



## Design Review Subcommittee (DRSC)

Meeting Date: March 23, 2022

**PLANNER:** David Carrillo, Assistant Planner

**SUBJECT:** **Cultural Heritage Permit 22-008, Casa Rosa Triplex, 100/130 Avenida Rosa**, a request to consider a new, two-story triplex on vacant property located within the Architectural Overlay District.

### **BACKGROUND:**

#### *Site Data*

The project involves two lots: 100 Avenida Rosa and 130 Avenida Rosa. The lots are in the Residential Medium Zone and Architectural Overlay District (RM-A) and are adjacent to the Mixed Use 3.1 Zone to the north. Surrounding land uses include a tattoo shop, professional offices, and retail to the north, parking lots that serve Orange County Fire Authority Station #60, San Clemente Seniors Center, and commercial uses to the east, single and multi-family residential buildings to the south, and vacant property to the west. A five-foot utility easement runs parallel to the rear lot lines for overhead utilities. Refer to Attachment 1 for a location map, and Attachment 2 for photographs of existing conditions.

An easement agreement is recorded between the property owners of 130 Avenida Rosa (130 Rosa) and 129 Avenida Victoria (129 Victoria) for parking purposes. The easement agreement requires 130 Rosa to provide 129 Victoria with access to rear parking spaces located at 129 Victoria. The agreement does not define concrete easement boundaries. See Image 1 below for an aerial view of the project site and 129 Victoria. The owner and tenant of 129 Victoria have reviewed the conceptual plans and support the project, based on the understanding that the project allows compliance with the easement agreement.

**Image 1 – Aerial View of Project Site and 129 Avenida Victoria**



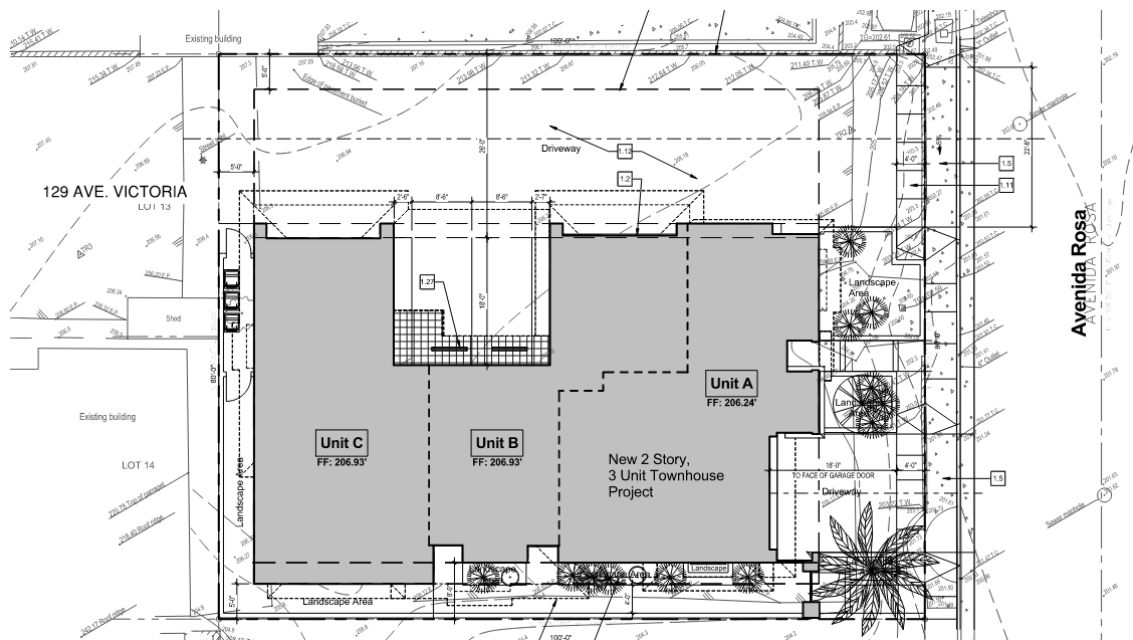
*Why is DRSC Review Required?*

A Cultural Heritage Permit (CHP) is required for new buildings within the Architectural Overlay District. Per Zoning Ordinance Section 17.12.025, Cultural Heritage Permit applications require DRSC review to ensure development in the Architectural Overlay District is compatible and harmonious with the surrounding neighborhood and consistent with the City’s Design Guidelines. The DRSC provides recommendations to the applicant to improve a project’s consistency with policies and guidelines.

*Project Description*

The applicant proposes to construct a new Spanish Colonial Revival two-story residential triplex with attached covered parking spaces and roof decks, over two vacant lots. Concurrently, the applicant is seeking approval of a lot merger application to merge the two subject lots. To maintain compliance with the easement agreement between 129 Victoria and 130 Rosa, the project provides a driveway on the east side of the site for access to rear parking spaces located at 129 Victoria, as shown on Image 2 below. Additionally, the driveway provides access to six project covered parking spaces, which include five resident parking spaces and one guest parking space. A second driveway is proposed on the west side of the site for access to a street-facing, two-car garage. Concrete and decorative tile pavers are proposed on both driveways. In total, the project provides eight parking spaces – seven resident parking spaces and one guest parking space. Landscaping is provided along the front of the site, and on the west and east sides. The plant palette consists of drought-tolerant trees and shrubs, and California native shrubs. Along the east property line, six free standing metal trellises are proposed to support climbing vines. A trash storage area is proposed at the rear of the project for three trash containers, entirely screened from public view.

**Image 2 – Proposed Site Plan**



The triplex is designed in the Spanish Colonial Revival (SCR) architectural style and consists of typical SCR characteristics such as clay tile roof, low pitched roofs, exposed rafter tails, white stucco walls, wrought iron grillwork, vertically-oriented windows, arched chimney caps, and accent decorative Spanish tile. See Image 3 below for a 3D rendering of the project, and refer to Attachment 3 for a complete set of 3D renderings. The applicant proposes brown wood unit entry doors, brown metal clad windows, brown garage doors with wood veneer, and black solid wrought iron. Refer to Attachment 5, for conceptual development plans.

**Image 3 – 3D Rendering of Project (Front Street View)**



**ANALYSIS:**

*Development Standards*

The proposed project is consistent with all applicable development standards, as shown in Table 1 below.

**Table 1- Development Standards for RM-A Zone**

<b><i>Standard</i></b>	<b><i>Zoning Ordinance</i></b>	<b><i>Proposed</i></b>	<b><i>Complies with the Code</i></b>
<b><u>Density</u></b> (Maximum)	4 Units (1 unit/1,800 sq. ft. of lot area)	3 units	Yes
<b><u>Setbacks</u></b> (Minimum)			
Front to Primary Structure	15'	15'	Yes

*(Table continued on next page.)*

<b><i>Standard</i></b>	<b><i>Zoning Ordinance</i></b>	<b><i>Proposed</i></b>	<b><i>Complies with the Code</i></b>
Front to Street-Facing Garage	18'	18'	Yes
Sides	5'	5'	Yes
Side Unit Entry	8'	8'	Yes
Rear	5'	5'	Yes
<u>Lot Coverage</u> (Maximum)	55%	51%	Yes
<u>Building Height</u> (Maximum)	25'	24.95'	Yes
<u>Chimney Height</u> (Maximum)	27' (2 feet above zone's height limit)	Unknown	Unknown
<u>Parking</u> (Minimum)	7 Resident Spaces & 1 Guest Space	7 Resident Spaces & 1 Guest Space	Yes
<u>Landscape</u>	All setback areas visible by from the public street, except for areas occupied by a driveway or entryway	Setback areas visible from the street are landscaped.	Yes

*Architecture*

The project is consistent with the Architectural Overlay District goal to preserve the Spanish Village character in that the applicant is proposing Spanish Colonial Revival architecture and features. The window and door materials are consistent with the City's Window Materials Policy (see Attachment 4). Additionally, the project's scale, mass, and form is generally consistent with the neighborhood consisting of one- and two-story residential buildings with street-facing garages and front yard landscaping. Each elevation provides sufficient articulation through the use of detailed chimney caps, roof overhangs, recessed and projecting wall planes, window and door openings, detailed entrances, decorative wrought iron, and surrounding landscaping. The hip roof style allows for an acceptable amount of roof clay tiles to balance out the white stucco mass throughout the development. Therefore staff determines that the project is consistent with General Plan Policies and Design Guidelines, and meets the goal and vision for new development within the Architectural Overlay District.

A design guideline has been identified below, along with a recommendation on how the project may be modified to improve its consistency with the guideline.

- Henry Lenny Design Guideline: The width of the space between rafters should be no more than three times the width of the rafters.
  - Recommendation: On the front elevation, provide spacing of exposed rafter tails consistent with the formula mentioned above.

*East Driveway and Back-Up Space*

Engineering standards require 30 feet of back-up space per parking space. However, the Engineering Division (Engineering) has allowed a deviation of 26 feet of back-up space between each parking space and the east side property line. Considering the proposed metal trellises along the east property line, Engineering has minor concerns with the trellises and vines potentially disrupting vehicles from backing up. To ensure sufficient back-up space is provided for parking spaces perpendicular to the east property line, Engineering requests that the three trellises located in the rear half of the lot be removed. Planning staff does not have concerns with the removal of the subject trellises given that sufficient detail and landscaping is still provided in areas visible from the street.

*Trash Containers and CR&R Standards*

Per CR&R, three trash containers – trash, recycle, and organic - must be provided per residential unit. The project currently provides three trash containers for the entire development. Staff recommends that the applicant contact CR&R to obtain trash container standards for residential sites, and revise the site plan accordingly to accommodate additional trash containers.

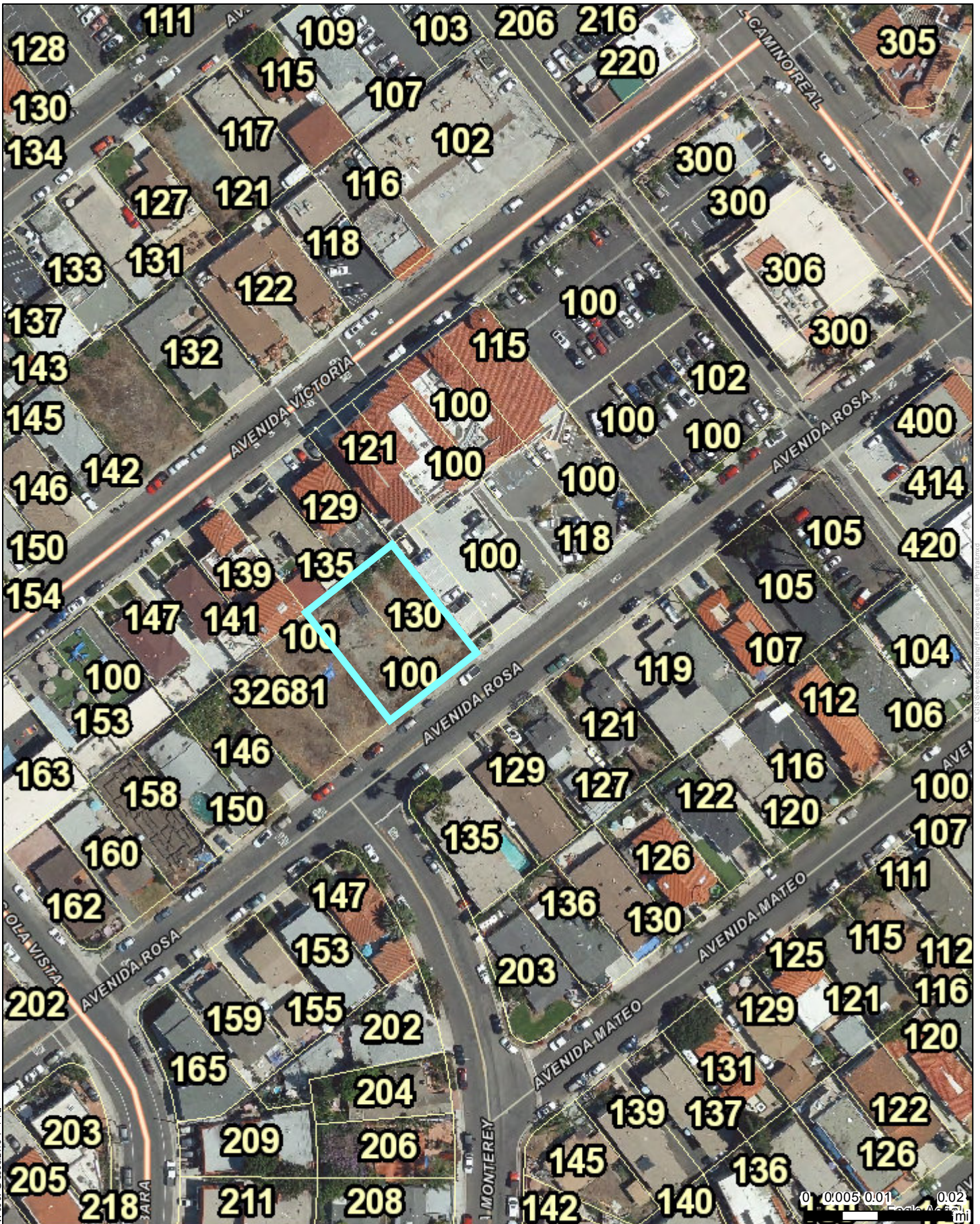
**RECOMMENDATIONS:**

Staff recommends minor changes to improve consistency with Design Guidelines and standards, and provide clarifying information on plans. Below is a list of recommendations:

1. Provide the height of each chimney on elevation and roof plans, and ensure it does not exceed 27 feet.
2. On the front elevation, provide spacing of exposed rafter tails consistent with the formula provided in the Henry Lenny Design Guidelines.
3. Remove the three free standing metal trellises located in the rear half of the lot to provide sufficient back-up space for vehicles.
4. Revise plans accordingly to provide designated areas for three trash containers per unit, consistent with CR&R standards.

