



Design Review Subcommittee (DRSC)

Meeting Date: September 15, 2021

PLANNER: David Carrillo, Assistant Planner

SUBJECT: **Cultural Heritage Permit 21-001/Minor Exception Permit 21-173, Fox Duplex**, a request to consider the construction of a two-story duplex building on a vacant lot, adjacent to property in the City's List of Designated Historic Resources.

BACKGROUND:

First DRSC Review

The Design Review Subcommittee (DRSC) first reviewed the project on July 28, 2021. Copies of the DRSC staff report and meeting minutes are attached as Attachments 1 and 2. Generally, the DRSC had recommendations to improve the building's consistency with the Design Guidelines and to reduce massing impacts on the adjacent historic resource. Recommendations made by staff and the DRSC, along with the applicant's changes are discussed below in the "Analysis" section.

Site Data and Project Description

For full site data and a project description, please see Attachment 1. Since the last DRSC review, the applicant has removed the request for the six-inch reduction of the five-foot side-yard setback. Image 1 below is an aerial view of the site.

Image 1 – Aerial View of Project Site



Why is DRSC Review Required?

The project requires review by the Design Review Subcommittee (DRSC) since the applicant is requesting a Cultural Heritage Permit (CHP). The purpose of this review is for the DRSC to provide feedback to the applicant on architectural design issues, such as architectural quality and style, massing, scale, proportions, landscaping, materials, design features, visual impacts on the adjacent historic resource, and the project's consistency with the City's Design Guidelines.

ANALYSIS:

Development Standards

The proposed project is consistent with all applicable development standards, as shown in Table 1 below. The proposed side-yard setback and lot coverage have changed since the first DRSC review.

Table 1 – RM Development Standards

<i>Standard</i>	<i>Zoning Ordinance</i>	<i>Proposed</i>	<i>Complies with the Code</i>
<u>Setbacks</u> (Minimum)			
Front	15'-0"	18'-9"	Yes
Side	5'-0"	5'-0"	Yes
Rear	5'-0"	5'-0"	Yes
<u>Lot Coverage</u> (Maximum)	55%	52%	Yes
<u>Building Height</u> (Maximum)	25'	25'	Yes
<u>Parking</u> (Minimum for two units)	4	4	Yes
<u>Landscaping</u>	Setback areas visible from a public street must be landscaped (except for entry walkways and driveways)	Setback areas visible from a public street.	Yes

Design Changes

This report focuses on the recommendations made by staff and the DRSC, and how those have been incorporated into the project design. The main objective of design changes was to improve the project’s consistency with Design Guidelines Section II.B and reduce massing impacts on the adjacent historic resource. Table 2 below shows how each DRSC recommendation/comment was addressed and Table 3 below shows how each staff recommendation was addressed. Attachment 3 is a narrative letter from the applicant explaining the changes in detail.

Table 2: DRSC Recommendations/Comments

DRSC Recommendation/Comment	Applicant’s Response
Expressed concerns with massing as the project maximizes development to limits.	The project footprint has been reduced by 3% with a reduction of 341 sf
Suggested that the design be simplified as the proposed building is visually too busy.	Simplified the design with a single window at Unit A kitchen and remove front deck and trellis element. Extended the roof across the front on both sides of center roof element. Side elevation on the East side shows simpler roof removing higher roof elements.
Expressed that the project does not seem compatible with the neighborhood or historic property.	The neighborhood is a mix of styles. The goal is not to mimic the historical house. With the new simplified modifications the project is in keeping with the surrounding structures that have a mix of stucco and siding.
Expressed that the heaviest, largest, and tallest parts of the building are on the side closest to the historic property.	The roof line on the East side adjacent to the Historical property has been reduced in height and simplified.
Suggested the applicant consider relocating the garage doors towards the west side of the property, away from the historic property.	The garages have been reversed to the west side of the property away from the Historical property. This change places the majority of the landscaping adjacent to the historical property and allowing the massing of the project to be reduced and pushed back allowing for better visibility of the historical structure.
Expressed that the roof decks have a complicated design.	The roof decks have been simplified also the roof decks are located on the West side of the structure with the roof structure

DRSC Recommendation/Comment	Applicant's Response
	separating the units and the historical structure
Suggested that the roof design be simplified.	The roof structure has been simplified with several hip elements removed along the east side. The plate line along the east side has been lowered.
Suggested relocating the rear unit's entrance to the opposite side of the lot.	The entrance to the rear unit is located on the east side to allow for the largest building setback 8 feet to separate the two properties.
Asked the applicant to focus on mitigating visual and massing impacts from the street, in addition to addressing impacts from the historic property.	The revised project massing has been pushed back from the street as much as possible. A one-story element adjacent to the historical structure has been incorporated. The entrance to Unit A is now 26.5 feet from the front property line which is 5 feet further back than the historical structure allowing a clear view of the historical house approaching from the west along Mariposa.
Directed the applicant to work with staff to improve the project's consistency with the City's Design Guidelines.	The revised project is more in keeping with City Design Guidelines in the way the massing has been redistributed away from the Historical property. One story front porch element designed into the project to be complementary to the adjacent property and balance the proportions. Per section II B.
Directed staff to investigate if two unit entrances can be located on the same side.	Two unit entrances may be located on the same side. The Building Code requires clear path to the public right-of-way, and street-facing addressing. Here, the units have separate entrance locations for privacy. One from the front and the other from the side.

Table 3: Staff Recommendations

Staff Recommendation	Applicant's Response
Maintain the existing hedge between the project site and historic property, or if the hedge must be removed, replace with a similar hedge or vertical landscaping	The adjacent existing hedge can remain in place for up to 20 feet beyond the existing portico along the property line (as seen on the site plan sheet A1). We feel a privacy

Staff Recommendation	Applicant's Response
	wall matching the Spanish revival style is necessary at the entrance to Unit B.
Reduce the size of the window for bedroom #3 on the second floor, to improve privacy of the historic rear yard.	Bedroom windows along the east side shall be two 28x60 windows on the side of the bed in lieu of the larger center window this will provide privacy in that a nightstand will be in front of the window and will provide the required light and ventilation without providing a large viewable center window.
Reduce building mass to further show sensitivity to the historic resource and to improve light and sun exposure of the historic resource.	We reduced the building footprint by 3% and reduced the building area by 341 sf. Removed the higher hipped roof elements and lowered the second floor top plate line. Redesigned the roof to a simple pitched plane.
Add a note on plans which emphasizes that the finished grade be sloped away from the historic property, consistent with Building Code requirements, for drainage purposes.	Finish grade will have area drains and slope away from the adjacent property.
Replace the proposed glass-dominant garage doors with wood- or aluminum-dominant garage doors. Garage doors in the neighborhood are primarily of non-glass solid material.	Garage doors will be wood with upper window panel. Providing natural light into the Garage. We have eliminated the contemporary glass doors.
Emphasize the front entry to the rear unit	The entrance to the rear unit will be delineated with a path along the curved planter separating the two units.
Reduce the amount of concrete on the driveway by providing turf block pavers, or a similar permeable surface.	The landscaping in the front yards is larger than the required 50%. With the garages located to the west side we feel the landscaping will be adequate and do not wish to complicate the driveway with turf block
Address comments provided by the City's Landscape Consultant.	The landscaping material will be greater than 60% drought tolerant native material.
Remove the side-yard encroachment on the east elevation.	The request for the 6" side yard encroachments have been removed.

Image 2 below is a side-by-side comparison of the original and revised design as viewed from the street. See Attachment 4 and 5 for the original and revised plans.

Image 2 – Side-by-Side Comparison



CONCLUSION:

Overall, staff believes the revised design is consistent with design guidelines and significantly reduced massing impacts on the historic resource. Staff seeks feedback from the DRSC on the design changes and, direction on whether additional DRSC review is needed, or if the project is ready to be forwarded to the Planning Commission.

Attachments:

1. DRSC Report - July 28, 2021
2. DRSC Minutes - July 28, 2021
3. Applicant's Response to Staff and DRSC Recommendations
4. Original Plans
5. Revised Plans



Design Review Subcommittee (DRSC)

Meeting Date: July 28, 2021

PLANNER: David Carrillo, Assistant Planner

SUBJECT: **Cultural Heritage Permit 21-001/Minor Exception Permit 21-173, Fox Duplex**, a request to consider the construction of a two-story duplex building on a vacant lot, adjacent to property in the City's List of Designated Historic Resources, and to allow a six-inch encroachment into the required side yard setback.

BACKGROUND:

Site Data

The project site is a 4,050 square-foot interior, vacant lot located at 214 West Mariposa in the Residential Medium Zoning District and Coastal Zone Overlay District (RM-CZ). Surrounding land uses include single- and multi-family residential buildings. A historic single-family home at 212 West Mariposa abuts the east side of the project site. The site's legal description is N TR 793 BLK 20 LOT 6, and Assessor's Parcel Number 692-073-06. Image 1 below is an aerial view of the site. See Attachment 2 for photographs of existing conditions, including the historic resource.

Image 1 – Aerial View of Project Site



Project Description

The applicant proposes a 3,526 square-foot two-story duplex building with Contemporary Beach style architecture. Each unit consists of a rooftop deck and an attached two-car

tandem garage, accessed through concrete-paved driveways. Trash containers would be stored on either side of the building, and screened from public view. Design elements proposed include a concrete tile roof, smooth white stucco, limestone veneer, hardie plank siding, aluminum doors and windows, steel cable railing, and a metal yard gate. The applicant is also requesting a Minor Exception Permit to reduce the required side yard setback to four feet, six inches, where five feet is required. The reduction in the side yard setback is to allow two second-story wall planes to encroach into the required side yard setback by six inches. Landscaping consists two sweet acacia trees, canyon prince plants, aloe arboescens plants, and California lilac shrubs in the front yard, along with mulch. Beyond the front yard, landscaping consists of Mexican cardinal flowers, constant fuchsia flowers, and succulents. Artificial turf is also proposed in the side and rear yards. Image 2 below shows a 3D rendering of the proposed duplex building. See Attachment 3 for a complete set of renderings, and Attachment 5 for conceptual plans.

Image 2 – 3D Rendering of Proposed Duplex



Why is DRSC Review Required?

The project requires review by the Design Review Subcommittee (DRSC) since the applicant is requesting a Cultural Heritage Permit (CHP). The purpose of this review is for the DRSC to provide feedback to the applicant on architectural design issues, such as architectural quality and style, massing, scale, proportions, landscaping, materials, design features, visual impacts on the adjacent historic resource, and the project's consistency with the City's Design Guidelines.

ANALYSIS:

Development Standards

The proposed project is consistent with all applicable development standards, as shown in Table 1 below.

Table 1 – RM Development Standards

<i>Standard</i>	<i>Zoning Ordinance</i>	<i>Proposed</i>	<i>Complies with the Code</i>
<u>Setbacks</u> (Minimum)			
Front	15'-0"	19'-10"	Yes
Side	5'-0"	4'-6"	No*
Rear	5'-0"	5'-0"	Yes
<u>Lot Coverage</u> (Maximum)	55%	55%	Yes
<u>Building Height</u> (Maximum)	25'	25'	Yes
<u>Parking</u> (Minimum for two units)	4	4	Yes
<u>Landscaping</u>	Setback areas visible from a public street must be landscaped (except for entry walkways and driveways)	Setback areas visible from a public street.	Yes

*The duplex building complies with the side yard setback requirement of five feet, with the exception of two second-story wall planes at four feet, six inches. The applicant is requesting approval of a Minor Exception Permit to allow a side yard encroachment of six inches.

Adjacent Historic Resource

The adjacent historic property at 212 West Mariposa, located east of the project site, is developed with a one-story single-family residence and a detached garage. The home was constructed in 1927. The property was listed on the City's Designated Historic Resources List for its construction during the period of significance, its Spanish Colonial Revival styling, and its integrity. Per the 1995 Historic Resources Survey, the most notable features of the property include a porte cochere, spiraled columns, a chimney with an arched cap, and a rear garage. The 2006 Historic Resources Survey outlines that the property is partially obscured from view due to dense foliage, and that no substantial changes have been made to the property. The 1995 and 2006 Historic Resources Surveys are provided in Attachment 4. Visibility of the home from the street remains limited with front yard landscaping consisting of trees, shrubs, and plants.

On July 19, 2021, staff visited the historic site and reviewed the proposed plans with the historic property owner to collect feedback. Overall, the property owner supports the project and requested that the following comments be considered:

1. Maintain the existing hedge between the project site and historic property, or if the hedge must be removed, replace with a similar hedge or vertical landscaping; and
2. Reduce the size of the window for bedroom #3 on the second floor, to improve privacy of the historic rear yard.

Staff supports the comments listed above and has recommendations to reflect them.

When reviewing new development adjacent to historic resources, staff reviews potential negative visual or physical impacts on historic buildings, and ensures the proposed development is sensitive to the historic resource. In this case, this is achieved by considering the site layout, proposed distance between the new building and historic buildings, architecture, and landscaping.

The proposed layout of the site is a typical arrangement of yards and building in a neighborhood with lots approximately 4,000 square feet in lot area. This typical arrangement consists of the buildable area, after applying required setbacks, essentially being fully occupied by building area. The proposed lot coverage is 55%, where 55% is the maximum. Although staff supports the project in general, staff recommends that the applicant consider reducing the proposed lot coverage to provide a less box-like building footprint. This change may provide an opportunity to further mitigate massing impacts on the historic resource.

The required side yard setback within the subject zone is five feet. However, the applicant is proposing an eight-foot side yard setback on the front two-thirds of the east elevation which faces the historic resource. The eight-foot setback is provided with the intention to provide visual and physical relief to the historic home from the proposed building's mass. The last, rear third of the east elevation meets the minimum required setback of five feet. Staff is supportive of the proposed setbacks on the east elevation and believes that the eight-foot setback on the front two-thirds of the east elevation is appropriate as it demonstrates sensitivity to the historic primary residential building. The existing porte cochere also benefits from the eight-foot setback in that the structure is more visible from the street than with a five-foot setback on the duplex building. Since the detached garage is at the rear of the historic property and not as visible from the street, the minimum required setback of five feet at the rear is appropriate. Staff is recommending that the applicant add a note on plans which emphasizes that the finished grade be sloped away from the historic property, consistent with Building Code requirements, for drainage purposes.

The Planning Division discourages new development adjacent to historic resources from mimicking the same architectural style – in this case, Spanish Colonial Revival. Proposing a new building in the same architectural style as an adjacent historic resource, may

detract from the historic property, since the new building may become more prominent. This gives a sense of competing for attention. Although there are architectural techniques available to ensure historic properties remain prominent while proposing the same style of architecture, it is important that the built environment clearly highlight properties that are historic and part of the original “Spanish Village by the Sea” period of development. Since the duplex is designed in the Contemporary Beach architectural style, staff supports the proposed architecture.

The proposed location of landscaping does not have the potential to physically impact the historic resource. However, per comments from the historic property owner, staff is recommending that the existing hedge between the project site and the historic property be maintained, or replaced with vertical landscaping if removal of the existing hedge is necessary. Per the site plan, the hedge is within the project site. Therefore, there is the possibility of the hedge being removed to accommodate construction.

Architecture

The project’s architecture is generally consistent with the City’s design guidelines and General Plan policies. The scale, mass, and form of the duplex is compatible with the neighborhood consisting of one- and two-story residential buildings with street-facing garages. Each elevation provides human scale elements through the use of window and door openings, along with minor wall insets and projections (wall plane breaks). Although the building’s mass is maximized, it is broken down by varied roof heights, wall plane breaks, and contrasting wall materials. Staff recommends that the applicant consider reducing building mass to further show sensitivity to the historic resource. The project’s form fits in with the neighborhood in that a mix of roof styles, seen within the neighborhood, cap rectilinear walls. Additionally, distinct window assemblies throughout the elevations provide visual interest.

Some design guidelines and General Plan policies have been identified below, along with recommendations on how the project may be modified to improve its consistency with each guideline and policy.

- Design Guidelines
 - DG II.2 – Respect the privacy, sun, and light exposure of neighboring properties.
 - Recommendation: Reduce the size of the window for bedroom #3 on the second floor, to improve privacy of the historic rear yard.
 - Recommendation: Reduce building mass to improve light and sun exposure of the historic resource.
 - DG II.B - All development proposals should demonstrate sensitivity to the contextual influences of adjacent properties and the neighborhood.

