



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: October 6, 2021

PLANNER: Jennifer Savage, Senior Planner

SUBJECT: **Architectural Permit AP21-002 - Busch Accessory Structure** - A request to consider a detached accessory structure that does not conform to the objective height standard of Section 17.28.270.F.3 for the construction of a new 1,228 square foot two-story accessory structure consisting of a 563 square foot two-car garage on the first floor and a 665 square foot accessory dwelling unit (ADU) on the second floor.

REQUIRED FINDINGS

The following findings shall be made to approve the proposed project. The draft Resolution (Attachment 1) and analysis section of this report provide an assessment of the project's compliance with these findings.

Architectural Permit, Section 17.16.100, to allow a proposed ADU that does not conform to the objective standards in Section 17.28.270.F Accessory Dwelling Units:

- a. The architectural treatment of the project complies with the San Clemente General Plan;
- b. The architectural treatment of the project complies with any applicable specific plan and this title in areas including, but not limited to, height, setback color, etc.;
- c. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines;
- d. The general appearance of the proposal is in keeping with the character of the neighborhood; and
- e. The proposal is not detrimental to the orderly and harmonious development of the City.

BACKGROUND

Site Data

The site is located at 123 Avenida Serra, which is zoned Downtown Transition Mixed-Use with an Architectural Overlay (MU3.1-A). The MU3.1 zone allows a vertical or horizontal mix of Neighborhood Serving Commercial, Community Serving Commercial, and multifamily housing uses. The site is located approximately 375 feet southwest of El Camino Real, and two streets northwest of Avenida Del Mar.

The site currently contains a duplex and detached two-car garage. The garage is located at the rear of the property and accessed by a driveway on the northeast side of the property. There is a three-story multifamily building to the northeast and a three-story four-unit dwelling to the southwest. The property to the southeast contains a commercial office building.

Development Management Team Meeting

The City's Development Management Team (DMT) reviewed the project and recommends approval with conditions included in Attachment 1, Exhibit A.

Noticing

Public notices were distributed and posted per City and State requirements. Staff has not received any public comments on this item to-date.

PROJECT DESCRIPTION

The project consists of the demolition of the existing detached two-car garage, construction of a new 563 square-foot two-car garage with a 665 square-foot ADU constructed above the new garage. The new garage and ADU are located at the rear of the property, mostly in the same location as the existing garage. See the Applicant's project narrative for additional information (Attachment 2).

The new structure would be 23 feet tall. The project consists of stucco walls, wood framed windows, and asphalt shingle roof to match the architecture of the existing duplex.

The new garage maintains two parking spaces currently provided. Consistent with State law and San Clemente Municipal Code (SCMC) Section 17.28.270, the project is not required to provide parking spaces for the ADU because the property is located within ½ mile from a bus stop.

PROJECT ANALYSIS

Development Standards

The project meets development standards for the MU3.1 zone and other requirements, as shown in Table 1 on the following page.

Table 1 – MU3.1 Development Standards

	Development Standard	Proposed	Complies with standards
Density:	36 units/acre	21.8 units/acre	Yes*
Height (Maximum)	33'	23'	Yes
Setbacks (Minimum):			
Front	0'	N/A	N/A
Garage	18'	71'	Yes
West Side Yard	0'	10'-2.75"	Yes
East Side Yard	0'	0'	Yes
Rear Yard	0'	3'	Yes
Lot Coverage (Maximum)	100%	41%	Yes
Required Parking (Minimum):	2 covered spaces, 2 uncovered spaces	2 covered spaces	Yes**

*Accessory dwelling units do not count towards density.

**Project maintains the existing nonconforming parking status with two covered parking spaces.

The project meets all but one of the by-right development standards for ADUs requiring an ADU permit, as shown in Table 2 below.

Table 2 – ADU Development Standards

	Development Standard	Proposed	Complies with standards
Parking	0 spaces	0 spaces	Yes
Height (Maximum)	16'	23'	No*
Setbacks (Minimum):			
Front	20'	71'	Yes
West Side Yard	4'	10'-2.75"	Yes
East Side Yard	4'	0'	Yes**
Rear Yard	4'	3'	Yes**
Size (Maximum)	850 SF for 1-bed 1,000 SF for 2-bed	665 SF for 2-bed	Yes
Lot Coverage (Maximum):	50%	41%	

	Development Standard	Proposed	Complies with standards
Driveway Access	Use same driveway as primary dwelling	Use same driveway as primary dwelling	Yes
Architecture Review	Materials and colors match primary dwelling Roof slope matches primary dwelling Exterior lighting limited to down-lights Independent exterior access Interior dimensions at least 10 feet Windows and doors do not have direct line of sight into adjacent residential	Stucco walls, wood framed windows, asphalt roof with 4:12 slope Exterior lighting is limited to down-lights Independent exterior access Interior dimensions at least 10 feet Windows and doors do not have direct line of sight	Yes Yes Yes Yes Yes Yes
Historic Protections	Meet Secretary of Interior Standards if historic	N/A	N/A

**Accessory dwelling units more than 16 feet in height may be permitted with an Architectural Permit.*

***Project meets the 0 foot side and rear setbacks of the MU3.1 zone.*

As shown in Table 2 above, the proposal exceeds the 16-foot height development standard for ADUs. However, Section 17.28.270.G allows a request to exceed the height limit with approval of an Architectural Permit. As noted in Table 1, the proposed height of the accessory structure is below the maximum height limit for the MU3.1 zone

Architectural Permit

An Architectural Permit may permit an ADU greater than 16 feet in height. The findings for an Architectural Permit are below along with evidence to make the findings, in italics.

- The architectural treatment of the project complies with the San Clemente General Plan. *The architectural treatment of the project complies with the General Plan as shown in Table 3 of this report.*
- The architectural treatment of the project complies with any applicable specific plan and this title in areas including, but not limited to, height, setback color, etc. *The architectural treatment complies with ADU standards in that the project proposes*

to match the wall, windows, and roof of the existing primary dwelling. In addition, the proposed 23 foot height is less than the 33 foot height limit of the MU3.1 zone.

- *The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines. The project complies with the City's Design Guidelines in that the project provides compatible building placement and massing to adjacent properties; the design uses projections and stairs to visually break two-story planes; materials and colors would match the existing structure, including wood framed windows; and the structure is located at the rear of the property which locates parking at the rear of the property and maintains the single-story pedestrian character at the front of the property.*
- *The general appearance of the proposal is in keeping with the character of the neighborhood. The proposal is in keeping with the neighborhood character in that the proposal is two stories, which is less than the three story structures on either side of the subject property. In addition, the project is located at the rear of the property, which allows the new structure to better blend with the neighborhood streetscape.*
- *The proposal is not detrimental to the orderly and harmonious development of the City. The proposal is not detrimental to the orderly and harmonious development of the City in that the project blends with the height of the development on the adjacent properties, is located at the rear of the property, and matches the primary dwelling's architecture.*

GENERAL PLAN CONSISTENCY

Table 3 summarizes how the proposed use is consistent with applicable General Plan policies.

Table 3 - General Plan Consistency

Policies and Objectives	Consistency Finding
Land Use Element Primary Goal: "Achieve the City's Vision by establishing and maintain balance of uses that provides: 1) a diversity of residential neighborhoods and housing opportunities..."	The project would align with the diversity of multifamily residential uses of the subject neighborhood, specifically the adjacent properties.
Land Use Plan Primary Goal: "...8) provide a diversity of land use areas that complement one another and are characterized by differing functional activities and intensities of use..."	The project would complement the adjacent multifamily uses.

<p>Mixed Use Goal: “Promote and support development in areas designated for Mixed Use that ...reduces vehicle trips and associated air pollution and offers convenient and affordable housing opportunities for all income levels.”</p>	<p>The project would provide a housing opportunity near jobs, transit, and services to help reduce vehicle trips.</p>
<p>LU-3.02. Flexibility. “We apply flexible development standards to respond to changing market demands, where it can be demonstrated that by doing so, the proposed development or land use will help achieve General Plan goals.”</p>	<p>The project would result in a two story accessory structure that meets the General Plan goals of compatible scale and massing, and of providing housing opportunities.</p>
<p>LU-3.05. Stand Alone Residential Uses. “In Mixed Use areas MU3.1..., stand alone residential uses are permitted...”</p>	<p>The project would continue a stand alone residential use in the MU3.1 zone.</p>
<p>Del Mar/T-Zone Focus Area and Downtown Core Goal: “Preserve and where appropriate, improve the Del Mar/T-Zone ...; emphasizing its use as a ... residential “village” providing for the needs for residents and visitors.”</p>	<p>The project would contribute to the residential village uses within the T-Zone area.</p>
<p>UD-5.10. Scale and Massing. “We require that the scale and massing of development be compatible with its surroundings...”</p>	<p>The project is compatible with the scale and massing of the surrounding developments in that the two-story project is less than the three-story projects adjacent to the subject property.</p>
<p>Housing Element Objective: “Work to increase second/accessory units...”</p>	<p>The project would support San Clemente’s objective to increase the number of accessory dwelling units.</p>

ENVIRONMENTAL REVIEW/COMPLIANCE (CEQA)

The Planning Division completed an initial environmental assessment of the project per the California Environmental Quality Act (CEQA). Staff recommends that the project be found Categorical Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction or Conversion of Small Structures).

ALTERNATIVES

The Planning Commission may take any of the following actions:

1. Approve the application.
2. Modify the conditions of approval to affect desired changes prior to approval.
3. Deny the application. If the Commission wishes to pursue this option, the hearing will need to be continued to allow the appropriate resolution to be prepared.

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Determine the project is Categorical Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction or Conversion of Small Structures).
2. Adopt Resolution PC 21-XXX, Architectural Permit AP21-002, Busch Accessory Structure, subject to attached conditions of approval.

Attachments:

1. Resolution No. PC 21-XXX
Exhibit A - Conditions of Approval
2. Applicant's Project Narrative
3. Project Plans

RESOLUTION NO. PC 21-XXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING ARCHITECTURAL PERMIT AP21-002, BUSCH ACCESSORY STRUCTURE - A REQUEST TO CONSIDER A DETACHED ACCESSORY STRUCTURE THAT DOES NOT CONFORM TO THE OBJECTIVE HEIGHT STANDARD OF SECTION 17.28.270.F.3 FOR THE CONSTRUCTION OF A NEW 1,228 SQUARE FOOT TWO-STORY ACCESSORY STRUCTURE CONSISTING OF A 563 SQUARE FOOT TWO-CAR GARAGE ON THE FIRST FLOOR AND A 665 SQUARE FOOT ACCESSORY DWELLING UNIT (ADU) ON THE SECOND FLOOR.

WHEREAS, on March 31, 2021, an application was submitted by Andrew Busch, 123 Avenida Serra, San Clemente, CA 92672, for Architectural Permit AP21-002, Busch Accessory Structure and deemed complete on August 24, 2021; a request to consider a detached accessory structure that does not conform to the objective height standard of Section 17.28.270.F.3 for the construction of a new 1,228 square foot two-story accessory structure consisting of a 563 square foot two-car garage on the first floor and a 665 square foot accessory dwelling unit (ADU) on the second floor in the Downtown Transition Mixed-Use Zone within the Architectural Overlay (MU3.1-A), the legal description being Lot 11 of Block 4 within Tract 779, Assessor's Parcel Number 058-073-14; and

WHEREAS, the Planning Division has completed an initial environmental assessment of the above matter in accordance with the California Environmental Quality Act (CEQA) and recommends that the Planning Commission determine the project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction or Conversion of Small Structures) because it involves the demolition and construction of an accessory structure; and

WHEREAS, the City's Development Management Team (DMT) reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, in accordance with City and State requirements, notice of the public hearing was published in the *San Clemente Times* newspaper on September 24, 2021, posted at the project site, and mailed to all property owners within 300 feet of the subject parcel; and

WHEREAS, on October 6, 2021, the Planning Commission of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Planning Commission of the City of San Clemente does hereby resolve as follows:

Section 1. Incorporation of Recitals.

The Planning Commission hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Planning Commission as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the project is exempt from CEQA pursuant CEQA (California Public Resources Code [PRC] §21000 et seq. Section 21083.3) and the State CEQA Guidelines (Title 14, California Code of Regulations [CCR] §§ 15000 et seq.) 15301 (Class 1: Existing Facilities) and Section 15303 (Class 3: New Construction or Conversion of Small Structures) because the project involves the demolition of an accessory structure and the construction of a new small structure.

Section 3. Architectural Permit Findings

With respect to Architectural Permit (AP) 21-002, the Planning Commission finds as follows:

- A. The architectural treatment of the project complies with the San Clemente General Plan in that:
1. The project is consistent with the Land Use Element Primary Goal to “Achieve the City’s Vision by establishing and maintain balance of uses that provides: 1) a diversity of residential neighborhoods and housing opportunities...” in that the project would align with the diversity of multifamily residential uses of the subject neighborhood, specifically the adjacent properties.
 2. The project is consistent with the Land Use Element Primary Goal to “...8) provide a diversity of land use areas that complement one another and are characterized by differing functional activities and intensities of use...” in that the project would complement the adjacent multifamily uses.
 3. The project is consistent with the Mixed Use Goal: “Promote and support development in areas designated for Mixed Use that ...reduces vehicle trips and associated air pollution and offers convenient and affordable housing opportunities for all income levels” in that the project would provide a housing opportunity near jobs, transit, and services to help reduce vehicle trips.
 4. The project is consistent with Policy LU-3.02. Flexibility. “We apply flexible development standards to respond to changing market demands, where it can be demonstrated that by doing so, the proposed development or land

use will help achieve General Plan goals” in that the project would result in a two story accessory structure that meets the General Plan goals of compatible scale and massing, and of providing housing opportunities.

5. The project is consistent with Policy LU-3.05. Stand Alone Residential Uses. “In Mixed Use areas MU3.1..., stand alone residential uses are permitted...” in that the project would continue a stand alone residential use in the MU3.1 zone.
 6. The project is consistent with the Del Mar/T-Zone Focus Area and Downtown Core Goal: “Preserve and where appropriate, improve the Del Mar/T-Zone ...; emphasizing its use as a ... residential “village” providing for the needs for residents and visitors” in that the project would contribute to the residential village uses within the T-Zone area.
 7. The project is consistent with Policy UD-5.10. Scale and Massing. “We require that the scale and massing of development be compatible with its surroundings...” in that the project is compatible with the scale and massing of the surrounding developments in that the two-story project is less than the three-story projects adjacent to the subject property.
 8. The project is consistent with the Housing Element Objective: “Work to increase second/accessory units...” in that the project would support San Clemente’s objective to increase the number of accessory dwelling units.
- B. The architectural treatment of the project complies with any applicable specific plan and the Zoning Code in areas including, but not limited to, height, setback, color in that:
1. The architectural treatment complies with ADU to match the wall, windows, and roof of the existing primary dwelling.
 2. In addition, the proposed 23 foot height is less than the 33 foot height limit of the MU3.1 zone.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines in that:
1. The project provides compatible building placement and massing to adjacent properties.
 2. The project uses projections and stairs to visually break two-story planes.
 3. The project uses materials and colors to match the existing structure, including wood framed windows.
 4. The project is located at the rear of the property which locates parking at the rear of the property and maintains the single-story pedestrian character at the front of the property; and
- D. The general appearance of the proposal is in keeping with the character of the neighborhood in that:
1. The proposal is two stories, which is less than the three story structures on either side of the subject property.
 2. The project is located at the rear of the property, which allows the new

structure to better blend with the neighborhood streetscape; and

- E. The proposal is not detrimental to the orderly and harmonious development of the City in that:
 - 1. The project blends with the height of the development on the adjacent properties, is located at the rear of the property, and matches the primary dwelling's architecture.

Section 4. Planning Commission Approval.

Based on the foregoing recitals and findings above, and the written and oral comments, facts, and evidence presented, the City of San Clemente Planning Commission approves Cultural Heritage Permit 21-002, Busch Accessory Structure, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Planning Commission on October 6, 2021.

Chair

CERTIFICATION:

I HEREBY CERTIFY this Resolution was adopted at a regular meeting of the City of San Clemente Planning Commission on October 6, 2021, carried by the following roll call vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:
ABSENT: COMMISSIONERS:

Secretary of the Planning Commission

CONDITIONS OF APPROVAL
ARCHITECTURAL PERMIT 21-002
BUSCH ACCESSORY STRUCTURE

1.0 GENERAL CONDITIONS OF APPROVAL

- | | | |
|-----|---|----------|
| 1.1 | Within 30 days of approval of this application, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City. Failure to submit this acknowledgement may be grounds to revoke this approval. | Planning |
| 1.2 | The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. | Planning |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. | All |

2.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

- | | | |
|-----|--|---------------|
| 2.1 | The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. | Planning |
| 2.2 | All exterior lighting shall be down-directed and the building permit plans shall show all exterior lighting as down-directed. | Planning
* |

- 2.3 The building plans will be subject to plan review for compliance to the various building codes. Building
- 2.4 A deed restriction must be recorded against the title of the property in the County Recorder's office and a copy filed with the Planning Division. The deed restriction must run with the land and bind all future owners. The form of the deed restriction will be provided by the City and must provide that: Planning *
- a. The ADU may not be sold separately from the primary dwelling.
 - b. The ADU is restricted to the approved size.
 - c. The deed restriction runs with the land and may be enforced against future property owners.
 - d. The deed restriction may be removed if the owner eliminates the ADU, as evidenced by, for example, removal of the kitchen facilities.
 - e. The deed restriction is enforceable by the Planning Division for the benefit of the City. Failure of the property owner to comply with the deed restriction may result in legal action against the property owner, and the City is authorized to obtain any remedy available to it at law or equity, including, but not limited to, obtaining an injunction enjoining the use of the ADU in violation of the recorded restrictions or abatement of the illegal unit.
 - f. The ADU will not be rented for a term less than 30 days.