***Attachments:***

1. Location Map
2. Photos of Existing conditions
3. 3D Renderings
4. City's Window Materials Policy
5. Conceptual Development Plans



CHP 22-008, CASA ROSA TRIPLEX  
LOCATION MAP

CASA ROSA TRIPLEX  
130 AVENIDA ROSA

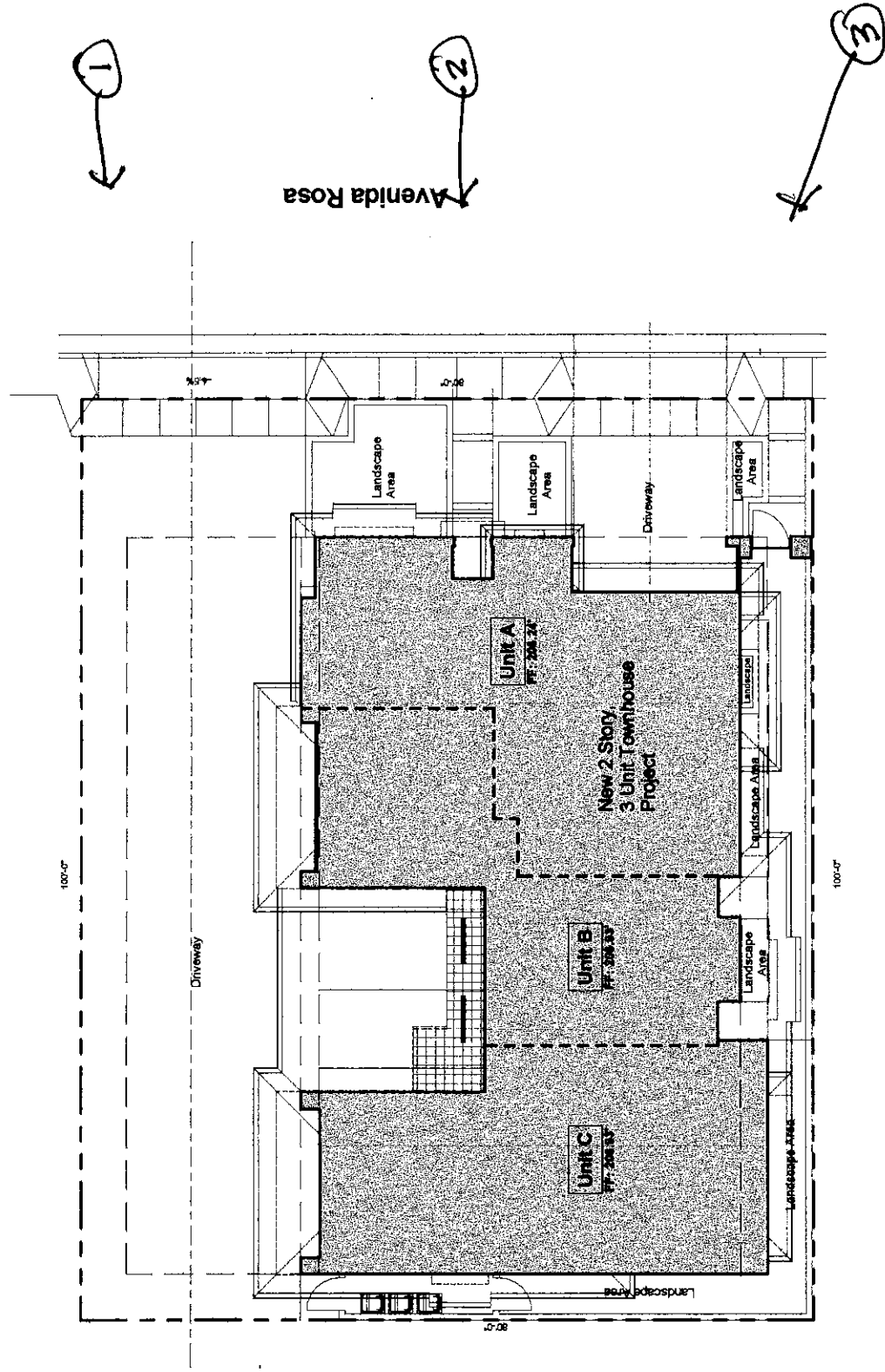


PHOTO KEY MAP



← 129 Avenida Rosa San Clemente, California

①



Google Earth

© 2021 Google



Camera: 62 m

← 135 Avenida Rosa San Clemente, California



Google Earth

© 2021 Google

Camera: 62 m

← 138 Avenida Rosa San Clemente, California

③



Google Earth  
© 2021 Google



Camera: 62 m

Michael  
Luna



&  
Associates

34832  
Calle Del Sol  
Suite A,

Capistrano  
Beach,  
California  
92624

Phone: (949) 493-5200  
Fax: (949) 493-5248

Architect

Project

CUP

Casa Rosa  
Triplex  
Condominiums

130 Avenida Rosa  
San Clemente, CA

Sheet Title

3D Views

Stamp



Project No.	2107
Plot Date	21-1217
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

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12  
Sheet No.





# Memorandum Planning

June 3, 2013

To: Planning Staff  
 From: Jim Pechous, City Planner  
 Subject: Design Guidelines Interpretation - Window Materials in the  
 Architectural and Pedestrian Overlay  
 Copies: Planning Commission

## SUMMARY

To enhance and maintain the sense of historical character within the Architectural (A) and Pedestrian (P) Overlay districts, the following interpretation of the City's Design Guidelines related to acceptable window materials for non-historic properties and additions to historic properties (excluding original historic resource) have been established:

- ∂ WINDOWS IN THE ARCHITECTURAL (A) OVERLAY AND PEDESTRIAN (P) OVERLAY
- Exterior modifications to structures, including windows, located within the overlay are subject to a Minor Cultural Heritage Permit (MCHP); staff waivers may be requested and shall be reviewed as described in Section 17.16.110 of the Municipal Code.
  - The matrix below identifies window types allowed on non-residential and residential properties within the Architectural/Pedestrian Overlay at the discretion of the City Planner; provided they meet design standards outlined below, and are approved in accordance with the staff waiver process described above:

	Non-residential Central Business District	Non-residential Outside Central Business District	Residential Central Business District	Residential Outside Central Business District	Historic Property (original)	Historic Property (Addition)
Wood	Yes	Yes	Yes	Yes	Yes	Yes
Steel (Iron)	Yes	Yes	Yes	Yes	No	Yes
Fiberglass (factory finish)	Yes	Yes	Yes	Yes	No	Yes
Aluminum (factory finish)	Yes	Yes	Yes	Yes	No	Yes
Vinyl Ground Floor	No	No	No	Yes	No	No
2nd Story/Non- Visible	No	No	Yes	Yes	No	No

∂ DESIGN STANDARDS

- Window design shall be traditional in style.
- Windows shall mimic the appearance of true divided lite windows.
- The window surround, or flange, shall be constructed as part of the frame, not a plant on detail.
- Factory color finishes are acceptable.

The interpretation was established in a Planning Commission Study Session on March 20, 2013. Past interpretations were made during Planning Commission Study Sessions of August 16, 2006; September 6, 2006; October 4, 2006; May 18, 2011; and November 2, 2011.

# Minimum Construction Standards

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM, NO CONSTRUCTION ON SUNDAYS AND RECOGNIZED HOLIDAYS, (CHAPTER 8.48, SCMC)

APPROVED PLANS SHALL BE AVAILABLE AT THE JOBSITE DURING INSPECTIONS,(CHAPTER 15.08, SCMC)

SANITARY FACILITY FOR CONSTRUCTION SITE MUST BE PROVIDED, (CHAPTER 15.04,SCMC)

FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMODELING, ADDITION OR TENANT IMPROVEMENT PROJECT, (CHAPTER 15.08,SCMC)

**SPECIAL REQUIREMENT FOR INSPECTION:** FOR MULTI-RESIDENTIAL AND COMMERCIAL BUILDINGS WITH 2 STORIES OR MORE, PLANNING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL DUE TO SPECIAL AND UNUSUAL TOPOGRAPHICAL CONDITIONS AT THE SITE, A SURVEYOR'S CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOOR'S SLAB OR FINISH FLOOR SHALL BE REQUIRED.(SCBD POLICY)

RETAINING WALLS, WHICH ARE NOT PART OF THE STRUCTURE INCLUDING MASONRY GARDEN WALLS, WILL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE, (CHAPTER 12-08,SCMC)

CURBS, GUTTERS AND SIDEWALKS ARE **REQUIRED**, (CHAPTER 12-08,SCMC)

ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAINPIPES TO THE STREET OR OTHER APPROVED LOCATION OR AN APPROVED NON-ERODIBLE SURFACE DRAIN. WATER SHALL NOT DRAIN OVER PUBLIC SIDEWALK. (CHAPTER 15-20,SCMC)

NO FERROUS WATER PIPING IS ALLOWED UNDERGROUND. COPPER WATER PIPING UNDER SLAB SHALL BE TYPE "K" PLACED IN SAND BED & PROTECTED WITH PLASTIC SLEEVE WHEN PENETRATING SLAB, (CHAPT 15.08,020,20,SCMC)

3/4" HOSE BIB REQUIRED IN FRONT AND BACK OF BUILDING, (CHAPTER 15-20,SCMC)

A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE JUNCTION BOX, ONE PAIR OF NO.19 CONTROL WIRES SHALL BE INSTALLED FOR USE BY THE WATER DIVISION, (SCWD)

APPROVED BACK FLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NONRESIDENTIAL BUILDINGS OR ANY OTHER FACILITY AS REQUIRED BY CHAPTER 13-04, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949)366-1553.

NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL,(CHAPT 15-12,SCMC)

LOW FLUSH FIXTURES(1.6 GAL TOILETS, 1 GAL URINALS, & 2.5 GAL SHOWER HEADS) ARE REQUIRED,(STATE LAW)

TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT ENCRUCH ONTO PUBLIC SIDEWALKS AND STREETS, (CHAPTER 12.20, SCMC)

ADDRESS NUMBERS IN CONTRASTING COLOR TO THE STRUCTURE FOR RESIDENTIAL A MIN OF 4" HIGH; FOR NON RESIDENTIAL, A MIN OF 8" HIGH TO BE PLACED ON THE FRONT OF THE BUILDINGS. EACH UNIT SHALL BE IDENTIFIED WITH AN ALPHABETICAL LETTER AND THE RELATED GARAGE MUST BE SIMILARLY MARKED,(SECTION 10,208-JFB & CHAPTER 8-16, SCMC)

SUB DIVIDER SHALL NOT PAVE ANY STREET UNDER WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT ACTUAL NOTICE TO COX COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT, NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MGR, COX COMMUNICATIONS; 29947 AVE DE LA BANDERAS, RANCHO SANTA MARGARITA,92688 (949) 546-2000.

