



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: May 4, 2022

PLANNER: Jonathan Lightfoot, Economic Development Officer

SUBJECT: **Discretionary Sign Permit DSP 21-245, 1601 North El Camino Real, Casablanca Amended Master Sign Program,** a request to add a freestanding sign and reface other existing signage, including the use of neon on an existing pole sign. The new sign puts the commercial property above the 25 square-feet of cumulative allowed signage by right per business within the Architectural Overlay.

REQUIRED FINDINGS

The following findings shall be made to approve the proposed project. The draft Resolution (Attachment 1) and analysis section of this report provide an assessment of the project's compliance with these findings.

Pursuant to Section 17.84.020(G) of the Zoning Code, a Discretionary Sign Permit (DSP) is required because the project proposes a new freestanding sign and proposes changing the illumination of the primary pole sign to neon.

- a. The design, including lighting, scale, length and materials, of the sign is consistent with the intent of the design elements of the General Plan and the Design Guidelines.
- b. The design, scale and materials of the sign harmonize with the architectural design and details of the building or site it serves.
- c. The design and scale of the sign is appropriate to the distance from which the sign is normally viewed.
- d. The design and materials of the sign provide a contrast between the background and letters.
- e. If a freestanding sign is included in the sign application, the design, scale or location of the building dictates the use of freestanding signs, rather than building-mounted signs;

BACKGROUND

The site is located in the North Beach area on North El Camino Real between Calle de los Molinos and Avenida Florencia. The site is in the Mixed Use (MU2) Zoning District and Architectural, Pedestrian/Central Business, and Coastal Zone Overlay Districts (A-CB/P-CZ). The property contains the 52-room Casablanca Inn hotel on a 1.1 acre site at the northwest intersection of N. El Camino Real and Calle De Los Molinos.

Prior Entitlements

In 1983, the City approved the demolition of an existing single story motel to be replaced by a larger 50-room motel with 44 parking spaces via PC Resolution 123-83, approving Use Permit 83-16 and Variance 83-06 for height. It was subsequently approved by the Coastal Commission via CDP 5-86-152, but the room count was reduced to 43. Construction was completed in 1988, and a preliminary sign program was approved via CDC 88-34, which allowed for a pole sign and two wall signs totaling 195 square feet. This sign program was amended in 1992 via CDC Resolution 92-24 approving CDC 92-48, which added several smaller Best Western signs for cobranding. The total sign area increased to 271.9 square feet. In 2001, the Casablanca Inn received City (CUP 00-140) and Coastal Commission (CDP 5-01-156) approvals to expand by converting adjacent office space into 9 additional guest rooms and adding a pool and hardscape. In 2004, a lot line adjustment (2004-031) was approved which merged lots 28-33 of Block 1 of Tract 795 into a single parcel. The property owners made miscellaneous ADA access improvements in 2020.

Development Management Team Meeting

The City's Development Management Team (DMT) reviewed the project and recommends approval with conditions contained in the draft resolution (Attachment 1, Exhibit A).

Noticing

Public notices were distributed and posted per City and State requirements. Staff has not received any public comments on this item to-date.

PROJECT DESCRIPTION

The most recent sign approvals from the City occurred in 1992 (Attachment 5) and included multiple wall signs and a pole sign totaling about 272 square feet in area. At the time, the property was co-branded with both Best Western and Casablanca Inn signs. Since that time, there have been some changes to signage at the site including the removal of Best Western signage, and the addition of 2 small "entry" and "exit" directional signs. Since directional signage is not included in total sign area (when it excludes business name or branding), the current total of on-site signage is 186.6 square feet – a reduction of 85.3 square feet from the 1992 sign program. The reduction is due to the removal of one large "Casablanca" wall sign as well as all of the Best Western signage.

The applicant proposes to reface the pole sign with neon lettering and graphics (Figure 1) and to reface the directional signage to match a black and white color scheme. One new sign is proposed: a new 6-foot tall monument sign which would add 6 square feet of sign area, shown in Figure 2. The applicant proposes to expand the sidewalk-adjacent planter strip by converting the adjacent parking stall into landscaping. This property has

two separated parking lots, and the sign would clarify that the northern lot also belongs to the property. The monument sign would bring the total sign area of the site up to 192.6 square feet. See Table 1 for a schedule of existing and proposed signage. These signs can be seen in the plans provided as Attachment 2, and Attachment 3 provides a photolocation map that shows the existing signs on site.

Figure 1 – Neon Illumination

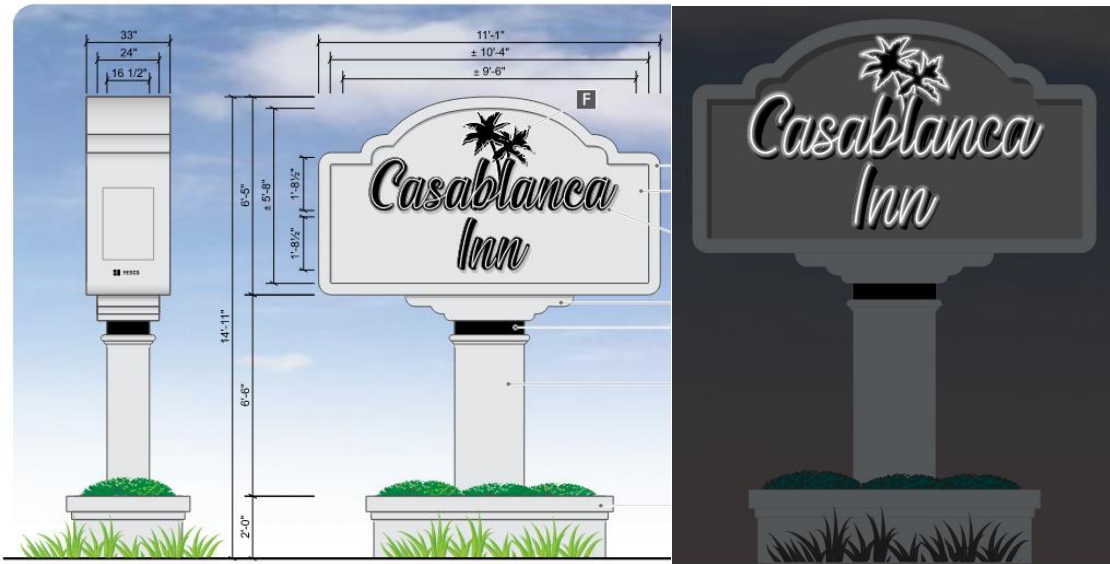


Figure 2 – New Monument Sign at North Parking Lot

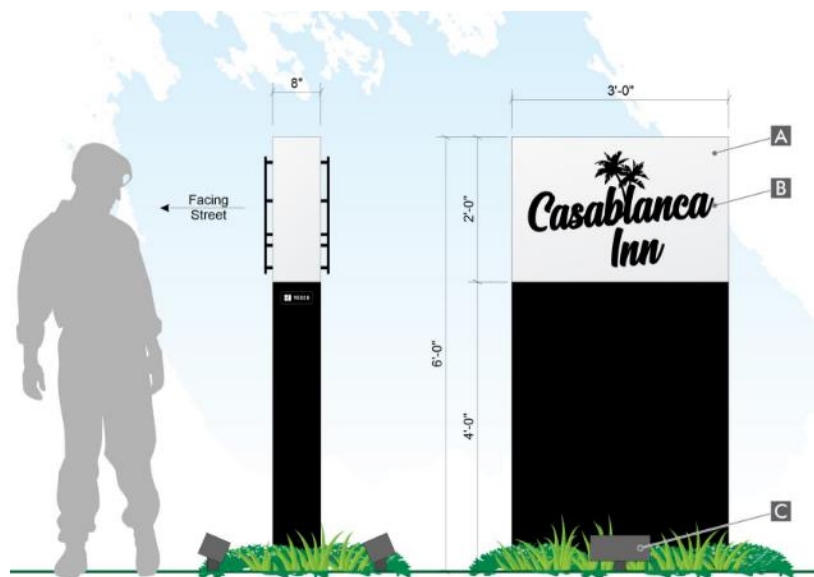


Table 1 below indicates the proposed signage for the site, including the materials, lighting, and size of the signs. A Discretionary Sign Permit (DSP) is required to allow a monument sign above six feet in height.

Table 1 – Proposed Signage

Existing Signage	Material, Lighting	Sign Dimensions and Size
Pole Sign	Metal cabinet on pole and stucco base; 1992 approval for exposed rose neon; currently halo-illuminated; proposed return to exposed white neon	14'11" tall; 11' wide; 33" deep. Sign area is 61.8 sf per face; combined area is 123.6 sf
Wall Sign	Cabinet sign with channel letters and exposed neon lighting. No changes proposed.	12' wide by 5'8" tall, with a sign area of 63 sf
Directional signs (2)	Aluminum cabinet on post. Proposed change of faces from red to black.	4.1 sf each
Proposed Signage	Material, Lighting	Sign Dimensions and Size
Monument Sign	Pin-mounted aluminum faces; aluminum cabinet base; external, spot illumination.	Sign structure is six feet tall. Sign area is six square feet. (Note: only one face of monument signs are counted towards total sign area.)

PROJECT ANALYSIS

The proposal requires a Discretionary Sign Permit (DSP) per SCMC 17.16.250 because it adds a new sign at a site within the Architectural Overlay which has multiple signs which total more than a total of 25 square feet in area; and because it includes neon lighting for the pole sign. Zoning Ordinance Section 17.16.250 outlines the DSP findings relating to design, and Section 17.84.020 outlines the regulations, design standards, and expectations of Master Sign Programs.

There are a couple notable changes from the prior approval of the 1992 sign program. First, the property is now within the Architectural Overlay, which did not exist in 1992. Second, the Zoning Ordinance allowance for commercial signage has decreased. Previously, the Code allowed 1.5 square feet of sign area per lineal foot of frontage. At the time of the 1992 sign program, the building had 195 feet of frontage, which allowed

292.5 square feet of signage. Today, the Zoning Ordinance allows only 1 sf of signage per lineal foot of building frontage.

With the acquisition and merger of the adjacent office building property in 2001, the property frontage has increased to 460 lineal feet. Therefore, the maximum allowable sign area at this property with a DSP is 460 square feet. The proposed new monument would bring the total proposed sign area to 192.6 square feet – which is less than 50% of that maximum area and less than originally approved in 1992.

Staff supports the new monument sign because it improves wayfinding for coastal visitors and helps to clarify the available parking options for the property. Attachment 2 illustrates the new sign's proposed location. The proposed sign is six feet tall with pin-mounted aluminum lettering and includes external, spot illumination – a recommended option within the design guidelines. Staff has incorporated a condition of approval that the expanded landscape planter be compatible with on-site landscaping, incorporate plant material that does not exceed four feet in height, and be reviewed and approved by the City's consulting landscape architect before issuance of the building permit for the monument sign.

Discretionary Sign Permit

The purpose of the DSP is to ensure signs are compatible with surrounding properties and consistent with standards, design guidelines, and General Plan policies. The proposed freestanding sign is consistent with development standards, as noted above, and the design is the result of incorporating DRSC comments to improve the sign's conformance to Architectural Overlay sign design standards. The resulting design, scale, lighting and materials of the sign harmonizes with the architectural design and details of other on-site signs. There is contrast between the background of the sign and the sign lettering. The sign is appropriately scaled for visibility to motorists along North El Camino Real, where free-standing signs are common due to the bending roadway, speed of traffic, and on-street parking. The sign is consistent with others on site and would be set within a landscaped planter as required for freestanding signs. The applicant has addressed comments from DRSC but changing the sign style from a pole to a monument sign. It is consistent with the General Plan policies as shown in Table 2.

Design Review Subcommittee

The Design Review Subcommittee (DRSC) reviewed the project on December 15, 2022. The minutes are included as Attachment 4. The DRSC agreed with staff's recommendation that the new sign at the northern parking lot be converted to a monument sign instead of a pole sign. The applicant incorporated that change into the resubmitted plans. The DRSC also supported the location of the new sign at the northern side of the entry to the northern parking lot. The DRSC members discussed the neon illumination element. There was some concern about setting precedent; however, they also noted that this sign was originally neon (before changing to reverse pan lighting) and that the Planning Commission also recently supported a neon sign at the Casino. Ultimately, they

supported neon, but were not unanimous in support of exposed neon. The applicant maintains a preference for the exposed neon as they believe it is more consistent with their rebranding.

GENERAL PLAN CONSISTENCY

Table 4 summarizes how the proposed use is consistent with applicable General Plan policies.