3.0 PRIOR TO FINAL INSPECTION

Surveys

- 3.1 Prior to approval to pour foundations, the applicant shall submit and obtain approval from the City Planner and Building Official, a survey prepared by a registered civil engineer that is licensed to do surveying or a land surveyor confirming that the building foundations conform to the required setbacks as set forth on the approved plans. Planning Building
- 3.2 Prior to approval of the framing inspection, the applicant shall submit and obtain approval from the City Planner and Building Official, a survey prepared by a registered civil engineer that is licensed to do surveying or a land surveyor confirming that the height of all structures conforms to the dimensions set forth on the approved plans. Planning Building

4.0 OPERATIONAL CONDITIONS OF APPROVAL

- 4.1 The Applicant (including any property owners and managers, and their designees) shall use best management practices to ensure residential activities on the premises will be conducted in a manner that will not be disruptive to neighbors. The property owner shall Code Comp **

be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y).

- 4.2 The Applicant (including any property owners and managers, and their designees) understands and acknowledges that short-term lodging and boarding house uses are not permitted with the approval of this permit. Short-term lodging units (STLUs) and boarding houses require City-approval, and any unpermitted STLU or boarding house operations are prohibited. Applicant, property owner, and any successors in interest of the property shall be responsible for ensuring that all residential uses abide by the City's zoning requirements for the subject zone. [Citation - Section 17.04.060(B) & 17.32.030/17.36.020/17.40.030/17.52.030 of the SCMC]

Code
Comp
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City of San Clemente
Community Development
910 Calle Negocio, Suite 100
San Clemente, CA 92673

PROJECT DESCRIPTION FOR
123 AVENIDA SERRA, SAN CLEMENTE, CA 92672

May 8, 2021

ARCHITECTURAL DESIGN NARRATIVE

The Andrew's ADU is a two-phase project consisting of;

1. Demo existing (2)car-garage built back in 1951
2. Build 2-story building with a single-car garage on the ground level and 2-bedroom ADU on the 2nd floor.

The total floor areas of the project stay at 1,228 sq.ft. with the building height of 23'-6" from the ground to the roof. The maximum allowable building height for an ADU under the current city municipal codes is limited to 16'-0" and our design team is expecting that the Architectural Permit Application would resolve the issue.

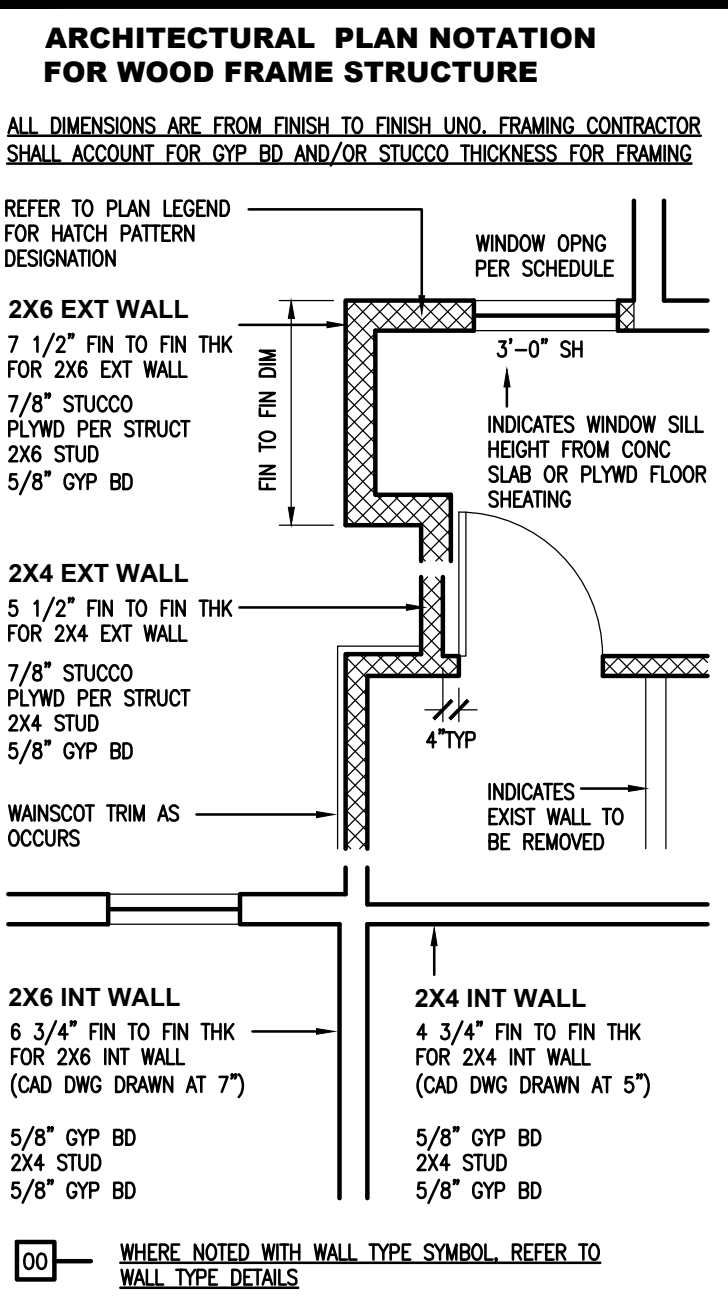
FINDING;

1. Architectural Treatment of Project
 - A. Material and Colors – The exterior walls, roof, window trims, and doors will match with those of the Primary dwelling, and that will keep the project in keeping with characters of neighborhood.
 - B. Setbacks – The project complies with the setback requirements of 4 feet on side and rear yard.
 - C. Lot Coverage – The maximum lot coverage for the zone is 50% and this project proposes 41%.
 - D. San Clemente General Plan – The project complies with the architectural treatments described on the City of San Clemente Municipal Codes.

Chris Park / Designer
3181 Willow Tree Lane
Escondido, CA 92027

ABBREVIATION

AB.	ANCHOR BOLT
AC	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATELY
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BOT/	BOTTOM OF
B.N.	BOUNDARY NAILING
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
EJ	EXPANSION JOINT
EL	ELEVATION
E.N.	EDGE NAILING
E.S.	EACH SIDE
EXIST	EXISTING
FOUND	FOUNDATION
FRMG	FRAMING
Ø	AT
FT	FEET
FTNG	FOOTING
HDR	HEADER
HGR	HANGER
HVAC	HEATING, VENTILATION, AIR CONDITIONING
I.N.	INTERMEDIATE NAILING
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
OC	ON CENTER
OPNG	OPENING
PLYWD	PLYWOOD
RM	ROOM
SF	SQUARE FOOT
SH	SILL HEIGHT
SIM	SIMILAR
SPEC	SPECIFICATION
THK	THICKNESS
T/	TOP OF
TBD	TO BE DETERMINED
T & B	TOP AND BOTTOM
T & G	TONGUE AND GROOVE
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
WD	WOOD
W/	WITH
WINDW	WINDOW



FOUNDATIONS / SOILS CRITERIA

SEE STRUCT SHEET

A FOUNDATION PRESSURE OF 1500 PSF HAS BEEN USED TO DESIGN FOUNDATIONS SUPPORTED ON UNCLASSIFIED, UNDISTURBED NATIVE SOILS. FOUNDATIONS WILL BE LOCATED ENTIRELY IN UNDISTURBED NATIVE SOILS.

IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

OWNER: ANDREW BUSCH, 05/10/2021
DESIGNER: ANDREW BUSCH, 05/10/2021
LICENSED ENGINEER: ANDREW BUSCH, 05/10/2021

SHEET INDEX

A10	TITLE SHEET / SITE PLAN
A19	DEMO PLAN
A20	1ST FLOOR PLAN / NOTES
A21	2ND FLOOR PLAN / NOTES
A30	CEILING PLAN / ROOF PLAN / BMP
A40	SECTION / ELEVATIONS / DETAILS



GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR SHALL REVIEW EXISTING CONDITIONS ON THE SITE DURING THE BIDDING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO PROCEEDING.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION PURPOSES.
- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- NEITHER THE OWNER NOR THE ARCHITECT/STRUCTURAL ENGINEER WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED DESIGN LIVE LOAD FOR EACH PARTICULAR LEVEL. WHEN WEIGHT OF MATERIALS OR EQUIPMENT MAY EXCEED DESIGN LOAD, STRUCTURAL SYSTEMS SHALL BE SHORED.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.

SPECIAL INSPECTION

SEE STRUCT SHEET CONCRETE OVER 2500 PSI

NONE FIELD WELDING

EPOXY HOLDOWNS HIGH STRENGTH BOLTING

ANCHOR INSTALLATION

A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

- SPECIAL INSPECTION NOTES**
- THE SPECIAL INSPECTION MUST BE APPROVED BY THE CITY OF SAN CLEMENTE.
 - THE TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN CLEMENTE.
 - A PROPERTY OWNER'S FINAL REPORT OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD, OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
 - A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
 - THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 108 OF THE BUILDING CODE. AS AMENDED, SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY CITY INSPECTOR.

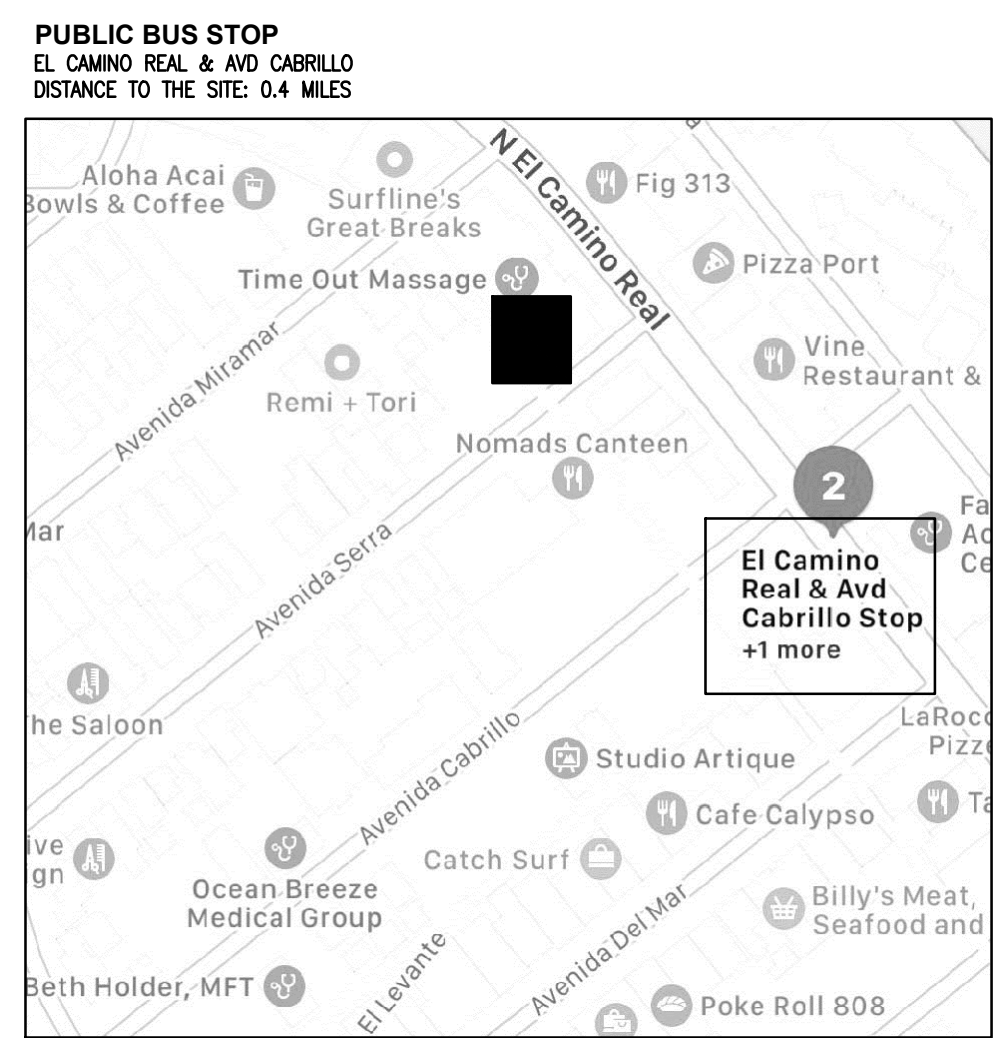
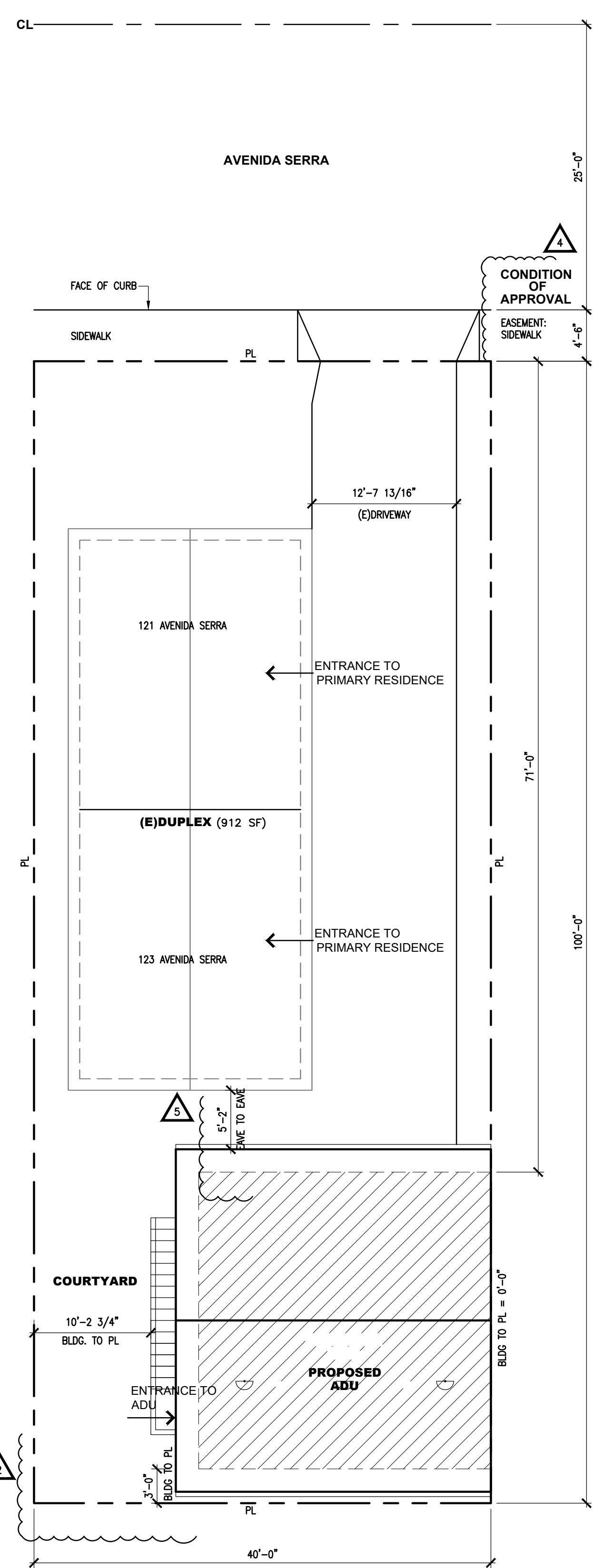
DEFERRED SUBMITTAL

NONE FIRE ALARM ANSUL SYSTEM

- - FIRE SPRINKLER

COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN CLEMENTE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

BUSCH'S ADU



1 SITE PLAN
SCALE 1/8" = 1' - 0"

A.P.N. 058-073-14

LEGAL DESCRIPTION

BOOK 058, PAGE 07
COUNTY OF ORANGE

PROJECT DIRECTORY

OWNER: ANDREW BUSH JR. PHONE 805-570-5990
CONTACT ANDREW BUSCH JR. EMAIL andrewbusch@gmail.com

DESIGNER: ANDREW BUSH JR. PHONE (858) 201-8826
CONTACT CHRIS PARK EMAIL chrispkpark@yahoo.com

STRUCTURAL ENGINEER: URBATECT DEVELOPMENT L.C. #1048326 PHONE 831-319-4695
CONTACT ERIC MARTINEZ EMAIL emartinez@urbatect.com

YEAR OF THE ORIGINAL CONSTRUCTION: 1951

THE PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY

ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PREVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

CAL GREEN BUILDING

JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY

BEFORE FINAL INSPECTION, A COMPLETE OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.

DUCT OPENING AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION

ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS

PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 AND TABLE 4.504.3 OF CALGREEN

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.2.3 OF 151 CALIFORNIA GREEN BUILDING CODE.

A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT PAINT, STAIN, AND ADHESIVES, COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLETES WITH THE CALIFORNIA GREEN BUILDING CODE.

80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

- VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
- CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFICI) FLOORSURE PROGRAM
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010

HARDWOOD PLYWOOD, PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN AIR'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN.

A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA BUILDING CODES.

BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGES SHALL NOT BE INSTALLED. WALLS AND FLOORS FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER PROBE TYPE OF CONTACT MOISTURE METER.