- Recommendation: Replace the proposed glass-dominant garage doors with wood- or aluminum-dominant garage doors. Garage doors in the neighborhood are primarily of non-glass solid material.
- General Plan Policies
 - LU – 1.05.b. - design all building elevations to convey the visual character of individual units rather than a single, continuous building mass and volume.
 - Recommendation: Emphasize the front entry to the rear unit.
 - LU – 1.05.i. - Minimize the total area of driveway paving in relation to landscaping.
 - Recommendation: Reduce the amount of concrete on the driveway by providing turf block pavers.

Landscaping

The City's Landscape Consultant reviewed the preliminary landscape plans and recommended that the proposed plant palette be replaced with California natives, evergreens, and water-compatible like species. Additionally, it is recommended that the applicant utilize native trees and shrubs that possess drought tolerant qualities with drip irrigation. See Attachment 5 for the landscape plan.

Minor Exception Permit

The request to reduce the required side yard setback of five feet to four feet, six inches, is to accommodate recessed windows on two second-story wall planes, one on each side elevation. Although staff does not find it necessary to provide recessed windows for this project, staff may support the encroachment on the west elevation and make findings for a Minor Exception Permit. However, staff does not support the encroachment on the east elevation which faces the historic property. The large window, which staff is recommending that it be downsized for improved privacy of the historic resource, is also on the east wall plane that would encroach into the required side yard setback. To be further sensitive to the historic resource, staff recommends that the encroachment on the east elevation be removed. Architectural quality will not be jeopardized with the removal of the encroachment on the east elevation.

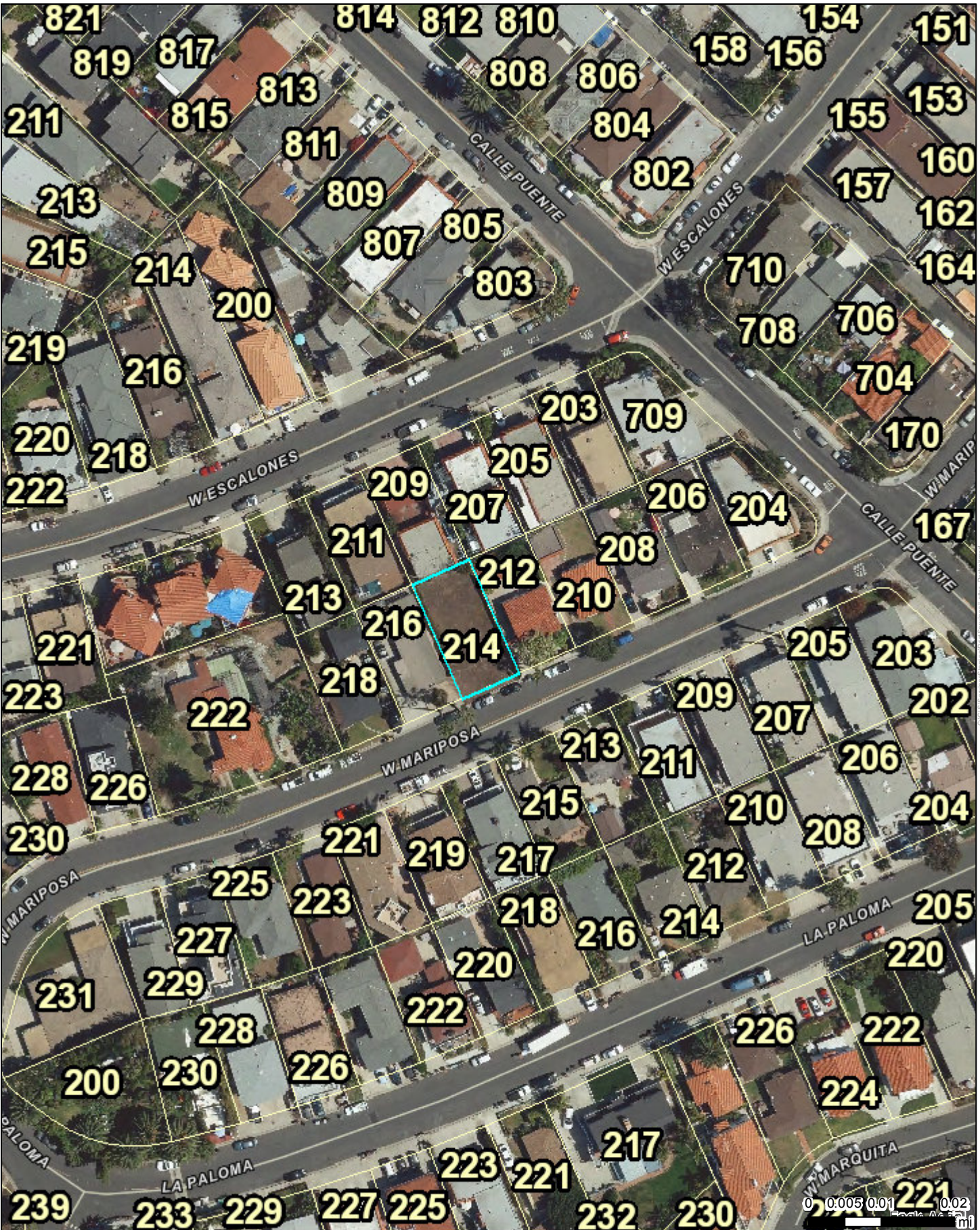
RECOMMENDATIONS:

Overall, staff is supportive of the project as it demonstrates consideration of the adjacent historic resource, but does recommend a few changes to improve the quality of the project and consistency with design guidelines and General Plan Policies. Below is a list of recommendations:

1. Maintain the existing hedge between the project site and historic property, or if the hedge must be removed, replace with a similar hedge or vertical landscaping.
2. Reduce the size of the window for bedroom #3 on the second floor, to improve privacy of the historic rear yard.
3. Reduce building mass to further show sensitivity to the historic resource and to improve light and sun exposure of the historic resource.
4. Add a note on plans which emphasizes that the finished grade be sloped away from the historic property, consistent with Building Code requirements, for drainage purposes.
5. Replace the proposed glass-dominant garage doors with wood- or aluminum-dominant garage doors. Garage doors in the neighborhood are primarily of non-glass solid material.
6. Emphasize the front entry to the rear unit.
7. Reduce the amount of concrete on the driveway by providing turf block pavers, or a similar permeable surface.
8. Address comments provided by the City's Landscape Consultant.
9. Remove the side yard encroachment on the east elevation.

~~Attachments:~~ Exhibits:

1. Location Map
2. Photos of Existing conditions
3. 3D Renderings
4. 1995 and 2006 DPR Forms – 212 W. Mariposa
- ~~5. Conceptual Plans~~



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SITE PHOTOGRAPHS



FRONT VIEW OF PROJECT SITE



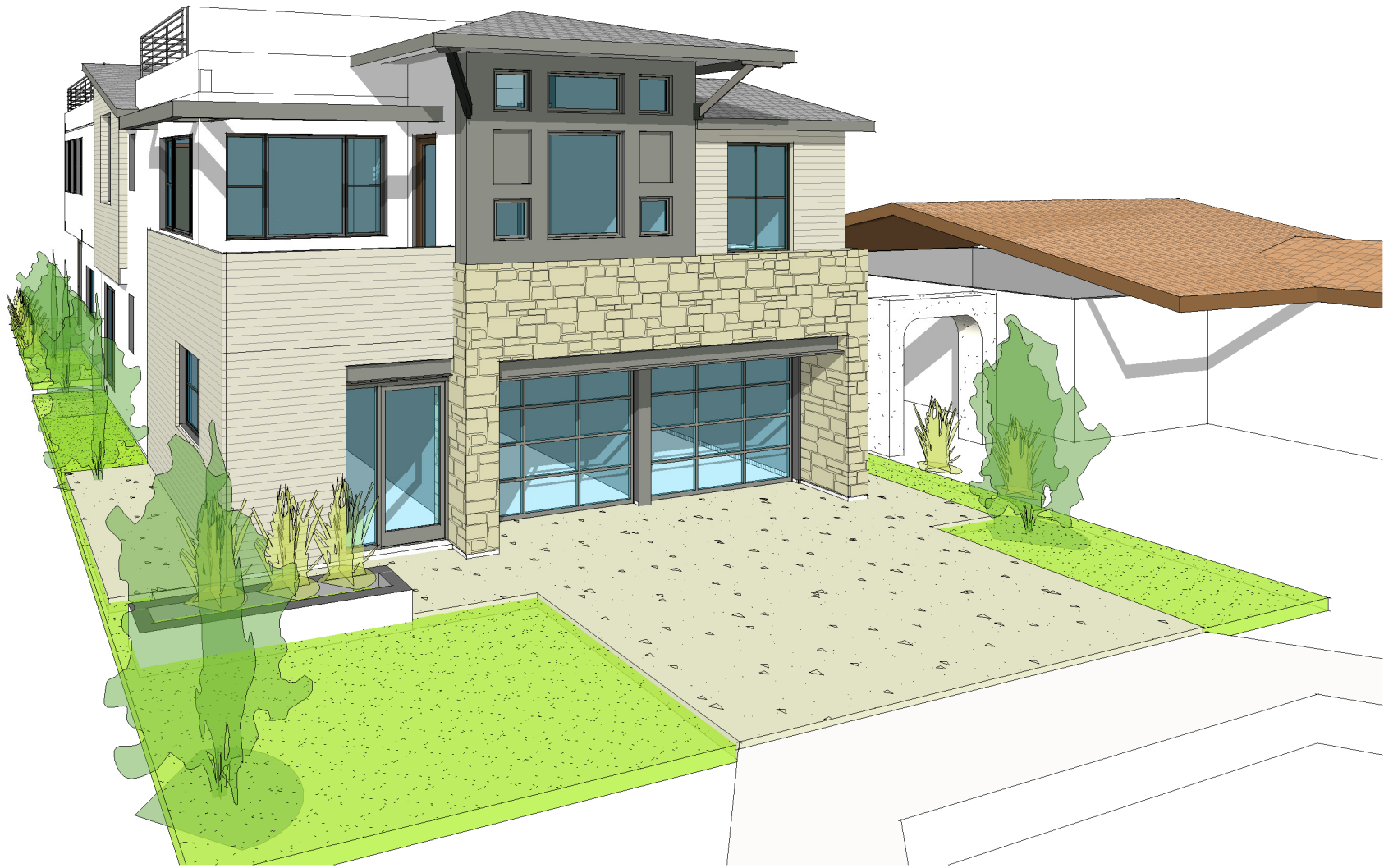
FRONT VIEW OF PROJECT SITE
AND HISTORIC PROPERTY

SITE PHOTOGRAPHS

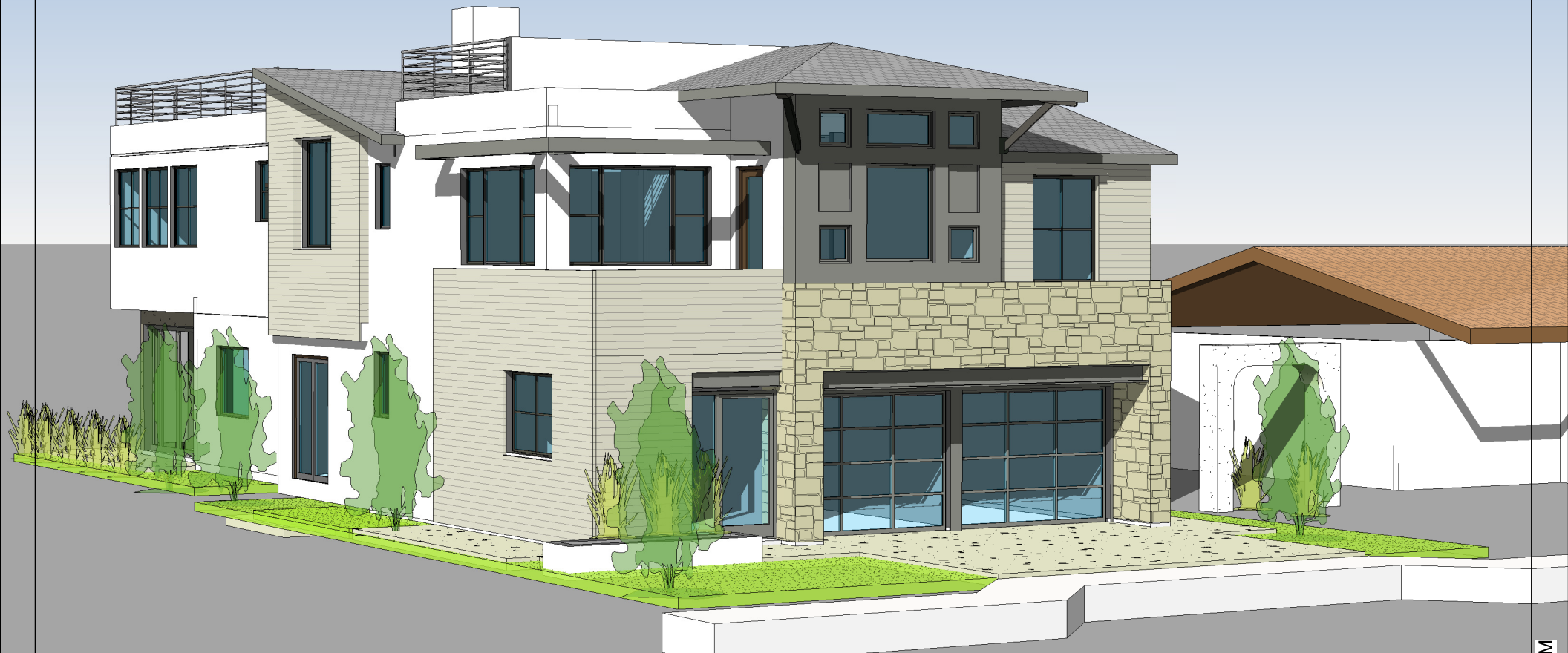




1 FRONT 17



1 front left



① front left 2
19

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① front right 20



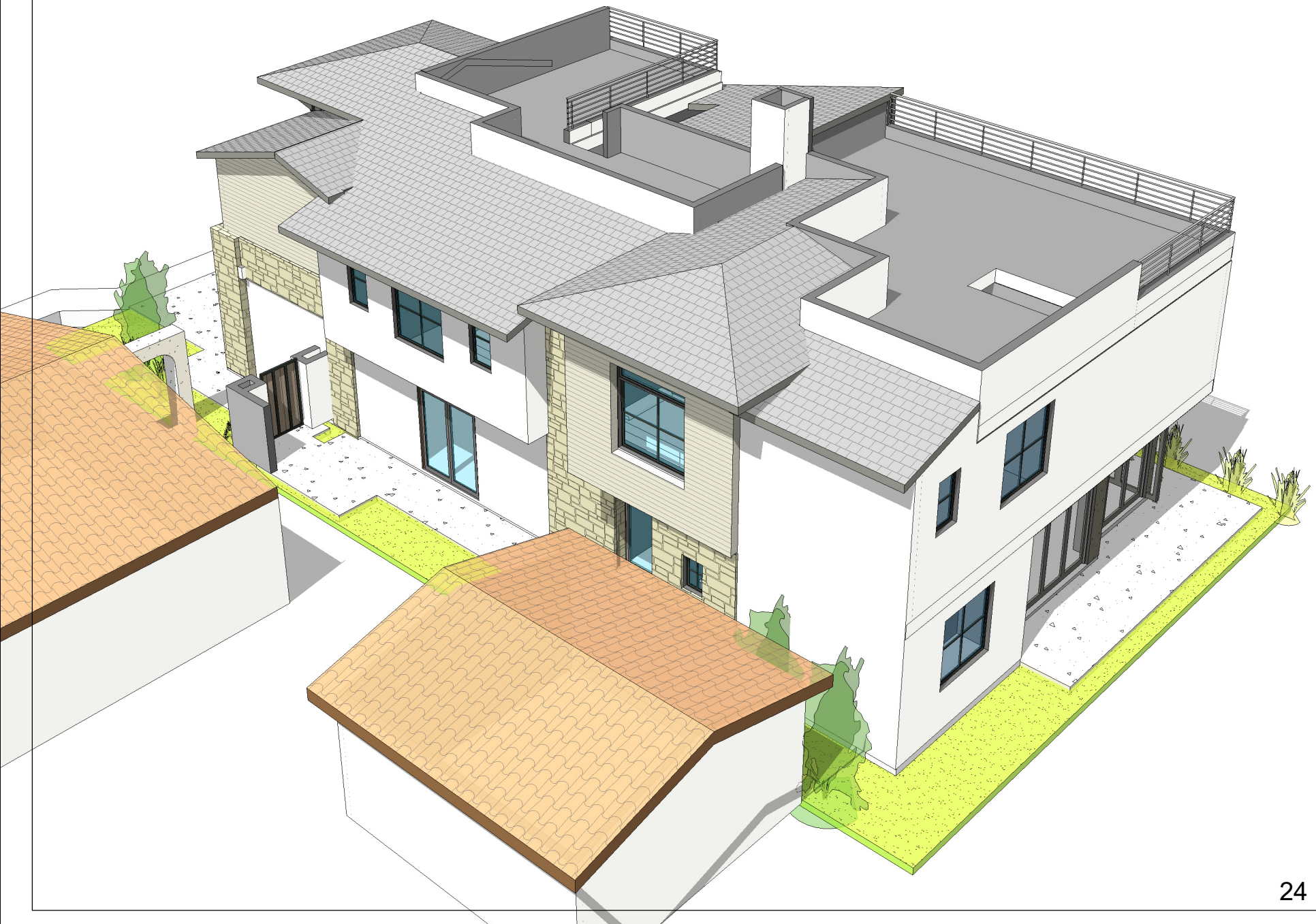
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21



1 left side



1 rear left





1 front left line



1 left side aerial

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
OFFICE OF HISTORIC PRESERVATION

HISTORIC RESOURCES INVENTORY

IDENTIFICATION AND LOCATION

- 1. Historic name None
- 2. Common or current name None
- 3. Number & street 212 W. Mariposa Cross-corridor _____
City San Clemente Vicinity only _____ Zip 92672 County Orange
- 4. UTM zone 11 A _____ B _____ C _____ D _____
- 5. Quad map No. _____ Parcel No. 692-073-05 Other _____

Ser. No. _____
National Register Status 3D
Local Designation _____

DESCRIPTION

- 6. Property category Building If district, number of documented resources _____
- 7. Briefly describe the present physical appearance of the property, including condition, boundaries, related features, surroundings, and (if appropriate) architectural style.