Table 2 - General Plan Consistency

Policies and Objectives	Consistency Finding
<i>ED-2.03. Existing Businesses:</i> “We give high priority to initiatives, investments, and the allocation of municipal resources that help businesses remain and prosper in San Clemente.”	Consistent. The proposed sign will provide improved wayfinding for the hotel’s parking lot.
<i>UD-1.09. Signs:</i> “We require quality, balance, consistency, and the use of high quality materials in the design of public and private signs, including commercial signs.... Signs should be compatible with the architectural character of buildings on which they are placed, prevailing streetscape character and surrounding community character, and should be not be visually obtrusive.”	Consistent. Only one new sign is proposed, and it complements the style of existing signage on site and is in character with the character of signage along North El Camino Real where freestanding signs are common. The proposed return to neon is grounded in the history of the property. Utilizing white neon will be cleaner than the former rose and teal coloring that was permitted in 1992. The black and white theme is consistent for all signs and with new branding image of the hotel.

ENVIRONMENTAL REVIEW/COMPLIANCE (CEQA)

The Planning Division completed an initial environmental assessment of the project per the California Environmental Quality Act (CEQA). Staff recommends that the project be found categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15311 (a) (Class 11: Accessory Structures) because the project involves the addition of a freestanding sign at an existing business.

CALIFORNIA COASTAL COMMISSION REVIEW

The project site is located in the Coastal Zone Overlay District. However, a Coastal Development Permit is not required for the proposed signs, and, therefore, Coastal Commission review is not required.

ALTERNATIVES; IMPLICATIONS OF ALTERNATIVES

The Planning Commission may take any of the following actions:

1. The Planning Commission can concur with staff and approve the proposed project.
2. The Planning Commission, at its discretion, may change the project's design or conditions of approval.
3. The Planning Commission can deny the proposed project. The Commission must identify why the required findings cannot be met.

The Commission's decision may be appealed to the City Council or be called up by the City Council for review.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Determine the project is Categorically Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15311 (a) (Class 11: Accessory Structures); and
2. Adopt Resolution PC 22-008, approving Discretionary Sign Permit 21-245, Casablanca Signs.

Attachments:

1. Resolution No. PC 22-008
Exhibit A - Conditions of Approval
2. Plans and Renderings
3. Photolocation Map
4. December 15, 2021 DRSC Minutes
5. 1992 Sign Program

ATTACHMENT 1

RESOLUTION NO. PC 22-008

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING DISCRETIONARY SIGN PERMIT 21-245, CASABLANCA SIGNS, A REQUEST TO AMEND AN EXISTING MASTER SIGN PROGRAM, ADDING A FREESTANDING MONUMENT SIGN AND MODIFYING COLORS AND ILLUMINATION STYLES AND AT AN EXISTING HOTEL, LOCATED AT 1601 NORTH EL CAMINO REAL

WHEREAS, on September 14, 2021 an application was submitted by Nik Kafetzopoulos, 15 MacArthur Place #403, Santa Ana, CA 92707, and deemed complete on April 6, 2022, for Discretionary Sign Permit 21-245; a request to install a freestanding monument sign at 1601 North El Camino Real in the Mixed Use (MU2) Zoning District and Architectural, Central Business, and Coastal Zone Overlay Districts. The legal description of the site is Tract 795, Block 2, Lot 5; the Assessor's Parcel Number is 057-170-27; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends that the Planning Commission determine the project is Categorical Exempt from CEQA pursuant to State CEQA Guidelines Section 15311 (a) (Class 11: Accessory Structures) because the project involves the addition of a monument sign at an existing commercial building; and

WHEREAS, on November 11, 2021, the City's Development Management Team (DMT) reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes and supports the project subject to attached conditions of approval; and

WHEREAS, on December 15, 2021, the City's Design Review Subcommittee (DRSC) considered the project and supported it with recommended revisions; and

WHEREAS, in accordance with City and State requirements, notice of the public hearing was published in the *San Clemente Times* newspaper on April 28, 2022, posted at the project site, and mailed to all property owners within 300 feet of the subject parcel; and

WHEREAS, on May 4, 2022, the Planning Commission of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Planning Commission of the City of San Clemente does

hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Planning Commission hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Planning Commission as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15311 (Class 11: Accessory Structures).

The Class 11 exemption specifically exempts from further CEQA review the construction or replacement of minor structures accessory or appurtenant to existing commercial, industrial, or institutional facilities, such as on-premise signs, small parking lots, or the placement of seasonal or temporary use items (such as lifeguard towers, mobile food units, portable restrooms, or similar items) in public use areas. Here, the project consists of the installation of a single monument sign at an existing business and the refacing of other existing on-site signs. Thus, the project qualifies for the Class 11 exemption.

Furthermore, none of the exceptions to the use of the Class 11 categorical exemption identified in State CEQA Guidelines section 15300.2 apply. The project is not located in a particularly sensitive environment, and will not impact an environmental resource of hazardous or critical concern. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time as sign standards limit the amount of signage on the commercial site. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. The site is already developed with signage, and the project is only a modification to the on-site signage. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. No new structures are proposed other than the monument sign. The project does not include any hazardous waste sites, and the project will not cause a substantial adverse change in the significance of a historical resource. Thus, the Class 11 exemption applies, and no further environmental review is required.

Section 3. Discretionary Sign Permit Findings

With respect to Discretionary Sign Permit 21-245, the Planning Commission finds as follows:

- A. The design, including lighting, scale, length and materials, of the signs are consistent with the intent of the design elements of the General Plan and the City's Design Guidelines.
1. General Plan, Urban Design Element, Policy UD-1.09: Signs, states: "We require quality, balance, consistency, and the use of high quality materials in the design of public and private signs, including commercial signs.... Signs should be compatible with the architectural character of buildings on which they are placed, prevailing streetscape character and surrounding community character, and should be not be visually obtrusive." The proposed monument sign is placed and sized to complement and be in character with the building's architecture, in accordance with Policy UD-1.09.
 2. General Plan, Economic Development Element, Policy ED-2.03: Existing Businesses, states: "We give high priority to initiatives, investments, and the allocation of municipal resources that help businesses remain and prosper in San Clemente." The Discretionary Sign Permit may allow for neon illumination. This style of illumination was permitted in 1992 and is consistent with a branding refresh for the existing hotel.
 3. The proposed monument sign uses pin-mounted, externally illuminated lettering, which is consistent with the criteria for signs within the Architectural Overlay (SCMC 17.84.020).
- B. The design, scale, and materials of the signs harmonize with the architectural design and details of the building or site it serves.
1. The monument sign is placed and sized to complement and be in character with the building's architecture, in accordance with Urban Design Policy UD-1.09: Signs.
 2. The proposal includes a white and black color theme that is simple, consistent, and provides high contrast for legibility.
- C. The design and scale of the signs are appropriate to the distance from which the signs are normally viewed.
1. The height of the proposed new monument sign is appropriate given the bending roadway, speed of traffic, and on-street parking that can obstruct views toward the business. The proposed sign is compatible with other signage along North El Camino Real where free-standing signs are common.
 2. The proposed monument sign will be adequately visible to vehicle and pedestrian traffic while maintaining line of sight of traffic because it is

positioned on the south side of the property within a landscape planter along El Camino Real.

- D. The design and materials of the signs provide a contrast between the background and letters.
 - 1. The proposed lettering and logo are either white on black or black on white, providing high contrast.
- E. The design, scale or location of the building dictates the use of freestanding signs, rather than building-mounted signs.
 - 1. According to the applicant, customers have regularly indicated that they were unaware of the hotel's secondary (northern) parking lot. The proposed monument sign is intended to improve business identification and assist customers in locating the driveway entrance.
 - 2. The monument sign is appropriate given the bending roadway, speed of traffic, and on-street parking that can obstruct views toward the business.
 - 3. The proposed monument sign is compatible with other signage along North El Camino Real where free-standing signs are common.

Section 4. Planning Commission Approval

Based on the foregoing recitals and findings above, and the written and oral comments, facts, and evidence presented, the City of San Clemente Planning Commission approves Discretionary Sign Permit 21-245, Casablanca Signs, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Planning Commission on May 4, 2022.

Barton Crandell, Chair

CERTIFICATION:

I HEREBY CERTIFY this Resolution was adopted at a regular meeting of the City of

San Clemente Planning Commission on May 4, 2022, carried by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ABSENT: COMMISSIONERS:

Secretary of the Planning Commission

CONDITIONS OF APPROVAL
DISCRETIONARY SIGN PERMIT 21-254
Casablanca Signs

1.0 GENERAL CONDITIONS OF APPROVAL

- | | | |
|-----|---|--------------|
| 1.1 | Within 30 days of approval of this application, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City. Failure to submit this acknowledgement may be grounds to revoke this approval. | Planning |
| 1.2 | The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. | Planning |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. | All |
| 1.5 | Use of the subject property shall conform to all occupancy requirements, including posting of signs related to the maximum occupancy limitations. | Code
Comp |
| 1.6 | <u>DSP 21-245</u> shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150. | Planning |

4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. Planning

Landscape Plans

- 4.5 The applicant shall submit, and must obtain approval from the City's Consulting Landscape Architect, a detailed landscape and irrigation plan incorporating drought tolerant plants, prepared by a registered landscape architect, and in compliance with all pertinent requirements. (**SCMC** Section 17.68.020) This plan is required for the expanded parkway planter where the new monument sign is proposed. Planning

■ ■ Denotes a project specific Condition of Approval

CLIENT INFORMATION

Casablanca Inn
1601 N. El Camino Real
San Clemente, CA

Sales Exec: Justin Henderson

SCALE	DATE	BY
NOTED	9/9/20	B. Nolen

REVISIONS

Date	By
10/09/20	K. Alcantara
▶ Added LED cove lighting	
10/15/20	K. Alcantara
▶ New design	
10/29/20	K. Alcantara
▶ Removed palm trees	
03/25/21	K. Alcantara
▶ Added palm trees again	
03/30/21	B. Nolen
▶ Change vinyl colors on directionals	
03/30/21	B. Nolen
▶ Add mfr & install new D/F directional	



Reface & Re-paint (1) Exsiting D/F Illuminated Pylon Sign
Reface & Re-paint (2) Exsiting D/F Directional Signs
Mfr & Install (1) D/F Internally Illuminated Directional Sign

1601 N. El Camino Real
San Clemente, CA

GENERAL NOTES:
All work shall comply with
2019 California Building Code
2019 California Electrical Code
2019 California Energy Code, Title 24
2019 California Existing Building Code
2019 California Fire Code
2019 California Green Building Standards Code
2019 California Mechanical Code

 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

SPECIAL NOTES:

CUSTOMER APPROVAL

- ACCEPTED WITH NO CHANGES
- ACCEPTED WITH CHANGES AS NOTED
- REVISE AS NOTED AND RE-SUBMIT

(Customer Signature) (Date)

(Title)

DESIGN NUMBER

88817 R7

JOB NUMBER

XXXXXX

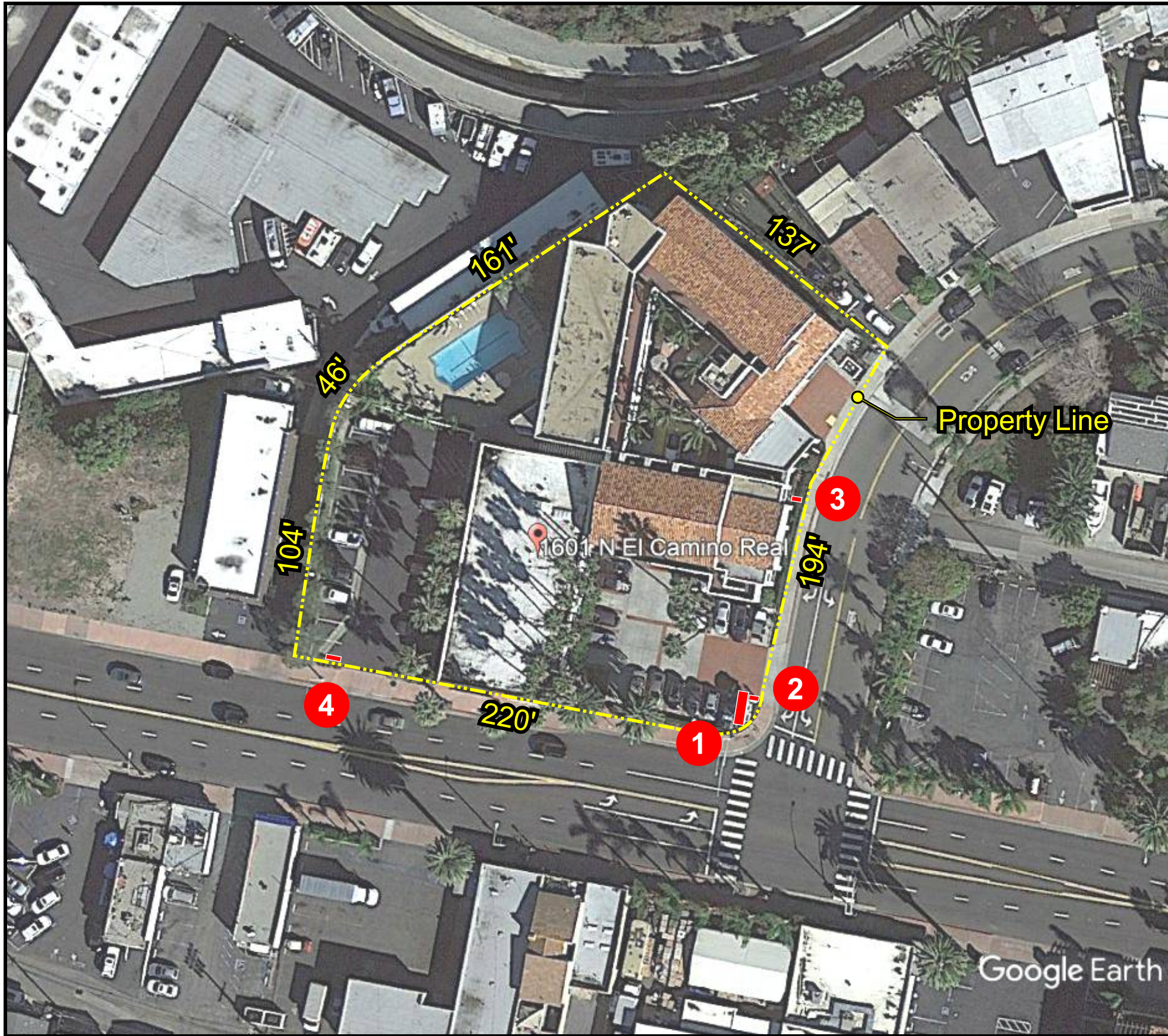
LEGACY NUMBER

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Sheet **Cover**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO SIGNS, LLC. Permission to copy or enter this drawing can only be obtained through a written agreement with YESCO. See your sales representative or call the nearest office of YESCO SIGNS, LLC.
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Cost of providing necessary wiring to sign area is not included in this sign proposal.



