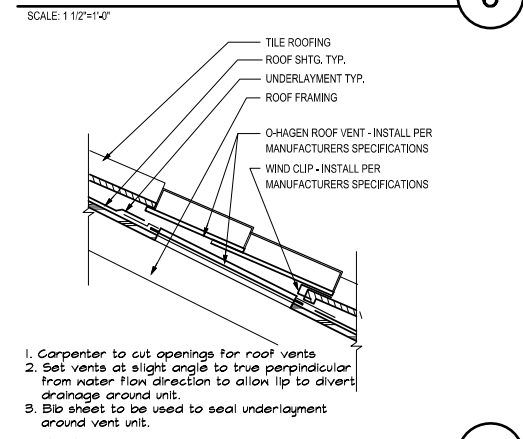
**ROOF TO WALL**

5



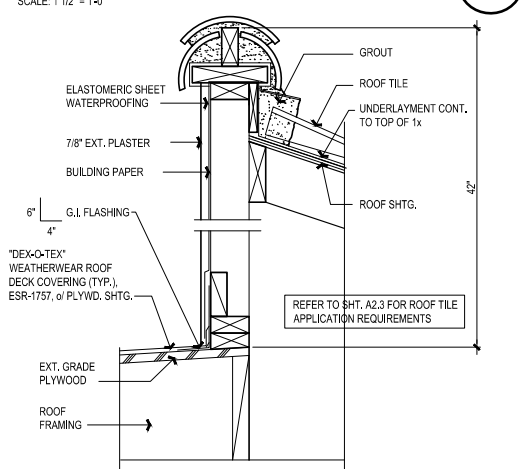
**ROOF TO WALL**

6



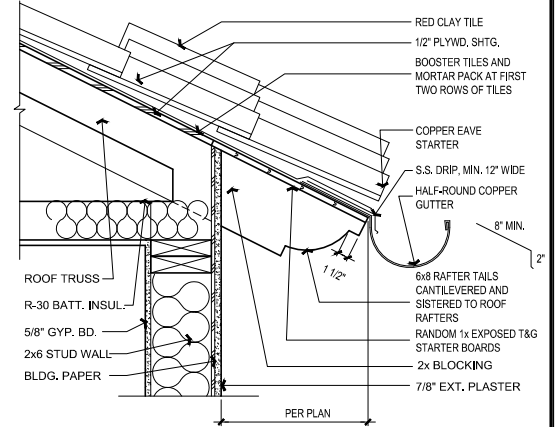
**ROOF VENT**

7



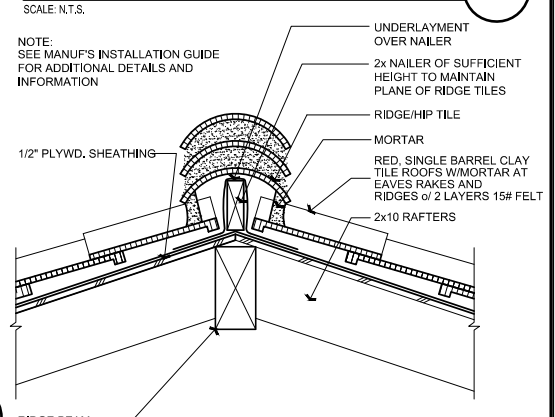
**ROOF TO WALL @ ROOF DECK**

8



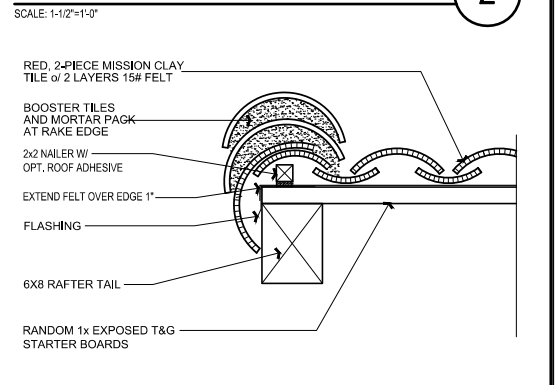
**EAVE**

1



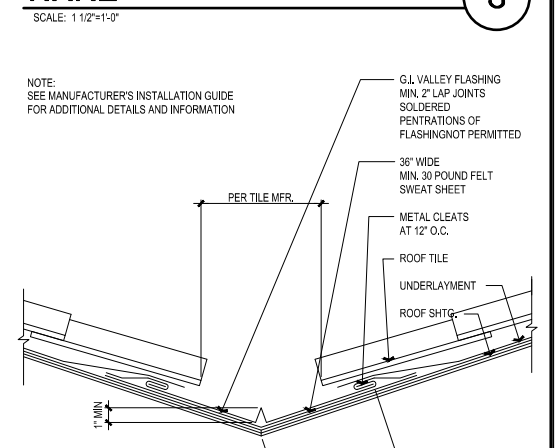
**RIDGE/HIP**

2



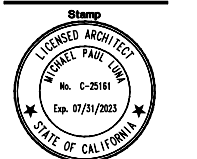
**RAKE**

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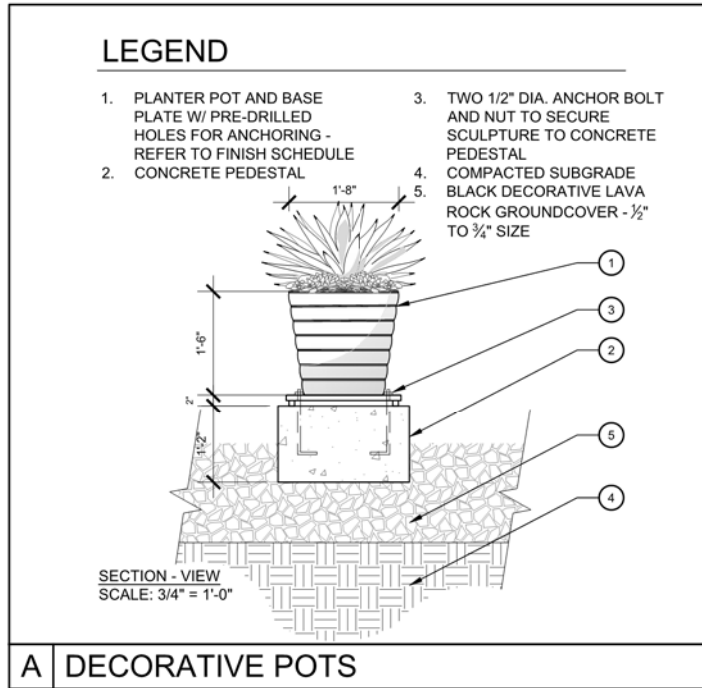


**VALLEY**

4



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**CASA ROSA TRIPLEX**

**PLANT MATERIAL LEGEND**

WUCOLS WATER USE CATEGORY - REGION 3 FOR SOUTH COASTAL CALIFORNIA NATIVE PLANTS \*

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY	WUCOLS	NATIVE
<b>TREE:</b>					