ELECTRIC AND GAS METERS WILL NOT BE SET UNTIL ALL PHASES OF WORK ARE COMPLETED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED,(SCBD POLICY)

NOTE-SCMC: SAN CLEMENTE MUNICIPAL CODE; SCBD SAN CLEMENTE BLDG DIV; SCWD: SAN CLEMENTE WATER DIVISION (REV 12-6-07)



# ATTACHMENT 5

# CASA ROSA TRIPLEX CONDOMINIUMS

130 Avenida Rosa  
San Clemente, CA

Michael Luna



& Associates

34932  
Calle Del Sol  
Suite A,

Capistrano  
Beach,  
California  
92624

Phone: (949) 493-5200  
Fax: (949) 493-0248

Architect

Project

CUP

Casa Rosa Triplex Condominiums

130 Avenida Rosa  
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Sheet Title

Project Title Sheet

Stamp



Project No. 2107  
Plot Date 21-1217  
B.D. Submittal  
Bid Issue  
Const. Issue  
Revision  
Revision  
Revision  
Revision

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## SPECIAL INSPECTION

City of San Clemente  
Phone: (949) 361-6100 Fax: (949) 361-8281  
Building@San-Clemente.org

**SPECIAL INSPECTION FORM**  
**PERMIT NO: \_\_\_\_\_**

Project Address 136 Avenida Victoria Plan Review Project No B18-0364

Property Owner: Craig Anderson - CHA Construction Architect: Michael Luna & Associates

Engineer: Simply Strong Engineering Plans Examiner: Seeed Amirazi

Prior to issuance of building permit, the owner, or the architect or engineer of record acting on the behalf of the owner, shall appoint an approved special inspector registered by the City of San Clemente and shall sign and submit this form to the Building Division. Selection of the special inspector/agency cannot be changed once the building permit is issued, except with the specific permission of the Building Official.

Special Inspector: Phone No: \_\_\_\_\_

Inspection Agency (Firm): Phone No: \_\_\_\_\_

Phone No: \_\_\_\_\_

Owner / Architect or Engineer (Signature)

The above signed hereby certifies that the special inspector identified above has been engaged to perform the special inspections outlined below as required by Chapter 17 of the California Building Code:

### GEOTECHNICAL / SOILS

- Prior to foundation inspection submit a field memo stamped and signed by licensed geotechnical engineer to certify foundation excavations are located in proper soils bearing material and to confirm required soils bearing capacity.
- Soil Bearing Confirmation 2,000 psf

### FOUNDATION CONCRETE

- f'c = 4,500 psi concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates
- Type V cement required exposed to sulfates
- Special Inspection and concrete lab testing IS REQUIRED
- Special Inspection NOT required. Submit concrete batch mix trip ticket to building inspector.

### PILE INSTALLATION

- Drilled Cast-in Place Caissons / Piles
- Foundation Underpinning Installation
- Precast Concrete Piles
- Steel Piles

### REINFORCED CONCRETE

- High Strength Concrete (>2,500 psi) f'c= 4,500 psi
- Cast-in Place Concrete
- Grade Beams
- Cast-in Place Caissons / Piles
- Reinforcing Placement
- Concrete Frames
- Post-Tensioned (tendon placing / stressing and concrete placement)
- Shotcrete / Gunite

### STRUCTURAL STEEL

- Field Welding
- Steel Erection
- High Strength Bolting
- Spray Applied Fire Proofing

### STRUCTURAL MASONRY

- Retaining Walls
- Walls & Pilasters

### MISCELLANEOUS

- STRUCTURAL OBSERVATION IS REQUIRED** (See attached structural observation form)
- Epoxy Anchors / Bolts
- Shear Wall / Diaphragm Nailing WHERE NAILS 4" OR LESS
- Other SIMPSON STRONG WALL
- Other

Building Division, 910 Calle Negocio, Suite 100 San Clemente CA 92673

## PROJECT DIRECTORY

### Owner:

CAMINO VALENCIA, LLC  
16715 YVETTE WAY  
CERRITOS, CA 90703  
562.537.4087  
email: caminovaencia20@gmail.com

### Legal Description:

TRACT: 779  
LOT: 29 & 30  
BLOCK: 8  
APN: 058-091-14; 058-091-43

### Job Address:

100 / 130 AVENIDA ROSA  
SAN CLEMENTE, CA 92672

### Architect:

MICHAEL LUNA & ASSOCIATES, INC.  
MICHAEL LUNA, ARCHITECT  
34932 CALLE DEL SOL, SUITE A  
CAPO BEACH, CA 92624  
TEL: (949) 493-5200 FAX: (949) 493-5248  
email: michael@lunaarch.com

### Civil:

MILANI CO  
BABAK S. MILANI  
84 VIA ATHENA  
ALISO VIEJO, CA 92656  
TEL: (714) 655-3463  
email: bmilani@milanico.com

### Landscape:

MICHAEL BUNGANICH  
LANDSCAPE ARCHITECT  
112 EAST SAN JUAN  
SAN CLEMENTE, CA 92672  
TEL/FAX: (949) 498-4548  
CELL: (949) 637-7799  
email: mjblandarc@cox.net

## NOTE:

## SHEET INDEX

00 General	T.0 Project Title Sheet
	CD.1 Code Data
01 Civil (For Reference Only)	3 Precise Grading Plan
02 Architectural	A1.0 Site Plan
	A2.1 First Floor Plan
	A2.2 Second Floor Plan
	A2.3 Roof / Roof Deck Plan
	A3.0 Exterior Elevations
	A3.1 Exterior Elevations
	A3.2 3D Views
	A4.0 Building Sections
	A4.1 Building Sections
AD.1 Architectural Details	
07 Landscape	L-1 Landscape Plan

## PROJECT SUMMARY TABLES

### Zoning Standards

Description	Allowed	Proposed	Conforms
	RM	RM	
Lot Area	8,000 SF	8,000 SF	Yes
Lot Width	80'	80'	Yes
Lot Depth	100'	100'	Yes
Max. Building Height	25'	-	Yes
Setbacks (Minimum)			
Front Setback to Primary Structure	15'-0"	15'-0"	Yes
Left Sideyard Setback	5' / 8'	5' / 8'	Yes
Right Sideyard	5'-0"	24'-0"	Yes
Rear	5'-0"	5'-0"	Yes
Lot Coverage	55% MAX	50.6% (4,731 SF)	Yes

### Project Data

Area	Unit A	Unit B	Unit C
Living Area			
First Floor Living Area	780 SF	491 SF	751 SF
Second Floor Living Area	1459 SF	1034 SF	1214 SF
Totals	2239 SF	1525 SF	1965 SF
Balcony / Deck	81 SF	0 SF	53 SF
Roof Deck	391 SF	341 SF	271 SF
Total Project Living Area	5729 SF		
Total Project Balcony / Deck	134 SF		
Total Project Roof Deck	1003 SF		
Coverd Parking Area	444 SF		
Garage	438 SF	398 SF	385 SF

### NOTES:

- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13
- 3/4" HOSE BIB SHALL BE PROVIDED AT FRONT AND REAR OF THE BUILDING.
- REVIEW AND APPROVAL FROM UTILITY COMPANIES WILL BE REQUIRED PRIOR TO ISSUANCE OF PERMITS FOR CONSTRUCTION.

### Parking

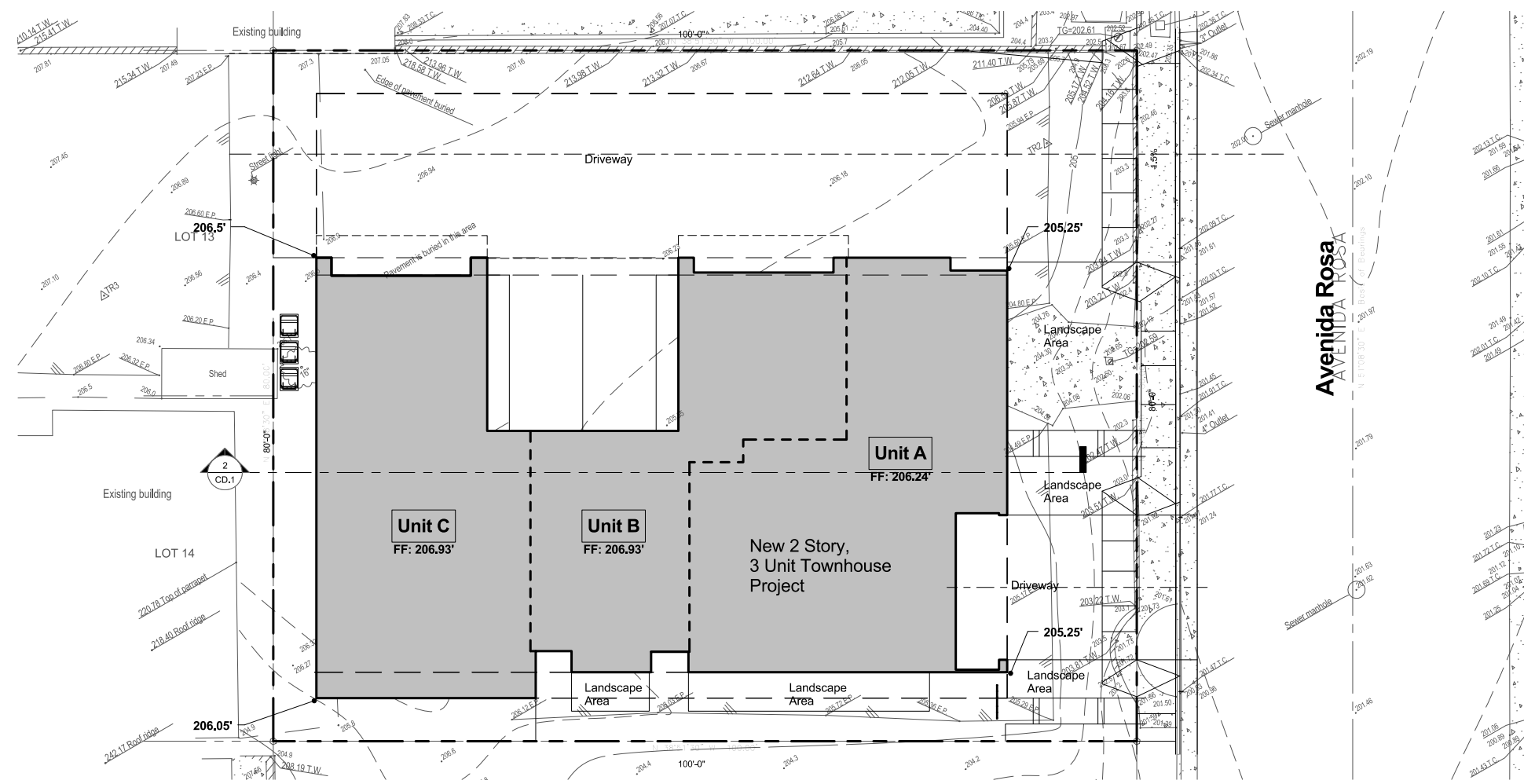
2 units x 2.5	= 5 Spaces
1 unit x 2.0	= 2 Spaces
Guest Parking 3 x .333 spaces = 1 Space	
Total Spaces Required:	8 Spaces
Total Spaces Provided:	8 Spaces

### Scope of Work

CONSTRUCTION OF A NEW TWO STORY TRIPLEX WITH ATTACHED COVERED PARKING AND ROOF DECKS

## Vicinity Map





OCCUPANCY:	R-2
CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA 13)
NO. OF BUILDINGS:	ONE PER CBC 503.1.2
ALLOWABLE NO. OF STORIES:	3 (ABOVE GRADE PLANE)
(PER TABLE 504.4)	
MAX. ALLOWABLE BLDG. HT.:	40 FT. (ABOVE GRADE PLANE)
(PER TABLE 504.3)	
ALLOWABLE AREA (PER TABLE 506.2):	R-2 7000 SF
1ST FLOOR:	2022 SF / 7000 SF = 0.29 < 1.0
2ND FLOOR:	4458 SF / 7000 SF = 0.64 < 1.0
EACH STORY COMPLIES	
$0.29 + 0.64 = 0.93 < 2.0$	
ENTIRE BUILDING COMPLIES	