Dense vegetation obscures the view of this one story Spanish Colonial Reviva residence. A low pitched, tiled gable roof topping a stucco clad exterior can be seen. The building is fenestrated with wooden casement windows, with a newer sunburst ornament also visible. The entry, a pair of glazed doors, is located within a porch set into the southwest corner of the house. Notable features include a porte cochere to the west of the entry, spiralled columns, a chimney with an arched cap, and a rear garage. No major alterations were noted. The landscaping, the effect of which is intensified by the empty lot next door, includes tropical planting such as palm and orange trees.



- 8. Planning agency City of San Clemente
- 9. Owner & address
Thomas C. Webb
212 W. Mariposa
San Clemente, CA 92672
- 10. Type of ownership Private
- 11. Present use Residential
- 12. Zoning R-3
- 13. Threats Zoning

Send a copy of this form to: State Office of Historic Preservation, P.O. Box 942896, Sacramento, CA 94296-0001

*Complete these items for historic preservation compliance projects under Section 106 (36 CFR 800). All items must be completed for historical resource survey information.

#PVT1912
Torrance, Calif. 90503

HISTORICAL INFORMATION

- *14. Construction date(s) 1927 F Original location Same Date moved _____
- 15. Alterations & date No documented alterations.
- 16. Architect Unknown Builder Unknown
- 17. Historic attributes (with number from list) 02--Single Family Residence

SIGNIFICANCE AND EVALUATION

- 18. Context for evaluation: Theme The Spanish Village Area San Clemente
 Period 1926-1936 Property type Residences Context formally developed? Yes

- *19. Briefly discuss the property's importance within the context. Use historical and architectural analysis as appropriate. Compare with similar properties.

This one story Spanish style home is an intact and representative example of residential architecture in "The Spanish Village." As conceived by Ole Hanson, San Clemente was to be improved exclusively with white stucco buildings topped by red clay tile roofs. The effect of the Spanish Village was most pronounced when adjacent lots were improved with Spanish buildings which shared a common stylistic vocabulary but differed remarkably in their details, as is the case with this house and its neighbor, 210 Mariposa. Built in 1927, this house preceded city incorporation, and thus the identities of its original owner and builder have been lost to history.

Because of its construction during the period of significance, its Spanish Colonial Revival styling, and its integrity, 212 W. Mariposa contributes to a potential National Register district. It is recommended for retention on the Historical Structures List.

- 20. Sources
San Clemente Building Permits
Orange County Tax Assessment Records
M. Moon, Inventory of San Clemente Historic Places

- 21. Applicable National Register criteria A

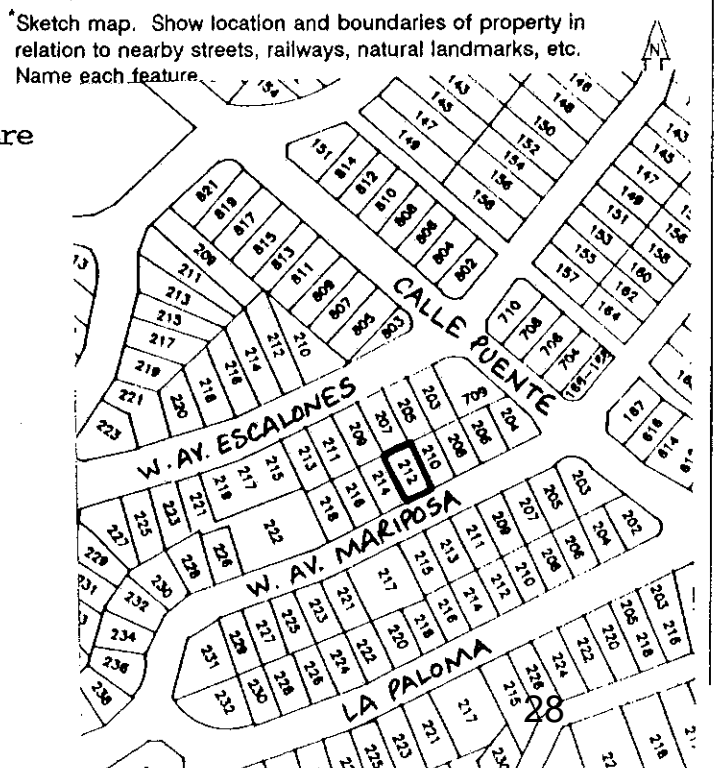
- 22. Other recognition San Clemente Historical Structure
 State Landmark No. (if applicable) _____

- 23. Evaluator Leslie Heumann
 Date of evaluation 1995

- 24. Survey type Comprehensive

- 25. Survey name Historic Resources Survey

- *26. Year form prepared 1995
 By (name) Leslie Heumann & Associates
 Organization City of San Clemente
 Address 100 Calle Negocio, Suite 100
 City & Zip San Clemente 92672
 Phone (714) 498 2533



CONTINUATION SHEET

Page 1 of 2 Resource Name or #: 212 W MARIPOSA

Recorded by: Historic Resources Group

Date: 9/20/2006

Continuation Update

PROPERTY NAME	Unknown						
HISTORIC NAME	Unknown						
PROPERTY ADDRESS	212 W Mariposa						
ASSESSOR PARCEL NUMBER	692-073-05						
PROPERTY TYPE	Single-family residential						
OTHER DESCRIPTION							
DATE OF CONSTRUCTION	1927 (E) Tax Assessor						
<hr/>							
INTEGRITY	The property is partially obscured from view due to dense foliage. No substantial changes post-1995 Historic Resources Survey prepared by Leslie Heumann & Associates.						
SIGNIFICANCE	This one-story single family residence was built 1927. This property is a modest example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development (1925-1936).						
STATUS CODE	3D						
STATUS	Appears eligible for the National Register as a contributor to a National Register eligible district through survey evaluation. The property also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.						
<div style="border: 1px solid black; padding: 10px; margin-top: 20px;"><table><tr><td>Project</td><td>City of San Clemente Historic Resources Survey Update</td></tr><tr><td>Prepared for</td><td>City of San Clemente 910 Calle Negicio, Suite 100 San Clemente, CA 92673</td></tr><tr><td>Prepared by</td><td>Historic Resources Group 1728 Whitley Avenue Hollywood, CA 90028</td></tr></table></div>		Project	City of San Clemente Historic Resources Survey Update	Prepared for	City of San Clemente 910 Calle Negicio, Suite 100 San Clemente, CA 92673	Prepared by	Historic Resources Group 1728 Whitley Avenue Hollywood, CA 90028
Project	City of San Clemente Historic Resources Survey Update						
Prepared for	City of San Clemente 910 Calle Negicio, Suite 100 San Clemente, CA 92673						
Prepared by	Historic Resources Group 1728 Whitley Avenue Hollywood, CA 90028						

CONTINUATION SHEET

Page 2 of 2

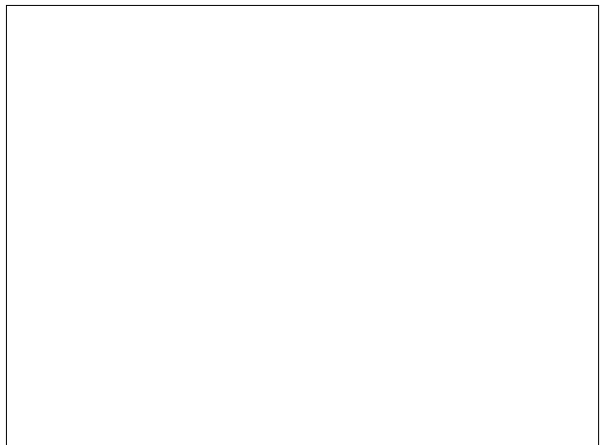
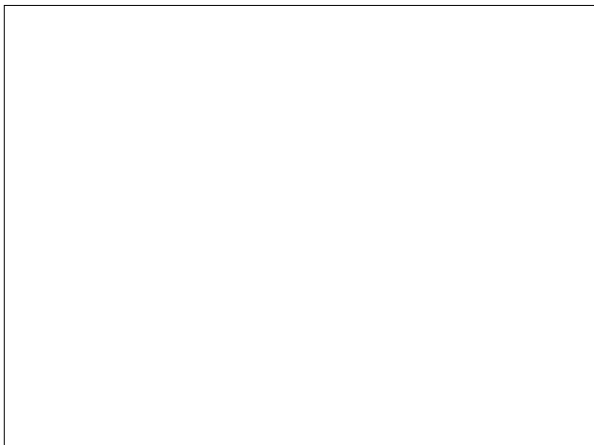
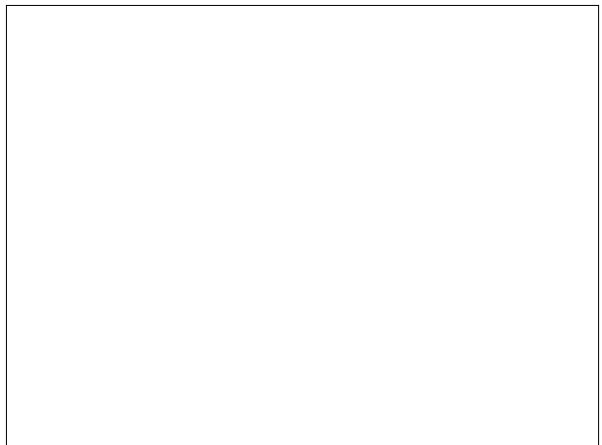
Resource Name or #: 212 W MARIPOSA

Recorded by: Historic Resources Group

Date: 9/20/2006

Continuation Update

Photographs of the Subject Property:



**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
JULY 28, 2021**

Subcommittee Members Present: Bart Crandell, M. Steven Camp and Scott McKhann (All Subcommittee members participated in meeting via teleconference)

Staff Present: Senior Planner Stephanie Roxas, Assistant Planner David Carrillo (Staff participated in meeting via teleconference)

1. MINUTES

The Subcommittee approved the minutes from the May 26, 2021 regular meeting.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:

Cultural Heritage Permit 21-001/Minor Exception Permit 21-173, Fox Duplex (Carrillo)

A request to consider the construction of a two story duplex building on a vacant lot, adjacent to a property in the City's List of Designated Historic Resources, and to allow a six inch encroachment into the required side yard setback.

Assistant Planner David Carrillo summarized the staff report. David York, architect, was also present and available to answer questions.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Expressed concerns with massing as the project maximizes development to limits.
- Suggested that the design be simplified as the proposed building is visually too busy.
- Expressed that the project does not seem compatible with the neighborhood or historic property.
- Expressed that the heaviest, largest, and tallest parts of the building are on the side closest to the historic property.
- Suggested the applicant consider relocating the garage doors towards the west side of the property, away from the historic property.
- Expressed that the roof decks have a complicated design.
- Suggested that the roof design be simplified.
- Suggested relocating the rear unit's entrance to the opposite side of the lot.
- Asked the applicant to focus on mitigating visual and massing impacts from the street, in addition to addressing impacts from the historic property.

- Directed the applicant to work with staff to improve the project's consistency with the City's Design Guidelines.
- Directed staff to investigate if two unit entrances can be located on the same side.

The Subcommittee directed staff to bring the project back for a second design review, after the applicant reviews the City's Design Guidelines and revises the project accordingly.

3. **NEW BUSINESS**

None

4. **OLD BUSINESS**

None

5. **ORAL AND WRITTEN COMMUNICATION**

None

ADJOURNMENT

Adjourn to the Regular Meeting of the Design Review Subcommittee to be held Wednesday, August 11, 2021 at 4:00 p.m., by teleconference only and available to the public via live stream from the City's YouTube channel.

Respectfully submitted,



Bart Crandell, Chair

Attest:



Stephanie Roxas, Senior Planner

Revision to 214 W. Mariposa.

Revised massing.

To create a better massing relationship with the adjacent Historical structure we relocated the Garages to the southwest side of the site. This was a pivotal move in that it allowed us to increase the Front set back to the entrance and placed the majority of the landscaping to the east side and moved the future parked cars out of the view path of the Historical home. The entrance to Unit A was pushed back behind the adjacent portico column to 26.5' from the front property line. A one-story front porch element was incorporated into the design to coordinate the apparent height and match the porch feature of the Historical home. The east side yard setback is eight feet up to the rear unit entrance allowing for more separation between residences.

The new Entry locations now allows for clear visibility of the south and west elevation of the Historical Residence. The property line fence and Gate to Unit B will be located 24' behind the existing portico With a 24' length of hedge remaining in place.

A curved planter and landscaping will be used to separate the path to Unit B from the front porch entrance of unit A. With a pillar clearly marking the path to Unit B

Exterior elevations and roof have been simplified. The front center roof element being lowered two feet and the trellis and balcony on the left side have been eliminated. A simpler window configuration at kitchen has been adopted with all the windows around the project being matching double hung windows. Siding has been introduced to reduce the apparent size of walls and creating interest in the elevations thru texture.

The east side roof plane has been simplified and the use of higher hip roof elements has been eliminated. The cantilever on the east side has been reduced to 12" wide x 11' -9" long. Bedroom windows along the east side shall be two 28X60 windows on the side of the room in lieu of the larger center window this will provide privacy to the adjacent site back yard.

Request for side yard encroachments have been eliminated from the project.

Roof decks are located to the west side of the building with a sloped roof between the deck and the adjacent Historical property also there will be a 12' wide roof element between Unit A and Unit B This will help mitigate viewing and noise between neighbors. The plan of the roof decks has been simplified and reduce in size from the prior submittal

The overall massing of the project has been reduced from 55% to 52%. This represents a building area reduction of 341 sf.

We have reviewed and incorporated the requirements of the city design guidelines section II B into the project with massing reduction and redistribution and the introduction of the one story porch entrance Transitioning from one story to two stories.