VICINITY MAP

AVE. SERRA

PROJECT LOCATION

N. EL CAMINO REAL

HWY 5

AVE. PRESIDIO

N

SCOPE OF WORK

ARCHITECTURAL PERMIT APPLICATION
(N)ADU ON TOP OF (N)GARAGE WITH MAXIMUM HEIGHT OF 23'-00"

A. DEMO (E)GARAGE (419 SF)
B. (N)GARAGE (563 SF)
C. (N)ADU (665 SF) - 2ND FL.

TOTAL AREA PROPOSED 1,228 SF

PREVIOUS USE: GARAGE - ONE STORY

PROJECT ADDRESS: 123 AVENIDA SERRA SAN CLEMENTE, CA 92672

ZONING / LOT INFORMATION

BASE ZONE MU 3.1

SET BACKS	FRONT	REQUIRED
	0'-0"	0'-0"
	STREET SIDE	
	SIDES	4'-0"
	REAR	4'-0"
MAX. BLDG HT.		16'-0"

AREA CALCULATION

EXIST DUPLEX - ONE STORY	912 SF
(N)GARAGE	563 SF
(N)ADU - 2ND FL.	665 SF
TOTAL AREA	2,140 SF
TOTAL LOT AREA	4,000 SF

MAX. LOT COVERAGE: 50%

CITY OF SAN CLEMENTE MUNICIPAL CODE SEC. 17.28.270 - ADU F.6 / 12-15-20 / 7A-40

MAX. LOT COVERAGE CALCULATION	
(E)DUPLEX	912 SF
(N)GARAGE	563 SF
(N)STARCASE	80 SF
(N)ADU PROFILE BEYOND GARAGE	102 SF
TOTAL AREA	1,657 SF

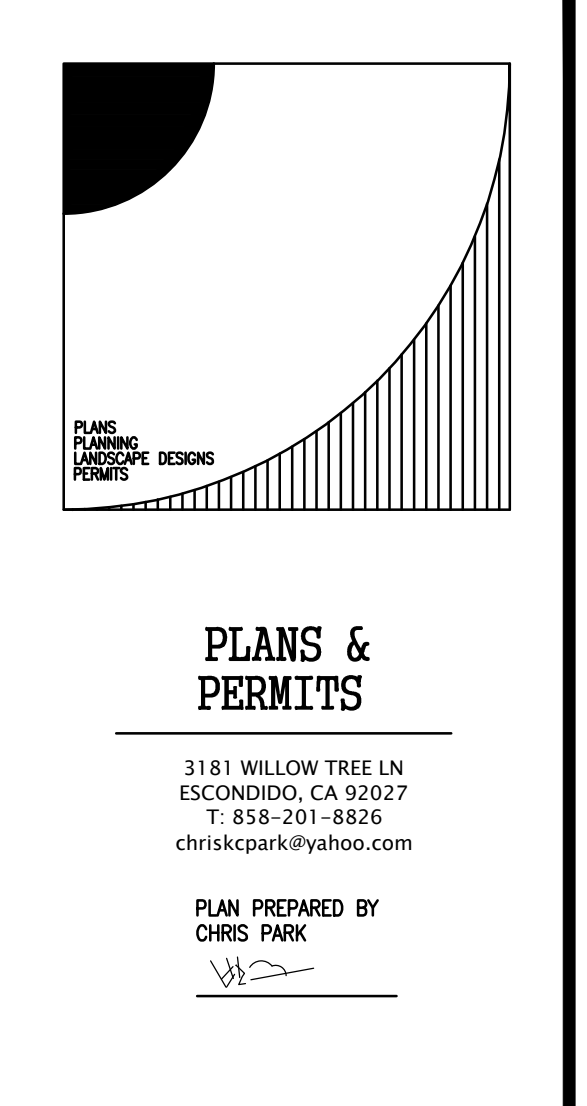
1,657 / 4,000 = 0.41 (41%)

BUILDING CODE DATA

TYPE OF CONSTRUCTION: VB SPRINKLERED: YES

OCCUPANCY CLASSIFICATION(S): R3 - ADU
U - GARAGE / STORAGE

NUMBER OF STORIES: 2



BUILDING CODE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

2019 CALIFORNIA BUILDING CODE, TITLE 24 PART 2 VOL. 1 & 2

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA ACCESSIBILITY CODE (TITLE 24 PART 2)

2019 CALIFORNIA FIRE CODE (TITLE 24 PART 2)

2019 CALIFORNIA ENERGY CODE (TITLE 24 PART 6)

* NO HAZARDOUS MATERIAL HANDLING IS INTENDED FOR THIS PROJECT

NO HAZARDOUS MATERIAL SHALL BE STORED THAT EXCEEDS QUANTITIES LISTED IN CBC TABLE 307.1 (1) (2) FOR THIS PROJECT

ANDREW BUSCH JR.

123 AVENIDA SERRA
SAN CLEMENTE, CA 92672

<input type="checkbox"/>	PLANNING COMMENTS	5	06/21/2021
<input checked="" type="checkbox"/>	ENGINEERING COMMENTS	5	05/08/2021
<input checked="" type="checkbox"/>	FIRE COMMENTS	5	05/08/2021
<input checked="" type="checkbox"/>	PLANNING COMMENTS	2	05/08/2021
<input checked="" type="checkbox"/>	BLDG DESCRIPTION	1	05/08/2021

ISSUED DESCRIPTION DATE

I S S U E S

Contract Date : -

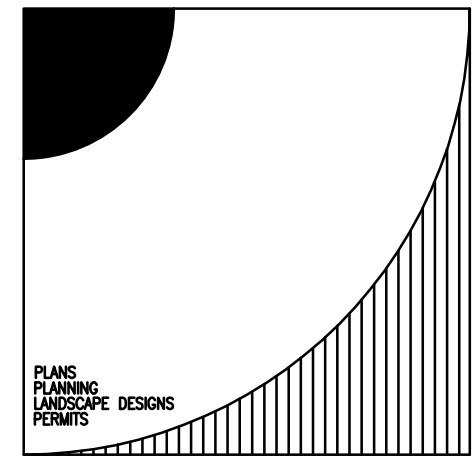
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Sheet Title

TITLE SITE PLAN NOTES

Sheet Number

A10



PLANS & PERMITS

3181 WILLOW TREE LN
 ESCONDIDO, CA 92027
 T: 858-201-8806
 chriskcpark@yahoo.com

PLAN PREPARED BY
 CHRIS PARK

(Signature)

ANDREW BUSCH JR.

**123 AVENIDA SERRA
 SAN CLEMENTE, CA 92672**

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<input type="checkbox"/>			
<input type="checkbox"/>			
<input type="checkbox"/>	- PLANNING COMMENTS	5	06/21/2021
<input type="checkbox"/>	- ENGINEERING COMMENTS	2	05/08/2021
<input type="checkbox"/>	- FIRE COMMENTS	3	05/08/2021
<input type="checkbox"/>	- PLANNING COMMENTS	2	05/08/2021
<input type="checkbox"/>	- BLDG COMMENTS	1	05/08/2021

ISSUED	DESCRIPTION	DATE
I	S	S
U	E	S

Contract Date : -

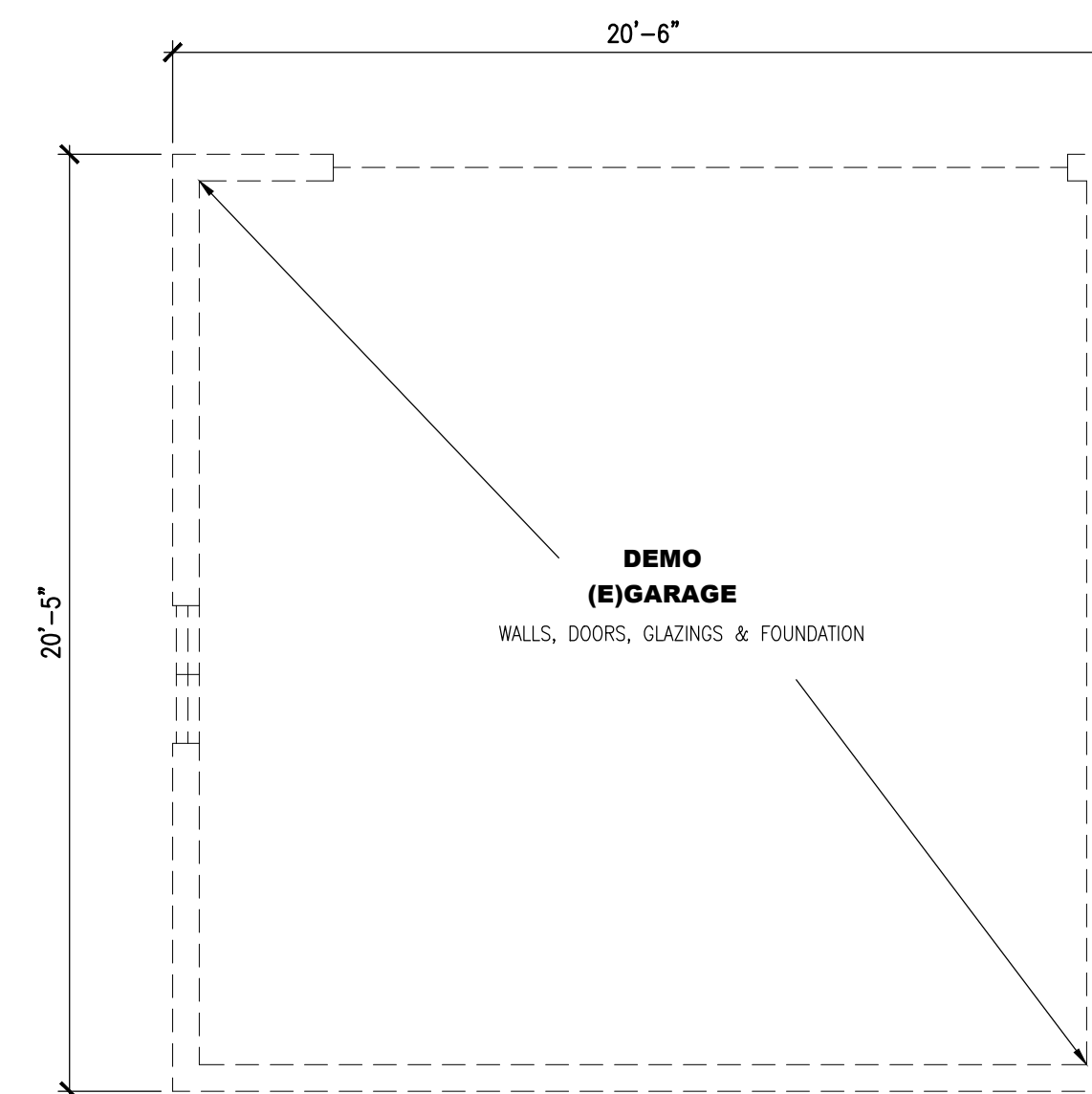
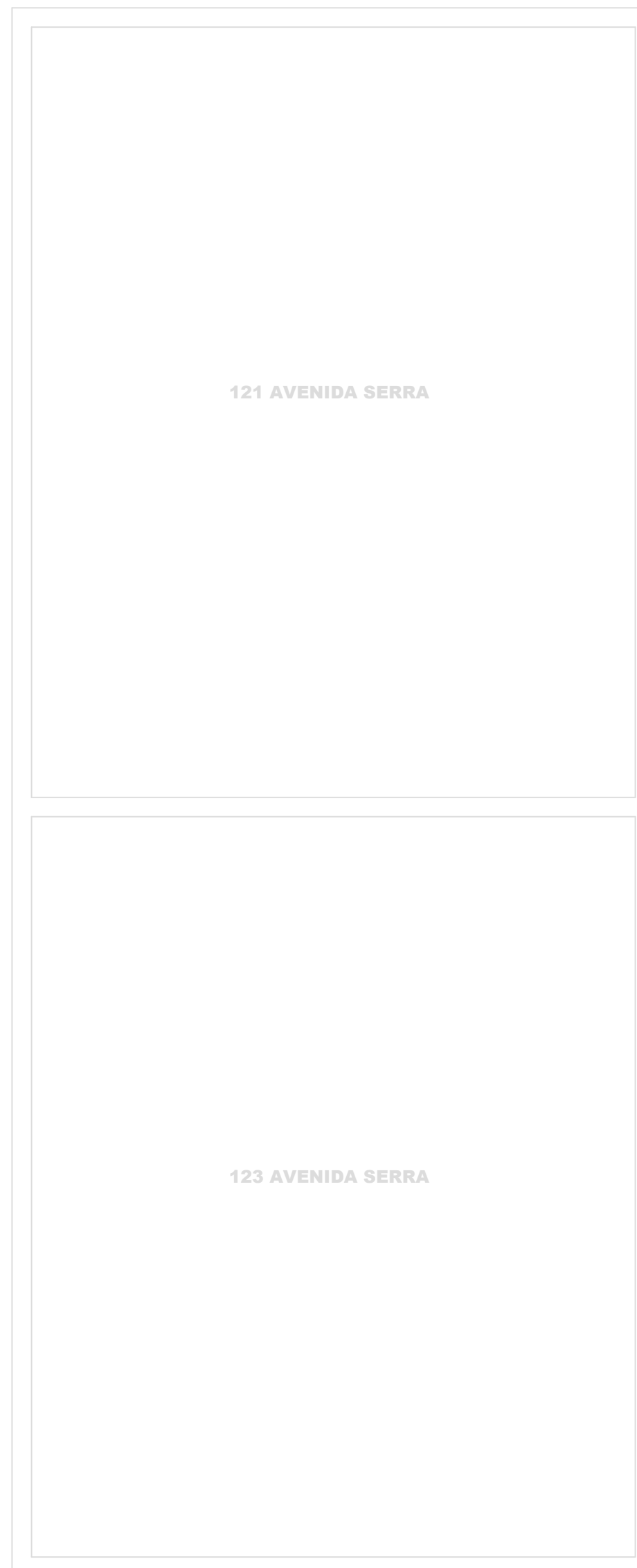
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Sheet Title

FLOOR DEMO PLAN

Sheet Number

A19



FLOOR PLAN NOTES / LEGEND

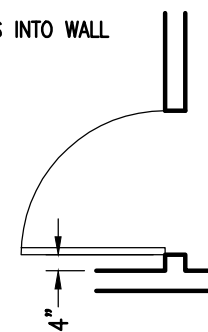
1 ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE. FRAMING CONTRACTOR SHALL ACCOUNT FOR GYP. BD. AND/OR STUCCO THICKNESS FOR FRAMING.

2 ALLOW 4" AT HINGE SIDE WHERE DOOR SWINGS INTO WALL.

==== (E) WALL TO REMAIN

----- (E) WALL TO DEMO

===== NEW FULL HT WALL, 8'-0" AFF (2X PER STRUCTURAL W/ R13)



1 (E) FLOOR PLAN - GARAGE

SCALE 1/4" = 1'-0"



FLOOR PLAN NOTES / LEGEND

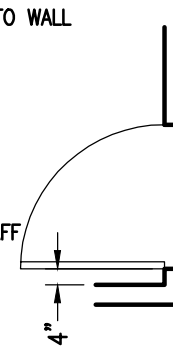
1 ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE. CONTRACTOR SHALL ACCOUNT FOR GYP. BD. AND/OR STUCCO THICKNESS FOR FRAMING.

2 ALLOW 4" AT HINGE SIDE WHERE DOOR SWINGS INTO WALL.

(E) WALL TO REMAIN

(E) WALL TO DEMO

NEW FULL HT. WALL, 7'-8" AFF. 2X4 @16" OC. PER STRUCTURAL.



WINDOW SCHEDULE - NEW

U-FACTOR: 0.3
SHGC: 0.23

WINDOW NUMBER	WINDOW TYPE	SIZE (WxH)	GLAZ AREA	FRAME MAT	MANUF	REMARK	NOTE
01	SL	4'-0" x 4'-0"	16.0 SF	VNL	-	-	-
02	SL	4'-0" x 4'-0"	16.0 SF	VNL	-	-	-