**AVERAGE GRADE ELEVATION AT EACH EXTERIOR WALL:**

**BLDG. PORTION 1**

NORTHEAST:  $(206.50' + 205.25') / 2 = 411.75' / 2 = 205.87'$

SOUTHEAST:  $(205.25' + 205.25') / 2 = 410.50' / 2 = 205.25'$

SOUTHWEST:  $(205.25' + 206.05') / 2 = 411.30' / 2 = 205.65'$

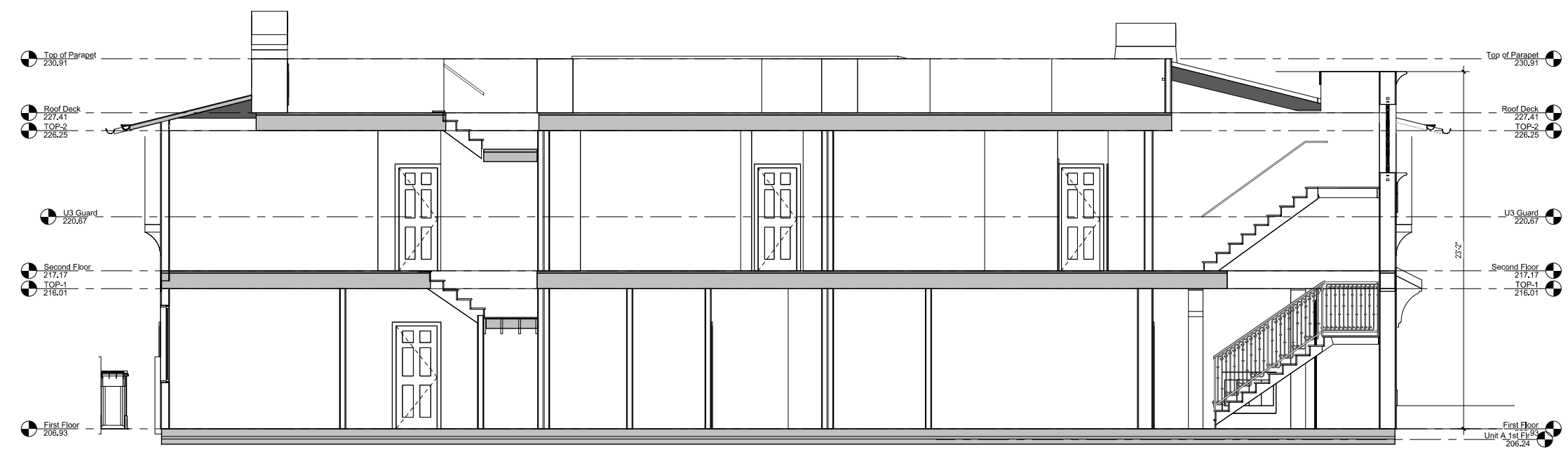
NORTHWEST:  $(206.05' + 206.50') / 2 = 412.55' / 2 = 206.28'$

GRADE PLANE ELEVATION:  $823.05' / 4 = 205.76'$

Site Plan - Grade Plan Calculation

SCALE: 1/8" = 1'-0" 1

Code Analysis



Bldg. Section: Grade Plan Calculation; Bldg. Ht.; No. of Stories

SCALE: 1/8" = 1'-0" 2

Michael Luna & Associates

34922  
Cala Del Sol  
Suite A  
  
Capistrano  
Beach,  
California  
92624  
  
Phone (949) 493-5200  
Fax (949) 493-4248

Architect  
Project  
CUP

Casa Rosa  
Triplex  
Condominiums

130 Avenida Rosa  
San Clemente, CA

Sheet Title

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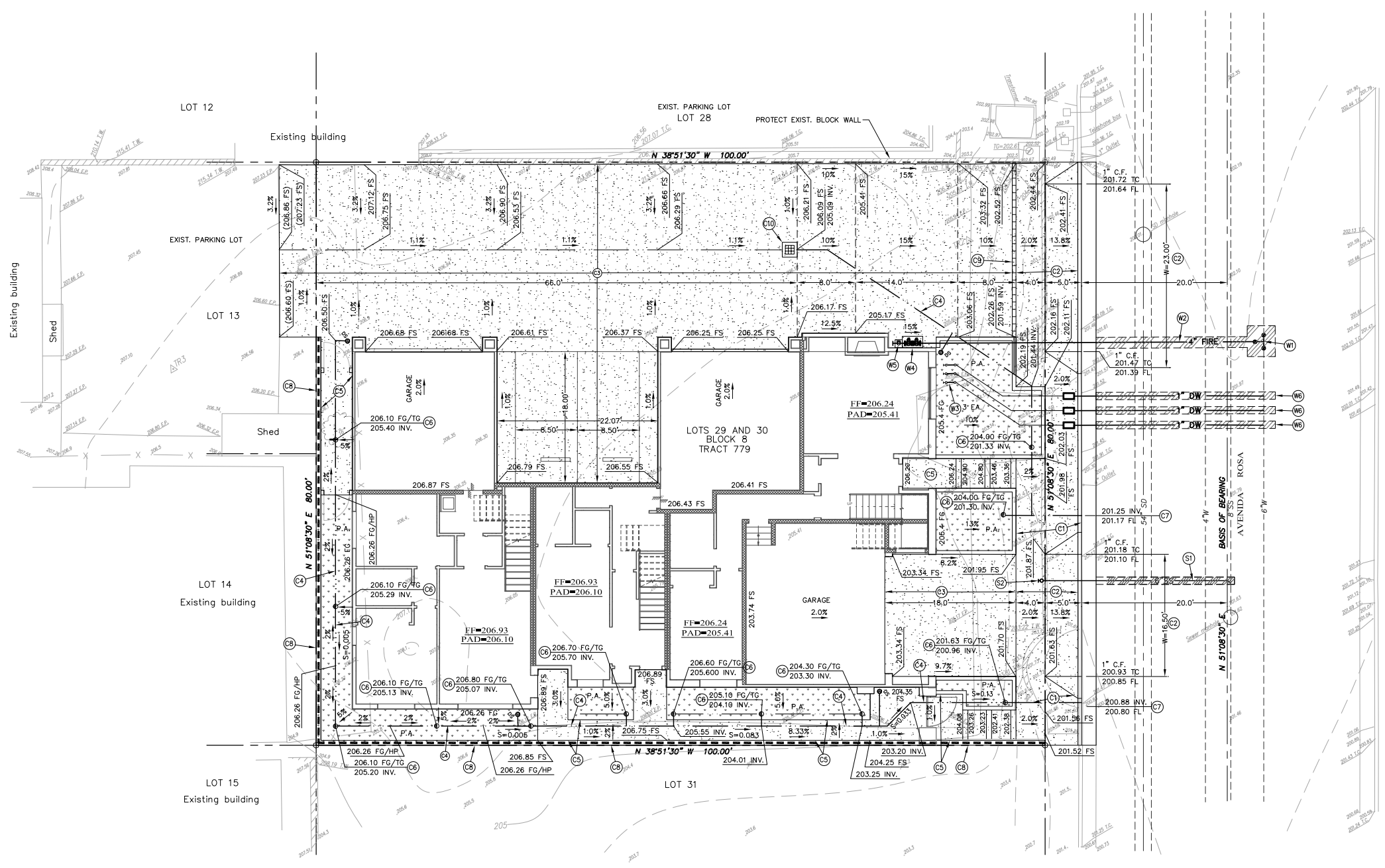
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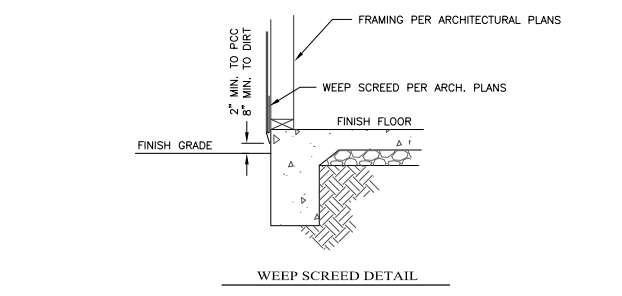
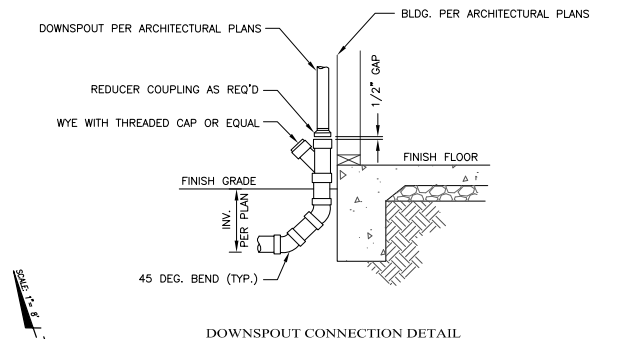
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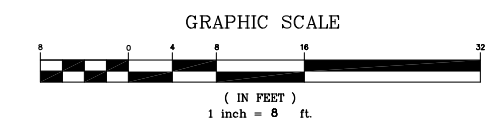


- CONSTRUCTION NOTES**
- (C1) CONSTRUCT SIDEWALK PER CITY OF SAN CLEMENTE STD. NO. ST-5. SIDEWALK SHALL BE 6" THICK WHERE DRIVEWAY OCCURS.
  - (C2) CONSTRUCT RESIDENTIAL DRIVEWAY (X=3") PER CITY OF SAN CLEMENTE STD. NO. ST-9. WIDTH PER PLAN.
  - (C3) CONSTRUCT 6" P.C.C. PAVEMENT WITH #4 REBAR @ 16" O.C. EACH WAY. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH (SCORING, TEXTURE, COLOR, TILE).
  - (C4) CONSTRUCT 6" PVC (SCH. 40) DRAINAGE PIPE.
  - (C5) CONSTRUCT 4" PCC LANDSCAPE WALKWAY.
  - (C6) CONSTRUCT 6" DRAIN INLET PER DETAIL ON SHEET 1.
  - (C7) CONSTRUCT CURB DRAIN PER CITY OF SAN CLEMENTE STD. NO. ST-7. USE 2-4" SCHEDULE 80 PVC PIPES FROM INLET TO CURB.
  - (C8) CONSTRUCT SITE WALL PER SEPARATE PERMIT. SEE SHEET X FOR PROFILE.
  - (C9) INSTALL NDS PRO SERIES TRAFFIC RATED TRENCH DRAIN PER DETAIL ON SHEET X.
  - (C10) CONSTRUCT 12"x12" CAST-IN-PLACE PCC CATCH BASIN PER DETAIL ON SHEET X.

- WATER AND SEWER NOTES**
- (W1) CUT INTO EXISTING 6" A.C.P. WATER LINE AND INSTALL 6"x4" D.I. TEE, SERVICES AND VALVES PER DETAIL ON SHEET X.
  - (W2) INSTALL 4" C900 PVC DR 14 WATER LINE PER CITY OF SAN CLEMENTE REQUIREMENTS.
  - (W3) INSTALL FEBCO MODEL 825YA REDUCED PRESSURE BACKFLOW ASSEMBLY PER DETAIL W3 ON SHEET X.
  - (W4) INSTALL FEBCO MODEL 876V DOUBLE CHECK DETECTOR ASSEMBLY PER DETAIL W4 ON SHEET X.
  - (W5) INSTALL 4"x2 1/2" 2-WAY FIRE DEPARTMENT CONNECTION PER DETAIL ON SHEET X.
  - (W6) INSTALL 1" METER SERVICE ASSEMBLY PER CITY OF SAN CLEMENTE STD. NO. W-1.
  - (S1) INSTALL 6" SEWER LATERAL PER CITY OF SAN CLEMENTE STD. NO. S-6.
  - (S2) INSTALL 6" SEWER CLEAN OUT PER CITY OF SAN CLEMENTE STD. NO. S-9.



NOTE: ALL DOWNSPOUTS AS SHOWN ON THE PLANS SHALL BE CONNECTED DIRECTLY TO THE AREA DRAIN SYSTEM PER DETAIL HEREON.



**DIGALERT**  
 DIAL TOLL FREE  
 1-800-227-2600  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

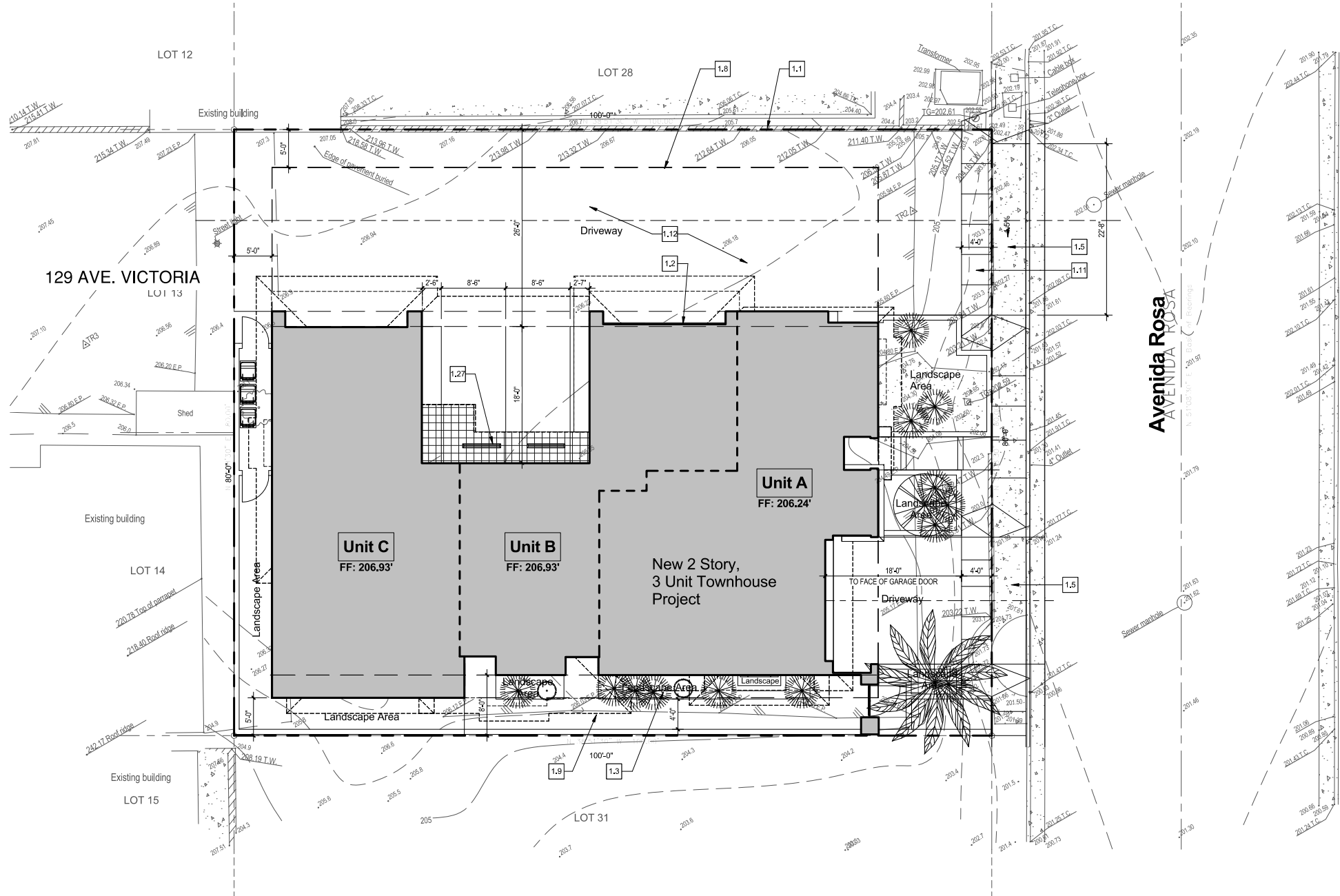
REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