SIGN LOCATION PLAN

Casablanca Inn

1601 N. El Camino Real
San Clemente, CA

KEY

- 1** (E) MAIN PYLON SIGN
- 2** (E) EXIT ONLY DIRECTIONAL SIGN
- 3** (E) ENTRANCE DIRECTIONAL SIGN
- 4** (N) ENTRANCE DIRECTIONAL SIGN

CLIENT INFORMATION

Casablanca Inn
1601 N. El Camino Real
San Clemente, CA

Sales Exec: Justin Henderson

NOTED	DATE	BY
	9/9/20	B. Nolen

REVISIONS

Date	By	Description
10/09/20	K. Alcantara	Added LED cove lighting
10/15/20	K. Alcantara	New design
10/29/20	K. Alcantara	Removed palm trees
03/25/21	K. Alcantara	Added palm trees again
03/30/21	B. Nolen	Change vinyl colors on directionals
03/30/21	B. Nolen	Add mfr & install new D/F directional

SPECIAL NOTES:

CUSTOMER APPROVAL

ACCEPTED WITH NO CHANGES
 ACCEPTED WITH CHANGES AS NOTED
 REVISE AS NOTED AND RE-SUBMIT
 (Customer Signature) _____ (Date) _____

DESIGN NUMBER

88817 R7

JOB NUMBER

XXXXXX

LEGACY NUMBER

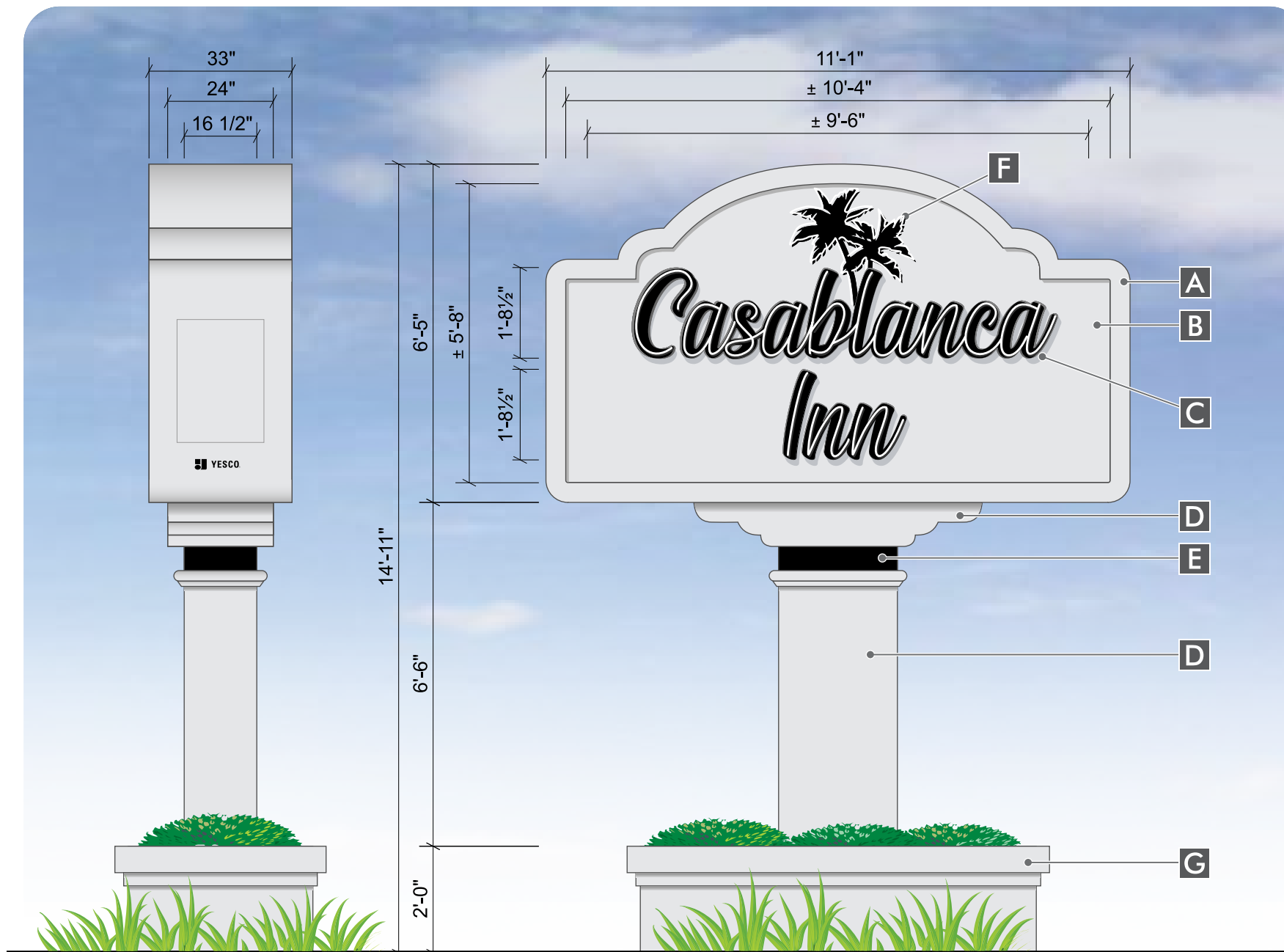
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Sheet

SP

This sign is intended to be installed in accordance with the requirements of Article 602 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO SIGNS, LLC. Permission to copy or enter this drawing can only be obtained through a written agreement with YESCO. See your sales representative or call the nearest office of YESCO SIGNS, LLC. ©2020 represented in this drawing and for promotional only. They cannot match actual processes being used on finished products. All measurements are reference measurements and not to scale. Cost of providing necessary wiring to sign area is not included in this sign proposal.



1 Reface and Re-paint (1) Existing D/F Pylon Sign

Scale: 3/8" = 1'-0"

GENERAL NOTES:
 All work shall comply with
 2019 California Building Code
 2019 California Electrical Code
 2019 California Energy Code, Title 24
 2019 California Existing Building Code
 2019 California Fire Code
 2019 California Green Building Standards Code
 2019 California Mechanical Code

SIGN SPECS		
A (E) CABINET	SCOPE PAINT	STRIP AND RE-PAINT SMOOTH (SEE COLOR KEY)
B NEW FACE	TYPE PAINT	1/8" ALUMINUM SMOOTH (SEE COLOR KEY)
C COPY	TYPE PAINT NEON MOUNT	OPEN PAN CHANNEL SEE COLOR KEY EXPOSED 12mm WHITE FLUSH TO NEW BKGD. FACE
D (E) POLE COVER	SCOPE PAINT	STRIP AND RE-PAINT SMOOTH (SEE COLOR KEY)
E (E) REVEAL	SCOPE PAINT	RE-PAINT SMOOTH (SEE COLOR KEY)
F PALM TREES	SCOPE PAINT NEON MOUNT	ALUM FLAT CUT-OUT SEE COLOR KEY EXPOSED 10mm/12mm WHITE FLUSH TO NEW BKGD. FACE
G (E) BASE	SCOPE	LEAVE AS-IS

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

COLOR KEY	
PAINT	SHERWIN WILLIAMS Black
FINISH	SMOOTH (SATIN)
PAINT	TO MATCH BUILDING
FINISH	SMOOTH (SATIN)

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

Remove logo, reverse pan neon illum. channel letters, exposed neon, and all electrical and dispose

Strip texture finish from entire sign and pole cover, re-paint to match building in field



EXISTING D/F PYLON



CLIENT INFORMATION
 Casablanca Inn
 1601 N. El Camino Real
 San Clemente, CA
 Sales Exec: Justin Henderson

SCALE	DATE	BY
NOTED	9/9/20	B. Nolen

REVISIONS

Date	By	Description
10/09/20	K. Alcantara	
10/15/20	K. Alcantara	Added LED cove lighting
10/29/20	K. Alcantara	New design
03/25/21	K. Alcantara	Removed palm trees
03/30/21	B. Nolen	Added palm trees again
03/30/21	B. Nolen	Change vinyl colors on directionals
03/30/21	B. Nolen	Add mfr & install new D/F directional

SPECIAL NOTES:

CUSTOMER APPROVAL
 ACCEPTED WITH NO CHANGES
 ACCEPTED WITH CHANGES AS NOTED
 REVISE AS NOTED AND RE-SUBMIT
 (Customer Signature) (Date)

DESIGN NUMBER
 88817 R7
JOB NUMBER
 XXXXXX
LEGACY NUMBER
 XXXXXX
Sheet
 1.0

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO SIGNS, LLC. Permission to copy or enter this drawing can only be obtained through a written agreement with YESCO. See your sales representative or call the nearest office of YESCO SIGNS, LLC
 Colors represented in this drawing are for representation only. They cannot match actual processes being used on finished products. All measurements are reference measurements & color charts are provided. Cost of providing necessary wiring to sign area is not included in this sign proposal.



1 SIMULATED NIGHT VIEW



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

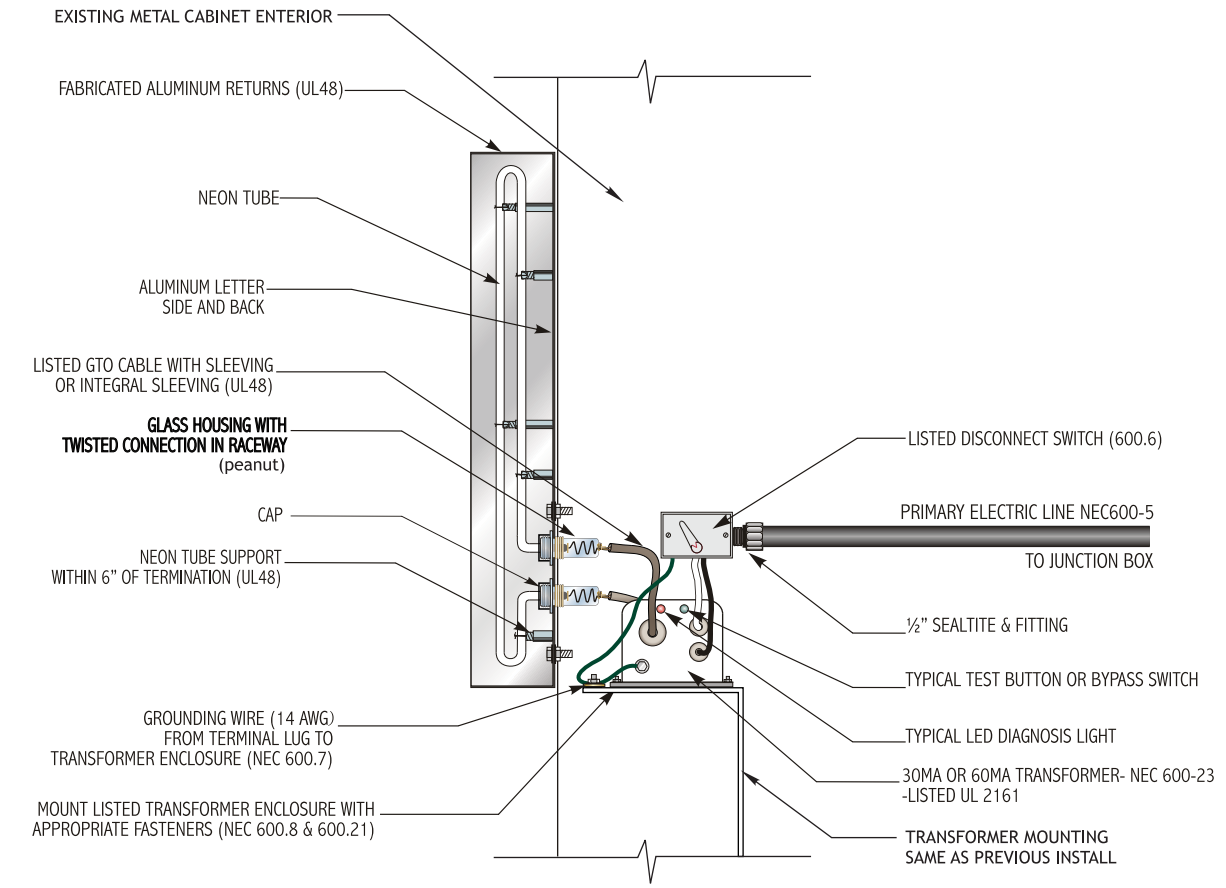
GENERAL NOTES:
 All work shall comply with
 2019 California Building Code
 2019 California Electrical Code
 2019 California Energy Code, Title 24
 2019 California Existing Building Code
 2019 California Fire Code
 2019 California Green Building Standards Code
 2019 California Mechanical Code