DOOR SCHEDULE

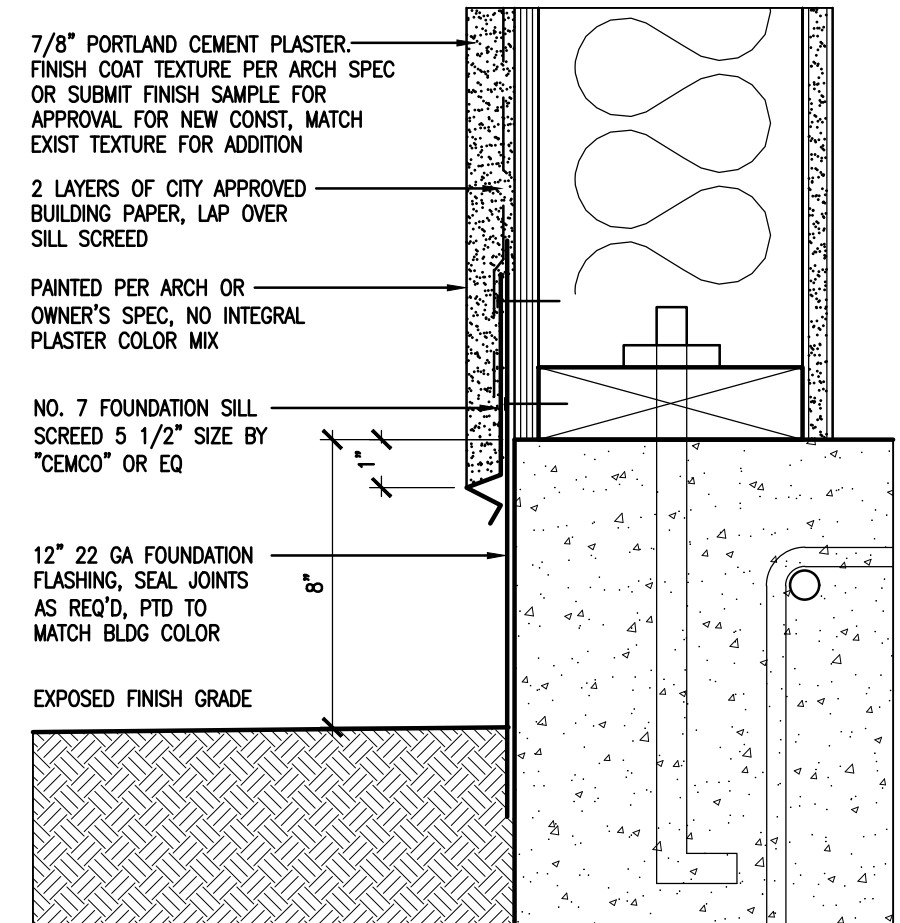
SC = SOLID CORE
HC = HOLLOW CORE
GL = GLASS
SL = SLIDING W/GL

WD = WOOD
AL = ALUMINUM
MTL = METAL
VNL = VINYL
FD = FOLDING W/GL

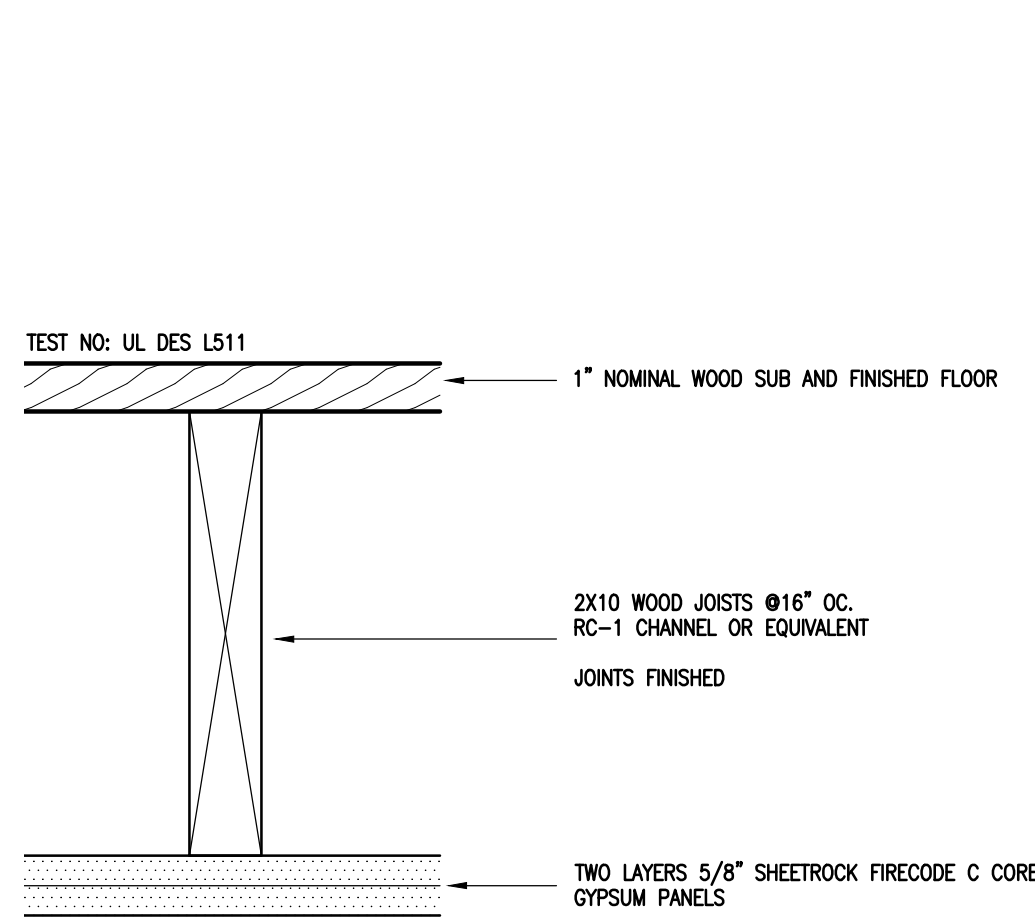
STW = STAIN GRADE WOOD
STN = STAINED
PTD = PAINTED
FF = FACTORY FINISHED

(2) (3) INDICATES NUMBER OF PANELS IN A FRAME
TBD = TO BE DETERMINED
OS = OWNER SPECIFIED

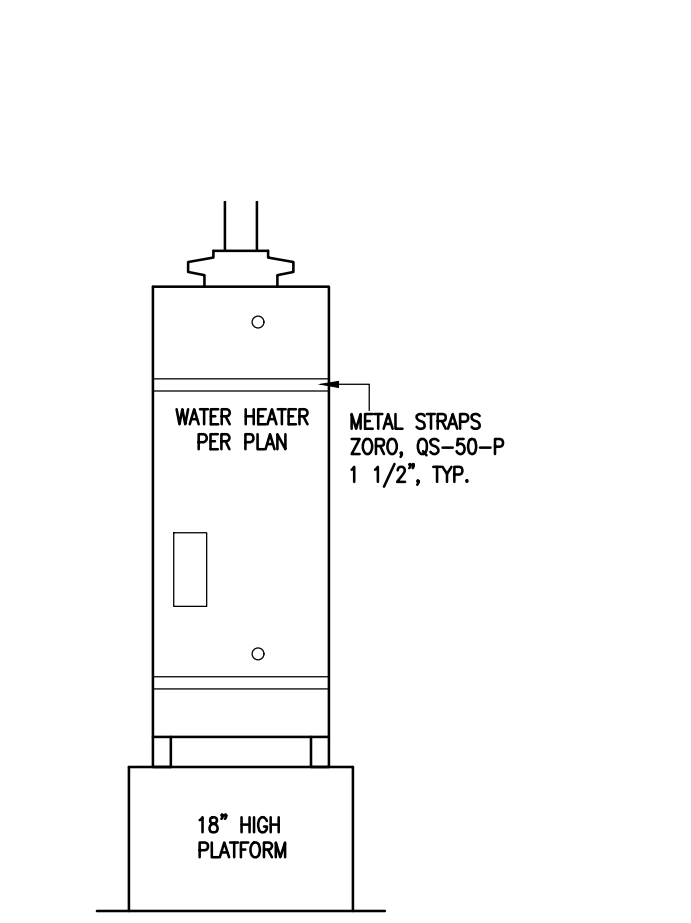
DOOR NUMBER	DOOR LOCATION	DOOR TYPE	SIZE (WxH)	GLAZ AREA	SOLID/HOLLOW	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FIRE RATING	MANUF	PROD. NO.	DOOR NOTE
1	(N)GARAGE	ROLLUP	17'-0" X 7'-8"	-	-	HC	WD	-	-	-	-	-	-



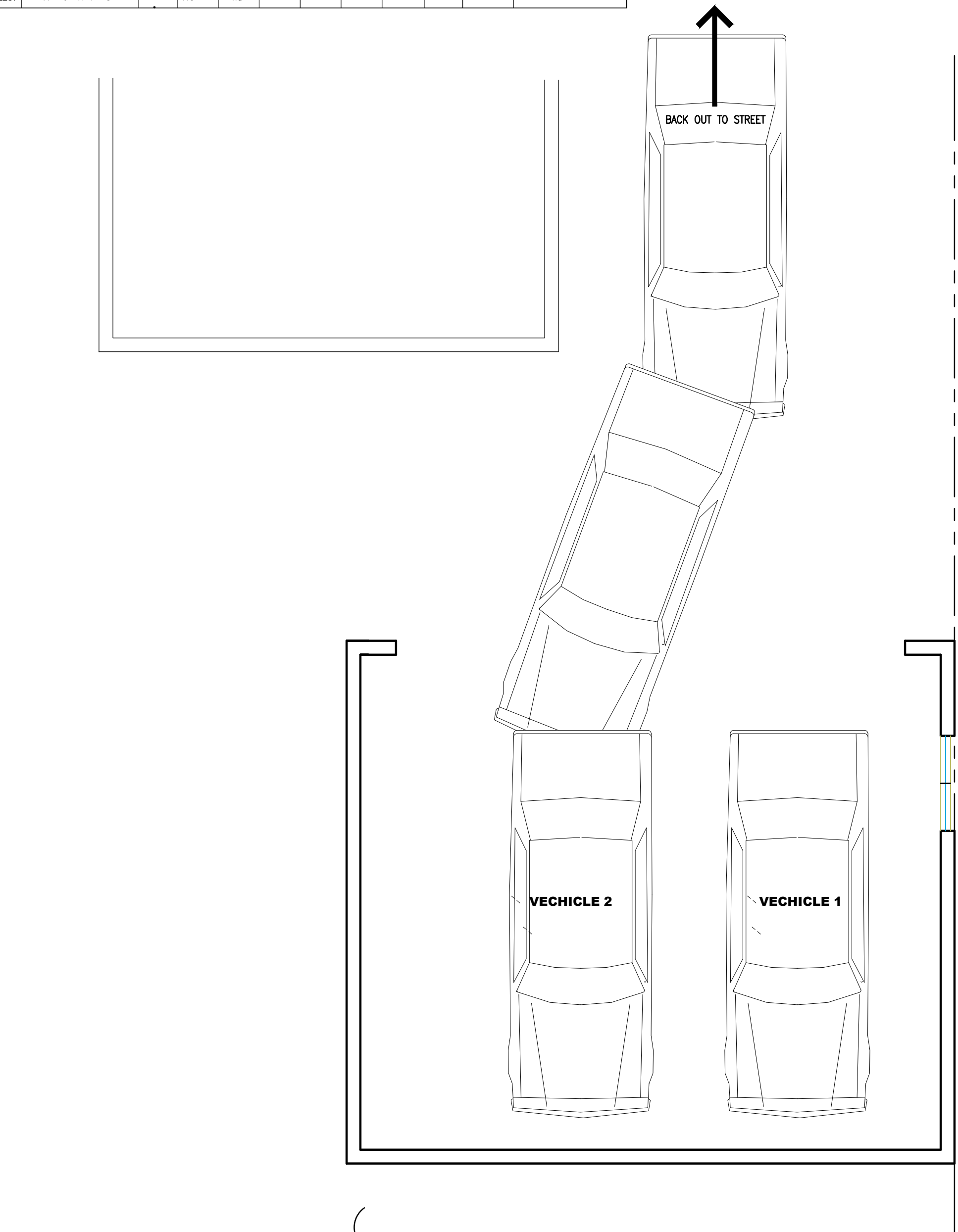
4 STUCCO @ SILL SCREED
SCALE 3/8"=1'-0"



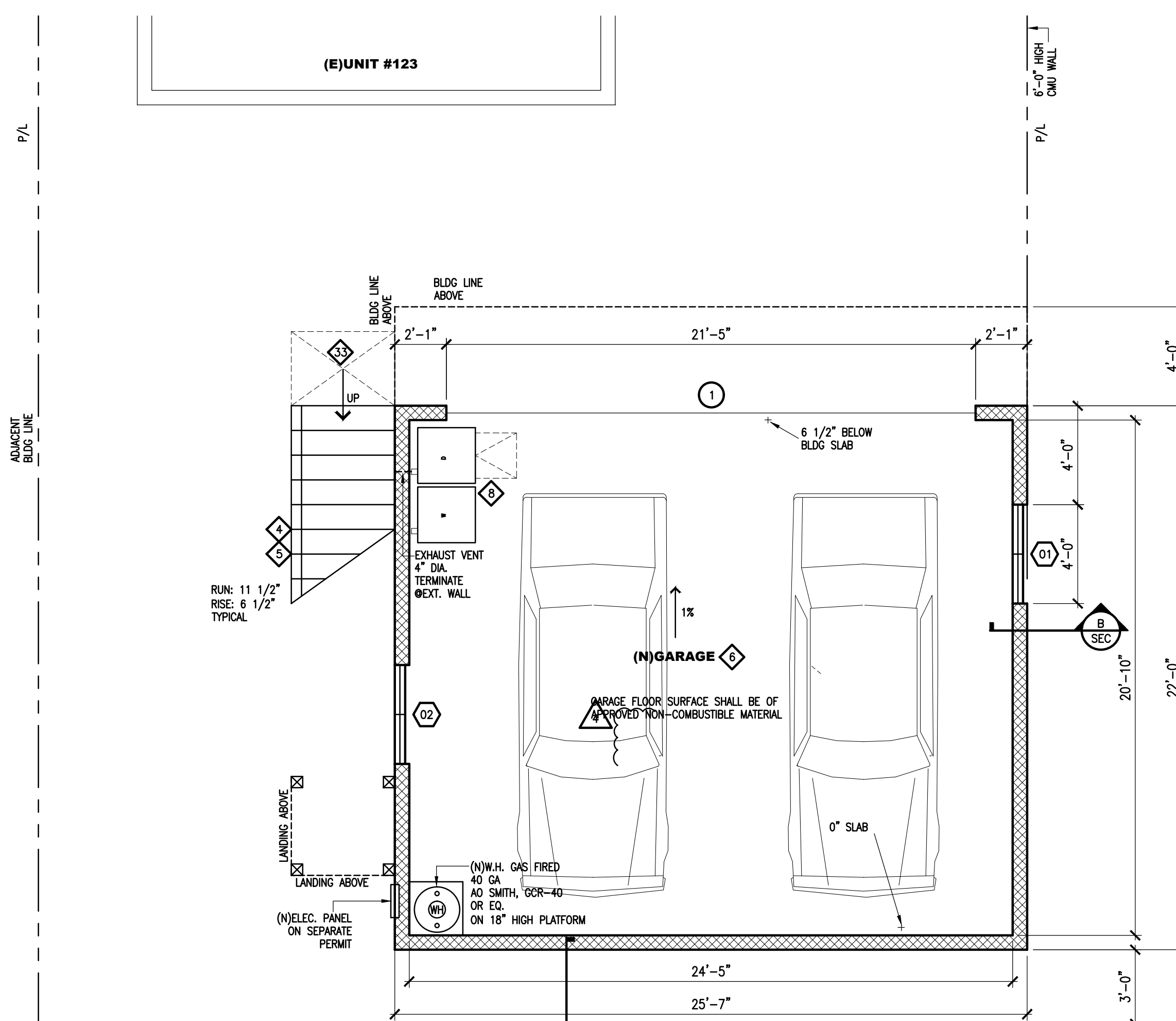
3 2-HR RATED CEILING SYSTEM
SCALE 1/2"=3'-0"



2 WATER HEATER SEISMIC STRAPS
SCALE 1/2"=1'-0"



5 PATH OF TRAVEL
SCALE 1/4"=1'-0"



1 1ST FLOOR PLAN
SCALE 1/4"=1'-0"

FLOOR PLAN KEY NOTES

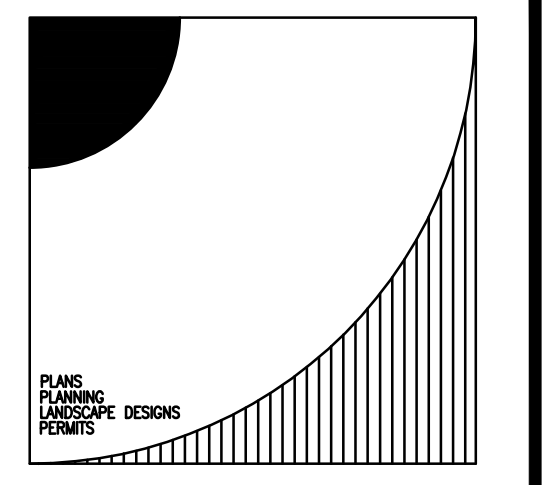
- TG = TEMPERED GLAZ
- SD
- SMOKE ALARMS
- 1. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE VICINITY OF THE BEDROOMS.
- 2. IN EACH STORY.
- 3. WHEN ONE OR MORE SMOKE ALARM IS REQUIRED THE ALARM DEVICE SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE MARSHAL LISTED.
- CM
- CARBON MONOXIDE ALARMS
- 1. OUTSIDE EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).
- 2. ON EVERY LEVEL OF A DWELLING UNIT, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTUATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- 3. SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.

- EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 DEGS. MIN AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
- MAXIMUM RISE OF 7.75" AND MINIMUM RUN (TREAD) OF 10" AND SHALL BE PROVIDED WITH 0.75" TO 1.25" NOSING WHEN THE TREAD DEPTH IS LESS THAN 11 INCHES.
- HANDRAILS AND GUARDRAILS
- 1. HANDRAILS SHALL BE PROVIDED AT LEAST ON ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- 2. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY.
- 3. PROVIDE HANDRAILS NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREAD.
- 4. PROVIDE 1 1/4" TO 2" HANDGRIP 1 1/2" FROM WALL.
- 5. GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF 4-3/8" DIAMETER SPHERE.
- 6. AT THE SPACE FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD - A 6" SPHERE CANNOT PASS THROUGH.
- GARAGE REQUIRES 1 HOUR OCCUPANCY SEPARATION CONSTRUCTION ON THE GARAGE SIDE ONLY WHERE IT ADJACES THE REST OF THE BUILDING (1 LAYER OF 5/8" TYPE X GYP. BD ON GARAGE SIDE WALL AND 2 LAYERS OF TYPE X GYP. BD AT GARAGE SIDE CEILING)

- LAUNDRY ROOM NOTES:
MAX. HORIZONTAL AND VERTICAL LENGTH IS 14 FEET WITH TWO OFFSETS.
MAX. LENGTH IS REDUCED 2 FEET FOR EACH ADDITIONAL BEND.
EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS
REQUIRED EXHAUST FAN: 50 CFM
EXHAUST VENT: 4" DIA. TERMINATE @EXT. WALL.
- HEATING UNIT:
FRAME, NTXWST09A
BUCKETLESS MINI SPLIT OR EQ.
SINGLE ZONE, 15,000 BTUS
24.6 SEER, 12.8 HSPF ENERGY STAR
- LANDING NOTES:
PROVIDE A MIN 36" DEEP FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR, WITH A SLOPE NOT EXCEEDING 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. (ORC R311.3) MAX. THRESHOLD HEIGHT: 1 1/2"
- LANDINGS: NOT MORE THAN 7 3/4" BELOW THE

BATHROOM KEY NOTES

- LIGHT & VENTILATION
1. VENTILATION IS REQUIRED WITH MIN. BATHROOMS FAN FLOW OF 77 CFM. THE EXHAUST FAN SHALL BE CERTIFIED AND LISTED ON THE CALIFORNIA ENERGY COMMISSION APPLIANCE DATABASE.
- CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- WALL COVERING: TILE OR APPROVED EQUAL TO 80" ABOVE DRAIN INLET (MOISTURE RESISTANT)
- THE CONTROL VALVES IN SHOWERS, TUBS/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.2 GALLONS OF WATER PER FLUSH. KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM. LAVATORIES ARE LIMITED TO 1.2 GPM.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GPM.
- EXISTING "NONCOMPLIANT" FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLON OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE) SHALL BE REPLACED. CERTIFICATION OF COMPLIANCE SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL.
- BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.
- SHOWER CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED



PLANS & PERMITS

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ESCONDIDO, CA 92027
T: 858-201-8806
chriskpark@yahoo.com

PLAN PREPARED BY
CHRIS PARK

ANDREW BUSCH JR.
123 AVENIDA SERRA
SAN CLEMENTE, CA 92672

<input type="checkbox"/>	PLANNING COMMENTS	5	06/21/2021
<input checked="" type="checkbox"/>	ENGINEERING COMMENTS	1	05/08/2021
<input type="checkbox"/>	FIRE COMMENTS	3	05/08/2021
<input checked="" type="checkbox"/>	PLANNING COMMENTS	2	05/08/2021
<input checked="" type="checkbox"/>	BLDG COMMENTS	1	05/08/2021