DAVID YORK, ARCHITECT

(949)887-8034

Response to bullet points

1. The project footprint has been reduced by 3% with a reduction of 341 sf
2. Simplified the design with a single window at Unit A kitchen and remove front deck and trellis element. Extended the roof across the front on both sides of center roof element. Side elevation on the East side shows simpler roof removing higher roof elements.
3. The neighborhood is a mix of styles. The goal has not to mimic the historical house. With the new simplified modifications the project is in keeping with the surrounding structures that have a mix of stucco and siding. .
4. The roof line on the East side adjacent to the Historical property has been reduced in height and Simplified.
5. The garages have been reversed to the west side of the property away from the Historical property. Which places the majority of the landscaping adjacent to the historical property and allowing the massing of the project to be reduced and pushed back allowing for better visibility of the Historical structure.
6. The roof decks have been simplified also the roof decks are located on the West side of the structure with the roof structure separating the units and the historical structure.
7. The roof structure has been simplified with several hip elements removed allow the east side. The plate line along the east side has been lowered.
8. The entrance to the rear unit is located on the east side to allow for the largest building setback 8 feet to separate the two properties.
9. The revised project massing has been pushed back from the street as much as possible. One story element adjacent to the historical structure has been incorporated. The Entrance to Unit A is now 26.5 feet from the front property line which is 5 feet further back than the historical structure allowing a clear view of the historical house approaching form the west along Mariposa.
10. The revised project is more in keeping with City Design Guidelines in the way the massing has been redistributed away from the Historical property. One story front porch element designed into the project to be complementary to the adjacent property and balance the proportions. Per section II B.
11. The units a have separate entrance locations for privacy. One from the front and the other from the side.

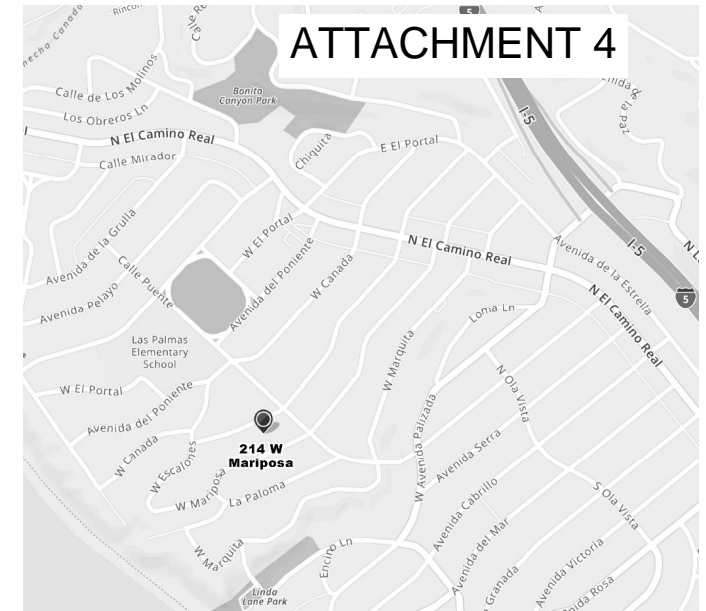
DAVID YORK, ARCHITECT

(949)887-8034

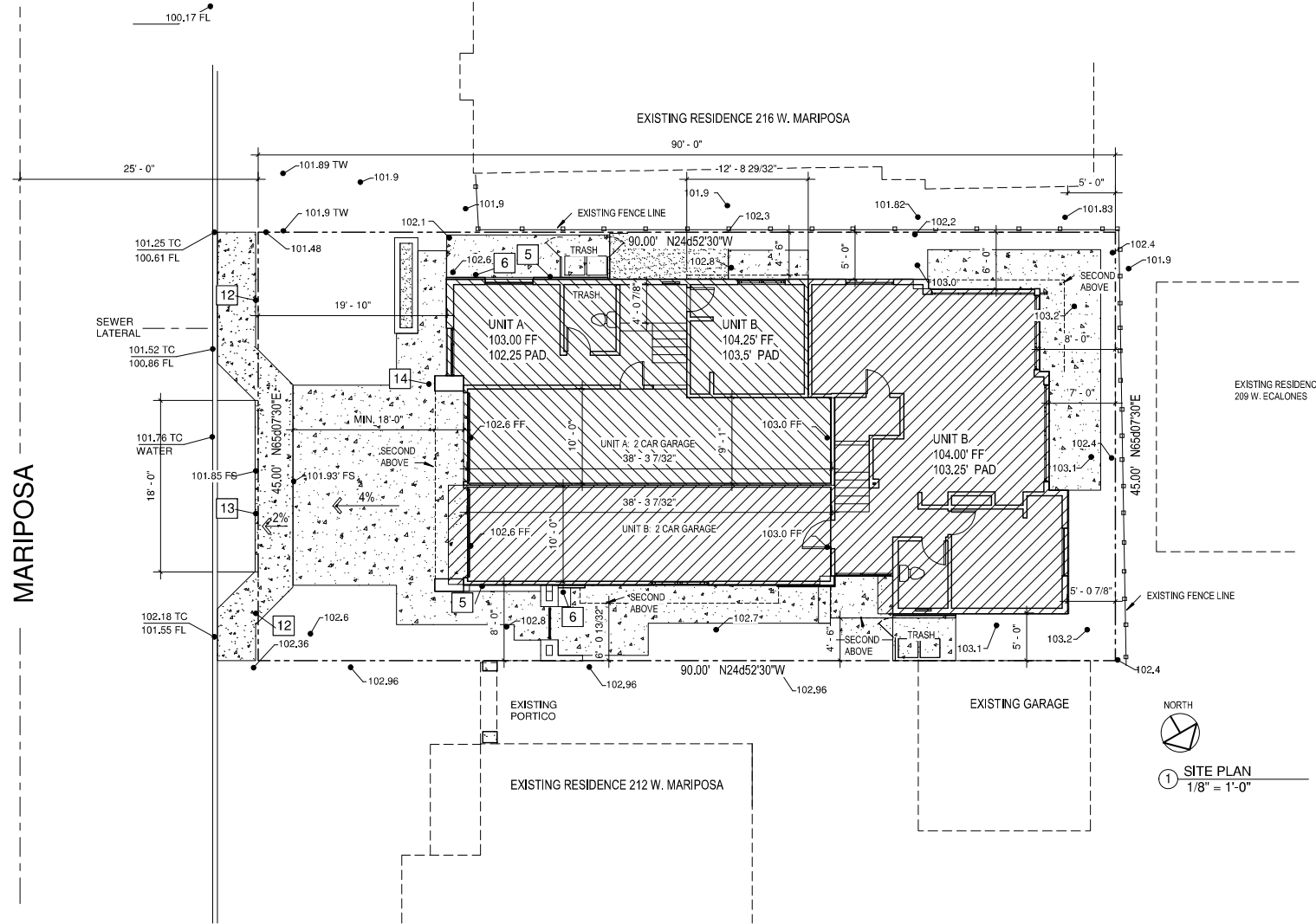
Response to City Planning Staff comments:

1. The adjacent existing hedge can remain in place for up to 20 feet beyond the existing portico along the property line. (as seen on the site plan sheet A1) . We feel a privacy wall matching the Spanish revival style is necessary at the entrance to Unit B.
2. Bedroom windows along the east side shall be two 28x60 windows on the side of the bed in lieu of the larger center window this will provide privacy in that a nightstand will be in front of the window and will provide the required light and ventilation without providing a large viewable center window.
3. We reduced the building footprint by 3% and reduced the building area by 341 sf. Removed the higher hipped roof elements and lowered the second floor top plate line. Redesigned the roof to a simple pitched plane.
4. Finish grade will have area drains and slope away from the adjacent property.
5. Garage doors will be wood with upper window panel. Providing natural light into the Garage. We have eliminated the contemporary glass doors.
6. The entrance to the rear unit will be delineated with a path along the curved planter separating the two Unit's.
7. The landscaping in the front yards is larger than the required 50%. With the garages located to the west side we feel the landscaping will be adequate and do not wish to complicate the driveway with turf block.
8. The landscaping material will be greater than 60% drought tolerant native material.
9. The request for the 6" side yard encroachments have been removed.

ATTACHMENT 4



4 VICINITY MAP
1/4" = 1'-0"



ZONING: RM (CZ)
 OCCUPANCY R-3/U: DUPLEX
 TYP CONST. V-B SPRINKLERS (NFPA 13R)
 SET BACKS
 FRONT 15' TO STRUCTURE
 18' TO GARAGE DOORS
 SIDE 5' TO STRUCTURE
 REAR 5' TO STRUCTURE
 HEIGHT LIMIT: 25' PER 17.24.110
 WATER QUALITY: NON PRIORITY

BUILDING AREA:

UNIT A	
FIRST FLOOR:	433 sf
SECOND FLOOR:	1307 sf
TOTAL:	1740 sf
ROOF DECK:	377 sf
YARD:	400 sf
UNIT B	
FIRST FLOOR:	807 sf
SECOND FLOOR:	862 sf
TOTAL AREA:	1669 sf
ROOF DECK:	536 sf
YARD:	437 sf
2 TANDEM GARAGES: 837 sf	

LOT AREA:

45x90 =	4050 sf
LOT COVERAGE	2223 sf 55%
MAX COVERAGE 55% x 4050 =	2227 sf
FRONT YARD LANDSCAPE =	386 SF
REQUIRED = 675/2 =	337 SF
TOTAL LANDSCAPE AREA =	1012 SF, 25%

SITE PLAN	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	A1

THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION BMP HANDBOOK FOR EROSION AND SEDIMENT CONTROL.

- SE-3 DESILTING BASIN
- SE-6 GRAVEL BAG BERM
- SE-7 STREET SWEEPING
- SE-8 GRAVEL BAR BARRIER
- SE-10 STORM DRAIN PROTECTION
- TC-1 STABILISED CONSTRUCTION ENTRANCE
- WE-1 WIND EROSION CONTROL
- EC-7 SLOPE STABILITY

THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION BMP HANDBOOK FOR WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL.

- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-4 SPILL PROTECTION
- WM-5 SOLID WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT
- WM-7 CONTAMINATED WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

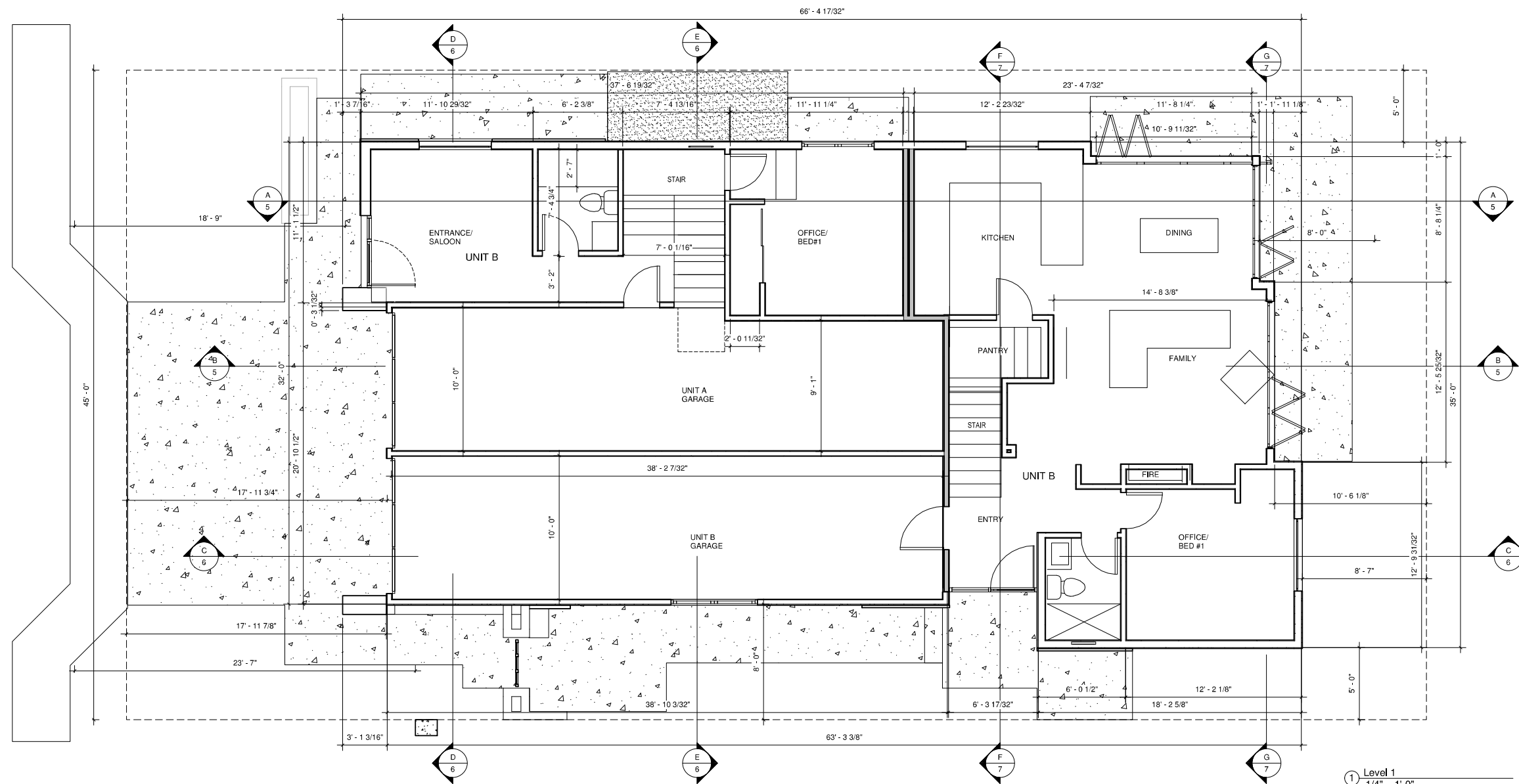
THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION HANDBOOK FOR NON-STORMWATER MANAGEMENT AND MATERIAL MANAGEMENT.

- NS-1 WATER CONSERVATION PRACTICES
- NS-2 PAVING AND GRINDING OPERATIONS
- NS-6 ILLICIT CONNECTIONS/DISCHARGE
- NS-9 VEHICLE AND EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- NS-14 MATERIAL AND EQUIPMENT USE

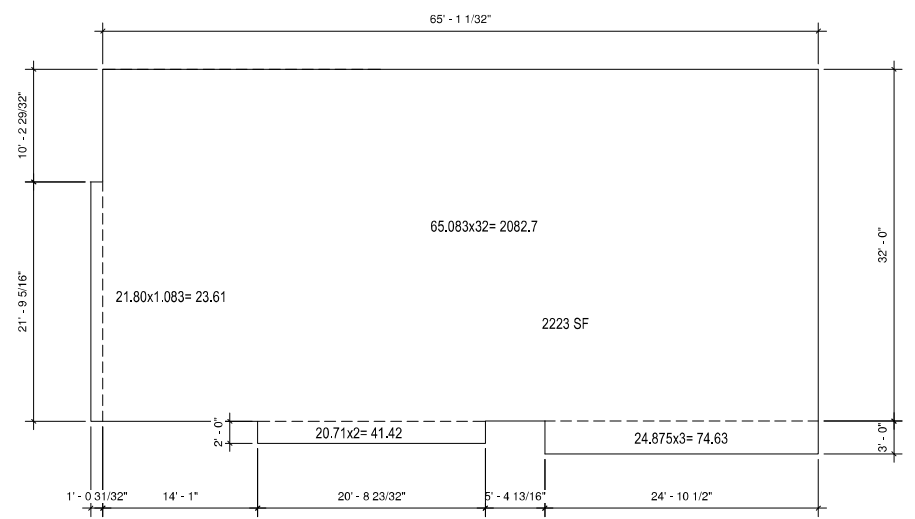
SITE NOTES

1. THRESHOLD HEIGHT SHALL NOT EXCEED 3/4" FOR SLIDING DOORS AND 1/2" FOR ALL OTHER DOORS. (CBC 1008.1.6)
2. LANDINGS SHALL BE LEVEL, EXCEPT EXTERIOR LANDINGS WHICH MAY SLOPE 1/4" PER FOOT MAXIMUM (2% SLOPE). (CBC 1008.1.4) MIN 36" WIDE X 36" DEEP
3. EXCEPTION 3 SECTION 1008.1.4, THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7.75 INCHES BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
4. BUILDING SHALL HAVE APPROVED ADDRESS NUMBER PER (CRC R319.1) IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBER SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBER SHALL BE A MINIMUM 4 INCHES HIGH AND 1/2" INCH STROKE WIDTH.
5. ELECTRICAL PANEL LOCATION: SDGE SHALL APPROVE METER LOCATION. PROVIDE WORK AREA OF MIN. 30" WIDE BY 36" DEEP. E SHEETS FOR PANEL SIZE
6. GAS METER LOCATION: LOCATION SHALL BE APPROVED BY CALIFORNIA GAS CO. SEE P SHEET FOR SIZE
8. FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES (CRC R403.1.7.3)
9. ROOF WATER SHALL DRAIN TO NON-ERODIBLE SURFACE OR DISCHARGE THRU ROOF GUTTERS CONNECT TO DRAINAGE SYSTEM
10. EXISTING 4" V.C.P. SEWER LATERAL
11. EXISTING 3/4" WATER LINE AND METER PRESSURE REDUCER AND BACKFLOW PREVENTER VALUE REQUIRED BETWEEN METER AND HOUSE.