CLIENT INFORMATION
 Casablanca Inn
 1601 N. El Camino Real
 San Clemente, CA
 Sales Exec: Justin Henderson

SCALE	DATE	BY
NOTED	9/9/20	B. Nolen

REVISIONS		
Date: 10/09/20	By: K. Alcantara	
▶ Added LED cove lighting		
Date: 10/15/20	By: K. Alcantara	
▶ New design		
Date: 10/29/20	By: K. Alcantara	
▶ Removed palm trees		
Date: 03/25/21	By: K. Alcantara	
▶ Added palm trees again		
Date: 03/30/21	By: B. Nolen	
▶ Change vinyl colors on directionals		
Date: 03/30/21	By: B. Nolen	
▶ Add mfr & install new D/F directional		



2 TYPICAL OPEN FACE LETTER INSTALLATION DETAIL
 NTS

SPECIAL NOTES:

CUSTOMER APPROVAL

- ACCEPTED WITH NO CHANGES
- ACCEPTED WITH CHANGES AS NOTED
- REVISE AS NOTED AND RE-SUBMIT

(Customer Signature) _____ (Date) _____

(Title) _____

DESIGN NUMBER
88817 R7

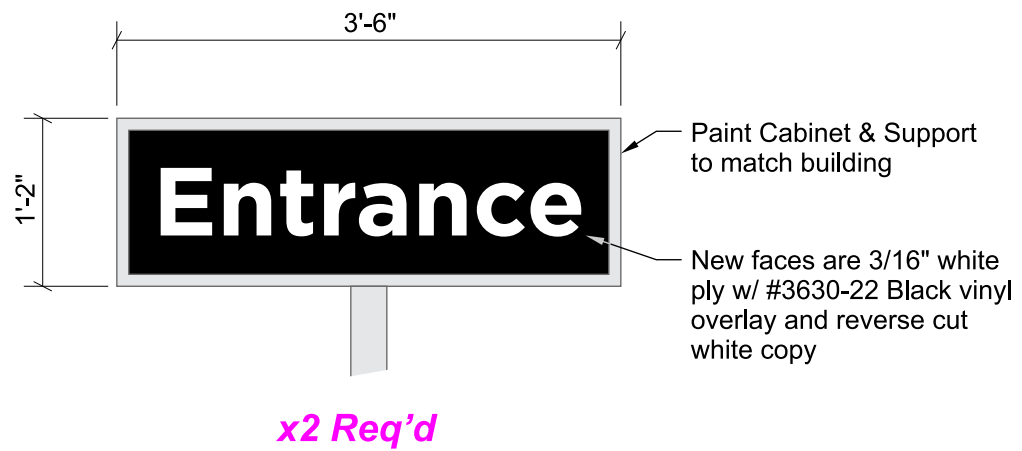
JOB NUMBER
XXXXXX

LEGACY NUMBER
XXXXXX

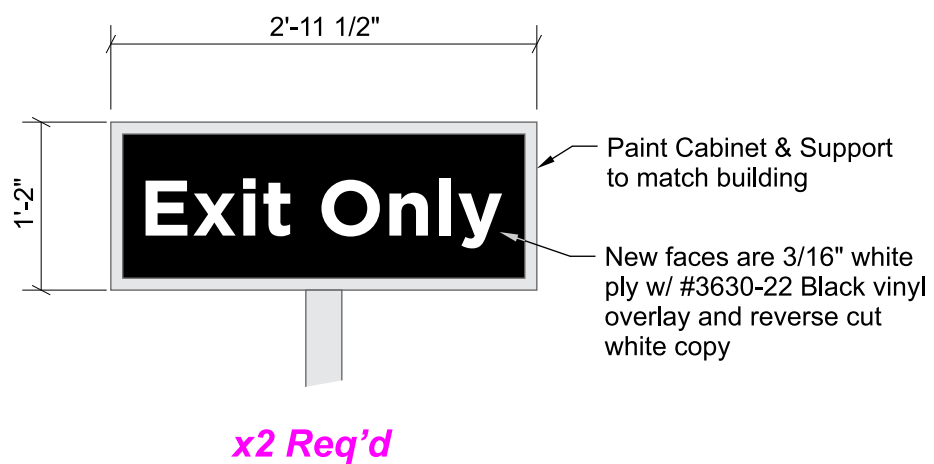
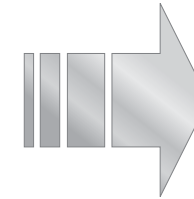
Sheet 1.1

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

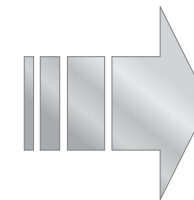
This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO SIGNS, LLC. Permission to copy or enter this drawing can only be obtained through a written agreement with YESCO. See your sales representative or call the nearest office of YESCO SIGNS, LLC. Changes represented in this drawing are for convenience only. They cannot match actual processes being used on finished products. All dimensions are unless otherwise indicated in a note, table or part list. Cost of providing necessary wiring to sign area is not included in this sign proposal.



② **Re-face & Repaint Existing D/F Directional**
Scale: 3/4" = 1'-0"



③ **Re-face & Repaint Existing D/F Directional**
Scale: 3/4" = 1'-0"



CLIENT INFORMATION

Casablanca Inn
1601 N. El Camino Real
San Clemente, CA

Sales Exec: Justin Henderson

SCALE	DATE	BY
NOTED	9/9/20	B. Nolen

REVISIONS		
Date: 10/09/20	By: K. Alcantara	
▶ Added LED cove lighting		
Date: 10/15/20	By: K. Alcantara	
▶ New design		
Date: 10/29/20	By: K. Alcantara	
▶ Removed palm trees		
Date: 03/25/21	By: K. Alcantara	
▶ Added palm trees again		
Date: 03/30/21	By: B. Nolen	
▶ Change vinyl colors on directionals		
Date: 03/30/21	By: B. Nolen	
▶ Add mfr & install new D/F directional		

SPECIAL NOTES:

CUSTOMER APPROVAL

- ACCEPTED WITH NO CHANGES
- ACCEPTED WITH CHANGES AS NOTED
- REVISE AS NOTED AND RE-SUBMIT

(Customer Signature) (Date)

(Title)

DESIGN NUMBER

88817 R7

JOB NUMBER

XXXXXX

LEGACY NUMBER

XXXXXX

Sheet

2.0

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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SCALE	DATE	BY
NOTED	9/9/20	B. Nolen

REVISIONS

Date	By	Description
10/09/20	K. Alcantara	Added LED cove lighting
10/15/20	K. Alcantara	New design
10/29/20	K. Alcantara	Removed palm trees
03/25/21	K. Alcantara	Added palm trees again
03/30/21	B. Nolen	Change vinyl colors on directionals
03/30/21	B. Nolen	Add mfr & install new D/F directional
01/24/22	K. Alcantara	No neon on letters, per city Changed letters to reverse halo-illuminated Changed palm trees to push-thru
03/31/22	K. Alcantara	Added location details and setbacks for directional sign #4
04/14/22	K. Alcantara	Changed sign 4 to externally illuminated with FCO logo Changed pole cover to same width as cabinet

SPECIAL NOTES:

CUSTOMER APPROVAL

<input type="checkbox"/>	ACCEPTED WITH NO CHANGES
<input type="checkbox"/>	ACCEPTED WITH CHANGES AS NOTED
<input type="checkbox"/>	REVISE AS NOTED AND RE-SUBMIT

(Customer Signature) _____ (Date) _____

DESIGN NUMBER
88817 R10

JOB NUMBER
SOY-100884

LEGACY NUMBER
XXXXXX

Sheet 3.0

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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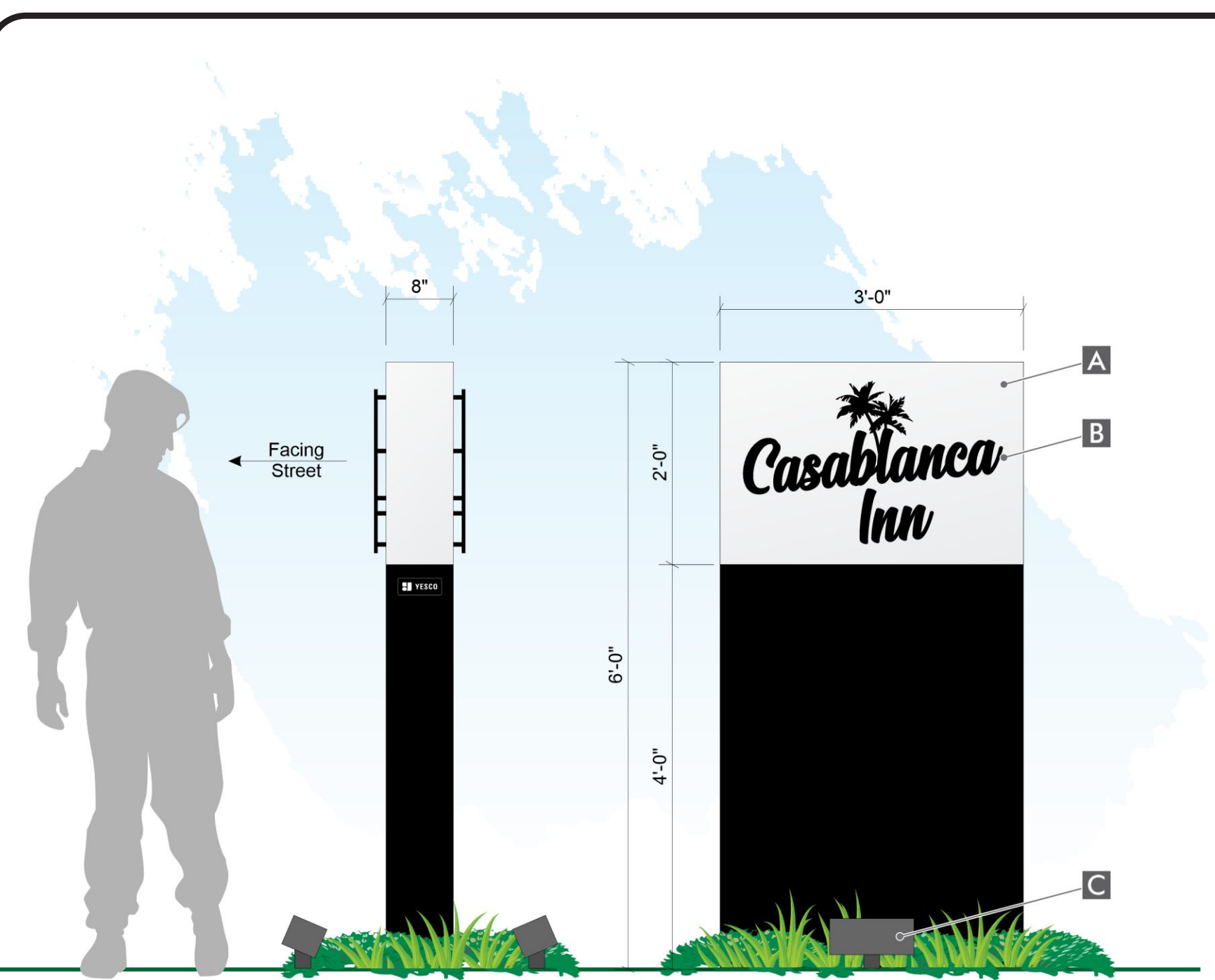
COLOR KEY