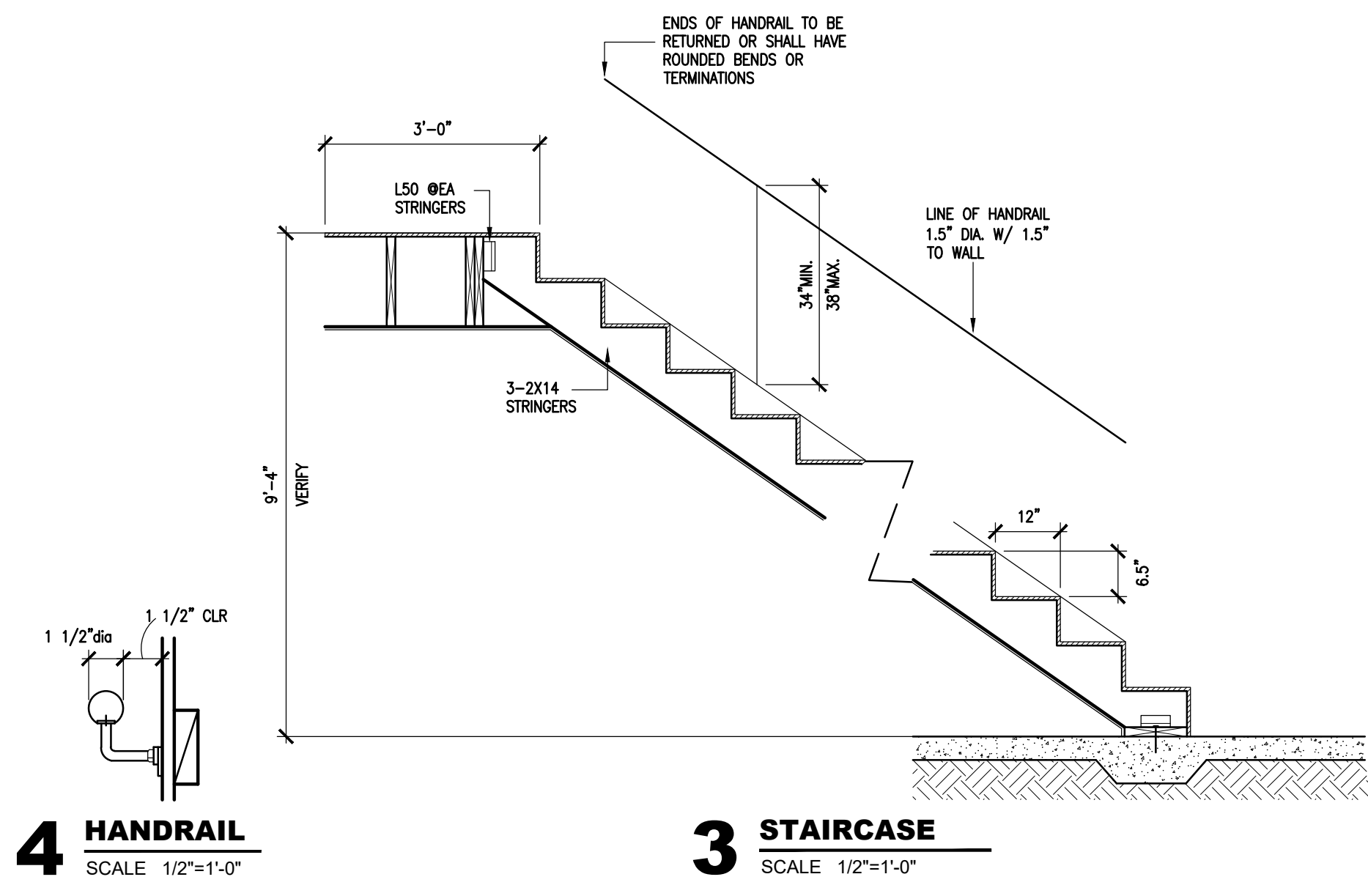
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NOTES 1ST FLOOR PLAN

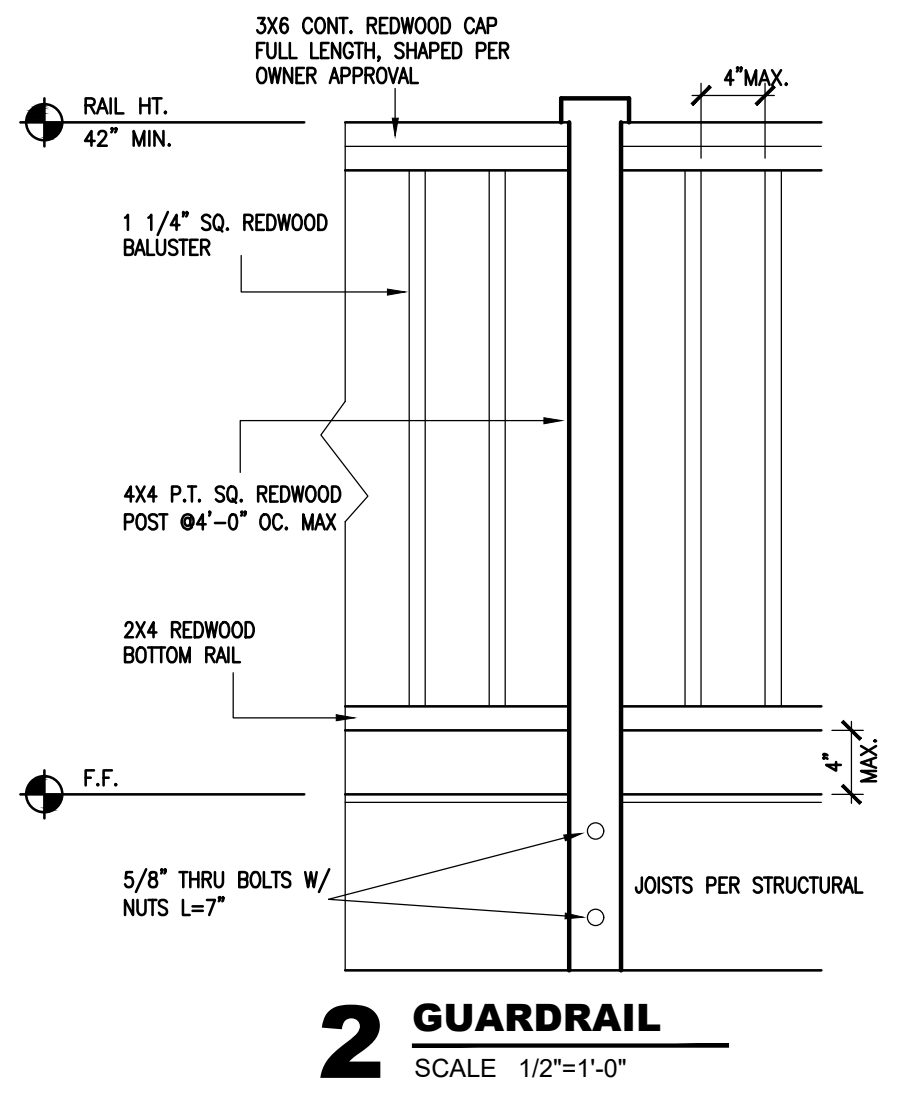
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A20



4 HANDRAIL
SCALE 1/2"=1'-0"

3 STAIRCASE
SCALE 1/2"=1'-0"



2 GUARDRAIL
SCALE 1/2"=1'-0"

FLOOR PLAN NOTES / LEGEND

- ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE. CONTRACTOR SHALL ACCOUNT FOR GYP. BD. AND/OR STUCCO THICKNESS FOR FRAMING.
 - ALLOW 4" AT HINGE SIDE WHERE DOOR SWINGS INTO WALL.
- (E) WALL TO REMAIN
 - (D) WALL TO DEMO
 - NEW FULL HT WALL, 7'-8" CLG HT, 2X4 @ 16" OC PER STRUCTURAL & INSULATION PER T-24
 - NON-BEARING WALLS, NEW FULL HT WALL, 7'-8" CLG HT, 2X4 @ 16" OC

WINDOW SCHEDULE - NEW U-FACTOR: PER T24 SHGC: PER T24

WIN#	TYPE	SIZE (WxH)	GLAZ AREA	FRAME MAT	MANUF	REMARK	NOTE
01	SL	4'-0" x 4'-0"	16.0 SF	VNL	-	-	-
02	SL	5'-0" x 4'-0"	20.0 SF	VNL	-	-	-
03	SL	5'-0" x 4'-0"	20.0 SF	VNL	-	-	-
06	SL	5'-0" x 4'-0"	20.0 SF	VNL	-	-	-
07	SL	3'-0" x 4'-0"	12.0 SF	VNL	-	TEMPERED	-

NATURAL LIGHT & VENTILATION CALC

HABITABLE ROOMS TO BE PROVIDED W/ MIN 8% OF GLAZ AREA OF THE ROOM FOR NATURAL LIGHT AND MIN 4% OF WINDOW OR DOOR AREA OF THE ROOM OPENABLE TO OUTDOOR FOR VENTILATION

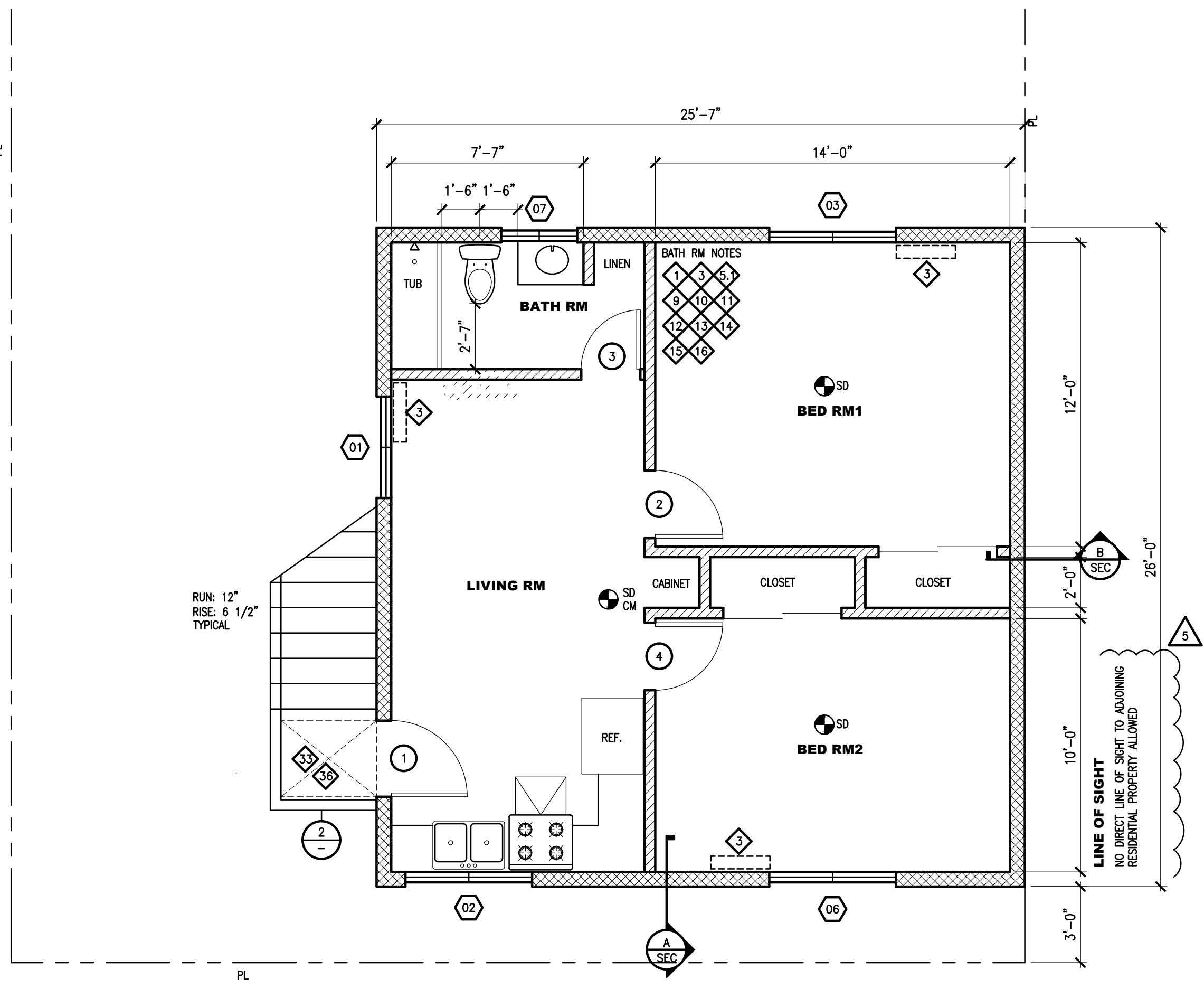
ROOM	AREA	GLAZ AREA	VENT AREA
(N)BED RM1	168 SF	36.0 SF 21%	18.0 SF 11%
(N)BED RM2	140 SF	36.0 SF 26%	18.0 SF 13%
(N)KITCHEN / LIVING RM	194 SF	36.0 SF 19%	18.0 SF 9%

EGRESS WINDOWS

- A. MIN. NET OPENING: 5.7 SF
- B. MIN. NET CLEARING WIDTH: 20 INCHES
- C. MIN. NET CLEAR HEIGHT: 24 INCHES
- D. MAX. SILL HEIGHT: 44 INCHES AFF

DOOR SCHEDULE

DOOR NUMBER	DOOR LOCATION	DOOR TYPE	SIZE (WxH)	GLAZ AREA	SOLY/ HOLLOW	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FIRE RATING	MANUF	PRD. NO.	DOOR NOTE
1	(N)ENTRY	WD	3'-0" x 6'-9"	-	SC	WD	-	-	-	-	-	-	-
2	(N)BED RM1	WD	2'-8" x 6'-9"	-	HC	WD	-	-	-	-	-	-	-
3	(N)TOILET	WD	2'-4" x 6'-9"	-	HC	WD	-	-	-	-	-	-	-
4	(E)BED RM2	WD	2'-8" x 6'-9"	-	HC	WD	-	-	-	-	-	-	-



1 2ND FLOOR PLAN (ADU)
SCALE 1/4"=1'-0"

- LANDING NOTES:**
PROVIDE A MIN 36" DEEP FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR, WITH A SLOPE NOT EXCEEDING 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. (CRC R311.3) MAX. THRESHOLD HEIGHT: 1 1/2"
- LANDINGS NOT MORE THAN 7 3/4" BELOW THE THRESHOLD
- DECK WATER PROOFING -** DECK COATING PRODUCTS, INC (DECK FLEX), DECK FLEX WALKING DECK AND ROOF COVERING SYSTEMS. ICC ES ESR-3672

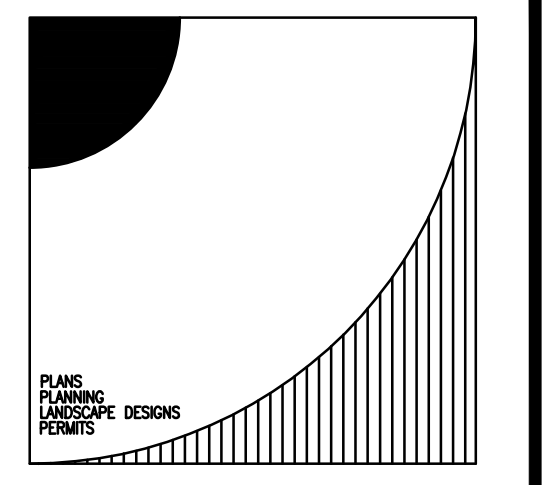
FLOOR PLAN KEY NOTES

- TG = TEMPERED GLAZ
- SD = SMOKE ALARMS
- 1. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE VICINITY OF THE BEDROOMS.
- 2. IN EACH STORY.
- 3. WHEN ONE OR MORE SMOKE ALARMS IS REQUIRED THE ALARM DEVICE SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE MARSHAL LISTED.
- SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP CRC R314.3.4-SPECIFIC LOCATION REQ'D
- CM = CARBON MONOXIDE ALARMS
- 1. OUTSIDE EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).
- 2. ON EVERY LEVEL OF A DWELLING UNIT, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTUATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- 3. SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.
- SHALL BE INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK UP CRC R315.2
- EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 DEGS. MIN AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
- HEATING UNIT: MICROCL. DRY 3 ZONE, DRY-MULTI-36HP230 DUCTLESS SPLIT SYSTEM 36K BTUS, 21.5 SEER OR EQ
- MAXIMUM RISE OF 7.75" AND MINIMUM RUN (TREAD) OF 10" AND SHALL BE PROVIDED WITH 0.75" TO 1.25" NOSING WHEN THE TREAD DEPTH IS LESS THAN 11 INCHES.
- HANDRAILS AND GUARDRAILS
- 1. HANDRAILS SHALL BE PROVIDED AT LEAST ON ONE SIDE OF EACH CONTINUOUS RUN OF THREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- 2. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY.
- 3. PROVIDE HANDRAILS NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREAD.
- 4. PROVIDE 1 1/4" TO 2" HANDGRIP 1 1/2" FROM WALL.
- 5. GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF 4-3/8" DIAMETER SPHERE.
- 6. AT THE SPACE FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD - A 6" SPHERE CANNOT PASS THROUGH.