T1	ARBUTUS UNEDO 'MARINA' / STRAWBERRY TREE	48" BOX	1	LOW	
T2	MAGNOLIA 'LITTLE GEM' / LITTLE GEM MAGNOLIA	36" BOX	1	MEDIUM	
T3	ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM	36" BOX	1	MEDIUM	
<b>SHRUBS:</b>					
S1	GALVEZIA SPECIOSA 'FIRECRACKER' / ISLAND SNAPDRAGON	5 GAL	6	VERY LOW	*
S2	IRIS DOUGLASSIANA / PACIFIC COAST IRIS	5 GAL	12	LOW	*
S3	FESTUCA 'SISKIYOU' / SISKIYOU BLUE FESCUE	1 GAL	16	LOW	*
S4	EPILOBIUM CALIFORNICA / CALIFORNIA FUCHSIA	5 GAL	5	VERY LOW	*
S5	TRACHELSPORIUM JASMINIODES / STAR JASMINE ESPALIER	5 GAL	10	MEDIUM	
S6	EUONYMUS MICROPHYLLUS 'COMPACTA' / EUONYMUS	5 GAL	9	MEDIUM	
S7	PHORMIUM TENAX 'DUET' / DWARF VARIEGATED FLAX	5 GAL	6	LOW	
S8	HEMEROCALLIS HYBRIDS / DWARF BURGUNDY DAYLILY	1 GAL	8	MEDIUM	*
S9	JUNCUS PATENS 'ELK BLUE' / CALIFORNIA RUSH	5 GAL	8	MEDIUM	*
S10	GREWIA OCCIDENTALIS / LAVENDER STAR FLOWER	5 GAL	8	LOW	