PAINT	SHERWIN WILLIAMS Black
FINISH	SMOOTH (SATIN)
PAINT	SHERWIN WILLIAMS SW 7637 "Oyster White"
FINISH	SMOOTH (SATIN)

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

SIGN SPECS

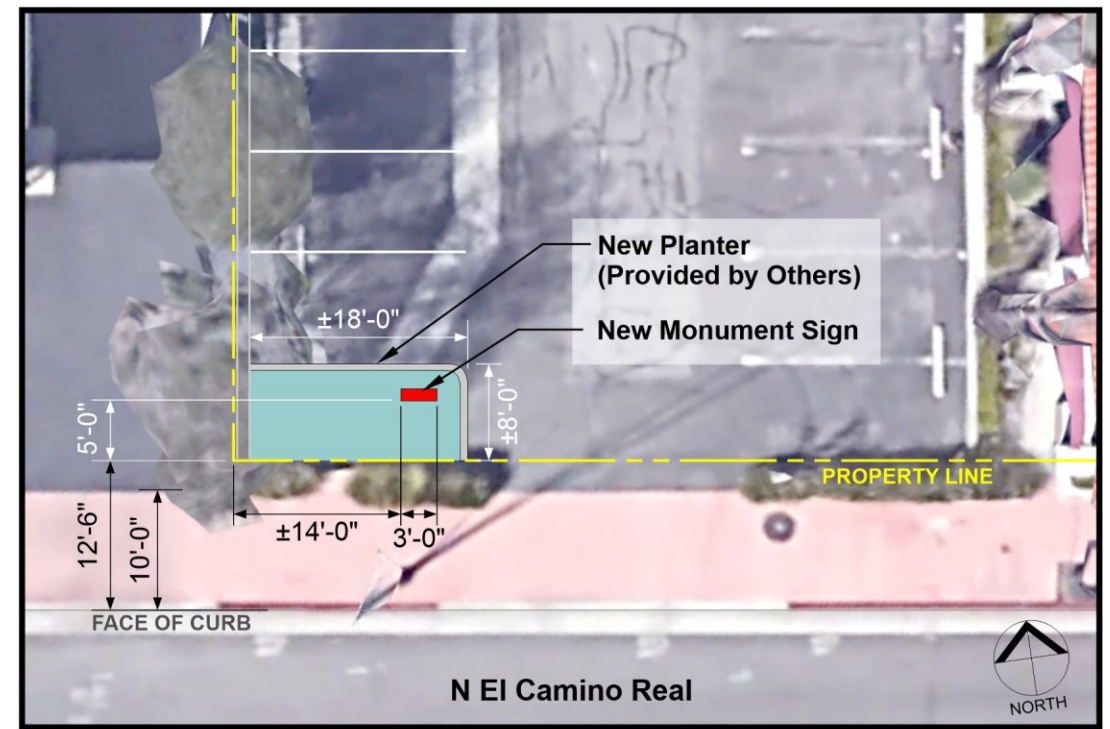
A	CABINET	TYPE	D/F ALUM. OVER STEEL FRAME
		PAINT	BLACK / WHITE (SEE COLOR KEY)
		FINISH	SMOOTH SATIN
B	LOGO/LTRS	TYPE	FLAT CUT-OUT
		MATERIAL	1/4" ALUMINUM
		PAINT	BLACK (SEE COLOR KEY)
		MOUNT	1" STAND-OFFS
		QUANTITY	TWO (2) SETS
C	LIGHTING	TYPE	EXTERNAL LED UPLIGHTS
		QUANTITY	TWO (2) FIXTURES
YESCO LOGO	TYPE	ALUMINUM PLATE	
	SIZE	2"(H) X 5.125"(W)	
	COLOR	BLACK / WHITE	



4 Mfr & Install (1) New D/F Externally Illuminated Monument Sign
 Scale: 3/4" = 1'-0"

GENERAL NOTES:
 All work shall comply with
 2019 California Building Code
 2019 California Electrical Code
 2019 California Energy Code, Title 24
 2019 California Existing Building Code
 2019 California Fire Code
 2019 California Green Building Standards Code
 2019 California Mechanical Code

UL This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Sign Location Detail Scale: 1/16" = 1'-0"

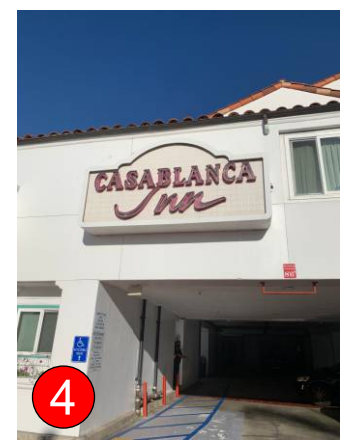
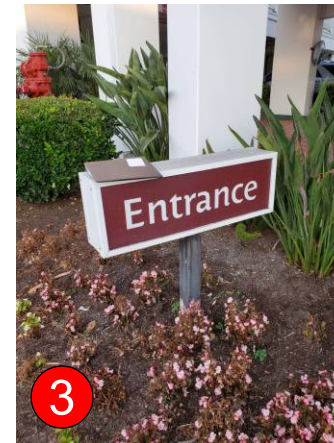
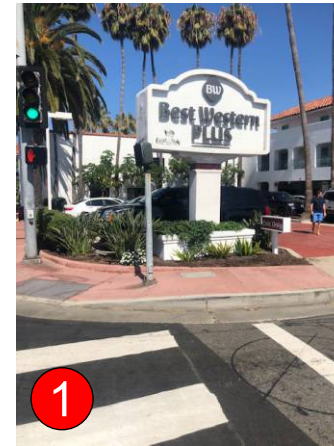
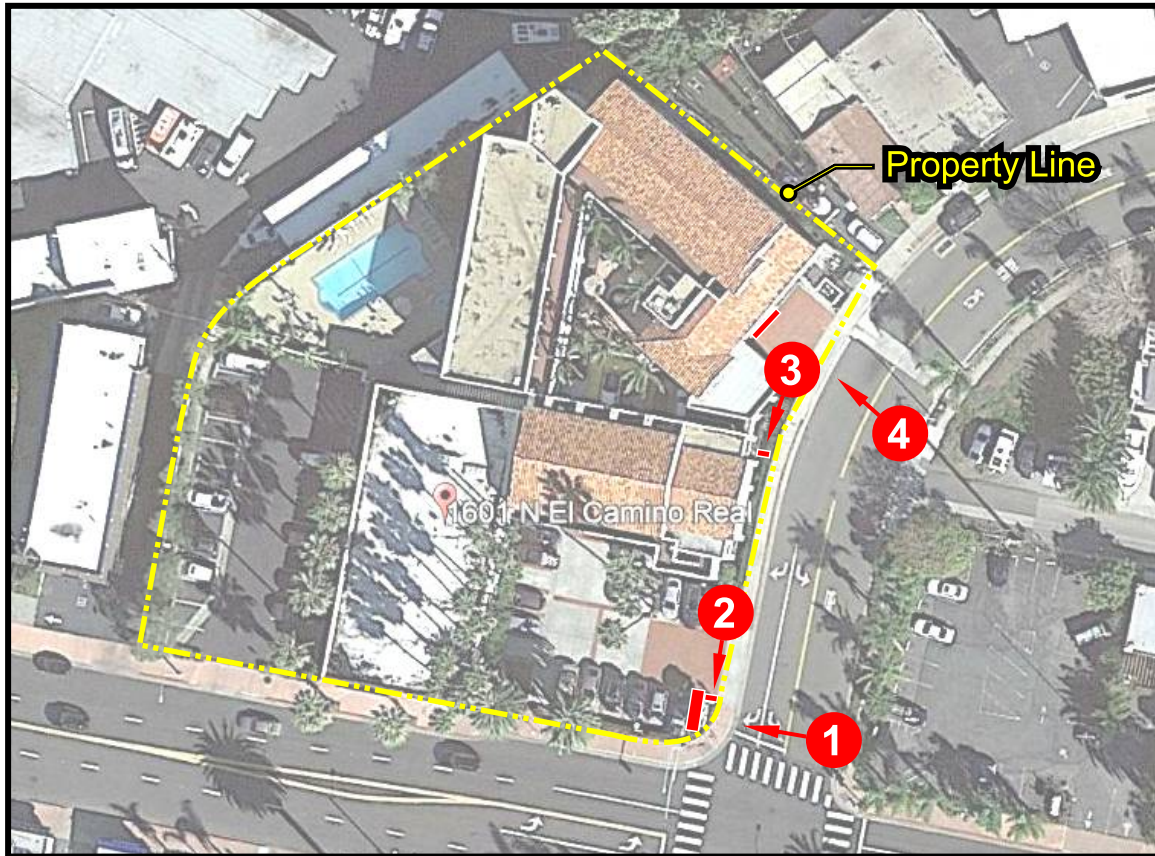


Sign Location

Casablanca Inn

1601 N. El Camino Real
San Clemente, CA

ATTACHMENT 3



Photographic Location Map

ATTACHMENT 4

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
DECEMBER 15, 2021**

Subcommittee Members Present: Bart Crandell and Scott McKhann
Subcommittee Members Absent: M. Steven Camp

Staff Present: Senior Planner Stephanie Roxas, Economic Development Officer
Jonathan Lightfoot, Contract Planner Kirt Coury

1. MINUTES

The Subcommittee approved the minutes from the October 27, 2021 regular meeting with no changes.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:

A. Discretionary Sign Permit 21-245, Casablanca Inn Signs, 1601 N. El Camino Real (Lightfoot)

A request to add a freestanding sign and reface other existing signage, including the use of neon on an existing pole sign. The new sign puts the commercial property above the 25 square-feet of cumulative allowed signage by right per business within the Architectural Overlay.

Economic Development Officer Jonathan Lightfoot summarized the staff report. The property ownership was represented by Nik Kafetzopoulos, and the Applicant's representative, Justin Henderson of Yesco Signs. Mr. Kafetzopoulos clarified that the hotel has left the Best Western affiliation and will simply be known as the Casablanca Inn moving forward; hence the motivation to update on-site signage. They noted that the original Casablanca signage included neon illumination and that one of the remaining wall signs still includes exposed neon.

Chair Crandell opened the item for public comments. Staff stated no public comments were received.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Questioned whether the Discretionary Sign Permit would be part of a Master Sign Program. Staff clarified that both a DSP and MSP would be a part of the Planning Commission review.
- Requested clarification from staff on how the Zoning Code differentiates between pole and monument signs.
- Agreed that many customers and residents do not realize that the northern parking lot belongs to the hotel and supported additional signage.

- Supported a monument sign at the location where the applicant had proposed a new pole sign.
- Suggested locating the monument sign on the right side of the El Camino Real driveway to improve site visibility and designing the monument with an elevated pedestal to be seen above the taller surrounding shrubs.
- Expressed concern about a potential precedent for neon signage on El Camino Real. Also noted that the DRSC recently supported an exposed neon sign at the Casino.
- The Subcommittee supported neon illumination, with two members preferring reverse channel and one preferring exposed neon.

The DRSC directed staff to review the potential monument sign and line of sight with Public Works and then proceed to Planning Commission for a hearing on the item.

B. Minor Architectural Permit 21-228, 309 Commercial, 309 Calle de Los Molinos (Cory)

A request to alter the exterior of an industrial building for property located at 309 Calle De Los Molinos in the I2 (Light Industrial) Area of the West Pico Corridor

Contract Planner Kirt Cory summarized the staff report. The property ownership was represented by the applicant's representatives Steve Powell and Jonas Dyer. Mr. Powell spoke of the project, describing the proposal for the building façade, site, and overall improvements.

Chair Crandell opened the item for public comments. Staff stated no public comments were received.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Directed staff to research and evaluate whether the proposed roof vents could be considered as architectural vents and not as cupolas.
- Determined that the use of patina treatment was sufficient as a paint/treatment for the proposed corrugated metal roof.
- Expressed concern over the proposed colors of the building and accent trim. Suggested using a darker but warm shade of wall color (e.g., warm gray) that complements the roof material and darker red trim colors. Requested to review a color and materials board of the proposed stucco treatment and paint chips of the proposed colors.
- Discussed increasing the amount of site landscaping to bring the overall site percentage closer to the Code requirement (10%). Suggested adding landscape diamonds within the parking lot, adding vines with a metal trellis between the proposed on-site retaining wall and corrugated metal fence along the property frontage, and additional potted plants and planters on-site.

- Suggested exploring options to add a wall mural on the north side of the retaining wall between the parking lot and driveway to the storage/basement area below street level.

The Subcommittee generally concurred with staff's recommendations and provided additional comments and suggestions. The Subcommittee requested to review the project revisions at a future DRSC meeting, after the applicant incorporates any changes resulting from the Development Management Team (DMT) review.