- GARAGE REQUIRES 1 HOUR OCCUPANCY SEPARATION CONSTRUCTION ON THE GARAGE SIDE ONLY WHERE IT ADJAINS THE REST OF THE BUILDING (1 LAYER OF 5/8" TYPE X GYP. BD ON GARAGE SIDE WALL AND 2 LAYERS OF TYPE X GYP. BD AT GARAGE SIDE CEILING)
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLINGS FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET METAL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- 1 HR. OCCUPANCY SEPARATION: BETWEEN GARAGE & MAIN DWELLING: 2X4 @ 16"OC, 5/8" TYPE "X" GYP. BD, GARAGE SIDE
- FIRE CAULKING: MULTI FIRE STOP SILICONE SEALANT OR EQ (CFS-S SIL G) ESP-0132722P-A

BATHROOM KEY NOTES

- LIGHT & VENTILATION
- 1. VENTILATION IS REQUIRED WITH MIN. BATHROOMS FAN FLOW OF 77 CFM. THE EXHAUST FAN SHALL BE CERTIFIED AND LISTED ON THE CALIFORNIA ENERGY COMMISSION APPLIANCE DATABASE.
- CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- WALL COVERING: TILE OR APPROVED EQUAL TO 80" ABOVE DRAIN INLET (MOISTURE RESISTANT)
- THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.2 GALLONS OF WATER PER FLUSH. KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM. LAVATORIES ARE LIMITED TO 1.2 GPM.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GPM.
- EXISTING "NONCOMPLIANT" FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLON OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE) SHALL BE REPLACED. CERTIFICATION OF COMPLIANCE SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL.
- BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.
- SHOWER CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED
- NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 INCH DIAMETER CIRCLE
- MINIMUM THE 30 INCH CLEAR WIDTH FOR WATER CLOSET COMPARTMENT AND 24 INCH CLEARANCE IN FRONT OF THE WATER CLOSET FOR BATHROOM



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ISSUE	DESCRIPTION	DATE
1	PLANNING COMMENTS	06/21/2021
2	ENGINEERING COMMENTS	05/08/2021
3	FIRE COMMENTS	05/08/2021
4	PLANNING COMMENTS	05/08/2021
5	BLDG COMMENTS	05/08/2021

Contract Date : -
Drawn :
Sheet Title

NOTES 2ND FLOOR PLAN

Sheet Number

A21

EARTHWORK QTY

TOTAL DISTURBANCE AREA: 600 SF
 EXISTING AMOUNT OF IMPERVIOUS AREA: 2275 SF
 PROPOSED AMOUNT OF IMPERVIOUS AREA: 461 SF
 TOTAL IMPERVIOUS AREA: 2756 SF
 IMPERVIOUS % INCREASE: 21%

CUT QUANTITIES: 3.5 CYD
 FILL QUANTITIES: 0 CYD
 IMPORT : 3.5 CYD
 MAX. CUT DEPTH: 1'-2"
 MAX. FILL DEPTH: 0 FT

LEGEND

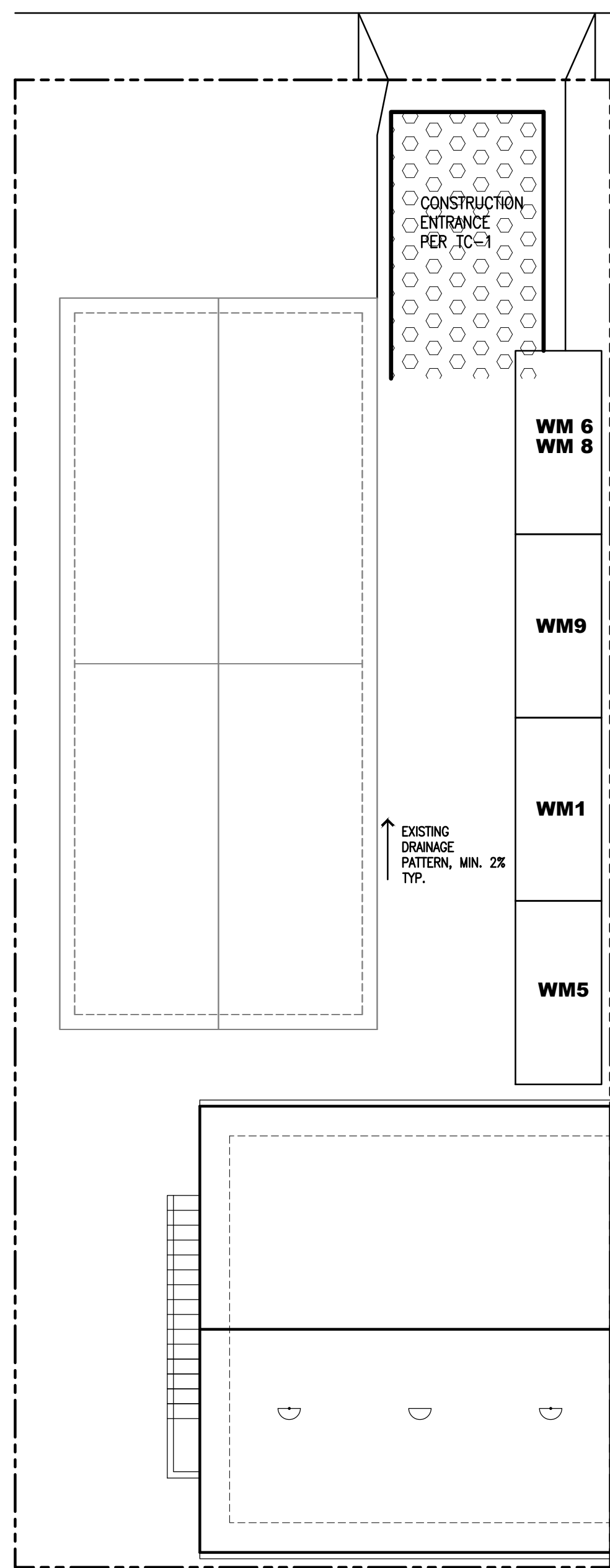
DESCRIPTION	STD. DWG. #	SYMBOL
PROPERTY LINE		
STREET CENTERLINE		
PROPERTY LINE - OFFSITE		
LIMITS OF CONSTRUCTION /DISTURBED AREA	EC-2	
SILT FENCE	SE-1	
INLET PROTECTION	SE-10	
GRAVEL BAG BERM/BARRIER	SE-6	
DIRECTION/COURSE OF FLOW TEMPORARY SWALE		
STABILIZED CONSTRUCTION ENTRANCE	TC-1	
MATERIALS DELIVERY AND STORAGE AREA	WM-1	
TEMPORARY TRASH/SOLID WASTE	WM-5	
HAZARDOUS AND CONCRETE WASTE MANAGEMENT	WM-6, WM-8	
SANITARY WASTE (PORTABLE TOILET)	WM-9	
STREET SWEEPING	SE-7	
BIO-DEGRADABLE EROSION CONTROL MAT OR BFM	EC-3, EC-4	

* STANDARD DRAWINGS (SE-5, WM-5, ETC.) CAN BE FOUND AT THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASA) WEBSITE: <http://www.casamphdbooks.com/>

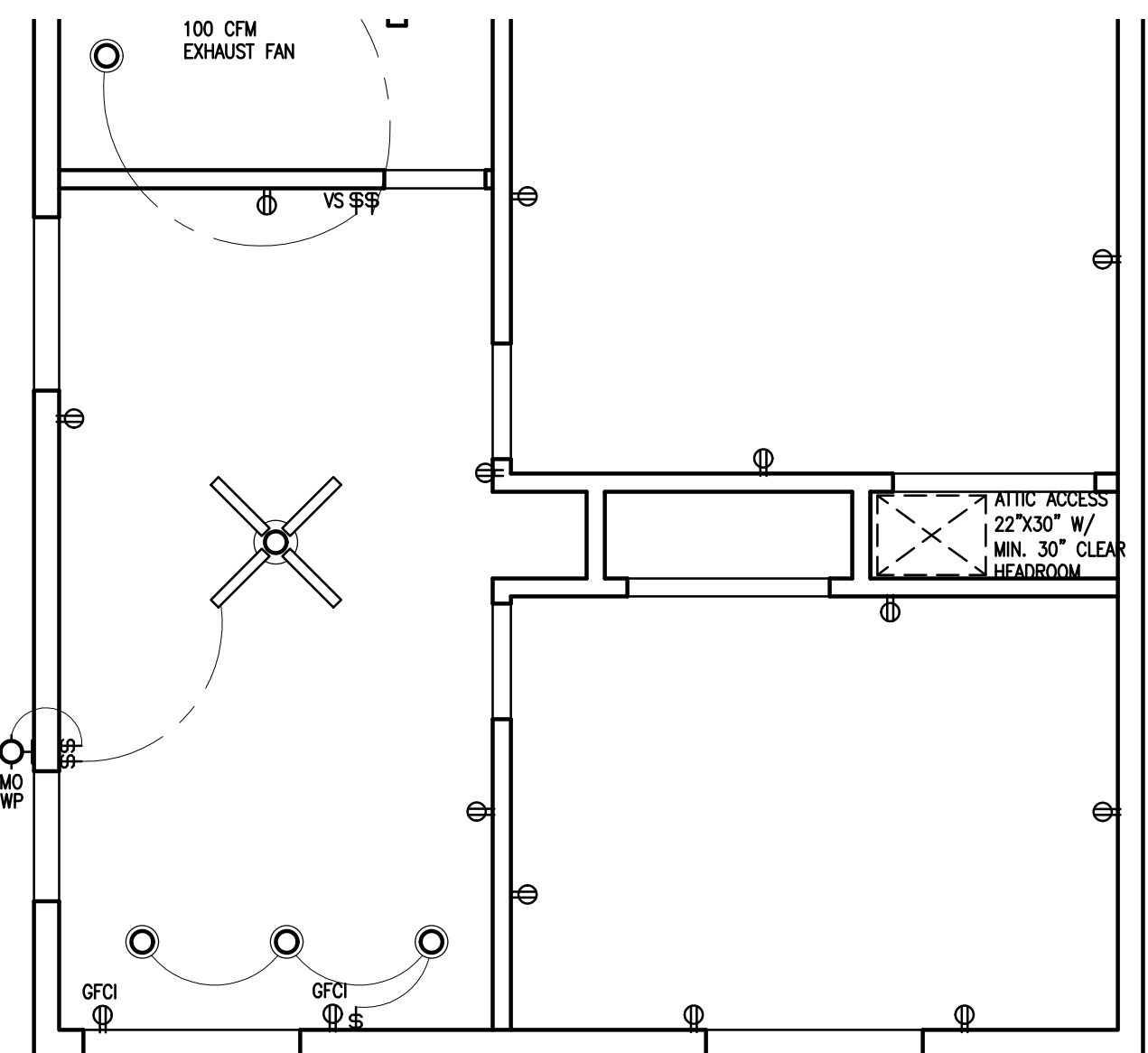
CONSTRUCTION BMP NOTES

SITE MANAGEMENT REQUIREMENTS

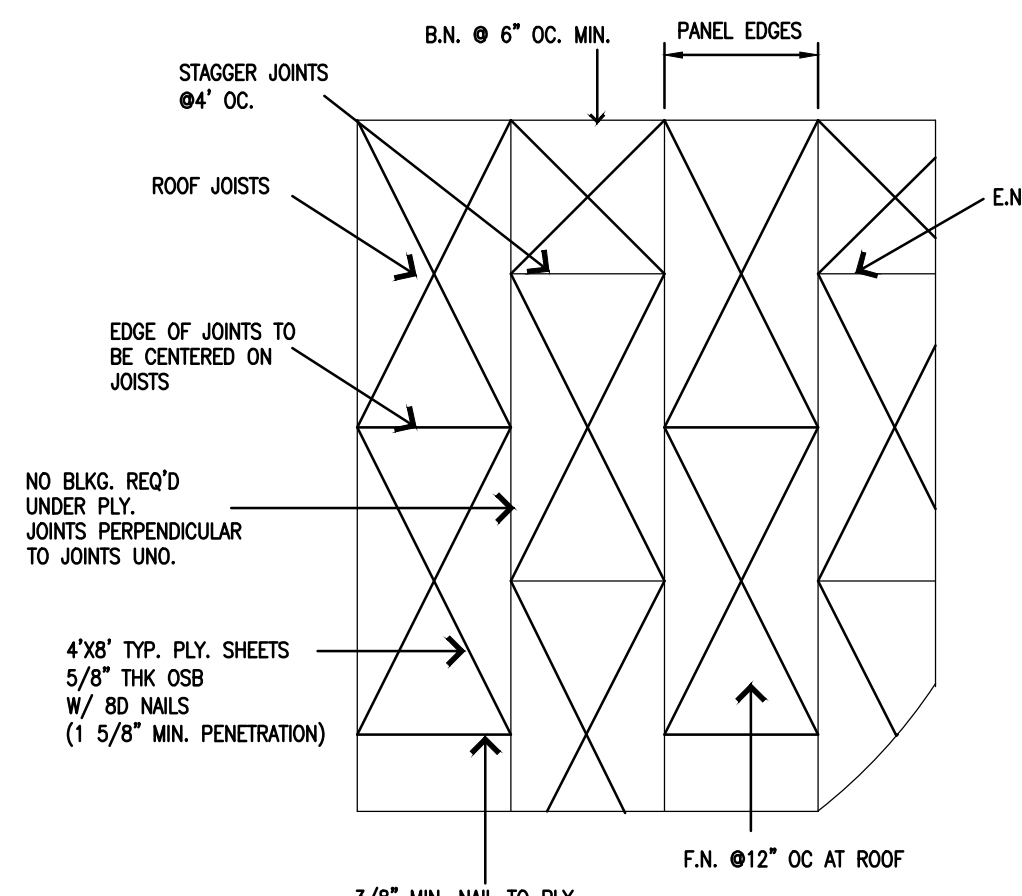
- DRY SEASON REQUIREMENTS (APRIL 1 THRU SEPT 30)**
- A. EXPOSED DISTURBED AREAS MUST HAVE EROSION PROTECTION BMP'S PROPERLY INSTALLED. THIS WOULD INCLUDE ALL BUILDING PADS, UNFINISHED ROADS AND SLOPES. THE ONLY RELIEF FROM THIS REQUIREMENT FOR SLOPES GREATER THAN 3:1 (HOR TO VERT) IS IF THE SITE HAS PROPERLY-DESIGNED DE-SILTING BASINS AT ALL DISCHARGE POINTS.
- B. ADEQUATE PERIMETER PROTECTION BMP'S MUST BE INSTALLED AND MAINTAINED.
- C. ADEQUATE SEDIMENT CONTROL BMP'S MUST BE INSTALLED AND MAINTAINED.
- D. ADEQUATE BMP'S TO CONTROL OFF-SITE SEDIMENT TRACKING MUST BE INSTALLED AND MAINTAINED.
- E. A MINIMUM OF 125% OF THE MATERIAL NEEDED TO INSTALL STANDBY BMP'S NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION, AND TO PREVENT SEDIMENT DISCHARGES, MUST BE STORED ON SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMP'S AS DESCRIBED BELOW ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
- F. THE PROJECT PROPONENT MUST HAVE AN APPROVED "WEATHER TRIGGERED" ACTION PLAN AND HAVE THE ABILITY TO DEPLOY STANDBY BMP'S AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT. A PREDICTED STORM EVENT IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN. ON REQUEST, THE PROJECT PROPONENT MUST PROVIDE PROOF OF THIS CAPABILITY.
- G. DEPLOYMENT OF PHYSICAL OR VEGETATION EROSION CONTROL BMP'S MUST COMMENCE AS SOON AS SLOPES ARE COMPLETED FOR ANY PORTION OF THE SITE. THE PROJECT PROPONENT MAY NOT CONTINUE TO RELY ON THE ABILITY TO DEPLOY STANDBY BMP MATERIALS TO PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.
- H. THE AREA THAT CAN BE CLEARED OR GRADED AND LEFT EXPOSED AT ONE TIME IS LIMITED TO THE AMOUNT OF ADJACENT THAT THE PROJECT PROPONENT CAN ADEQUATELY PROTECT PRIOR TO A PREDICTED RAINSTORM.



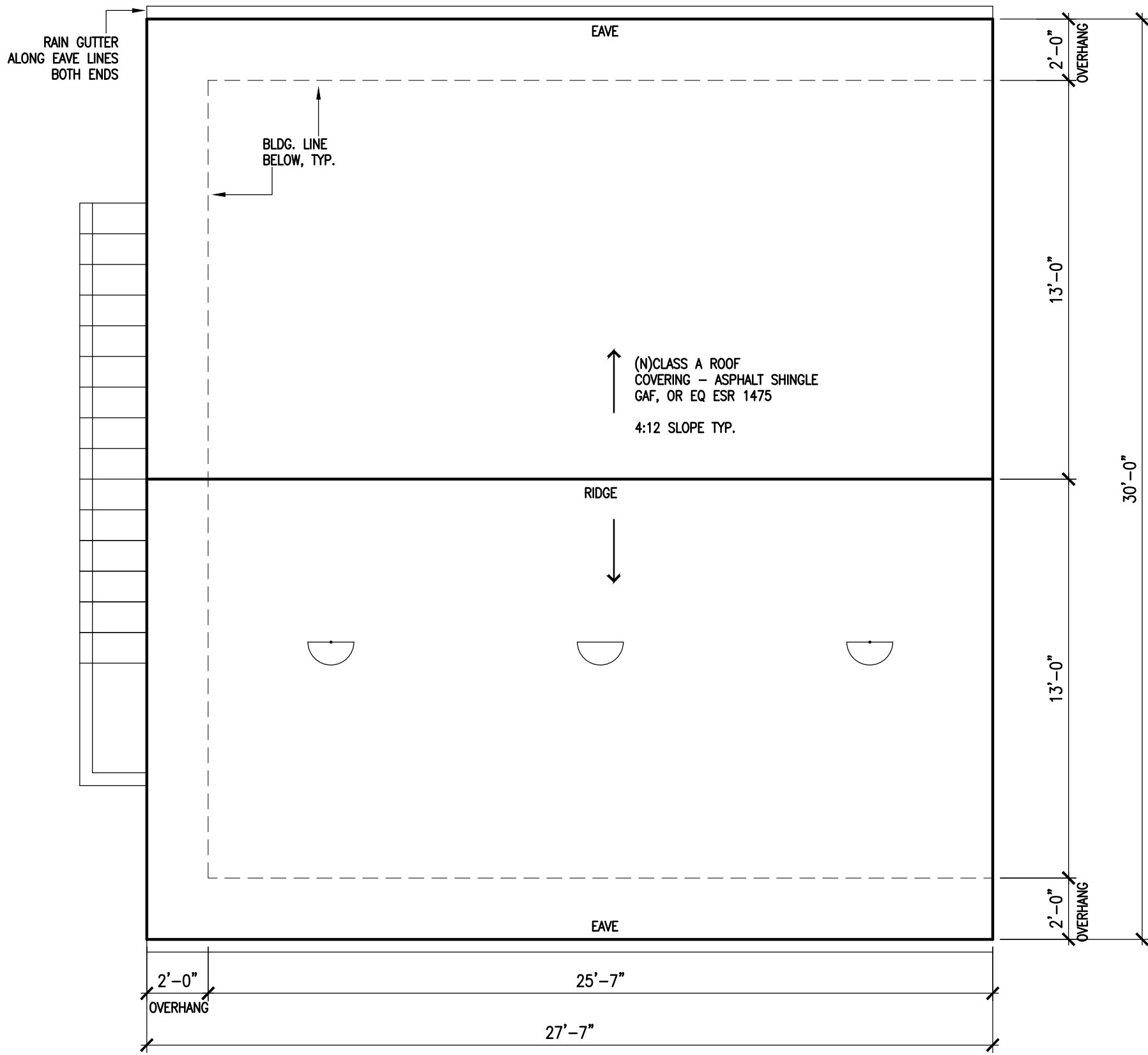
3 BMP
SCALE 1/8" = 1'-0"