UPON COMPLETION OF THE INSTALLATION, THE BACKFLOW PREVENTION DEVICE NEEDS TO BE TESTED AND CERTIFIED FOR OPERATIONAL COMPLIANCE. COPIES OF THE TEST REPORTS MUST BE SUBMITTED TO THE CITY. PRIOR TO FINAL INSPECTION, THE BACKFLOW PREVENTION DEVICE NEEDS TO BE INSPECTED AND APPROVED BY THE CITY'S CROSS CONNECTION CONTROL SPECIALIST.
12. CONSTRUCT SIDEWALK PER CITY STANDARD ST-3, MIN. 4' WIDE WITH 2% MAX CROSS SLOPE (SIDEWALK IN FRONT OF DRIVE APPROACH TO BE 6" THK.)
13. CONSTRUCT DRIVE APPROACH PER CITY STD. ST-9
14. REMOVE EXISTING CURB IN FRONT OF PROPOSED DRIVEWAY APPROACH SAW CUT AND REMOVE AC PAVING FOR NEW CONCRETE GUTTER REMOVAL AND REPLACEMENT OF ADDITIONAL ASPHALT MAY BE REQUIRED BY FIELD INSPECTOR IF DEEMED NECESSARY.
15. EARTH WORK LESS THAN 50 CUBIC YARDS
16. CONSTRUCT 2 3" DIA CURB CORES PER CITY STD PLAN ST-7

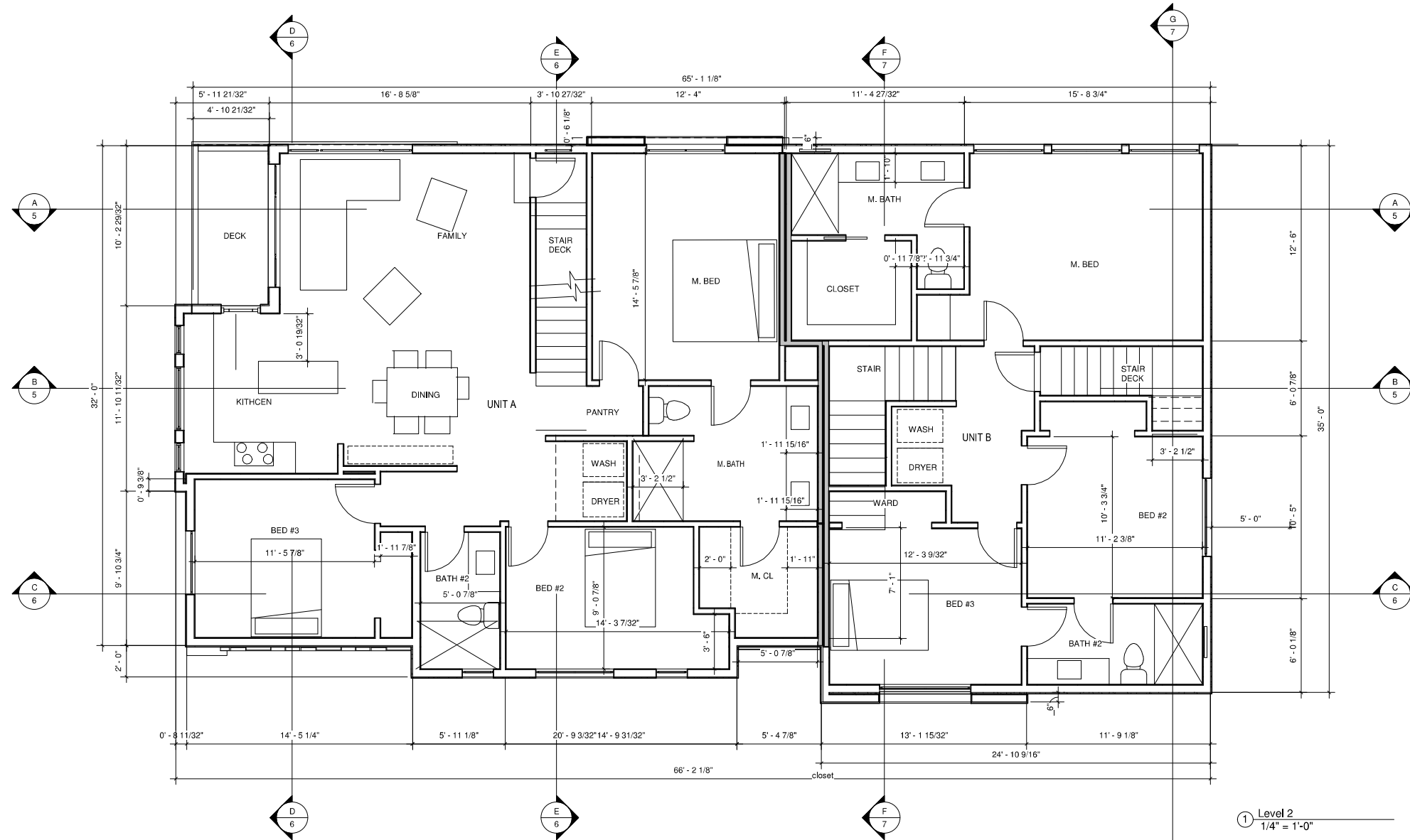


① Level 1
1/4" = 1'-0"



② LOT COVERAGE CALC
1/8" = 1'-0"

FIRST FLOOR	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	1



① Level 2
1/4" = 1'-0"

SECOND	
	CHP 21-001
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	
2	38

ROOF ELEMENT 1				
SYM	TOR	EG	LENGTH	AVERAGE
R1.1	127.60	102.60	25.0'	
R1.2	127.60	102.60	25.0'	
R1.3	127.60	102.60	25.0'	
R1.4	127.60	102.60	25.0'	
				25.0'

ROOF ELEMENT 2				
SYM	TOR	EG	LENGTH	AVERAGE
R2.1	125.00	102.60	22.4'	
R2.2	125.00	102.60	22.4'	
R2.3	125.00	102.60	22.4'	
R2.4	125.00	102.60	22.4'	
				22.4'

ROOF ELEMENT 3				
SYM	TOR	EG	LENGTH	AVERAGE
R3.1	125.00	102.60	22.4'	
R3.2	125.00	102.60	22.4'	
R3.3	125.00	102.60	22.4'	
R3.4	125.00	102.70	22.3'	
				22.4'

ROOF ELEMENT 4				
SYM	TOR	EG	LENGTH	AVERAGE
R4.1	127.60	102.60	25.0'	
R4.2	127.60	102.70	24.9'	
R4.3	127.60	102.80	24.8'	
R4.4	127.60	102.70	24.9'	
				24.9'

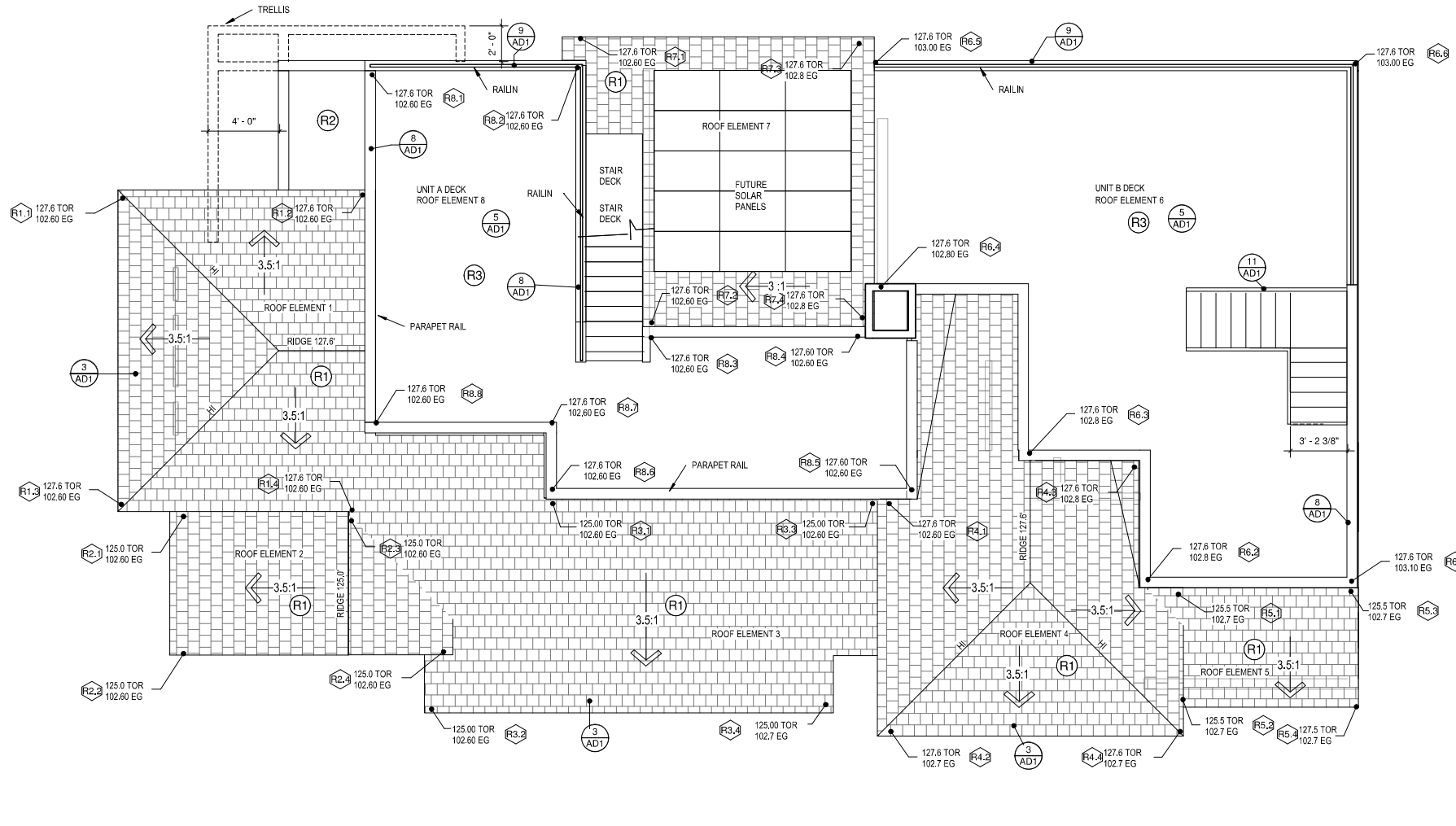
ROOF ELEMENT 5				
SYM	TOR	EG	LENGTH	AVERAGE
R5.1	125.50	102.70	22.8'	
R5.2	125.50	102.70	22.8'	
R5.3	125.50	102.70	22.8'	
R5.4	125.50	102.70	22.8'	
				22.8'

ROOF ELEMENT 6				
SYM	TOR	EG	LENGTH	AVERAGE
R6.1	127.60	103.1	24.5'	
R6.2	127.60	102.80	24.8'	
R6.3	127.60	102.80	24.8'	
R6.4	127.60	102.80	24.8'	
R6.5	127.60	103.00	24.6'	
R6.6	127.60	103.00	24.6'	
				24.7'

ROOF ELEMENT 7				
SYM	TOR	EG	LENGTH	AVERAGE
R7.1	127.60	102.60	25.0'	
R7.2	127.60	102.60	25.0'	
R7.3	127.60	102.80	24.8'	
R7.4	127.60	102.80	24.8'	
				24.9'

ROOF ELEMENT 8				
SYM	TOR	EG	LENGTH	AVERAGE
R8.1	127.60	102.60	25.0'	
R8.2	127.60	102.60	25.0'	
R8.3	127.60	102.60	25.0'	
R8.4	127.60	102.60	25.0'	
R8.5	127.60	102.60	25.0'	
R8.6	127.60	102.60	25.0'	
R8.7	127.60	102.60	25.0'	
R8.8	127.60	102.60	25.0'	
				25.0'