3. **NEW BUSINESS**

A. **Minor Design and Material Standards for Outdoor Dining** (Lightfoot)

The City Council is requesting DRSC feedback on a review of potential design and development standards for temporary outdoor dining uses in 2022 and 2023 under the enabling legislation of AB61.1 and SB314.2.

Economic Development Officer Jonathan Lightfoot summarized the staff report.

Chair Crandell opened the item for public comments. Several members of the public commented on the design standards:

- Aaron Radman, General Manager of Avila's El Ranchito, stated that decks/platforms have a better curb appeal than dining in the street. He acknowledged the need to maintain street drainage along the curb. He also stated a preference that approvals be permitted to continue through the winter because breakdown, storage, and reconstruction is prohibitively expensive for businesses. Commented that they did not add tables, just relocated them from indoors and spread out. Agreed that some decks may have blocked visibility to some retail spaces; but also commented that increased foot traffic and captive audience was helpful for all businesses.
- Chris Aitken, President of the DBA, stated that the DBA conducted several surveys regarding opinions on outdoor dining and that most retailers were supportive of the parklet dining. The downtown became a destination. Agreed that some decks could have better designed in the future to reduce view blockage of retail spaces (such as Brussels Bistro in front of Mikii's on Del Mar). Noted that not all restaurants will pay to build out a deck space which may naturally reduce the number of parking spaces used.
- Julie Heinze, Executive Director with the Downtown Business Association, stated that the decks should have a height limitation and that there should be limits to the number of umbrellas, heaters, and signs. Believes it starts to feel like a yard sale with too many elements. She referenced the louvered wood and wire decks at Forest Avenue in Laguna Beach as a good example.
- Alexandra Limber and Simon of Rider's Club gave another example of Spring Street in LA. Commented that they built a deck on private property on a challenging site that was a former gas station. Stated that he has concerns about

the viability of the restaurant if they have to remove the deck while Omicron and other variants are spreading. Asked for more flexibility on private property. Also noted that Riders has not increased seating, but have moved them outdoors.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Clarified that the outdoor dining began under the City's state of emergency; that the program initially intended to allow for recapturing full capacity during social distancing regulations; that about ¼ of the on-street parking spaces on Del Mar were used in 2020 (and no off street public parking spaces were used); that the intent of the new State legislation (AB 61, SB 314) is to allow for a reduction in parking requirements to allow flexibility in either reduced parking or increased seating; that the legislation sunsets one year after the State's end of the declared emergency due to COVID, or by December 31, 2023.
- Restaurants that are fully parked (as opposed to relying on waivers) may be deserving of higher priority for outdoor patios.
- New guidelines for parklets present an opportunity to create a consistent street scene and rhythm.
- Parklets should not use the full depth of the parking spots, but rather designate some space on the street interior side for plants or protective barricades.
- Recommended about 14' of depth for dining area and 4' of depth for a "buffer zone" of planters and/or barricades.
- Large concrete planters can serve as a barricade and would provide consistency, greenery, and added safety.
- Consistent materials for barricades at the edge of decks should also be prioritized.
- Decks should be limited to 3 parking spaces in the "angle in" context of Del Mar. Businesses with frontage along parallel parking areas should only use two spaces (about 40-45'). Private businesses can be a case by case consideration.
- No more than two consecutive decks should be placed consecutively and then should be broken up by parking stalls.
- Roofs or overhead elements should be discouraged.
- Supported temporary relocations of on-street accessible parking spaces to allow for businesses to use spaces in front of their restaurant for dining.
- There should be continuity in any allowed temporary signs; banners should be discouraged. Suggested only allowing signs for non-restaurant uses that block views of signs for retail or service businesses.
- Supported referring some cases to DRSC in limited instances when the location, size, and design present challenging considerations.
- Referenced the Smash Burger restaurant (806 Ave. Pico) as an example of a clean, permanent parklet. It has iron barricades and two natural gas heaters plumbed on either end. The space's simplicity provides a good model to follow.
- Supported consideration of the temporary use of the bulbouts on Ave. Del Mar.
- The DRSC then commented on the Santa Barbara parklet design guidelines:
 - Supported lighting for the parklets, but preferred dark sky friendly flood lights or low level lighting as opposed to string lighting overhead.

- Preferred infrared tower heaters if possible, but open to two portable propane heaters per deck.
- Shade should be limited to three 7-9' market umbrellas.
- Tent canopies may be appropriate for some private parking areas but should not be used on Ave. Del Mar. 10'x10' pop up tents should not be used in any context.
- Recommended incorporating the ADA recommendations from the guidelines.
- Planters should be 30" tall and maintained by the businesses.
- Decks should not have solid walls, so that police services can have visibility into the spaces.
- Deck and railings should use wood or plywood, not ropes or chains.
- Lighting should be shielded and at a temperature of 3500K. Solar lighting preferred to eliminate cords along the sidewalk areas.

The DRSC members indicated that they intended to do some additional research into fencing, lighting, and pots to relay additional recommendations to staff.

4. **OLD BUSINESS**

None


5. **ORAL AND WRITTEN COMMUNICATION**

None

ADJOURNMENT

Adjourned to the Regular Meeting of the Design Review Subcommittee to be held Wednesday, January 12, 2022 at 4:00 p.m., San Clemente City Hall, First Floor Community Room, 910 Calle Negocio, San Clemente, CA.

Respectfully submitted,


Bart Crandell, Chair

Attest:


Stephanie Roxas, Senior Planner

ATTACHMENT 5

CONSTRUCTION NOTES

- ① Sheetmetal surround to match existing surrounds in detail, color and finish. Surround for sign D will be approximately 8" deep, all others to match depth of existing wall sign B.
- ② Simulated tile background, recessed back from face of surround to match existing signs. Tile to be painted black, to match Pantone Black and Yellow, to match Pantone Yellow 109, per the Best Western Logo standards.
- ③ Reverse channel letters to be painted black to match Pantone Black. Illumination to be indirect white neon.
- ④ Panformed/embossed polycarbonate face channel type logo. Sheet metal returns to be painted black, to match Pantone Black. Yellow to be Lexan SG400-L2037, or equal, to match Pantone Yellow 109. Red accent to match Pantone Red 199. Black letters to match Pantone Black. Illumination to be internal unexposed neon or fluorescent.
- ⑤ Panformed/embossed polycarbonate face channel type logo. Sheet metal returns to be painted to match building color. Yellow to be Lexan SG400-L2037, or equal, to match Pantone Yellow 109. Red accent to match Pantone Red 199. Black letters to match Pantone Black. Illumination to be internal unexposed neon or fluorescent.
- ⑥ Existing channel letters to be removed from existing wall sign and relocated. Existing exposed rose neon illumination to remain.
- ⑦ Existing wall sign can to be removed. Wall to be repaired and repainted as required.
- ⑧ Existing AAA logo sign to be removed.
- ⑨ Existing wall sign with sheet metal surround texture painted to match building; recessed simulated white tile face; channel letters with exposed rose neon lighting.
- ⑩ Existing pole sign with sheet metal surround and pole texture painted to match building; recessed simulated white tile face; channel letters with exposed rose neon lighting and exposed turquoise neon accents.

EXISTING APPROVED FRONTAGE CALCULATIONS
CDC 88-34, 6/28/88

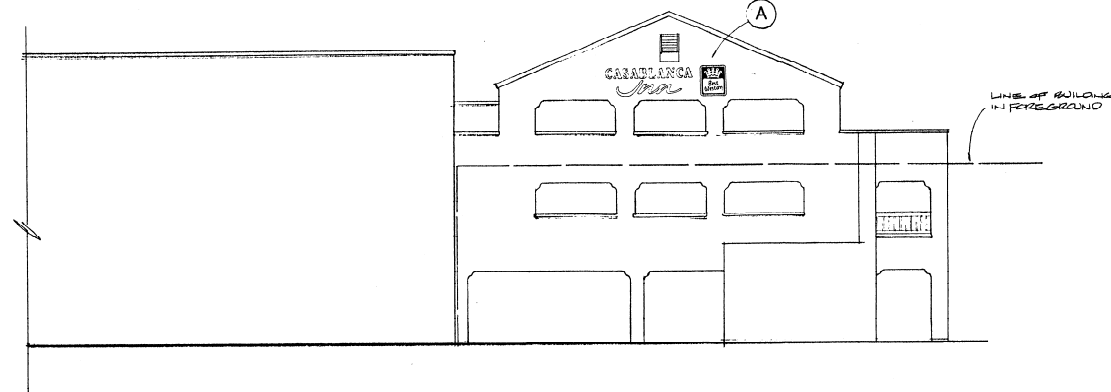
Actual Existing Frontage	195.0'
Allowable Area 1.5 SF / 1 L.F.	x 1.5
TOTAL ALLOWABLE SF	292.5

TABULATIONS

Category	Item	Description	Area (SF)
A GABLE SIGNS	1	CASABLANCA INN (relocated letters)	40.6 SF
	2	BEST WESTERN LOGO (new)	11.3 SF
B WALL SIGNS	3	CASABLANCA INN (existing)	63.0 SF
	4	BEST WESTERN LOGO (new)	16.7 SF
C POLE SIGN	5	CASABLANCA INN (existing) 61.8 SF x 2	123.6 SF
D WALL SIGN	6	CASABLANCA INN (existing) 16.7 SF	16.7 SF
	6	BEST WESTERN LOGO (new) 16.7 SF	16.7 SF
SUBTOTALS:			
CASABLANCA INN			227.2 SF
BEST WESTERN LOGO			44.7 SF
TOTAL SIGN AREA PROPOSED			271.9 SF
TOTAL SIGN AREA ALLOWED			292.5 SF

PROJECT LOCATION

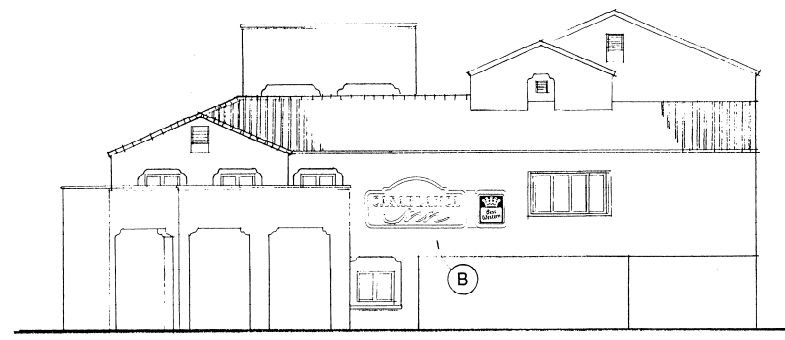
1601 No. El Camino Real, San Clemente, CA 92672
OWNER
 Soto Kafetzopolous c/o Best Western Casablanca Inn
 1601 No. El Camino Real
 San Clemente, CA 92672 Phone - 361-1644
APPLICANT
 Keisker & Wiggle Architects, Inc.
 15751 Rockfield, Suite 210
 Irvine, CA 92718 Phone - 581-7279



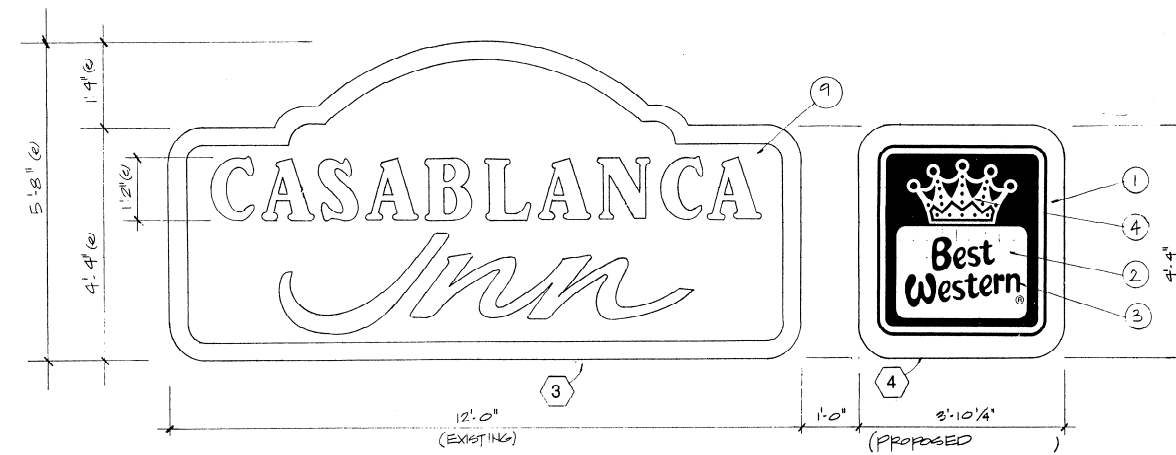
ELEVATION 1 1/8"=1'-0"



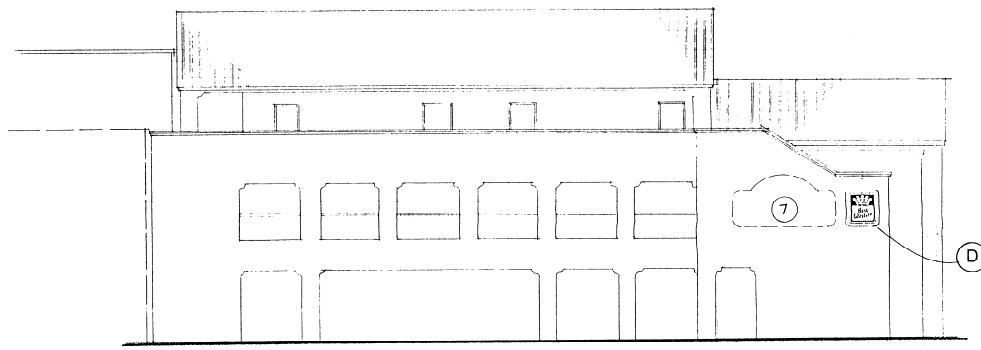
GABLE SIGN (A) 3/4"=1'-0"
 A NEW SIGN UTILIZING EXISTING, RELOCATED CHANNEL LETTERS AND A NEW LOGO.