**GROUNDCOVERS:**

G1	FRAGERIA CALIFORNICA / FOOTHILL STRAWBERRY	4" POTS	64	MEDIUM	*
G2	DYMONDIA MARGARETAE / SILVER CARPET	FLATS	6	LOW	

**LANDSCAPE FEATURES:**

1. SITE PERIMETER WALLS AND RAISED PLANTER WALLS PER ARCHITECTURAL PLANS
2. DECORATIVE BLACK LAVA ROCK GROUNDCOVER - 1/2" TO 3/4" SIZE
3. 'CORTEN' STEEL EDGING - 1/2" X 4"
4. DECORATIVE FOUNTAIN
5. VEHICULAR DRIVEWAY CONCRETE PAVING AND APRON FLARE PER ARCHITECTURAL & CIVIL PLANS
6. PEDESTRIAN CONCRETE PAVING PER ARCHITECTURAL PLANS
7. DECORATIVE WOOD GATES PER ARCHITECTURAL PLANS
8. PROJECT UNDERGROUND UTILITIES AND FIRE WATER RISER PER CIVIL PLANS
9. SITE GRADING AND DRAINAGE DESIGN PER CIVIL PLAN
10. TILE PAVING & STEPS
11. VINE PLANTING
12. TALL DECORATIVE POTS WITH DRAINAGE & DRIP IRRIGATION

**PLANTING NOTES:**

1. REFER AND INCORPORATE 'GROPOWER' AGRICULTURAL SOIL ANALYSIS AND PLANTING RECOMMENDATIONS
2. APPLY A 2" LAYER OF BLACK LAVA ROCK TO PLANTING AREAS AT COMPLETION OF PLANTING PER PLANS
3. APPLY A 2" LAYER OF 'FOREST FLOOR' MULCH TO PLANTING AREAS AT COMPLETION OF PLANTING PER PLANS

**SOIL PREPARATION:**

- ALL SHRUB AREAS TO BE CULTIVATED WITH THE FOLLOWING AMENDMENTS OR AS PER SOILS ANALYSIS REPORT
- GREENWAY BEST SOIL CONDITIONER OR EQUAL @ 3 YARDS PER 1000 SQ.FT.
  - GYPSUM: 25 LBS. PER 1000 SQ. FT.
  - GROPOWER PREMIUM GREEN IRON
  - GROPOWER PLUS FERTILIZER/ 30 LBS. PER 1000 SQ. FT.
  - APPLY GROPOWER SLOW RELEASE 7 GRAM PLANTING TABLETS TO ALL NEW PLANTINGS.

**PROPOSED METHOD OF IRRIGATION:**

A DETAILED MWELO IRRIGATION PLAN WILL BE PROVIDED PRIOR TO LANDSCAPE CONSTRUCTION

- THE IRRIGATION SYSTEM WILL BE COMPLETELY NEW AUTOMATIC FOR 100% COVERAGE
- ALL IRRIGATION COMPONENTS WILL BE MANUFACTURED BY 'TORO' & 'NETAFIM'
- ALL DRIP IRRIGATION VALVE ZONE KITS TO BE RECESSED IN VALVE BOXES PER MANUFACTURERS SPECIFICATIONS
- IRRIGATION SYSTEM TO BE PROTECTED WITH A PRESSURE REGULATOR AT THE POINT OF CONNECTION
- NEW 'SMART' CONTROLLER TO BE INSTALLED IN GARAGES WITH A RAIN SHUT OFF DEVICE.
- BACKFLOW PREVENTION DEVICES TO BE INSTALLED PER CODE
- IRRIGATE PLANTING AREAS WITH 'NETAFIM' DRIP TUBING DRIP IRRIGATION AND MICRO-SPRAYS

**PROPOSED MAINTENANCE PROGRAM AND RESPONSIBILITIES:**

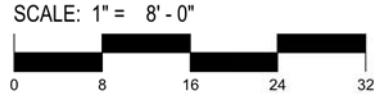
ALL ON SITE LANDSCAPE PLANTING AREAS AND IRRIGATION SYSTEMS WILL BE CONTINUOUSLY MAINTAINED BY PROPERTY OWNER.

**LANDSCAPE PLANT MATERIAL DATA:**

TOTAL LANDSCAPE PLANTS PROVIDED: 155  
NATIVE PLANTS REQUIRED: 93 (60%)  
NATIVE PLANTS PROVIDED: 111 (71%)

# CASA ROSA TRIPLEX | Preliminary Landscape Plan

Camino Valencia LLC | 130 Avenida Rosa, San Clemente, CA | May 4th, 2022



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