5 2ND FL - CEILING PLAN
SCALE 1/4" = 1'-0"



2 ROOF SHEATHING
SCALE NTS



1 ROOF PLAN
SCALE 1/4" = 1'-0"

ATTIC VENTILATION AREA CALCULATION

TOTAL (N) ATTIC AREA: 666 SF
VENT AREA REQ'D: 666/150 = 4.4 SF
VENT SIZE (12"x24" x 1) = 2.0 SF
NO. OF VENT PROVIDED: 3
VENT AREA PROVIDED: 6.0 SF

CLNG PLAN LEGEND

NOTE: SYMBOLS INDICATED ON THIS SHEET IS LIMITED TO ARCHITECTURAL ELEMENTS ONLY. REFER TO ELEC. AND MECH. DWG. FOR OTHER DETAILED INFORMATION

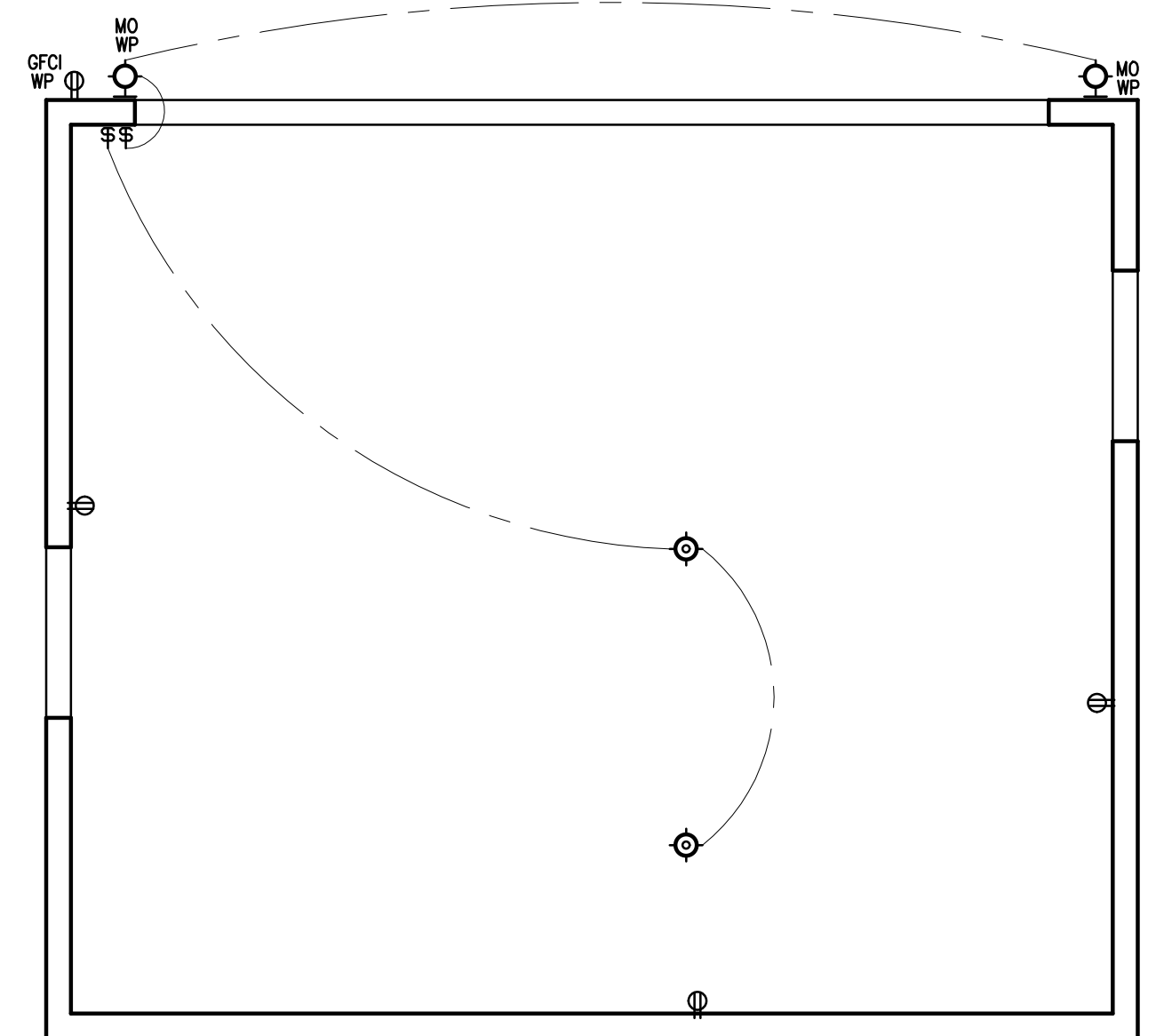
- (E) EXISTING, NO CHANGE
- (ER) EXISTING, RELOCATED
- (EM) MATCH ADJACENT EXISTING FIXT
- LT LIGHT FIXTURE PER SPEC
- (E) ELEMENT TO REMOVE
- (E) FIXT TO BE REMOVED
- (E) FIXT TO BE RELOCATED
- 2X4 FLUO LT
- 1X4 FLUO LT
- FLUO STRIP LT
- RECESSED DOWN LT
- WALL MOUNTED LT
- PENDANT LT
- CLNG MOUNTED LT
- SWITCH
- EXHAUST FAN (50 CFM MIN)
- EXHAUST FAN ON CEILING PANASONIC "WISPER" FV-204GS MAX. 200 CFM MIN. REQ'D: 80 CFM
- CLNG FAN AND LT
- A RECEPTACLE OUTLET: NO POINT ALONG THE WALL SPACE WILL BE MORE THAN 6 FT FROM A RECEPTACLE OUTLET
- 3-WAY SWITCHES
- MOTION SENSOR W/ PHOTOCELL SWITCH
- VACANCY SENSOR SWITCH
- WEATHER-PROOF

ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR

PLUMBING FIXTURES (WATER CLOSET AND URINALS) AND FITTINGS (FAUCETS AND SHOWER HEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODES (CPC)

MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:

- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATIONS SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT



4 1ST FL - CEILING PLAN
SCALE 1/4" = 1'-0"

KITCHEN SMALL APPLIANCE CIRCUITS SHALL SERVE ONLY ONE KITCHEN BATHROOM RECEPTACLE OUTLETS SHALL BE SERVED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT. NO OTHER RECEPTACLES MAY BE INSTALLED ON THIS CIRCUIT. MORE THAN BATHROOM MAY BE SERVED BY THE DEDICATED BRANCH CIRCUIT. EXCEPTION: WHERE THE 20-AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED PER 210-22(c), SECTION 210-11(c), 3.

FOR A ONE-FAMILY DWELLING AND EACH UNIT OF A TWO-FAMILY DWELLING THAT IS AT GRADE LEVEL, AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6'-6" ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING

ALL 125-VOLT SINGLE PHASE, 15 AND 20 AMP CIRCUITS INSTALLED SHALL BE PROTECTED BY AN ARC-FAULT-CIRCUIT-INTERRUPTER(S), (AFCI).

ALL RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT

A 125-VOLT, SINGLE-PHASE, 15 OR 20-AMPERE-RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICES OF HEATING, AIR-CONDITIONING, AND REFRIGERATION EQUIPMENT IN ATTICS AND CRAWL SPACES. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25' (7620mm) OF THE HEATING, AIR-CONDITIONING, AND REFRIGERATION EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE EQUIPMENT DISCONNECTING MEANS (210-63).

GROUND-FAULT-CIRCUIT-INTERRUPTER (GFCI) PROTECTION IS REQUIRED IN THE FOLLOWING LOCATIONS (NEC 210-8), BATHROOMS, KITCHEN COUNTERS, IN GARAGES, OUTDOORS, CRAWL SPACES AND NON-HABITABLE ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS AT OR BELOW GRADE LEVEL, AND IN UNFINISHED NON-HABITABLE BASEMENTS LIMITED TO STORAGE AND WORK AREAS OR SIMILAR USES.

EXTERIOR CONVENIENCE OUTLETS SHALL BE OF THE "WEATHER-PROOF" TYPE.

LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.

ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.

OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER

ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE 15 & 20 - AMPERE OUTLETS INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS. NEC210-12(b)

BATHROOM CIRCUITING SHALL BE EITHER:

- (A) A 20 AMP CIRCUIT DEDICATED TO EACH BATHROOM OR
- (B) AT LEAST 20-AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS

BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING

THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES

KITCHEN AND BATHROOM FANS TO HAVE A MAXIMUM NOISE RATING OF 3 SONE

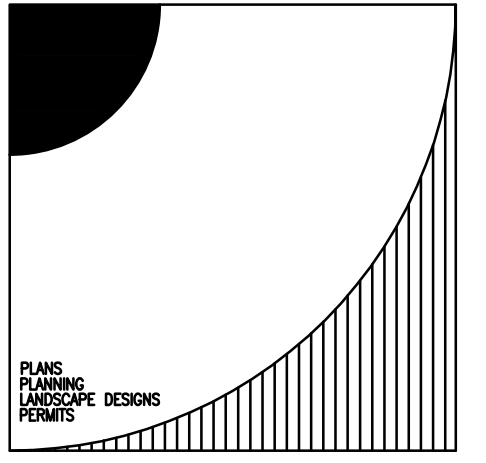
KITCHEN REQUIRE EXHAUST FAN WITH A MINIMUM 100 CFM DUCTED TO THE EXTERIOR.

KITCHEN COUNTER RECEPTACLE OUTLETS SHALL BE LOCATED NO MORE THAN 48 INCHES AWAY FROM WALLS AND NO MORE THAN 12 FEET APART

LISTED TAMPER-RESISTANT 125-VOLT 15/20 AMP RECEPTACLES ARE REQUIRED IN BEDROOMS, BATHROOMS, LIVING ROOMS, ETC

AFCI PROTECTION REQ'D AT ALL 120V CIRCUIT EXCEPT BATHROOM RECEPTACLES, NOT JUST WALL RECEPTACLES

EXTERIOR LIGHTS: FOR DWELLING UNITS, ATTACHED GARAGE, AND DETACHED GARAGES WITH ELECTRIC POWER, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS. A VEHICLE DOOR IN A GARAGE SHALL NOT BE CONSIDERED AS AN OUTDOOR ENTRANCE OR EXIT. EXCEPTION: REMOTE, CENTRAL, OR AUTOMATIC CONTROL OF LIGHTING SHALL BE PERMITTED



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ISSUED	DESCRIPTION	DATE
<input type="checkbox"/>	PLANNING COMMENTS	06/21/2021
<input type="checkbox"/>	ENGINEERING COMMENTS	05/08/2021
<input type="checkbox"/>	FIRE COMMENTS	05/08/2021
<input type="checkbox"/>	PLANNING COMMENTS	05/08/2021
<input type="checkbox"/>	BLDG COMMENTS	05/08/2021

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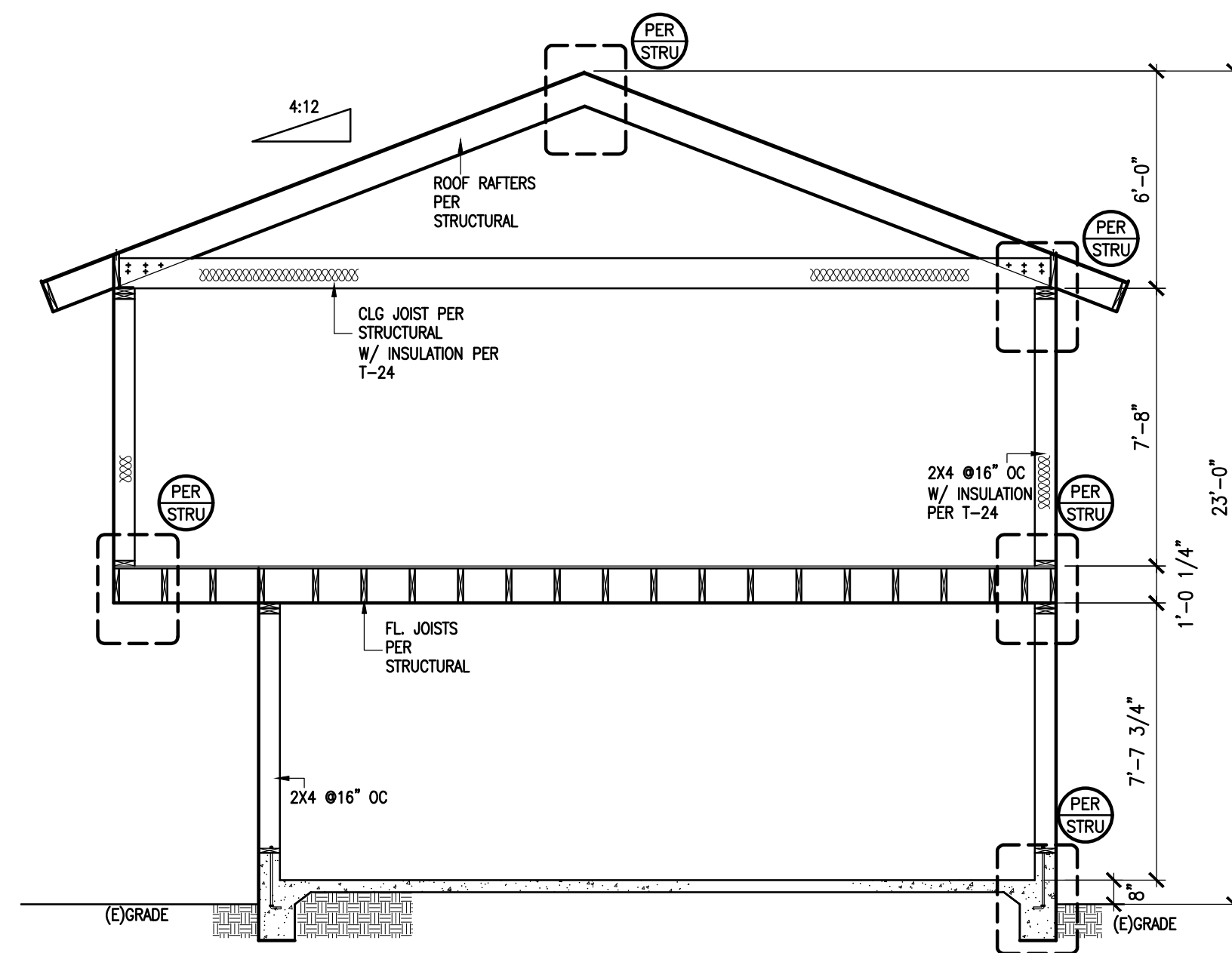
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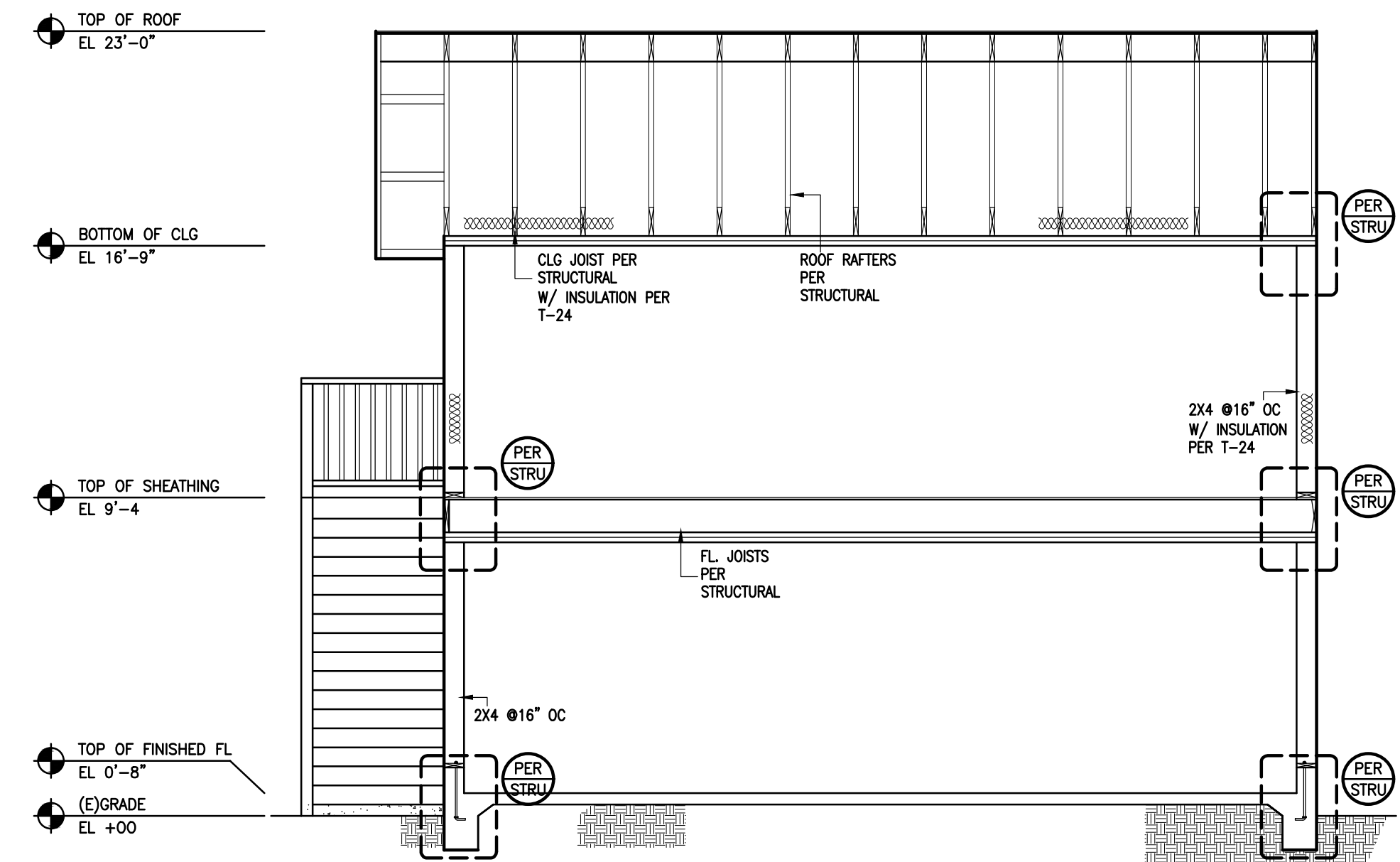
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**NOTES
 ROOF PLAN
 BMP
 CEILING PLANS**