1 ROOF ANALYSIS
1/4" = 1'-0"

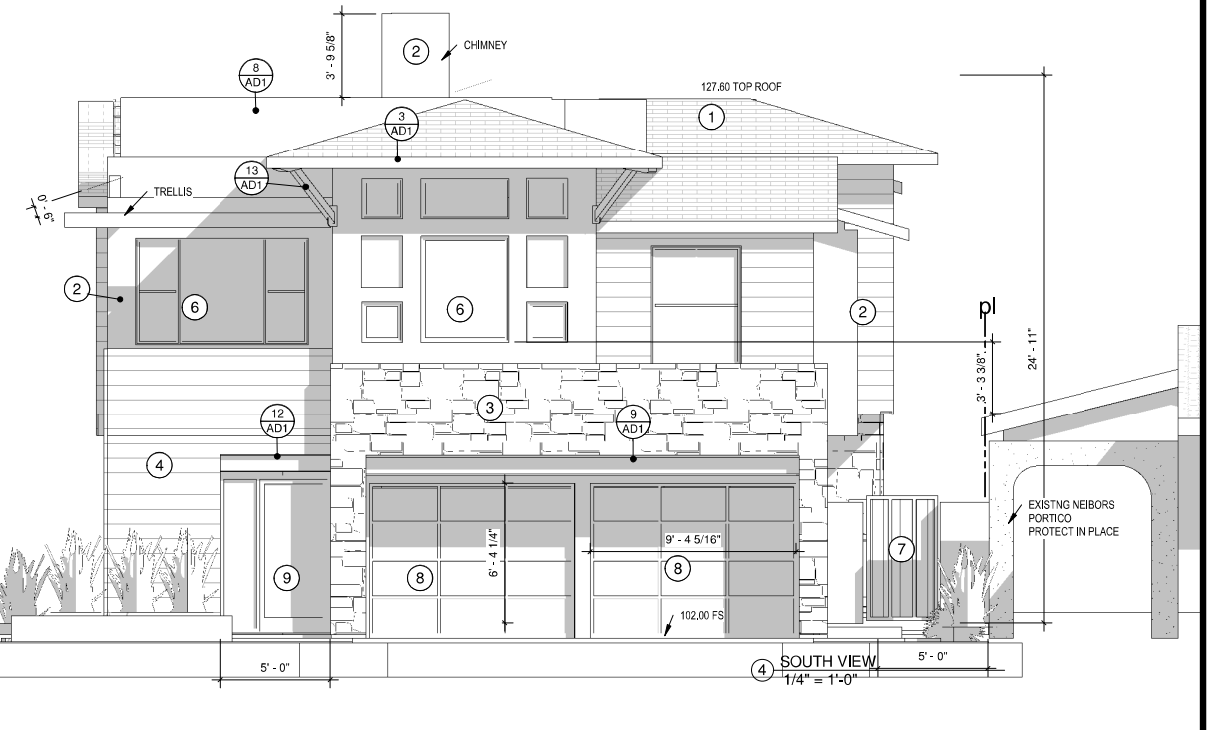
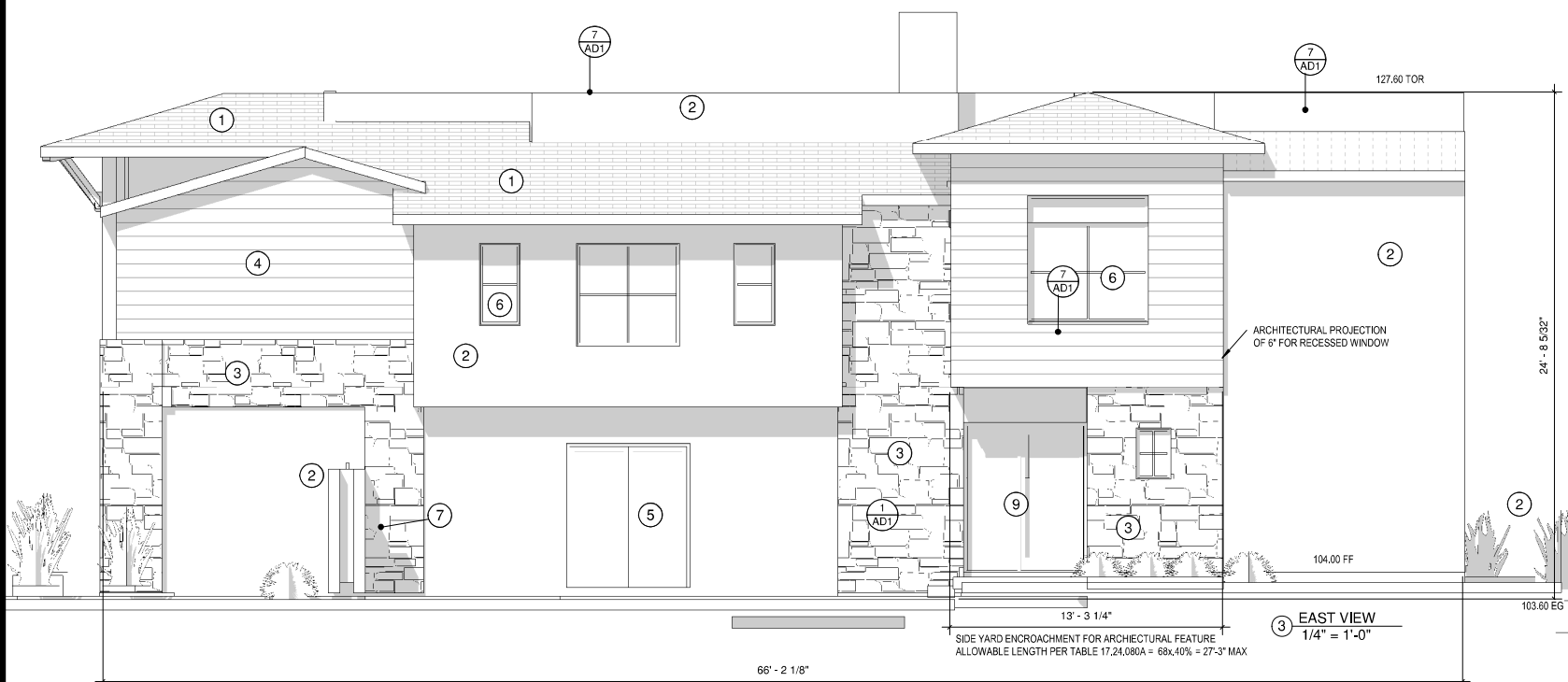
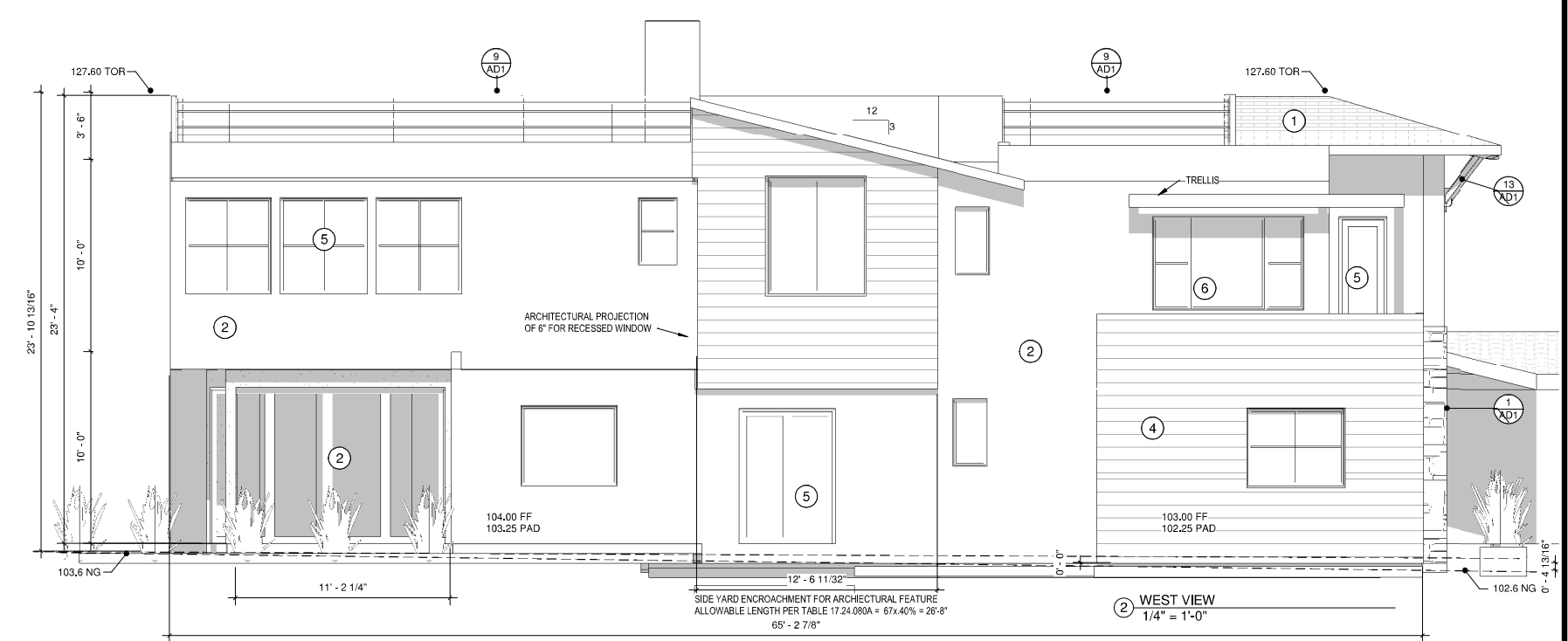
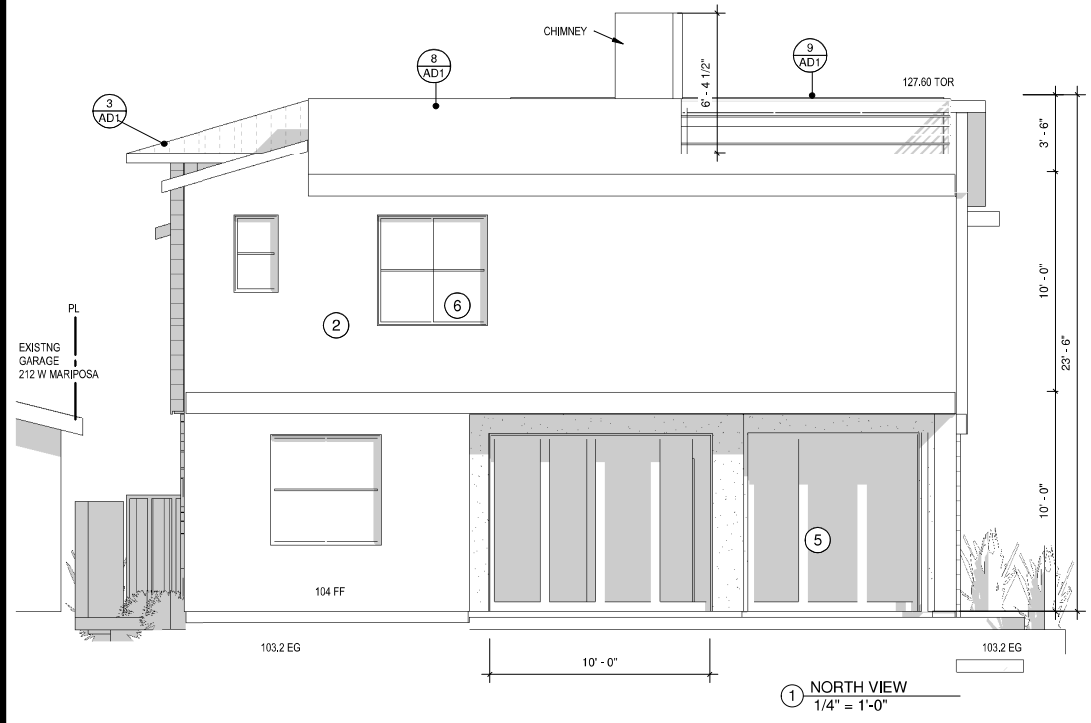


2 ROOF PLAN
1/4" = 1'-0"

- R1. EAGLE ROOFING: FLAT CONCRETE ROOF TILE. BEL AIR. COLOR: SLATE PER IPMO OR LIES ER-1900. CLASS A ROOFING PER CBC UNDER LAYMENT OF 2-#30 ASPHALT SATURATED FELT CONFORMING TO ASTM D226 MIN ROOF SLOPE IS 2.5" IN 12". TILE WEIGHT 10 ATTACHED PER MANUFACTURE REFLECTIVITY: .17, EMISSIVITY: .92, SRI: .16 CRRC
- R2. BUILT UP ROOFING: GAF MATERIAL CORPORATION OR EQUAL CLASS A PER ICC ESR-1274 THREE PLY SBS HOT MOPPED SYSTEM PLYWOOD ROOF SHEATHING OR ENERGY GUARD: PLYOSCYANURATE FOAM ROOF INSULATION MIN. 1/4" THICK WITH 1/4" PER FOOT MECHANICALLY ATTACH TOGETHER ENERGY GUARD INSULATION BASE SHEET (GAFGLASS #75 BASE SHEET) WITH CAP HEAD (RING SHANK) 1/4" PAST ROOF SHEATHING WITH 1" ROUND CAPS SIX ANCHORS PER 24" INSULATION PANEL. HOP MOP IN PLACE "RUBEROID 20" AND HOT MOP IN PLACE GAF "RUBEROID ENERGYCAP 30 MEMBRANE MAY BE ATTACHED TO WOOD DECK WITHOUT UL TESTED #TGFU-R1306 - GAF SYSTEM 2 PER CBC
- R3. DECKING: WESTDOAT ALX FOR WOOD DECKS : ICC ESR-2201. RATED AS CLASS "A" ROOFING
- R4. RAILING: CABLE RAIL. 1/8" DIA STAINLESS STEEL CABLES AT 3" ON CENTER HORIZONTAL. NEWEL POST TO BE 1-1/2" x 1/2" STAINLESS STEEL TUBE PLATE GR 304 MAX 48" O.C. WITH CAP RAIL 1-1/2" x 1" x 1/8" THICK STAINLESS STEEL TUBE GRADE 304
- R5. PARAPET STUCCO RAILING: MIN. 42"
- R6. EXTERIOR FASCIA: 2x10 DF#1, TREATED LUMBER WITH TWO COATS OF EXTERIOR PRIMER
- R7. DECK AND ROOF DRAINS SIZED PER CPC TABLE 11-1 AND WITH A 3 IN/HR INTENSITY 2" VERTICAL DRAIN COVERS 720 SF OF 3' MIN. HORIZONTAL COVERS 1006 DRAINS SHALL BE TESTED PER CPC
- R8. ROOF AND DECK DRAINS SHALL BE CONSEALED IN WALLS AND TO SITE DRAINAGE
- R9. ALUMINUM GUTTERS SHALL BE PROVIDE WITH PROTECTION TO PREVENT OF LEAVES AND DEBRIS WITHIN THE GUTTER WITH 1/4" CORROSION WIRE SCREEN OVER THE ENTIRE OPEN AREA OR THE GUTTER OR A FACTORY INSTALLED GUARD SHALL BE REMOVABLE FOR CLEANING (705A,4 CBC) (R327.5.4
- R10. FLASHING TO BE MINIMUM 26 GAUGE STAINLESS
 - A. VALLEY FLASHING SHALL EXTEND 11" FROM CENTER LINE EACH WAY AND SHALL DIVERTER RB 1" AT THE FLOW LINE. METAL FLASHING OVER ON LAYER 72# MINERAL SURFACED NON PERFORATED CAP SHEET
 - B. ALL WALL AND ROOF CONNECTIONS AND OTHER AREAS EXPOSED TO WEATHER TO FLASHED AND COUNTER FLASHED AND CAULKED TO MAKE THEM WATER NOTE: ALL FLASHING SHALL BE PAINTED TO MATCH ADOBE FLASH ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH CBC
- R11. ENCLOSED ATTIC AND ENCLOSED RAFTERS SPACES SHALL HAVE A CROSS VENTILATION EACH SEPARATE ATTIC SPACE A NET FREE VENTING AREA OF NOT LESS THAN 1/50 OF THE VENTILATED (R806.1 CRC) PROVIDE 1:300 OF ATTIC AREA IF AT LEAST 40% (BUT NOT MORE THAN OF THE REQUIRED VENT IS LOCATED NO MORE THAN 3' BELOW THE RIDGE. (R806.2
- R12. UNVENTED ROOFS SHALL HAVE 3" OF AIR-IMPERMEABLE INSULATION (R-15) ATTACHED DIRECTLY TO THE ROOF SHEATHING WITH AIR-PERMEABLE INSULATION (R19) BELOW. PER CRC R806.5 ITEM 5.1.3 AND 5.3
- R13. PROVIDE 6 KW SOLAR SYSTEM PER TITLE 24 (DEFERRED SUBMITTAL) MOUNTED WITH IRONRIDGE ALUMINUM RACK SYSTEM
- R14. CHIMNEY SHROUD: 20 GAUGE METAL PER INSTALLATION MANUAL BRONZE

ROOFING	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	4

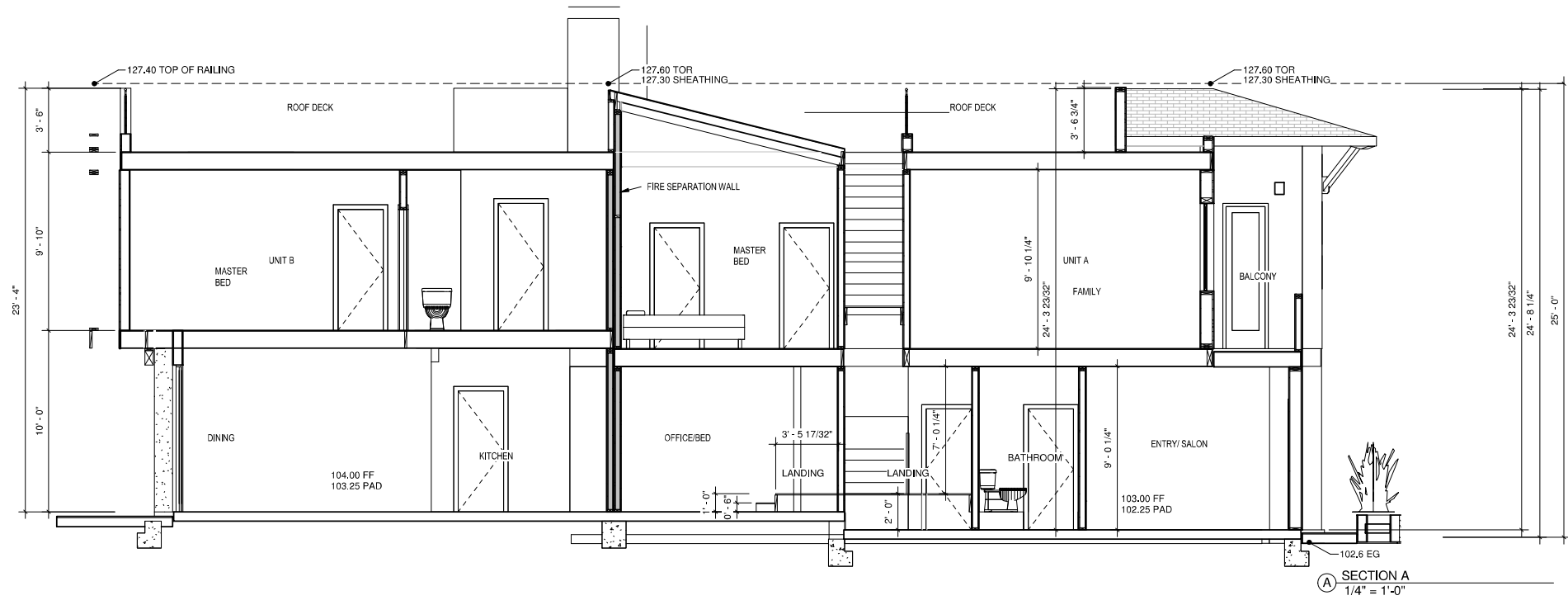
3 roof notes
1/4" = 1'-0"