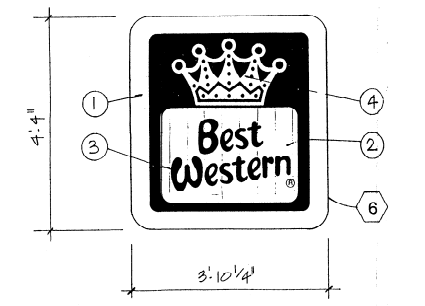
ELEVATION 2 1/8"=1'-0"



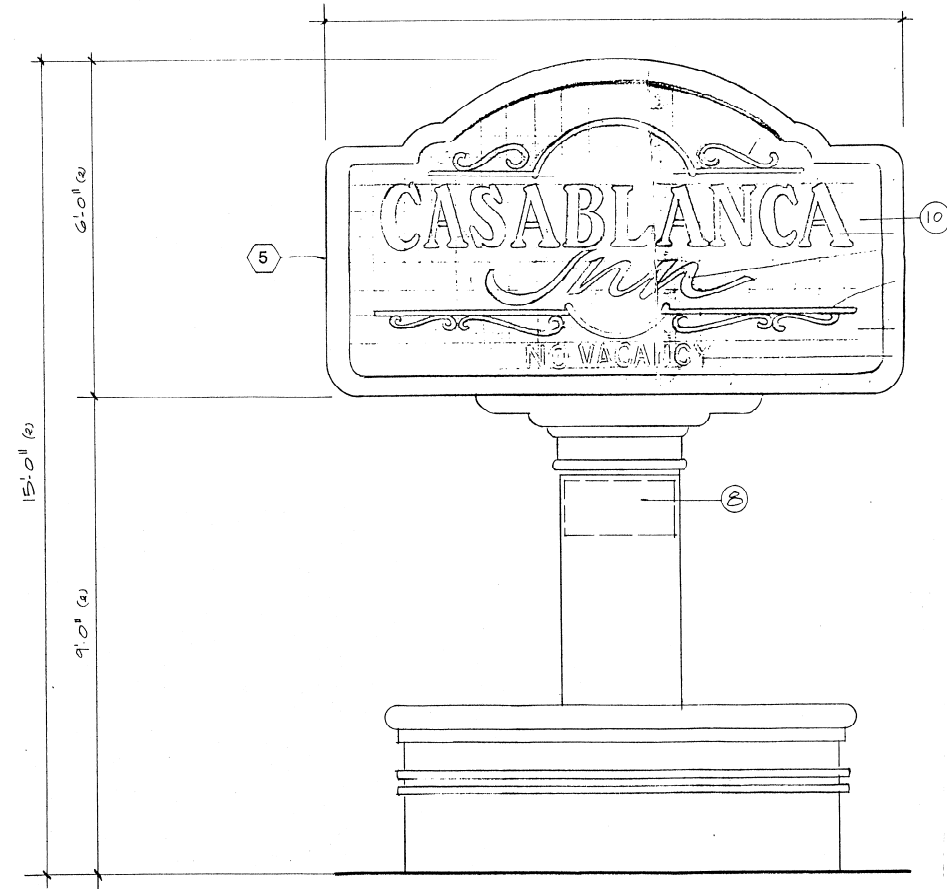
WALL SIGN (B) 3/4"=1'-0"
 EXISTING SIGN W/ NEW LOGO



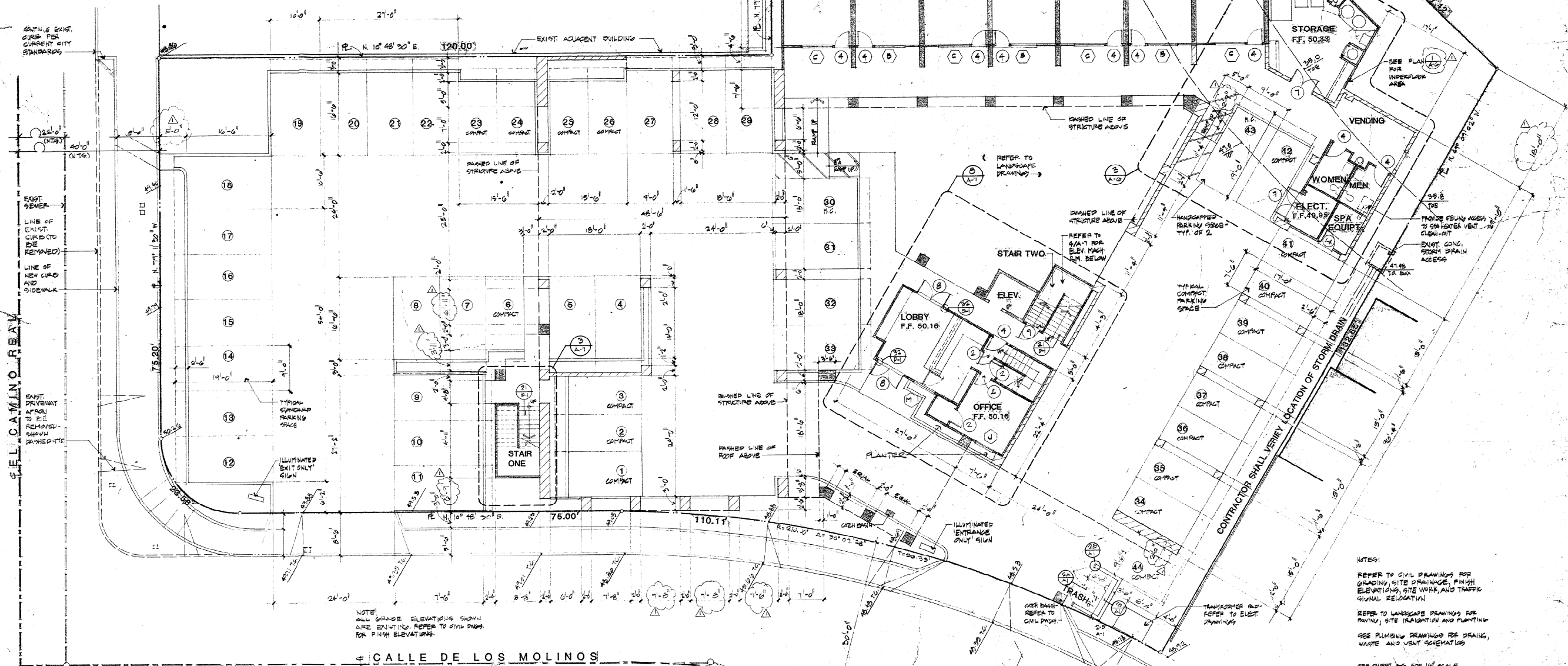
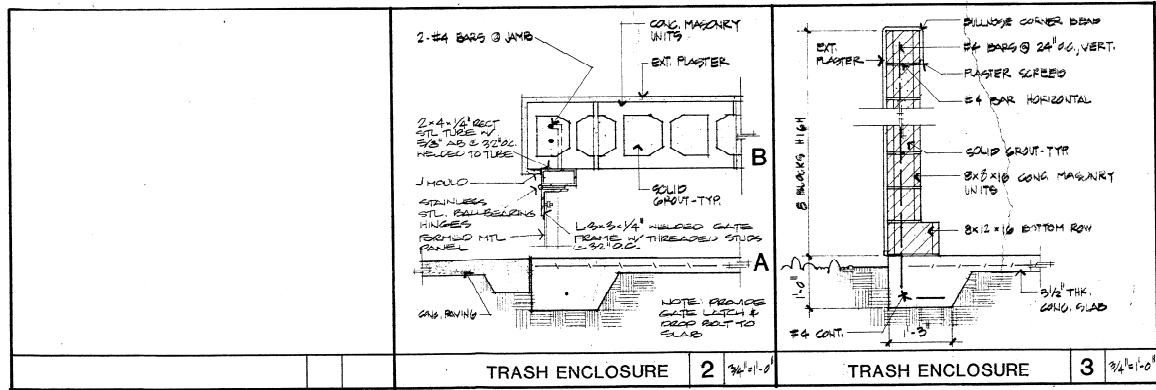
ELEVATION 3 1/8"=1'-0"



WALL SIGN (D) 3/4"=1'-0"
 (PROPOSED)



NO CHANGES - SHOWN FOR INFORMATION ONLY
POLE SIGN (C) 3/4"=1'-0"
 EXISTING - UNCHANGED



NOTES:

- REFER TO CIVIL DRAWINGS FOR GRADING, SITE DRAINAGE, FINISH ELEVATIONS, SITE WORK, AND TRAFFIC SIGNAL REGULATIONS
- REFER TO LANDSCAPE DRAWINGS FOR FINISH, SITE IRRIGATION AND PLANTING
- SEE PLUMBING DRAWINGS FOR DRAIN, WASTE AND VENT SCHEMATICS
- SEE SHEET AND FOR 1/4" SCALE UNIT PLANS
- CALL A W/WHOLE FLOOR AREA OF R1 DENSITY (PER TABLE 5-C) = 120,000 SF
- X 2 FOR COVER OVER 15 FT = 240,000 SF
- X 2 FOR PAVY SPRINKLERED = 480,000 SF. MINIMUM COVERED
- PROPOSED AREA (FROM SHEET T-1) 17,236 S.F.
- 1,883 S.F.
- 20,376 SF TOTAL EXCLUDED
- AREA SEPARATION WALLS NOT REQUIRED

Casablanca Inn

san clemente, california

Keisker & Wiggle Architects
 24853 Del Prado
 Dana Point
 California 9262
 (714) 240-1524

printed
 7 8 36
 11-11-92
 2:10

revisions
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SITE/FIRST LEVEL PLAN
 sheet
 A-1
 of 2 of 2
 JUNE 24, 1992

CONSTRUCTION NOTES

- ① Sheetmetal surround to match existing surrounds in detail, color and finish. Surround for sign D will be approximately 6" deep, all others to match depth of existing wall sign B.
- ② Simulated tile background, recessed back from floor, round to match existing signs. Tile to be painted black, to match Pantone Black and Yellow, to match Pantone Yellow 109, per Best Western Logo standards.
- ③ Reverse channel letters to be painted black to match Pantone Black. Illumination to be indirect white neon.
- ④ Formed/embossed polycarbonate face channel type logo. Sheet metal returns to be painted black, to match Pantone Black. Yellow to be Lexan SG400-L2037, or equal, to match Pantone Yellow 109. Red accent to match Pantone Red 199. Illumination to be internal, unexposed neon.
- ⑤ Formed/embossed polycarbonate face channel type logo. Sheet metal returns to be painted to match building color. Yellow to be Lexan SG400-L2037, or equal, to match Pantone Yellow 109. Red accent to match Pantone Red 199. Black letters to match Pantone Black. Illumination to be internal unexposed neon or fluorescent.
- ⑥ Existing channel letters to be removed from existing wall sign and relocated. Existing exposed rose neon illumination to remain.
- ⑦ Existing wall sign can to be removed. Wall to be repaired and repainted as required.
- ⑧ Existing AAA logo sign to be removed.
- ⑨ Existing wall sign with sheet metal surround texture painted to match building; recessed simulated white tile face; channel letters with exposed rose neon lighting.
- ⑩ Existing pole sign with sheet metal surround and pole texture painted to match building; recessed simulated white tile face; channel letters with exposed rose neon lighting and exposed turquoise neon accents.