PLANS PREPARED BY:  
**MILANI.CO**  
 CONSULTING ENGINEERS  
 25872 WHITE ALDER LANE  
 LAGUNA HILLS, CA. 92653  
 714-655-3463 PH.



SCALE:	DESIGNED:	DRAWN:	CHECKED:
AS NOTED	BM	BM	BM
ACAD FILE NO.			
PROJECT NO.			
	BABAK S. MILANI ENGINEER OF WORK		

**CITY OF SAN CLEMENTE**  
**PRELIMINARY GRADING PLAN**  
 CASA ROSA DUPLEX  
 XXX AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
 LOT NO. 29 AND 30, BLOCK 8, TRACT 779 (APN 058-091-15)



1.1	PROPERTY LINE, TYPICAL
1.2	BUILDING FOOTPRINT
1.3	NEW LANDSCAPING
1.5	NEW DRIVEWAY APRON
1.8	BUILDING SETBACK LINE
1.9	NEW HARDSCAPE, REFER TO LANDSCAPE PLAN
1.11	PROVIDE ADA COMPLIANT SIDEWALK (4' WIDE MIN., 2% MAX CROSS SLOPE) UP AND AROUND NEW DRIVEWAY APPROACH
1.12	NEW CONC. DRIVEWAY - SEE CIVIL PLANS
1.27	CONC. WHEEL STOP

**Keynotes**

- ALL CONTOURS SHOWN INDICATE EXISTING GRADES.
- HOUSE ADDRESS IS TO BE LOCATED SO THAT THE NUMBER IS VISIBLE AND LEGIBLE FROM THE STREET.
- FINISH FLOOR ELEVATIONS ARE FOR BUILDING DEPARTMENT REFERENCE ONLY. REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS.
- FOOTING AT TREE LOCATIONS MUST BE BOARD FORMED TO ELIMINATE BOIL OVER AND ALL EXTRANEIOUS CONCRETE MUST BE REMOVED FROM THE SITE.
- THESE PLANS AND THE OWNER SHALL COMPLY WITH ALL ORANGE COUNTY FIRE AUTHORITY COMMUNITY SAFETY AND EDUCATIO BUREAU GUIDELINES FOR FUEL MODIFICATION PLANS AND MAINTENANCE.
- REFER TO THE LANDSCAPE DRAWING FOR ALL GATES, GUARDRAILS, AND HANDRAILS.
- ALL DOWNSPOUT (D.S.) LOCATIONS TO BE VERIFIED WITH EXTERIOR ELEVATIONS. ELEVATIONS TAKE PRECEDENT.
- ALL ROOF AND DECK DRAINS SHALL CONNECT TO UNDERGROUND STORM DRAIN SYSTEM.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE CONTROLLED THAT ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER CONDITIONS.
- FINISHED GRADE AROUND NEW STRUCTURE SHALL BE SLOPED WAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN THE EASEMENTS.

SIGNATURE OF OWNER OR AUTHORIZED AGENT

- BUILDING FOOTPRINT
- PROPERTY LINE
- BUILDING SETBACK LINE



Michael Luna  
&  
Associates

34922  
Civil Engr  
Suite A  
  
Capistrano  
Beach,  
California  
92624  
  
Phone: (949) 493-5200  
Fax: (949) 493-4248

Architect  
Project  
CUP

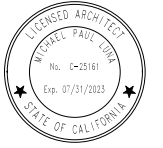
Casa Rosa  
Triplex  
Condominiums

130 Avenida Rosa  
San Clemente, CA

Sheet Title

Site Plan

Stamp

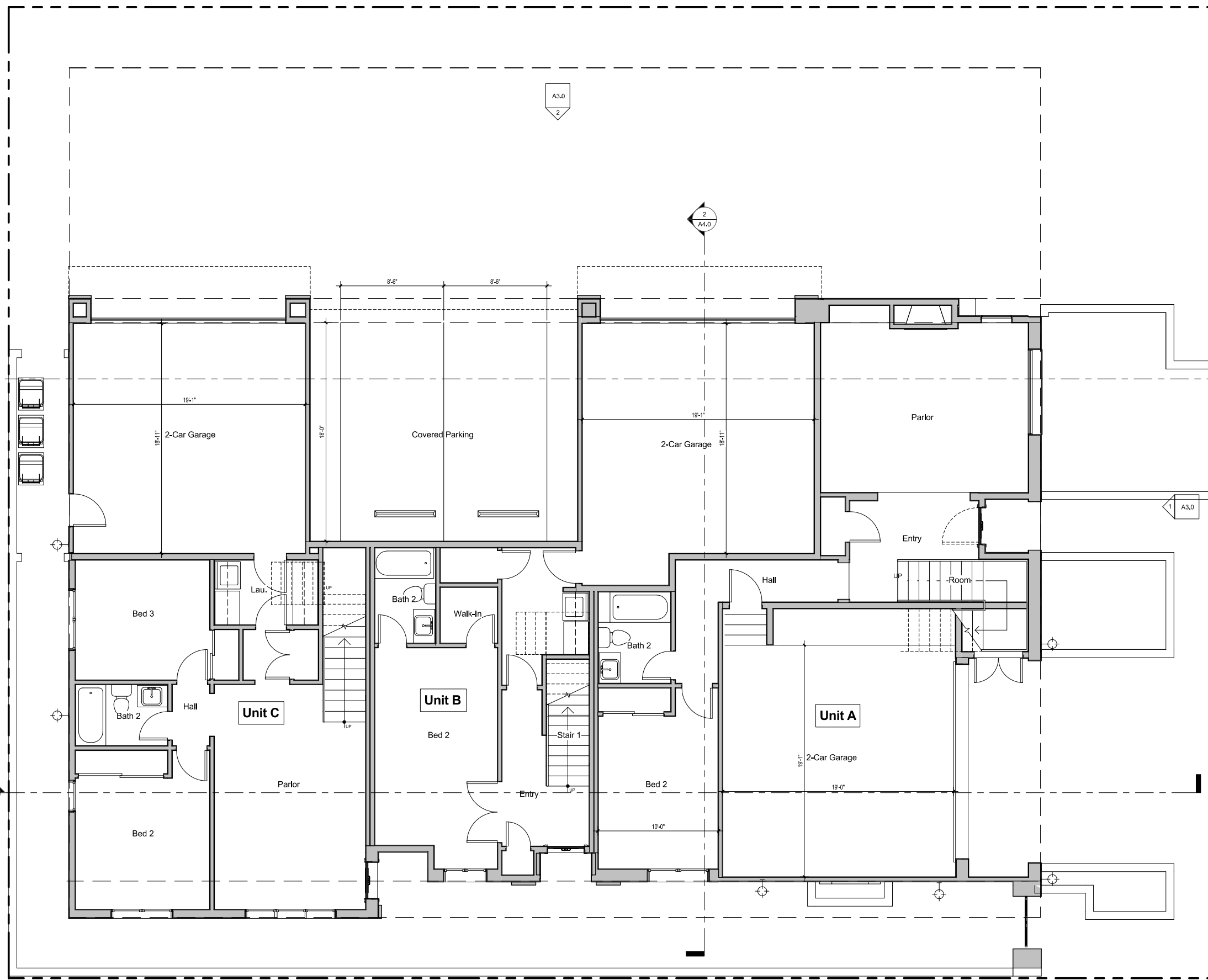


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**A1.0**  
18  
Sheet No.

Site Plan

Legend & Notes



UNIT A: 780 SF  
UNIT B: 491 SF  
UNIT C: 751 SF

Keynotes

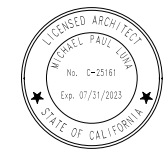
- NEW 2 x 6 WALL TO BE CONSTRUCTED
- NEW WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED



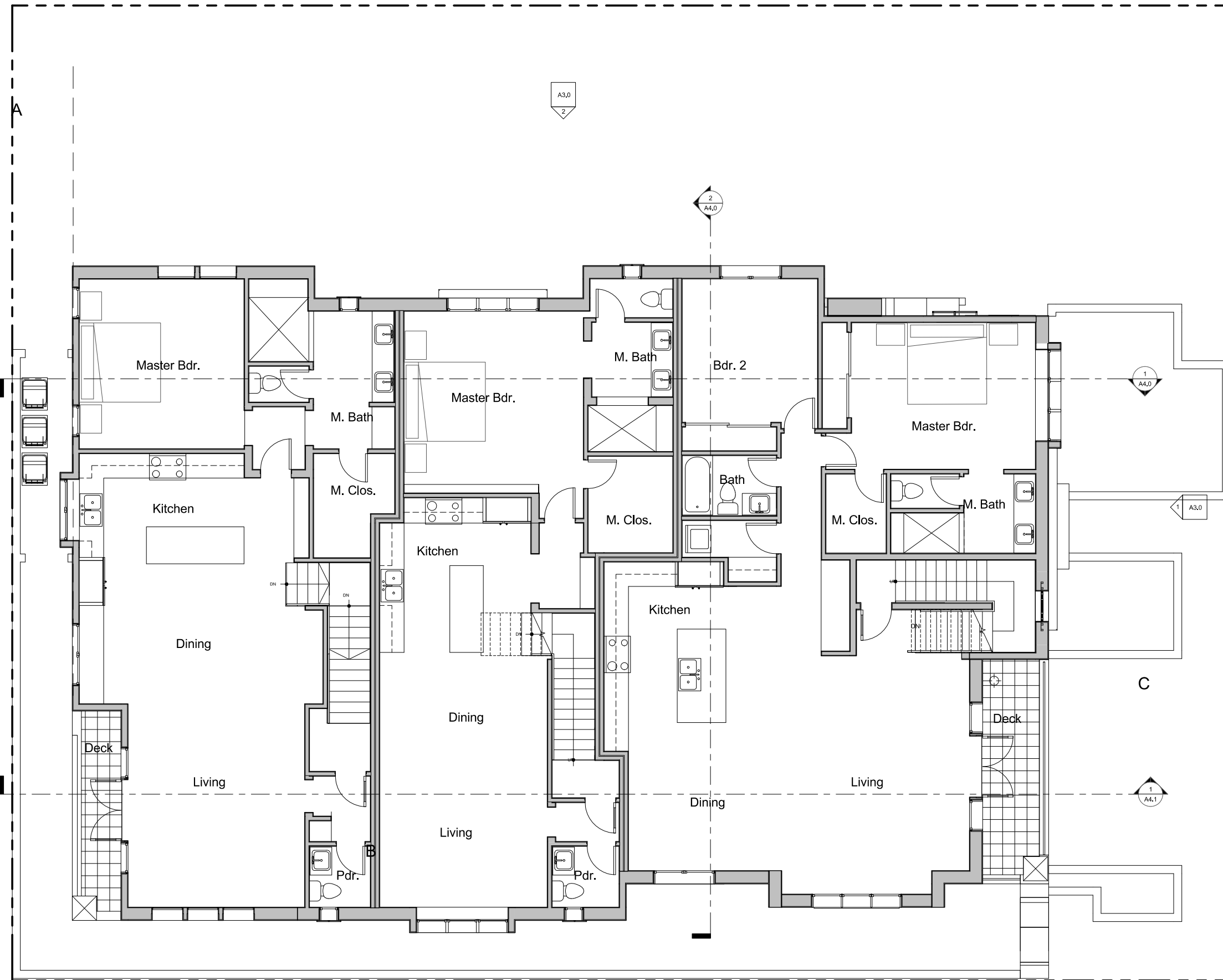
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Legend & Notes