EXTERIOR ELEVATION NOTES

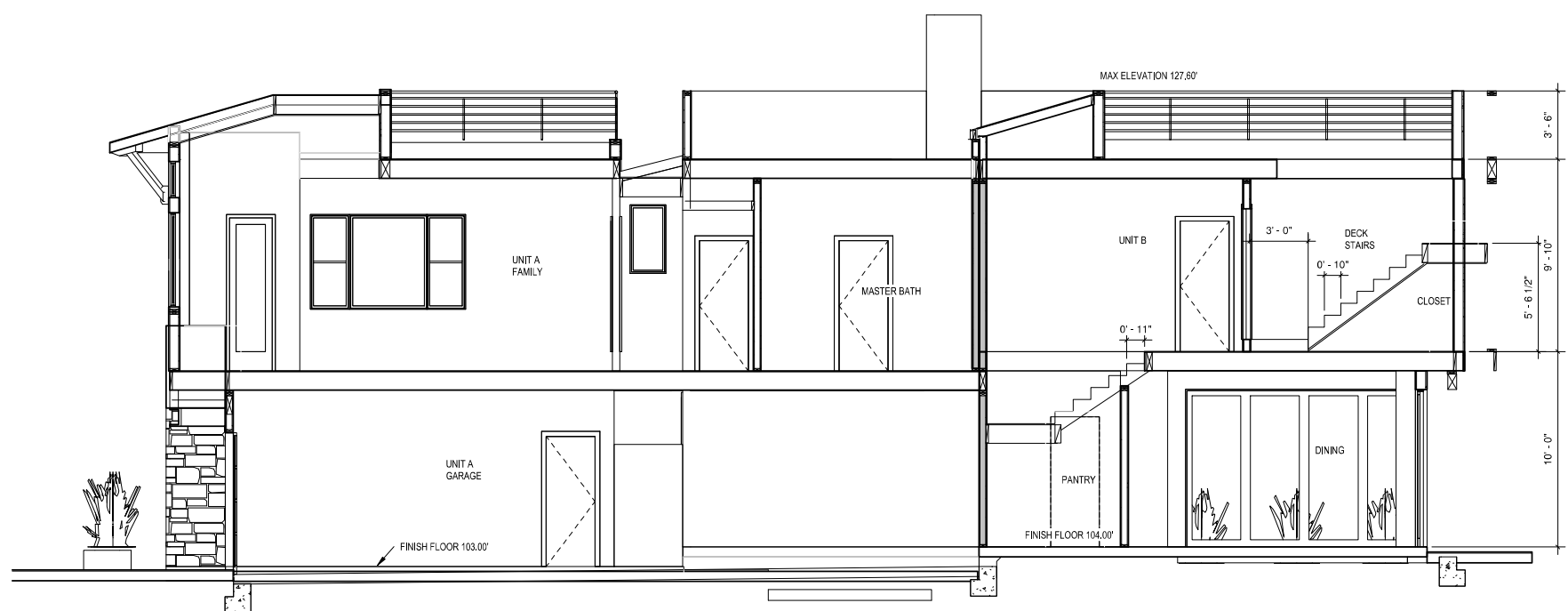
- EAGLE ROOFING: FLAT CONCRETE ROOF TILE, BEL AIR, COLOR: SLATE GREY PER IAPMO OR UES ER-1900. CLASS A ROOFING PER CBC 1505.2. UNDER LAYMENT OF 2-#30 ASPHALT SATURATED FELT CONFORMING TO ASTM D226 TYP II MIN ROOF SLOPE IS 2.5" IN 12". TILE WEIGHT 10#/SF ATTACHED PER MANUFACTURER RECOMMENDATION. REFLECTIVITY: .17, EMISSIVITY: .92, SRI: 16 CRRC D918-0046
- MAIN BODY PLASTER FINISH: SMOOTH FINISH FINISH COAT: OMEGA AKROFLEX. COLOR: ICEBER #9205 STUCCO SHALL BE THREE LAYERS 7/8" PORTLAND CEMENT ON WIRE MESH PROVIDE TWO LAYERS #15 FELT BUILDING PAPER RATED ONE HOUR RATED PER TABLE 7.20.1(2) ITEM 15-1.3 CBC (707A.3 CBC) CONFORMING TO ASTM 926 AND ASTM C 1063
- LIMESTONE VENEER TILE "CHAMPAGNE": ATTACHED PER DETAIL 1 - AD-1 ADHERED MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R703.7.3 AND THE REQUIREMENTS IN SECTION 12.1 AND 12.3 OF TMS 402 ADHERED STONE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.7.1 ARTICLE 3.3C OR TMS 602 OR THE MANUFACTURERS INSTRUCTIONS
- EXTERIOR SIDING: HARDIPLANK LAP SIDING, SMOOTH, COLOR: UNIVERSAL KHAKI BY SHERWIN WILLIAMS. PRODUCT COMPLYS WITH ASTM C1188 AS GRADE II, TYPE A, FRAME SPREAD INDEX 0 INSTALLED PER ICC ESR REPORT ICC ESR-2290, WITH OR WITHOUT WOOD STRUCTURAL PANEL SHEATHING, OVER TWO LAYERS 315 FELT W.P. BARRIER PER CBC SECT 1404.2 FASTENERS SHALL BE #4 GALV. BLIND NAILED AT MAX 24" O.C. TO STUDS.
- DOORS: WESTERN METAL WINDOWS AND DOOR, ALUMINUM DARK BRONZE ANODIZED (THERMALLY BROKEN) U-VALUE = .35 AND SHGC = .29 TEMPERED GLASS OR BE TESTED TO NFPA 257 CBC 708A.2.1
- WINDOWS: MILGUARD ALUMINUM WINDOWS DUAL GLAZED U-VALUE=.32 AND SHGC=.29 COLOR: BRONZE ANODIZED ALUMINUM.
- SIDE GATE: 42" WIDE x 60" HIGH, 2" SO METAL FRAME WITH VERTICAL PLANKING COLOR: UNIVERSAL KHAKI
- GARAGE DOORS: ALUMINUM FRAME DOOR WITH OBSCURE TEMPERED GLASS PANEL BY MARTIN DOORS OR EQUAL
- ENTRY DOOR: SWINGING DOOR BY WESTERN METAL WINDOW AND DOORS BRONZE ANODIZED FRAME, WITH OBSCURE GLASS PANEL TEMPERED GLASS
- WAC LIGHTING: ICON, MODEL WS-W54614-B2, BRONZE LED 12.5 WATTS
- RAILING: CABLE RAIL, 1/8" DIA STAINLESS STEEL CABLES AT 3" ON CENTER HORIZONTAL, NEWEL POST TO BE 1-1/2" x 1/2" STAINLESS STEEL PLATE GR 304 MAX 48" O.C. WITH CAP RAIL 1-1/2" x 1" x 1/8" THICK STAINLESS STEEL TUBE GRADE 304
- EXTERIOR FASCIA: 2x10 DDF#1, TREATED LUMBER WITH TWO COATS OF EXTERIOR PRIMER COLOR: PERPETUAL GRAY, BY SHERWIN WILLIAMS.
- CONTINUOUS WEEP SCREED (MIN # 26 SHEET GAUGE) AT OR BELOW FOUNDATION PLATE LINE. SCREED SHALL BE MIN. 4" ABOVE EARTH AND 2" MIN. ABOVE FINISHED PAVED HARDSCAPE (R703.6.2.1 CRC) WOOD FRAMING MEMBERS RESTING ON EXTERIOR FOUNDATIONS LESS THAN 8" FROM FINISH GRADE SHALL BE PRESSURE TREATED. (CBC 2304.11.2.2) EXCEPTION: A 6" DISTANCE FROM FINISH GRADE IS PERMITTED WHERE EXPOSED EARTH IS PAVED WITH CONCRETE/ASPHALT FOR A WIDTH OF 18". DRAINAGE AWAY FROM EXTERIOR FOOTING/STRUCTURE IS REQUIRED. MIN. 4" ABOVE GRADE AND 2" MIN. ABOVE FINISHED LANDSCAPE (CBC 2506.5)
- APPROVED CORROSION-RESISTIVE FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS PER SECTION R703.8
 - EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
 - AT THE INTERSECTIONS OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OF STUCCO WALLS WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPING C, UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPING AND SILLS D, CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM E, WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY G, WOOD-FRAME CONSTRUCTION G, AT BULFIN GUTTERS F, AT WALL AND ROOF INTERSECTIONS
- PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) UNDER STUCCO WHERE PLYWOOD SHEAR WALLS OCCUR (C.B.C SEC. 2510.6)
- EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. (CBC SEC. 1405.3)
- CHIMNEY SHROUD: 20 GAUGE METAL PER INSTALLATION MANUAL BRONZE FINISH
- ROOF VENTS PIPE STACKS, ETC ARE TO BE PAINTED TO MATCH SURROUNDING MATERIAL
- ROOF VENTS SHALL BE FULLY COVERED BY CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16" TO MAX 1/8" (706.2 CBC)/R327.6.2 CRC) USE O'HAGN FIRE & ICE MODEL "M" VENTS WITH 1/8" WIRE MESH OSFM APPROVED
- VENTS OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH A MINIMUM OPENING OF 1/16" AND MAXIMUM OF 1/8" OPENING (706.1 CBC)/R327.6.1 CRC) CLOTHES DRYER VENT SHALL BE PROTECT WITH METALLIC BACK DRAFT DAMPER
- PATIO CEILINGS SHALL HAVE STUCCO 7/8" PLASTER FINISH, THREE LAYER PORTLAND CEMENT WITH EXPANDED METAL LATH OVER TWO LAYERS OF #15 FELT BUILDING PAPER RATED ONE HOUR PER TABLE 7.20.1(2) ITEM 15-1.3 CBC, CONFORMING TO ASTM 926 AND ASTM C 1063 STATISTICS CBC 707A.6 ITEM 4
- ROOF AND DECK DRAINS SHALL BE CONSEALED IN WALLS AND CONNECT TO SITE DRAINAGE SYSTEM.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBER PER (CRC R315.1) IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY, NUMBER SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBER SHALL BE A MINIMUM 4 INCHES HIGH AND 1/2" STROKE.
- DECKING: WESTCOAT ALX FOR WOOD DECKS - ICC ESR-2201, RATED AS CLASS "A" ROOFING TESTED TO ASTM E108 CONFORMING TO SFM STANDARD 12-7A-4A PER CEC 709A CLASS A ROOF SEE SPECIFICATION SHEET D-3 DETAIL 1.
- BUILT UP ROOFING: GAF MATERIAL CORPORATION OR EQUAL CLASS A ROOF PER ICC ESR-1274 THREE PLY SBS HOT MOPPED SYSTEM ON PLYWOOD ROOF SHEATHING OR ENERGY GUARD; PLYOSIC/ANURATE TAPED FOAM ROOF INSULATION MIN. 3/4" THICK WITH 1/4" PER FOOT SLOPE MECHANICALLY ATTACH TOGETHER ENERGY GUARD INSULATION AND BASE SHEET (GAFGLASS #75 BASE SHEET) WITH CAP HEAD NAILS (RING SHANK) 1/4" PAST ROOF SHEATHING WITH 1" ROUND CAPS MIN. SIX ANCHORS PER 24" INSULATION PANEL, HOP MOP IN PLACE GAF "RUBEROD 20" AND HOT MOP IN PLACE GAF "RUBEROD ENERGYCAP 30" MEMBRANE MAY BE ATTACHED TO WOOD DECK WITHOUT INSULATION UL TESTED #TGFR1306 - GAF SYSTEM 2

ELEVATIONS	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	3



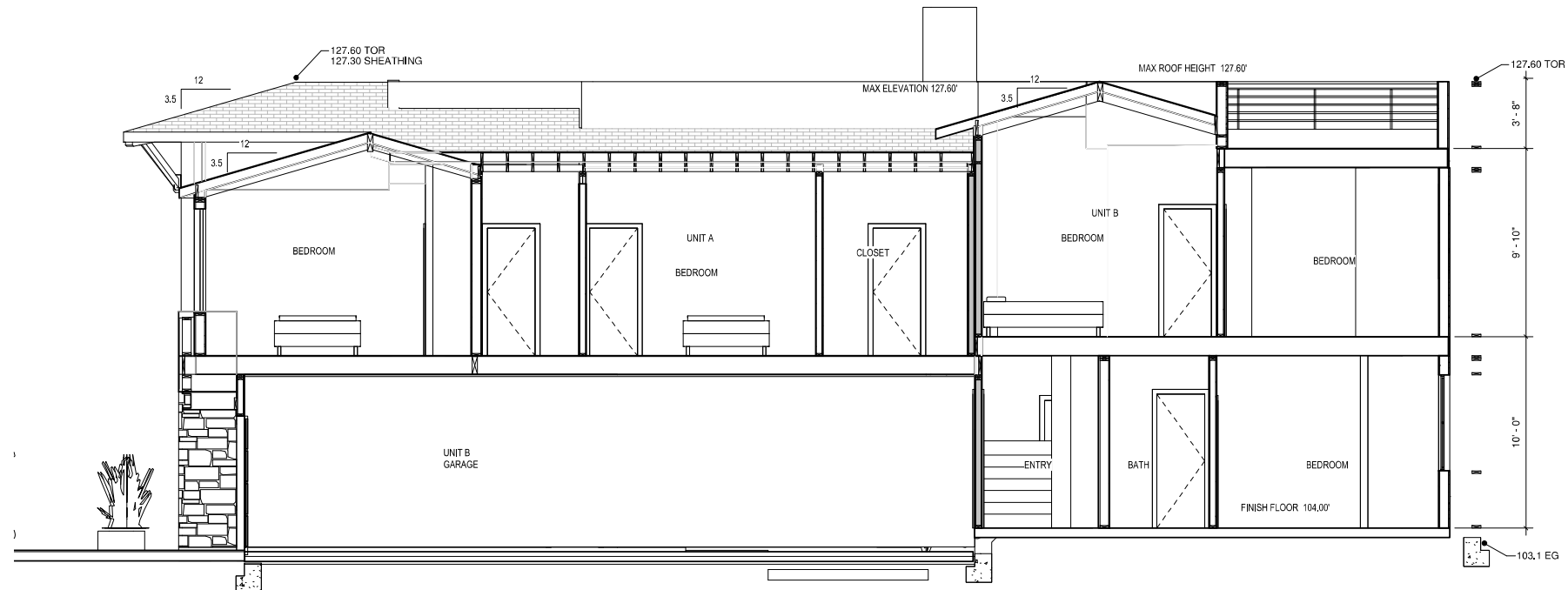
SECTION A
1/4" = 1'-0"

TXAS

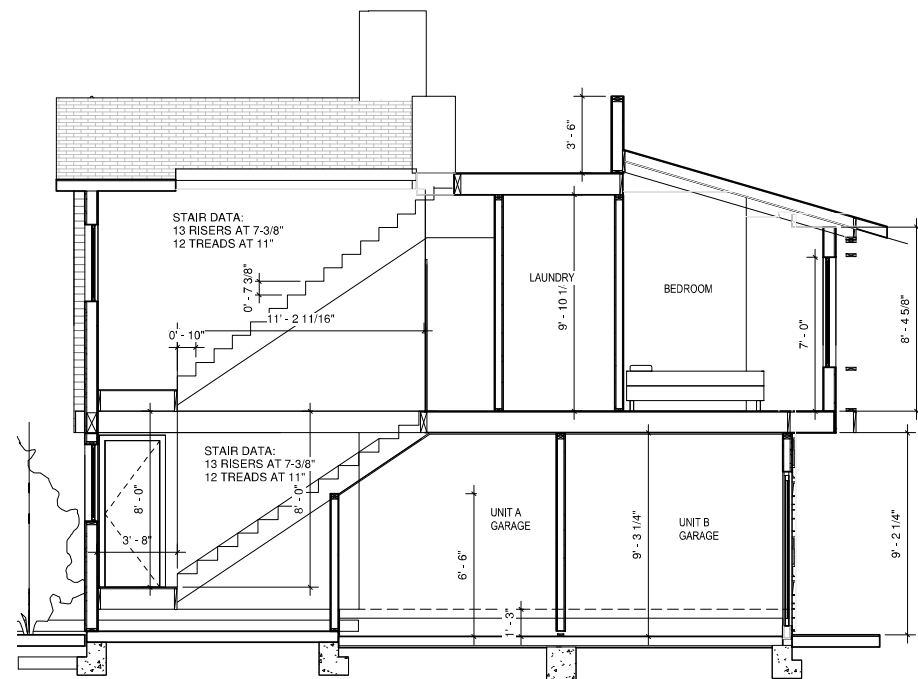


SECTION B
1/4" = 1'-0"