EXISTING APPROVED FRONTAGE CALCULATIONS
CDC 88-34, 6/28/88

Actual Existing Frontage	195.0
Allowable Area 1.5 SF / 1 L.F.	x 1.5
TOTAL ALLOWABLE SF	292.5

TABLATIONS

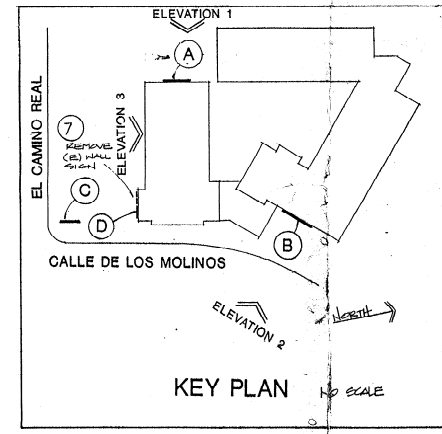
A	GABLE SIGNS	-51.9 SF
①	CASABLANCA INN (relocated letters)	40.6 SF
②	BEST WESTERN LOGO (new)	11.3 SF
B	WALL SIGNS	79.7 SF
③	CASABLANCA INN (existing)	63.0 SF
④	BEST WESTERN LOGO (new)	16.7 SF
C	POLE SIGN	223.6 SF
⑤	CASABLANCA INN (existing) 61.8 SF x 2	123.6 SF
⑥	BEST WESTERN LOGO (new)	16.7 SF
D	WALL SIGN	16.7 SF
⑦	BEST WESTERN LOGO (new)	16.7 SF
SUBTOTALS:		
	CASABLANCA INN	227.2 SF
	BEST WESTERN LOGO	44.7 SF
TOTAL SIGN AREA PROPOSED		271.9 SF
TOTAL SIGN AREA ALLOWED		292.5 SF

PROJECT LOCATION

1601 No. El Camino Real, San Clemente, CA 92672

OWNER
Soto Kafetzopolous c/o Best Western Casablanca Inn
1601 No. El Camino Real
San Clemente, CA 92672 Phone 361-1644

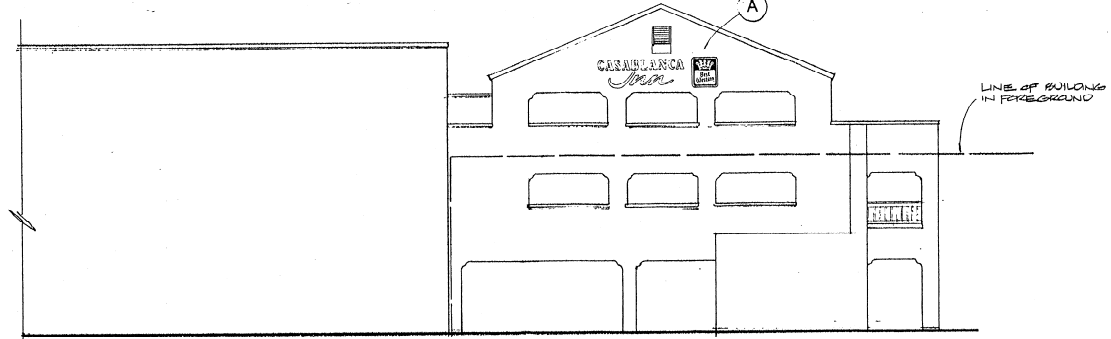
APPLICANT
Keisker & Wiggle Architects, Inc.
15751 Rockfield, Suite 210
Irvine, CA 92718 Phone + 561-7279



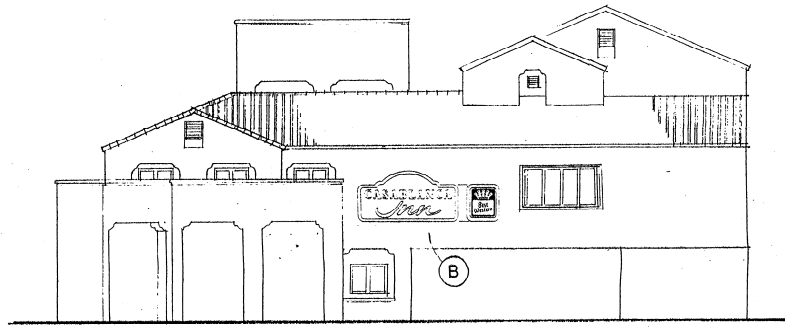
Keisker & Wiggle Architects, Inc.
15751 ROCKFIELD BLVD
SUITE 210 IRVINE
CALIFORNIA 92718
714-584-7279

CASABLANCA Inn
SIGNS

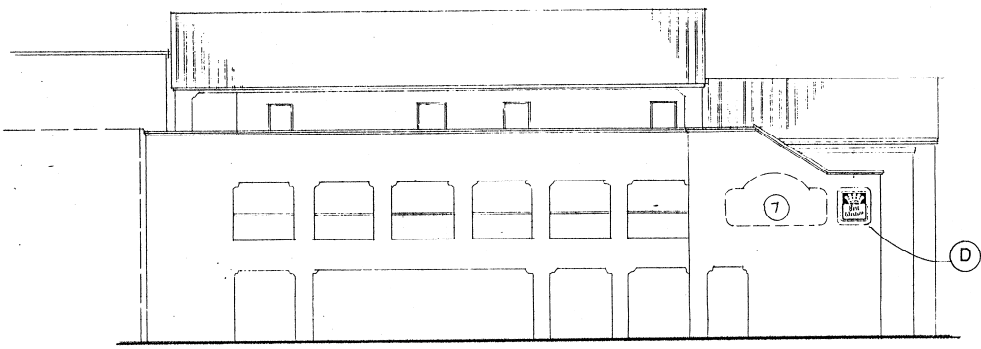
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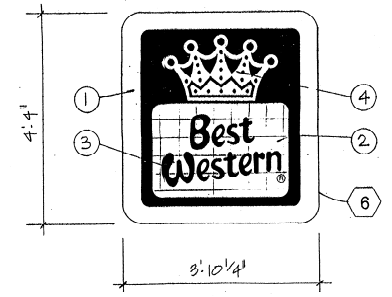
ELEVATION 1 1/8" = 1'-0"



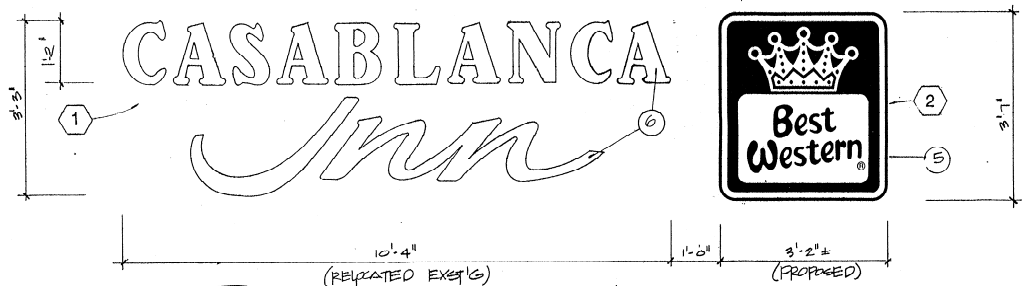
ELEVATION 2 1/8" = 1'-0"



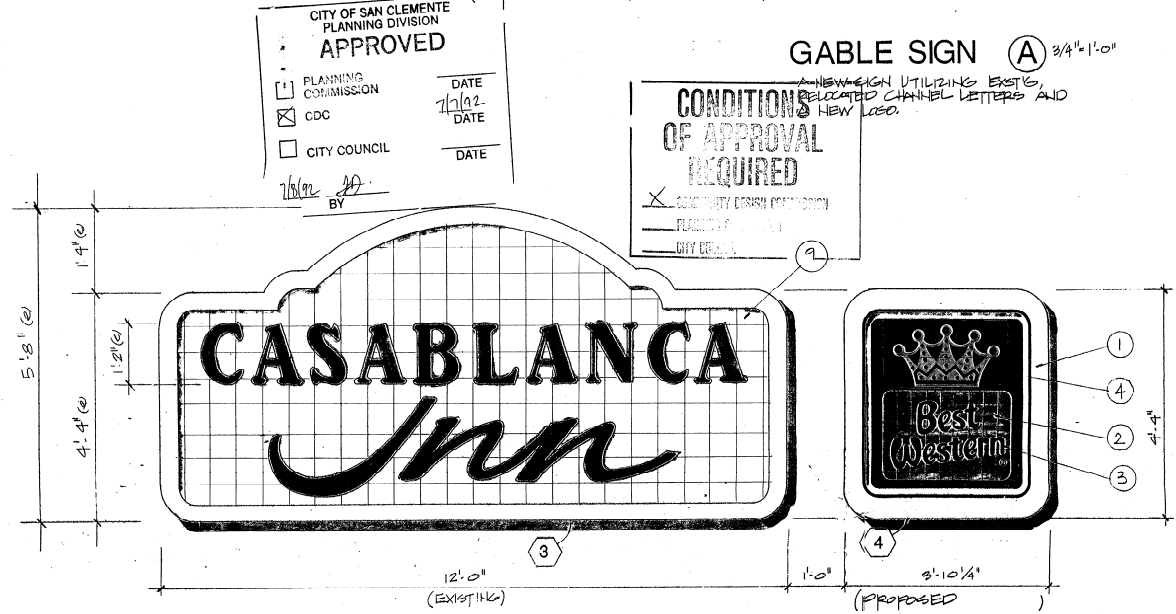
ELEVATION 3 1/8" = 1'-0"



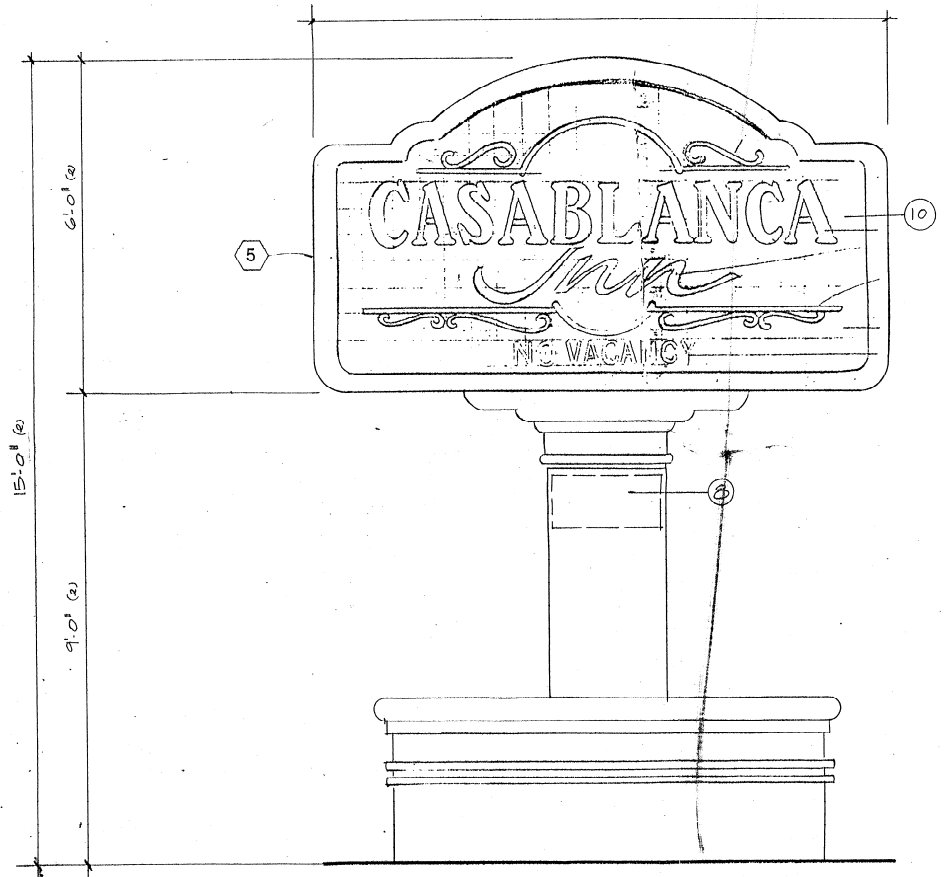
WALL SIGN D 3/4" = 1'-0"
(PROPOSED)



GABLE SIGN A 3/4" = 1'-0"
(PROPOSED)



WALL SIGN B 3/4" = 1'-0"
EXISTING SIGN W/ NEW LOGO



POLE SIGN C 3/4" = 1'-0"
EXISTING - UNCHANGED

CITY OF SAN CLEMENTE
PLANNING DIVISION
APPROVED

PLANNING COMMISSION DATE 7/1/92
CDC DATE 7/1/92
CITY COUNCIL DATE

BY [Signature]

CONDITIONS OF APPROVAL REQUIRED

X COMMUNITY DESIGN CENTER
RELOCATED CHANNEL LETTERS AND NEW LOGO

NO CHANGES - SHOWN FOR INFORMATION ONLY