First Floor Plan



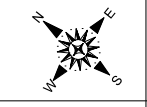
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UNIT A: 780 SF  
UNIT B: 491 SF  
UNIT C: 751 SF

Keynotes

- NEW 2 x 6 WALL TO BE CONSTRUCTED
- NEW WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED



SCALE: 1/4" = 1'-0"

Legend & Notes

Second Floor Plan

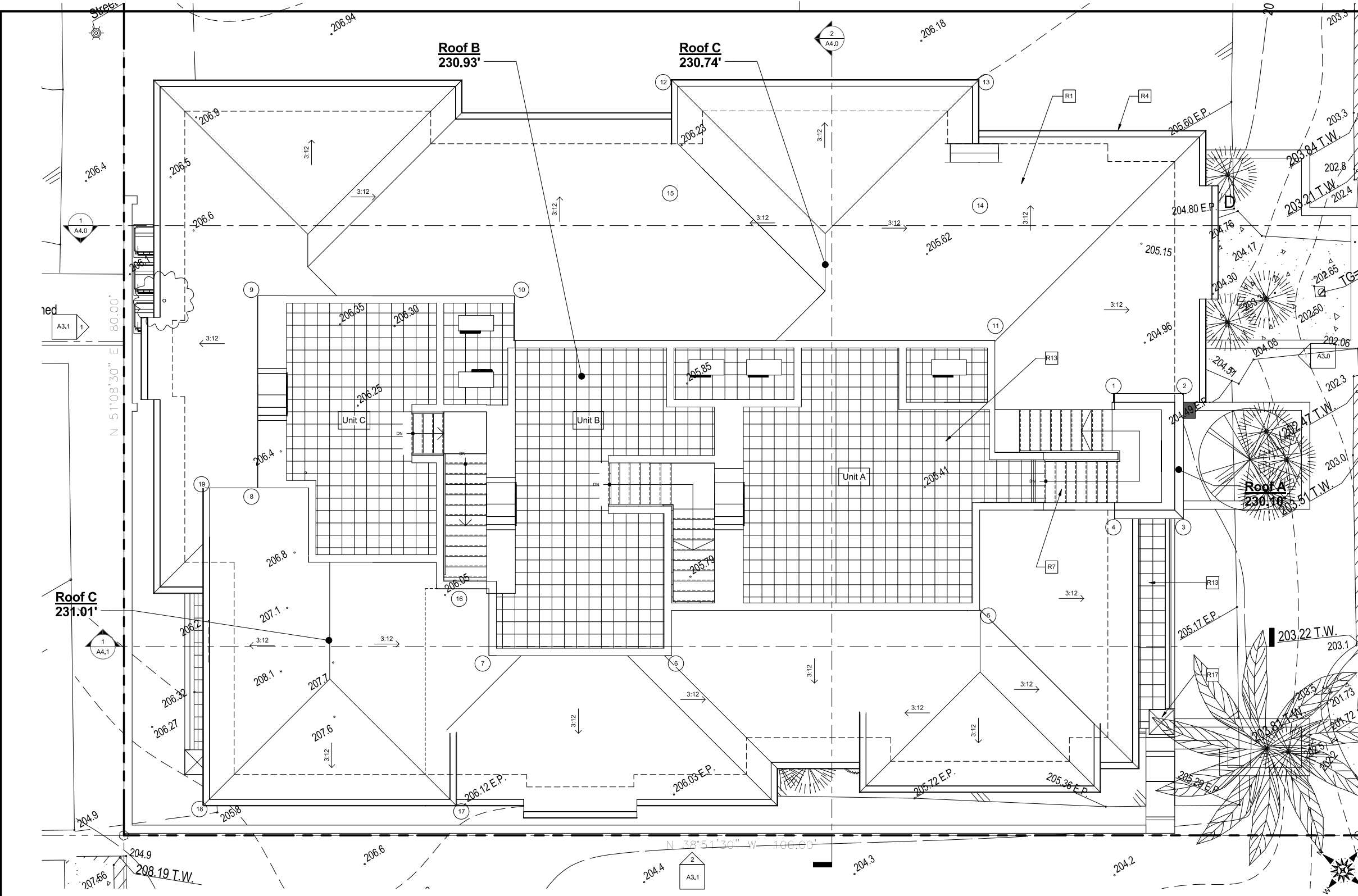


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Revision	△
Revision	△
Revision	△

R1	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42; THERMAL EMITTANCE OF 0.85, CRRC ID# 0842-0129) SHALL BE USED W/ BOOSTER TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE. AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
R4	6" HALF-ROUND COPPER COLORED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6' O.C.)
R7	STAIRS BELOW W/ TERRA-COTTA PAVERS
R13	18" SQ. TERRA COTTA TILE PAVERS MUDSET of "DEX-O-TEX" WEATHERWEAR WATERPROOF DECK SYSTEM (ESR-1757) - SLOPE TO DRAIN, SCUPPER, OR AWAY FROM BUILDING @ MIN. 1/4" PER FOOT
R17	STUCCO PLASTER CAP- PAINT TO MATCH BUILDING

Keynotes

- ALL RIDGES, HIPS AND VALLEYS SHALL BE FLASHED W/ 26 GA G.I. FLASHING (CONTINUOUS) UNDERNEATH TILE AND SHALL NOT BE VISIBLE. FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAID ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER, 2 LAYERS 15# FELT PAPER SHALL LAY IN CONTINUOUS STRIPS, OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURERS ("REDLANDS CLAY TILE") RECOMMENDATIONS, WHERE FLASHING MUST BE EXPOSED, FLASHING SHALL BE 26 GA CORROSION-RESISTANT METAL W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT, TYP.
- RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
- ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 85 MPH.
- ALL ROOF FITCHES ARE 3.5:12 (UNO)
- ALL CONTOURS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES.
- USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN TILE A MINIMUM OF 2 1/2" TO HELP DIMINISH ITS APPEARANCE.
- ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PROCLUDE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR.
- ROOF TILE IS TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL.
- PROVIDE ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
- PROTECTION OF OPENINGS INTO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" NOR MORE THAN 1/2" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPARK ARRESTORS OF A MAXIMUM OF 12" SQUARE SCREEN PAINT "1C" FOREST BLACK TO CONCEAL ARRESTOR.
- ALL PORTABLE EQUIPMENT SHALL NOT EXCEED 42" IN HEIGHT EXCEPTING SHADE STRUCTURES.
- NO PART OF THIS BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.



Roof Plan

SCALE: 1/4" = 1'-0"

PROPOSED F.F. = 206.93	MAX ROOF HGT: 25'-0"							
	1	2	3	4	12	13	14	15
<b>A</b> PARAP. ELEV.	230.10	230.10	230.10	230.10	230.74	230.74	230.74	230.74
EX. GRADE	205.00	205.15	205.30	205.80	206.45	205.98	205.62	206.20
	25.10	24.95	24.80	24.30	24.29	24.76	25.12	24.54
	99.15 / 4 = 24.79'				98.71 / 4 = 24.68'			
<b>B</b> ROOF ELEV.	230.93	230.93	230.93	230.93	231.01	231.01	231.01	231.01
EX. GRADE	205.30	205.80	206.30	206.85	206.45	205.98	205.62	206.20
	24.63	24.63	24.08	24.43	24.56	25.03	25.39	24.81
	174.52 / 7 = 24.93'				99.79 / 4 = 24.95'			
	9	10	11					
	230.93	230.93	230.93					
	206.45	206.24	205.40					
	24.48	24.69	25.53					

Height Analysis

- NOTES:
- CLAY ROOF TILE SHALL COMPLY WITH ASTM C1157 AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND TO RESIST WIND LOAD OF NOT LESS THAN 85 M.P.H. PER C.R.C
  - PROVIDE UNDERLAYMENT PER CRC 905.1.1 AND INSTALL 2 LAYERS OF 30# FELTS ALTERNATE SEAMS PER CRC
  - MAXIMUM ROOF TILE WEIGHT - 11 PSF
  - CLASS A FIRE RATING
  - FOR FLAT ROOFS (ROOF DECKS) AND SLOPED ROOFS WHERE CEILING IS ATTACHED DIRECTLY TO THE BOTTOM OF JOISTS (CATHEDRAL CEILINGS) - PROVIDE FULL-DEPTH INSULATION AT ROOF JOISTS.

Roof Notes



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Front (South) Elevation

1/4" = 1'-0"

1

E1	7/8" EXTERIOR PLASTER OF APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL. SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6" INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E3	DECORATIVE, SOLID WROUGHT IRON GUARDRAIL, +42" ABOVE FINISH FLOOR
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS, COLOR: WEATHERED BROWN DEC756
E5	METAL CLAD FRENCH DOORS PER PLAN, COLOR: WEATHERED BROWN DEC756
E6	6" HALF-ROUND PAINTED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6" O.C.)
E7	CHIMNEY CAP w/ STUCCO FINISH
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	SHAPED FOAM w/ STUCCO FINISH
E22	4x8 RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
E36	CUSTOM WOOD DOOR PER PLAN
E41	6x6 CATALINA TILE
E47	WROUGHT IRON GATE - PAINTED BLACK
E49	SECTIONAL GARAGE DOOR w/ WOOD VENEER - COLOR: WEATHERED BROWN DEC756

Keynotes

- ⊙ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
  - ▲ INDICATES TEMPERED GLASS
  - ◆ 3/4 HOUR RATED FIRE WINDOW ASSY, OR DOOR ASSY.
- NOTES:**  
MODIFIED BITUTHANE WATERPROOF MEMBRANE SHALL BE INSTALLED BELOW ALL EXTERIOR PLASTER WALL CAPS, LEDGES, ANGLED WALLS, WINDOW HEADS AND SILLS, ETC. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.



Right (East) Elevation

1/4" = 1'-0"

2

Legend & Notes



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Rear (North) Elevation

1/4" = 1'-0"

1

1,1	PROPERTY LINE, TYPICAL
E1	7/8" EXTERIOR PLASTER OR APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL EXPANSION JOINTS
E2	RED TWO-PIECE MISSION CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING, THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES, THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS, COLOR: WEATHERED BROWN DEC756
E5	METAL CLAD FRENCH DOORS PER PLAN, COLOR: WEATHERED BROWN DEC756
E6	6" HALF-ROUND PAINTED ALUM. GUTTER AND 3" ROUND DOWNSPOUT (DOWNSPOUT BRACKETS NOT TO EXCEED 6' O.C.)
E7	CHIMNEY CAP w/ STUCCO FINISH
E14	EXTERIOR LIGHT
E15	SOLID WOOD DOOR PER PLAN, PAINTED WEATHERED BROWN DEC756
E16	SHAPED FOAM w/ STUCCO FINISH
E22	4x8 RAFTER TAILS - PAINTED WEATHERED BROWN DEC756
E36	CUSTOM WOOD DOOR PER PLAN
E41	6x6 CATALINA TILE

Keynotes

- ⊙ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
- ▲ INDICATES TEMPERED GLASS
- ◆ 3/4 HOUR RATED FIRE WINDOW ASSY. OR DOOR ASSY.

**NOTES:**  
MODIFIED BITUTHANE WATERPROOF MEMBRANE SHALL BE INSTALLED BELOW ALL EXTERIOR PLASTER WALL CAPS, LEDGES, ANGLED WALLS, WINDOW HEADS AND SILLS, ETC. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.