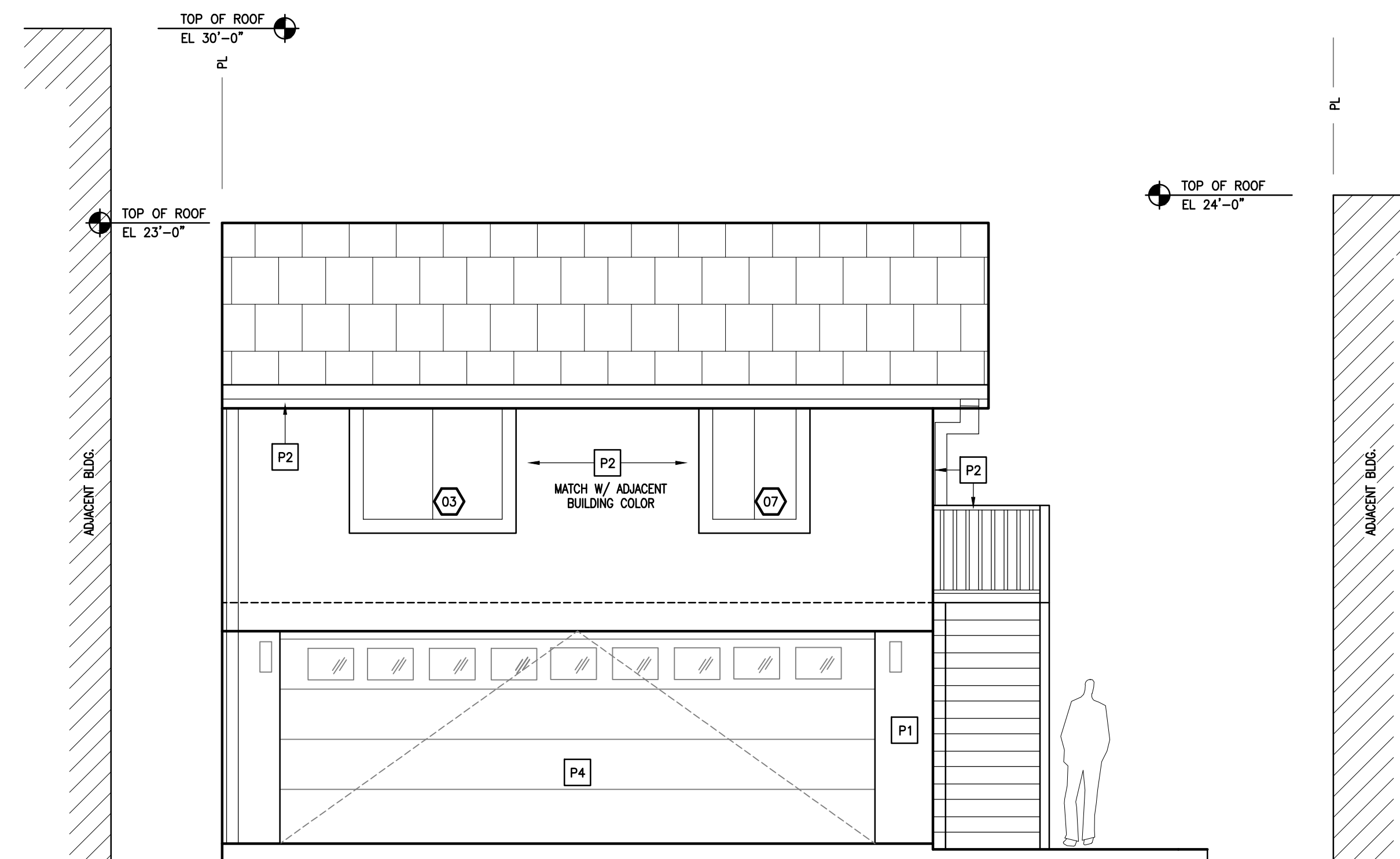
Sheet Number



2 SECTION BB
SCALE 1/4" = 1'-0"



1 SECTION AA
SCALE 1/4" = 1'-0"



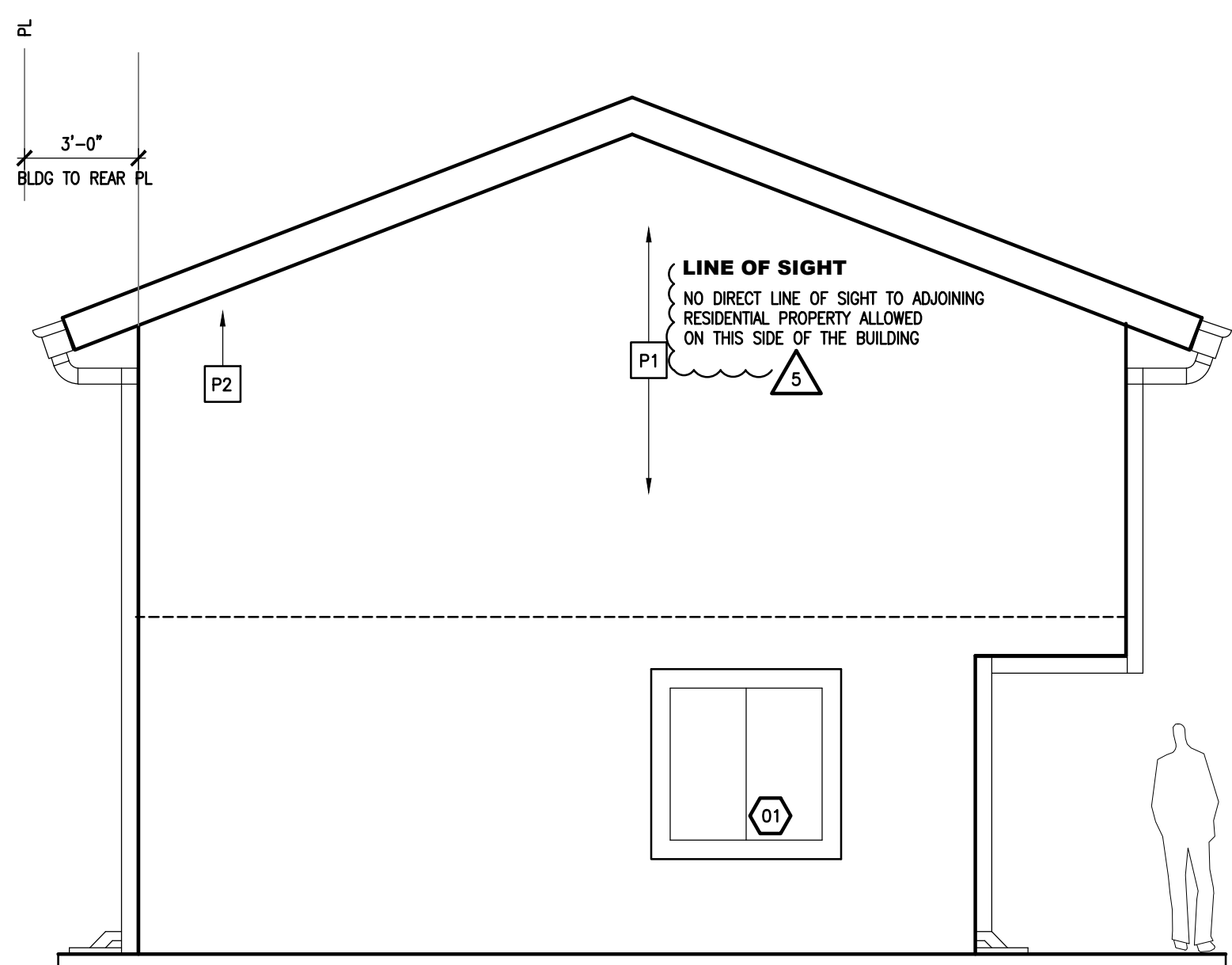
3 NORTH ELEVATION
SCALE 1/4" = 1'-0"

LEGENDS

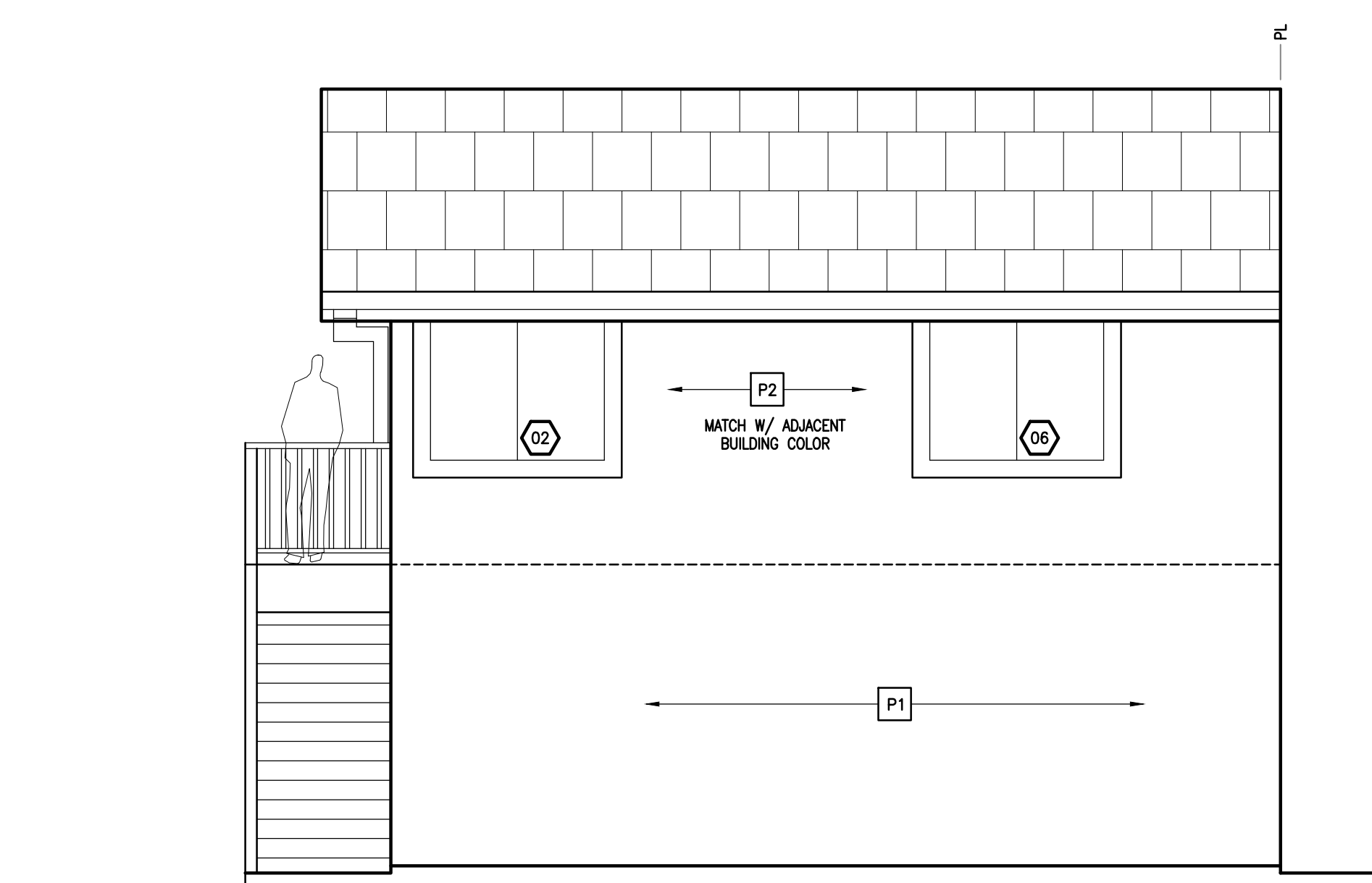
EXTERIOR FINISH
ALL EXTERIOR FINISH = 7/8" CEMENT PLASTER SYSTEM

CEMENT PLASTER PAINT COLOR

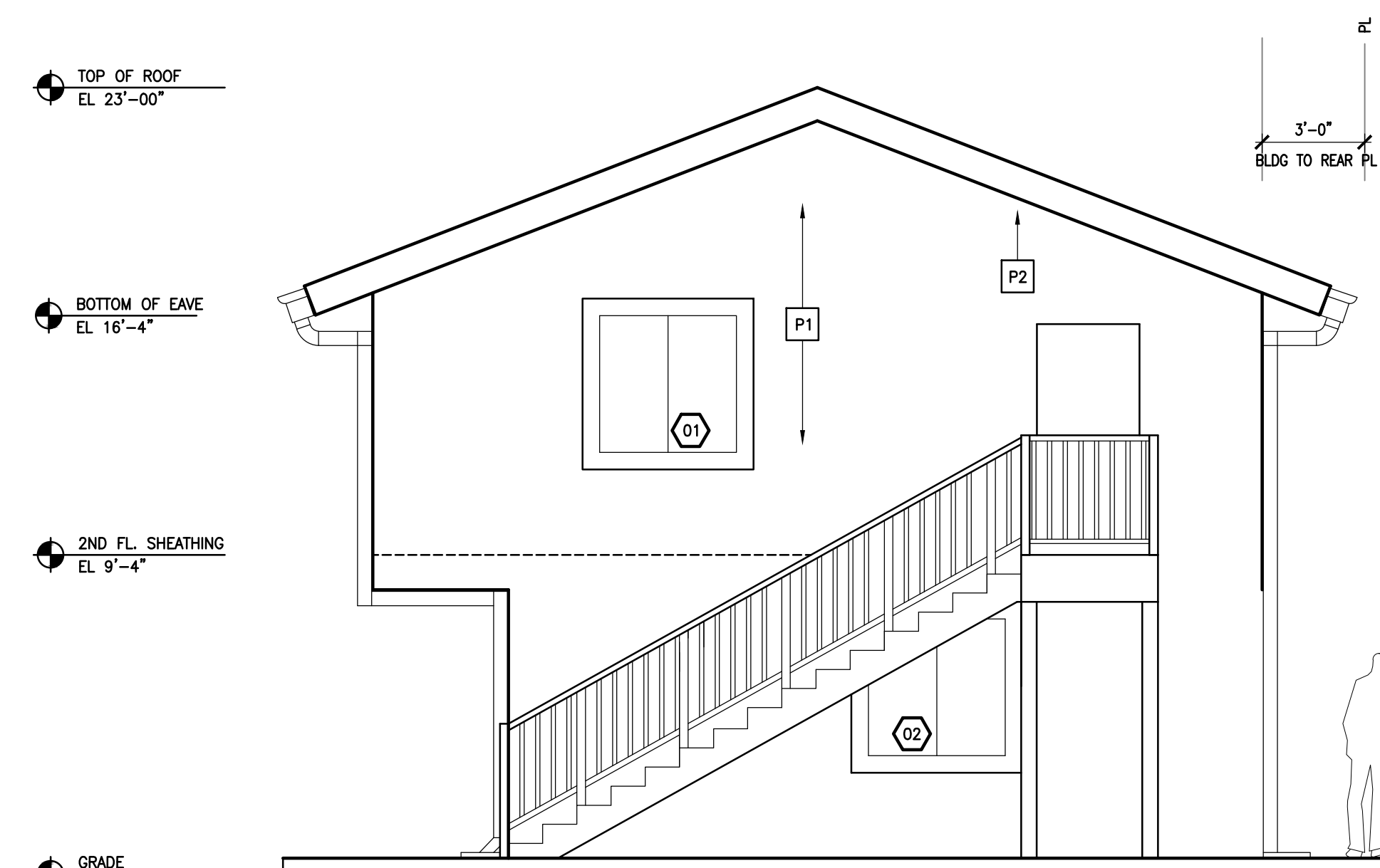
- P1** FIELD COLOR FOR STUCCO WALL
* WHITE OR LIGHT EARTH TONE STUCCO FINISH
- P2** WINDOWS - WOOD FRAMED & NON-CORROSIVE METAL FINISH
ACCENT COLOR, TRIMS & EAVES
* COLOR TO MATCH W/ EXISTING PRIMARY DWELLING
- P3** ASPHALT SHINGLES
*COLOR TO MATCH W/ EXISTING PRIMARY DWELLING WITH EARTH TONE COLOR
- P4** GARAGE DOOR
CLOPAY GARAGE DOOR
COLOR: WHITE OR LIGHT EARTH TONE FINISH



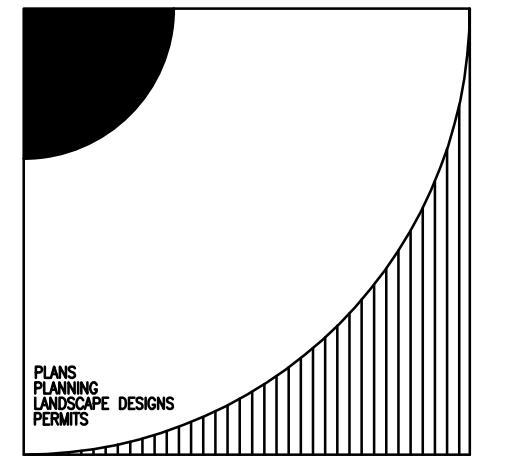
6 EAST ELEVATION
SCALE 1/4" = 1'-0"



5 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



4 WEST ELEVATION
SCALE 1/4" = 1'-0"



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<input type="checkbox"/>	BLDG COMMENTS	05/08/2021

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Contract Date : -

Drawn : -

Sheet Title

ELEVATIONS SECTION

Sheet Number

A40