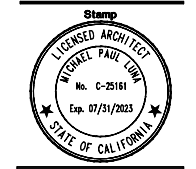


Left (West) Elevation

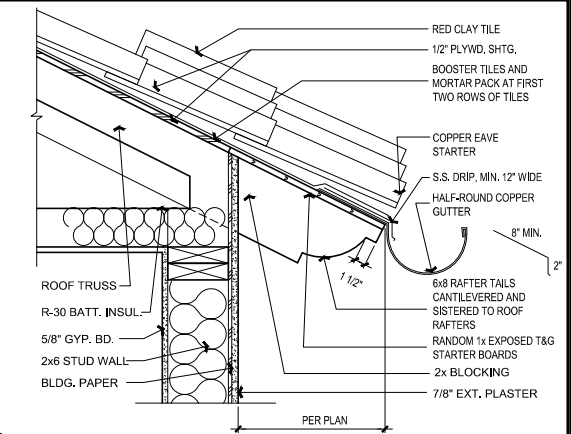
1/4" = 1'-0"

2

Legend & Notes

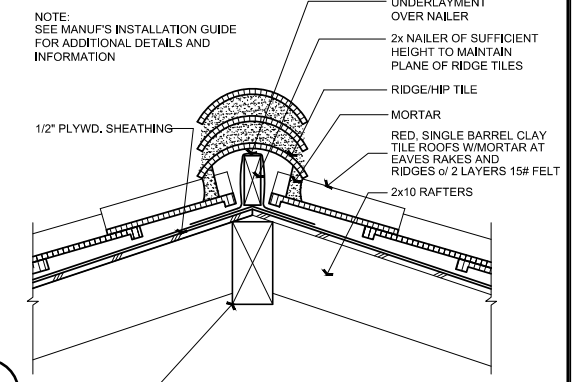


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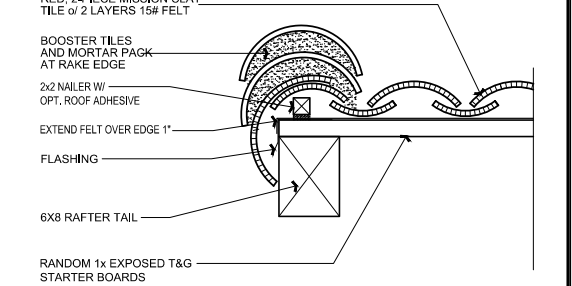
**1 EAVE**  
 SCALE: N.T.S.

NOTE: SEE MANUF.'S INSTALLATION GUIDE FOR ADDITIONAL DETAILS AND INFORMATION



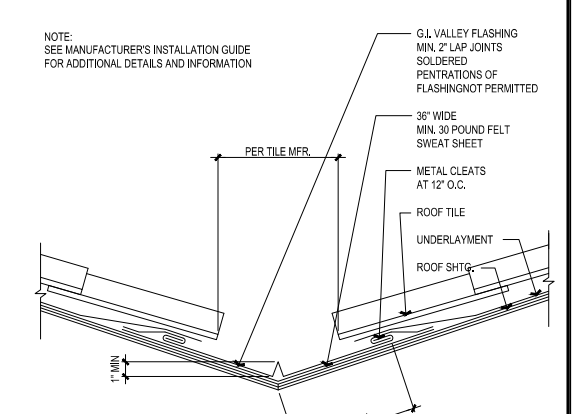
**2 RIDGE/HIP**  
 SCALE: 1-1/2"=1'-0"

NOTE: REFER TO SHT. A2.3 FOR ROOF TILE APPLICATION REQUIREMENTS

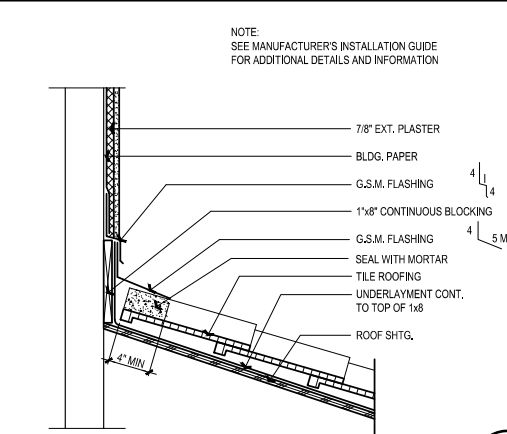


**3 RAKE**  
 SCALE: 1 1/2"=1'-0"

NOTE: REFER TO SHT. A2.3 FOR ROOF TILE APPLICATION REQUIREMENTS

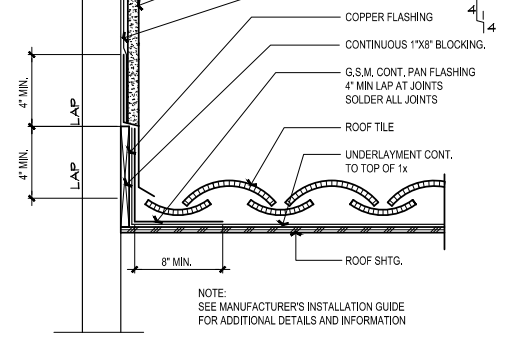


**4 VALLEY**  
 SCALE: 1-1/2"=1'-0"



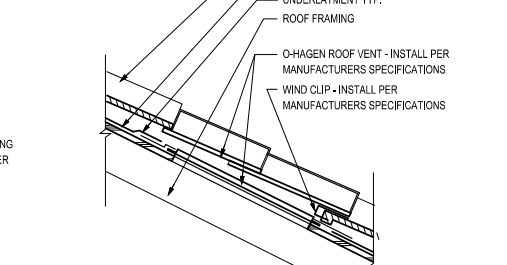
**5 ROOF TO WALL**  
 SCALE: 1-1/2"=1'-0"

NOTE: SEE MANUFACTURER'S INSTALLATION GUIDE FOR ADDITIONAL DETAILS AND INFORMATION



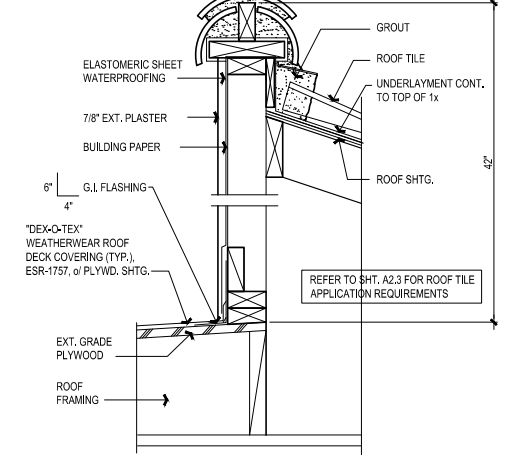
**6 ROOF TO WALL**  
 SCALE: 1 1/2"=1'-0"

NOTE: SEE MANUFACTURER'S INSTALLATION GUIDE FOR ADDITIONAL DETAILS AND INFORMATION

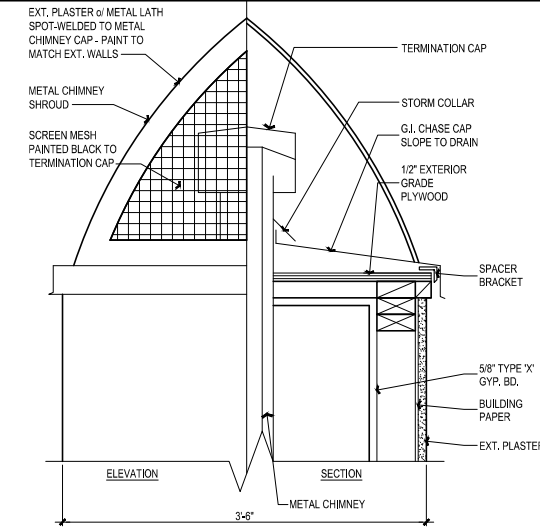


1. Carpenter to cut openings for roof vents
2. Set vents at slight angle to true perpendicular from water flow direction to allow lip to divert drainage around unit.
3. Ebp sheet to be used to seal underlayment around vent unit.

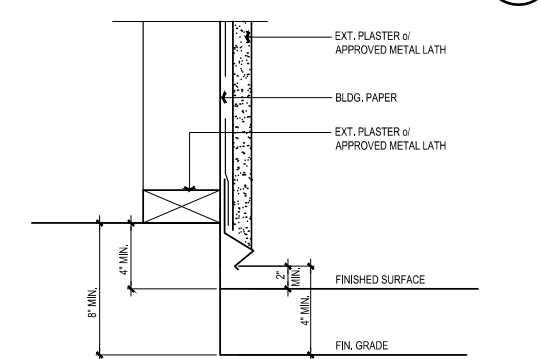
**7 ROOF VENT**  
 SCALE: 1 1/2"=1'-0"



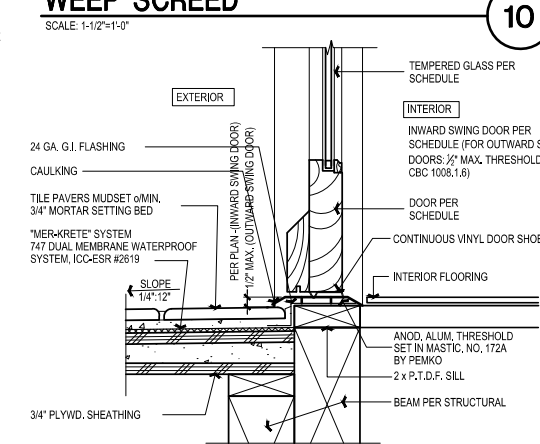
**8 ROOF TO WALL @ ROOF DECK**  
 SCALE: 1-1/2"=1'-0"



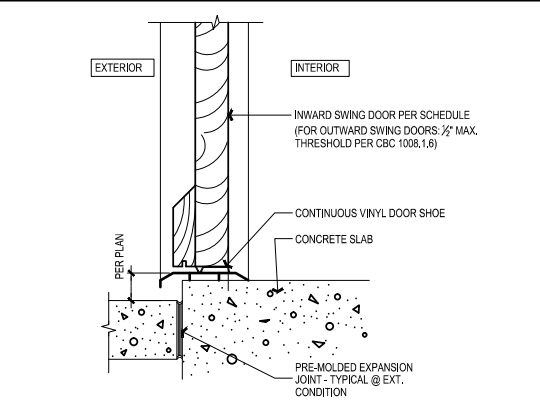
**9 CHIMNEY CAP**  
 SCALE: 1-1/2"=1'-0"



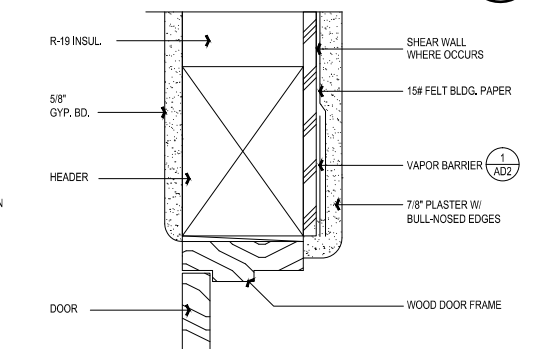
**10 WEEP SCREED**  
 SCALE: 1-1/2"=1'-0"



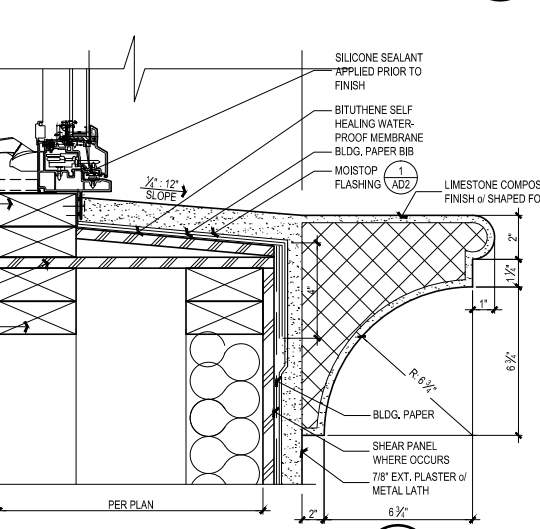
**11 THRESHOLD AT DECK**  
 SCALE: 3"=1'-0"



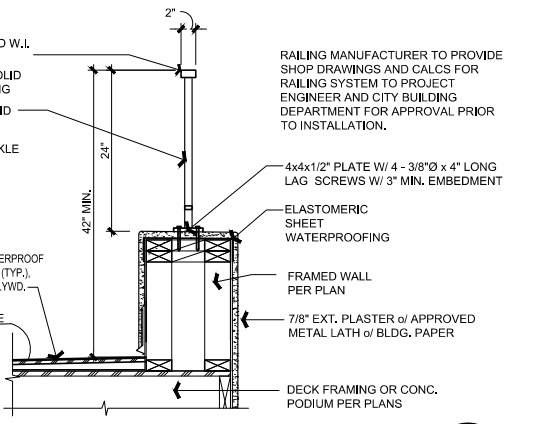
**13 THRESHOLD AT SLAB**  
 SCALE: 3"=1'-0"



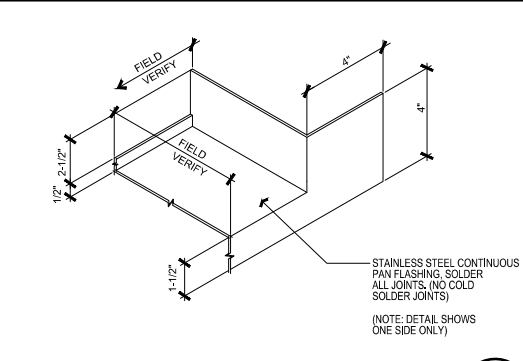
**14 DOOR HEAD/JAMB @ EXT.**  
 SCALE: 1 1/2"=1'-0"



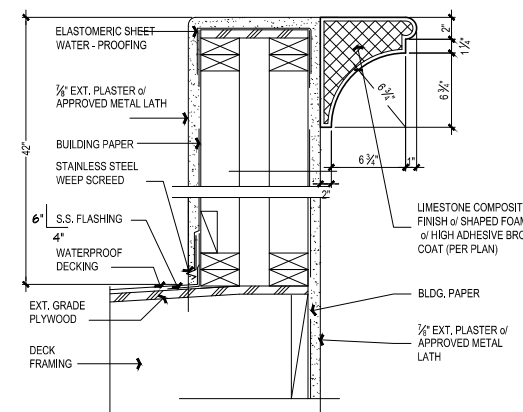
**15 WINDOW SILL**  
 SCALE: 3"=1'-0"



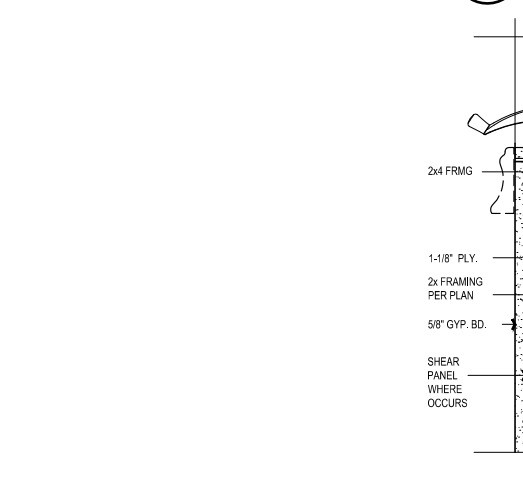
**16 W.I. GUARD RAIL**  
 SCALE: 3"=1'-0"



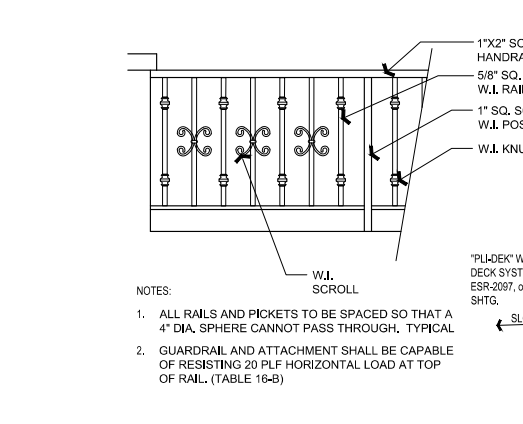
**17 PAN FLASHING**  
 SCALE: 1 1/2"=1'-0"



**18 CORBEL AT GUARD WALL**  
 SCALE: 1-1/2"=1'-0"



**19 THRESHOLD AT SLAB**  
 SCALE: 3"=1'-0"



**20 W.I. GUARD RAIL**  
 SCALE: 3"=1'-0"



CASA ROSA TRIPLEX

PLANT MATERIAL LEGEND

WUCOLS WATER USE CATEGORY - REGION 3 FOR SOUTH COASTAL CALIFORNIA NATIVE PLANTS \*

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY	WUCOLS	NATIVE
<b>TREE:</b>					
T1	ARBUTUS UNEDO 'MARINA' / STRAWBERRY TREE	48" BOX	1	LOW	
T2	MAGNOLIA 'LITTLE GEM' / LITTLE GEM MAGNOLIA	36" BOX	1	MEDIUM	
T3	ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM	36" BOX	1	MEDIUM	
<b>SHRUBS:</b>					
S1	GALVEZIA SPECIOSA 'FIRECRACKER' / ISLAND SNAPDRAGON	5 GAL	6	VERY LOW	*
S2	IRIS DOUGLASIANA / PACIFIC COAST IRIS	5 GAL	12	LOW	*
S3	FESTUCA 'SISKIYOU' / SISKIYOU BLUE FESCUE	1 GAL	16	LOW	*
S4	EPILOBIUM CALIFORNICA / CALIFORNIA FUCHSIA	5 GAL	5	VERY LOW	*
S5	TRACHELSPORIUM JASMINIODES / STAR JASMINE ESPALIER	5 GAL	10	MEDIUM	
S6	EUONYMUS MICROPHYLLUS 'COMPACTA' / EUONYMUS	5 GAL	9	MEDIUM	
S7	PHORMIUM TENAX 'DUET' / DWARF VARIEGATED FLAX	5 GAL	6	LOW	
S8	HEMEROCALLIS HYBRIDS / DWARF BURGUNDY DAYLILY	1 GAL	8	MEDIUM	*
S9	JUNCUS PATENS 'ELK BLUE' / CALIFORNIA RUSH	5 GAL	8	MEDIUM	*
S10	GREWIA OCCIDENTALIS / LAVENDER STAR FLOWER	5 GAL	2	LOW	

GROUNDCOVERS:

G1	FRAGERIA CALIFORNICA / FOOTHILL STRAWBERRY	4" POTS	64	MEDIUM	*
G2	DYMONDIA MARGARETAE / SILVER CARPET	FLATS	6	LOW	

LANDSCAPE FEATURES:

- SITE PERIMETER WALLS AND RAISED PLANTER WALLS PER ARCHITECTURAL PLANS
- DECORATIVE BLACK LAVA ROCK GROUNDCOVER- 1/2" TO 3/4" SIZE
- 'CORTEN' STEEL EDGING - 1/2" X 4"
- DECORATIVE FOUNTAIN
- VEHICULAR DRIVEWAY CONCRETE PAVING AND APRON FLARE PER ARCHITECTURAL & CIVIL PLANS
- PEDESTRIAN CONCRETE PAVING PER ARCHITECTURAL PLANS
- DECORATIVE WOOD GATES PER ARCHITECTURAL PLANS
- PROJECT UNDERGROUND UTILITIES AND FIRE WATER RISER PER CIVIL PLANS
- SITE GRADING AND DRAINAGE DESIGN PER CIVIL PLAN
- TILE PAVING & STEPS
- FREESTANDING METTAL TRELLIS
- TALL DECORATIVE POTS WITH DRAINAGE & DRIP IRRIGATION

PLANTING NOTES:

- REFER AND INCORPORATE 'GROPOWER' AGRICULTURAL SOIL ANALYSIS AND PLANTING RECOMMENDATIONS
- APPLY A 2" LAYER OF BLACK LAVA ROCK TO PLANTING AREAS AT COMPLETION OF PLANTING PER PLANS
- APPLY A 2" LAYER OF 'FOREST FLOOR' MULCH TO PLANTING AREAS AT COMPLETION OF PLANTING PER PLANS

SOIL PREPARATION:

- ALL SHRUB AREAS TO BE CULTIVATED WITH THE FOLLOWING AMENDMENTS OR AS PER SOILS ANALYSIS REPORT
- GREENWAY BEST SOIL CONDITIONER OR EQUAL @ 3 YARDS PER 1000 SQ.FT.
  - GYPSUM: 25 LBS. PER 1000 SQ. FT.
  - GROPOWER PREMIUM GREEN IRON
  - GROPOWER PLUS FERTILIZER/ 30 LBS. PER 1000 SQ. FT.
  - APPLY GROPOWER SLOW RELEASE 7 GRAM PLANTING TABLETS TO ALL NEW PLANTINGS.

PROPOSED METHOD OF IRRIGATION:

A DETAILED MWELO IRRIGATION PLAN WILL BE PROVIDED PRIOR TO LANDSCAPE CONSTRUCTION

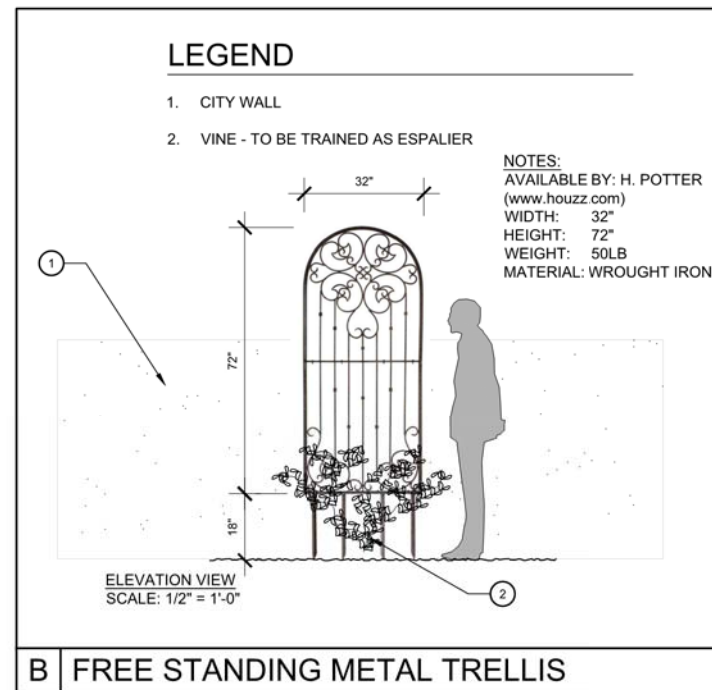
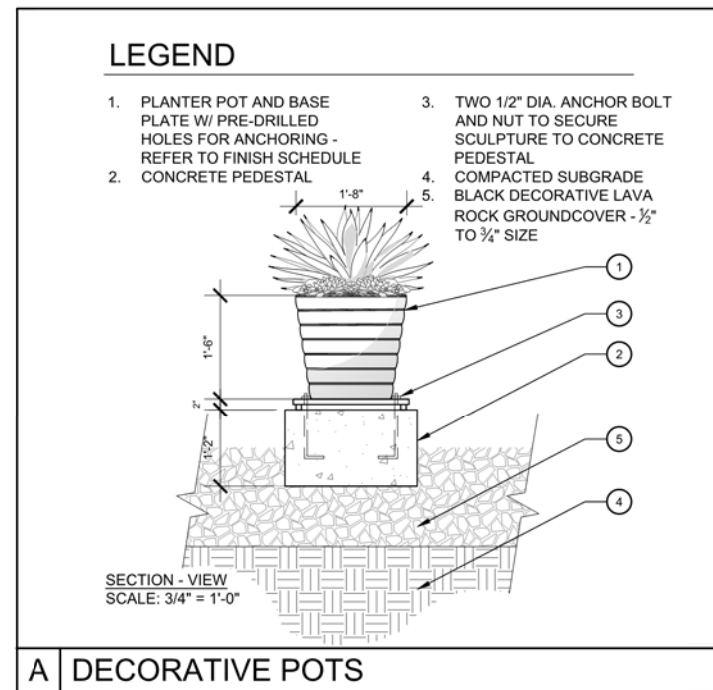
- THE IRRIGATION SYSTEM WILL BE COMPLETELY NEW AUTOMATIC FOR 100% COVERAGE
- ALL IRRIGATION COMPONENTS WILL BE MANUFACTURED BY 'FORRO' & 'NETAFIM'
- ALL DRIP IRRIGATION VALVE ZONE KITS TO BE RECESSED IN VALVE BOXES PER MANUFACTURES SPECIFICATIONS
- IRRIGATION SYSTEM TO BE PROTECTED WITH A PRESSURE REGULATOR AT THE POINT OF CONNECTION
- NEW 'SMART' CONTROLLER TO BE INSTALLED IN GARAGES WITH A RAIN SHUT OFF DEVICE.
- BACKFLOW PREVENTION DEVICES TO BE INSTALLED PER CODE
- IRRIGATE PLANTING AREAS WITH 'NETAFIM' DRIP TUBING DRIP IRRIGATION AND MICRO-SPRAYS

PROPOSED MAINTENANCE PROGRAM AND RESPONSIBILITIES:

ALL ON SITE LANDSCAPE PLANTING AREAS AND IRRIGATION SYSTEMS WILL BE CONTINUOUSLY MAINTAINED BY PROPERTY OWNER.

LANDSCAPE PLANT MATERIAL DATA:

TOTAL LANDSCAPE PLANTS PROVIDED: 155  
 NATIVE PLANTS REQUIRED: 93 (60%)  
 NATIVE PLANTS PROVIDED: 111 (71%)



# CASA ROSA TRIPLEX | Preliminary Landscape Plan

Camino Valencia LLC | 130 Avenida Rosa, San Clemente, CA | December 20th, 2021



SCALE: 1" = 8'-0"



**MICHAEL BUNGANICH**  
 LANDSCAPE ARCHITECTURE  
 CALIFORNIA LICENSE 2041  
 NEVADA LICENSE 665  
 CA ARCHITECTS LICENSE 13823  
 112 EAST AVENIDA SAN JUAN  
 SAN CLEMENTE, CA 92672  
 cell phone: 949.237.7799  
 office / fax: 949.458.4548  
 email: m@mba.net