CROSS SECTIONS	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	5



SECTION C
1/4" = 1'-0"

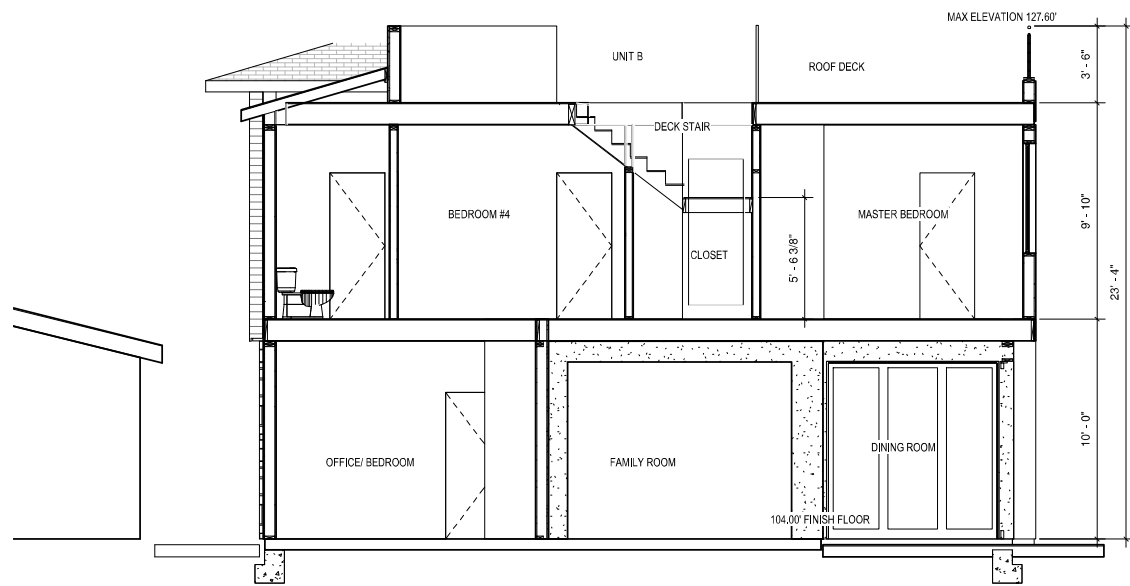


SECTION E
1/4" = 1'-0"

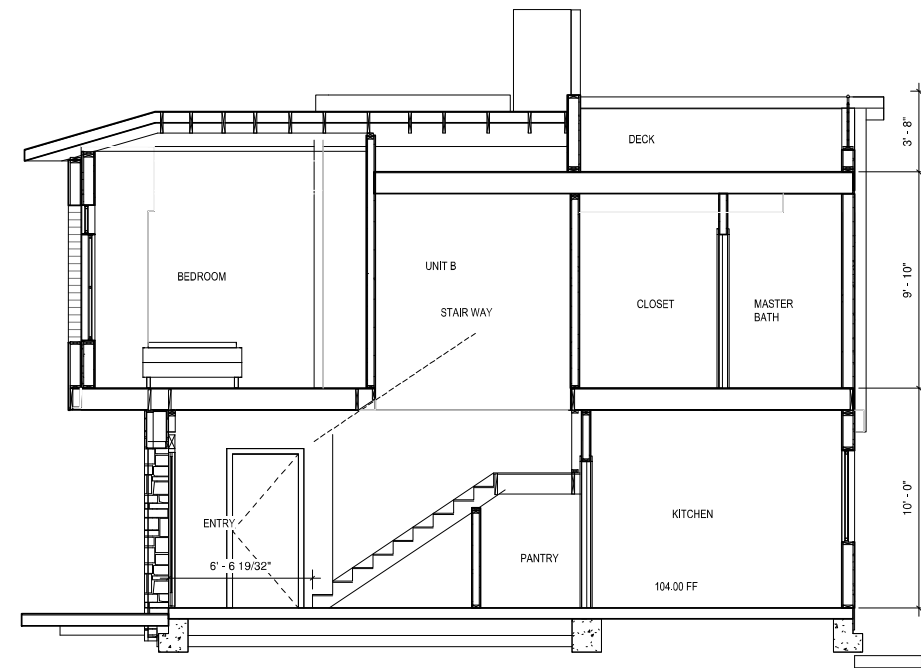


SECTION D
1/4" = 1'-0"

CROSS SECTION	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	6



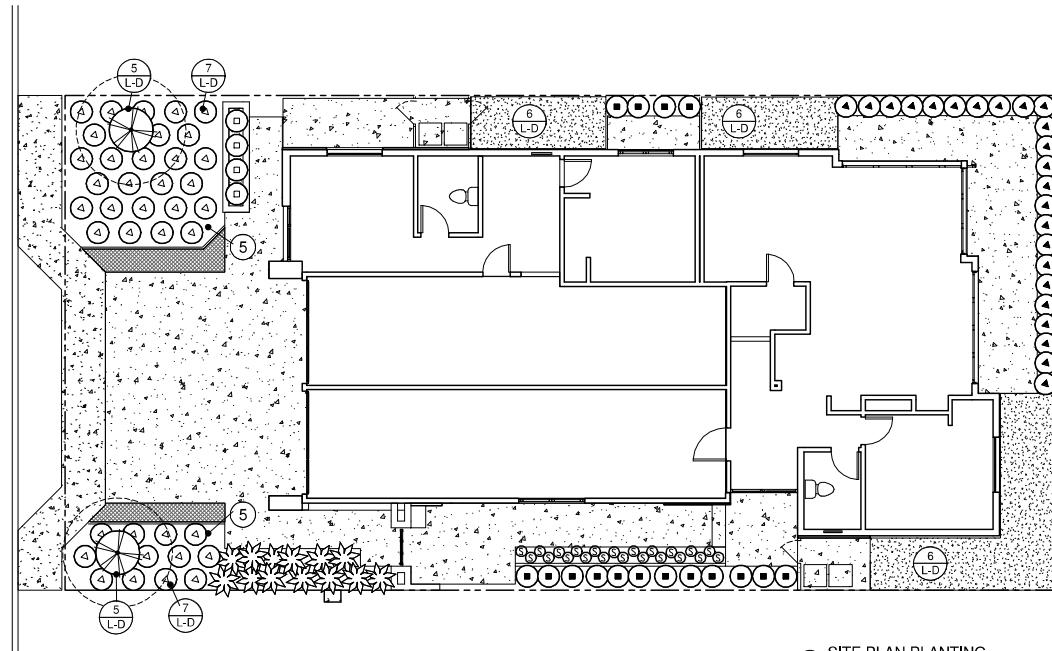
SECTION G
1/4" = 1'-0"



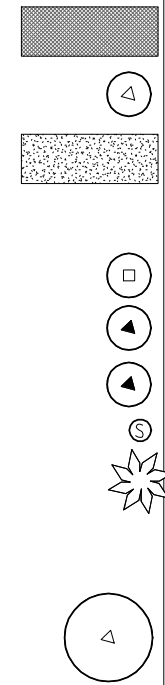
SECTION F
1/4" = 1'-0"

CROSS SECTION

PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672		CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM		7



1 SITE PLAN PLANTING
1/8" = 1'-0"



NAME	SIZE	WATER	QUANTITY
GROUND COVER			
DYMONDIA MARGARETA / SILVER CARPET	FLATS 9" O.C.	LOW	8 FLATS
* LEYMUS CONDENSATUS / CANYON PRINCE	1 GAL 18" O.C.	LOW	26
ARTIFICIAL TURF			
	260 SF	NO	
SHRUBS			
* CEANTHUS "CONCHA" / CALIF. LILAC	5 GAL	LOW	4
* LOBELIA LAXIFLORA / MEXICAN CARDINAL FLOWER	1 GAL	LOW	24
* FUSHIA LEWISIA / CONSTANT	1 GAL	LOW	16
OWNER SELECTED SUCCULENTS			
ALOE ARBOESCENS	1 GAL	LOW	50
	1 GAL	LOW	14
TREE			
ACACIA SMALLII / SWEAT ACACIA	24" BOX	LOW	2

* CALIFORNIA NATIVE PLANTS

PLANTS SHALL BE "LOW" WATER USE PLANT SPECIES PER WUCOLS RATINGS. PLANTS SHALL BE NON-INVASIVE PER THE CALIFORNIA NATIVE PLANT SOCIETY DATA BASE AND THE CALIFORNIA INVASIVE PLANT COUNCIL. 60% OF NEW PLANTS SHALL BE CALIFORNIA NATIVE.

Prescriptive Compliance Landscape Design Checklist
(Can only be used when aggregate landscape areas are 2,500 square feet or less)

The criteria listed below is mandated by the California Department of Water Resources (DWR) and must be satisfied for projects applying for Prescriptive Compliance. More detail can be found in Appendix D of CCR Title 23: water.ca.gov/LegacyFiles/wateruseefficiency

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	NOTE 3 / L-1
Plant Water Use	Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	PLANTING SCHEDULE L-1
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	NOTE 5 / L-1
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	NA
	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.	NA
	Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	NA
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	NOTE 7 / L-2
	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	NOTE 7 / L-2
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.	L-2
	A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	NA

Note
Landscape area includes all the planting areas, turf areas, and water features in a landscape design plan and are subject to the Maximum Applied Water Allowance calculation (MAWA). The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).

SECTION D

6

SECTION D. Landscape Documentation Package Submittal Checklist
Prescriptive Compliance Pathway (Option 2)

Note: This is a streamlined compliance pathway available only to projects with landscaped area 2,500 square feet or less. Only use this checklist for projects applicable for Prescriptive Compliance. Standards for Prescriptive Compliance can be found in Appendix D of the State Model Water Efficiency Landscape Ordinance and included in this packet in the Prescriptive Compliance Landscape Design Checklist.

When a landscape project triggers the Model Water Efficient Landscape Ordinance (CCR Title 23, Chapter 2.7), the following items must be included as part of the Landscape Documentation Package (CCR Section 492—Appendix D) in order to be considered complete and applicable for Water Efficient Landscape Review. In addition to the items listed below, at the time of inspection, the permit applicant must provide the owner of the property with a Certification of Completion, Certificate of Installation, irrigation schedule, and schedule of landscape and irrigation maintenance.

TO BE COMPLETED BY APPLICANT	Submitted
Project Submittal Form/Certificate of Landscape Design Form	■
Applicants shall complete the Landscape Documentation Submittal Form with owner's signature and Certificate of Landscape Design Form wet signed by the Landscape Architect.	
Water Efficient Landscape Worksheet	■
The Water Efficient Landscape Worksheet shall be pasted in the Landscape Plans. An example of the worksheet is included in this document.	
Irrigation Metering Device (for projects with landscape > 1,000 sq. ft.)	□
The project is subject to either CALGreen Tier 1 or Tier 2 and the landscape is greater than 1,000 sq. ft., and therefore, must install a dedicated irrigation meter.	N/A
Landscape Design Plan	■
A Landscape Design Plan shall be submitted and must meet all requirements outlined in CCR §492.6. The Landscape Design Plan must 1) contain the following statement "I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them for the efficient use of water in the landscape design plan" and 2) shall bear the signature of a licensed landscape architect or licensed landscape contractor.	
Compliance with the design measures listed in the Prescriptive Compliance (APPENDIX-D of the State MWEL) Landscape Design Checklist (available on the following page) is mandatory and must be documented on the landscape plans in order to use the Prescriptive Compliance option 2.	

SECTION D

5

PLANTING SPECIFICATION

- PLANT APPROPRIATENESS SHALL BE SELECTED BASED UPON THEIR ADAPTABILITY TO THE CLIMATIC, GEOLOGIC AND TOPOGRAPHICAL CONDITIONS OF THE SITE.
- SELECTION OF WATER-EFFICIENT AND CALIFORNIA NATIVE PLANT MATERIAL IS REQUIRED, WITH 60%.
- COMPOSE TO BE INCORPORATED INTO SOIL AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1000 SQ FT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA.
- PLANTS HAVING SIMILAR WATER USE SHALL BE GROUPED TOGETHER IN DISTINCT HYDROZONES.
- MULCH: A MINIMUM 3 INCH LAYER OF ORGANIC MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS. REQUIRED AROUND TREES, SHRUBS AND ON NONIRRIGATED AREAS.
- ANNUAL COLOR PLANTINGS SHALL BE USED ONLY IN AREAS OF HIGH VISUAL IMPACT AND MUST BE IRRIGATED WITH DRIP, MICRO IRRIGATION OR OTHER SYSTEMS WITH EFFICIENCIES OF 90 PERCENT OR GREATER.
- THE USE OF INVASIVE AND/OR NOXIOUS PLANT SPECIES IS PROHIBITED.
- TREES AND SHRUBS PLANTS ON PRIVATE PROPERTY SHALL BE PLANTED SO THAT AT MATURITY THEY DO NOT INTERFERE WITH SERVICE LINES, TRAFFIC SAFETY VISIBILITY AREA, AND BASIC PROPERTY RIGHTS OF ADJACENT PROPERTY.
- RECIRCULATION WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

LANDSCAPE PLANTING		CHP 21-001
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672		L-1
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM		

DUPLEX: 214 W. MARIPOSA, SAN CLEMENTE, CA 92672

SHEET INDEX	
C1	COVER SHEET / RENDERING
A1	SITE PLAN
1	FIRST FLOOR /LOT COVERAGE
2	SECOND FLOOR
3	ELEVATIONS
4	ROOF PLAN
5	CROSS SECTION A, B, C
6	CROSS SECTION D, E
7	CROSS SECTION F, G
AD-1	ARCHITECTURAL DETAILS
S	SURVEY MAP
L-1	LANDSCAPE PLANTING
L-2	IRRIGATION PLAN
L-D	LANDSCAPE DETAILS



④ front left COVER



⑤ front right COVER



⑥ rear left COVER



⑦ right side COVER

ZONING: RM (CZ)
 OCCUPANCY R-3U: DUPLEX
 TYP CONST. V-B SPRINKLERS (NFPA 13R)
 WATER QUALITY: NON PRIORITY
 SET BACKS
 FRONT 15' TO STRUCTURE
 18' TO GARAGE DOORS
 SIDE 5' TO STRUCTURE
 REAR 5' TO STRUCTURE
 HEIGHT LIMIT: 25' PER 17.24.110
 BUILDING AREA:
 UNIT A
 FIRST FLOOR: 320 sf
 SECOND FLOOR: 1165 sf
 TOTAL: 1485 sf
 ROOF DECK: 315 sf
 YARD: 400 sf
 UNIT B
 FIRST FLOOR: 908 sf
 SECOND FLOOR: 791 sf
 TOTAL AREA: 1700 sf
 ROOF DECK: 375 sf
 YARD: 437 sf
 2 TANDEM GARAGES: 837 sf

LOT AREA:
 45X90 = 4050 sf
 LOT COVERAGE 2105 sf 52%
 MAX COVERAGE 55% x 4050 = 2227 sf
 FRONT YARD LANDSCAPE = 386 SF
 REQUIRED = 675/2 = 337 SF
 TOTAL LANDSCAPE AREA = 1012 SF, 25%

PROJECT NARRATIVE

THE PROJECT IS A TWO STORY DUPLEX OF 1740 SF FOR UNIT A AND 1786 SF FOR UNIT B CONSTRUCTED ON AN IN FILL LOT OF 4050 SF. UNITS WILL HAVE ROOF TOP DECKS TO INCREASE EXTERIOR LIVING SPACE AND ALLOW FOR OCEAN AND SUNSET VIEWS.

UNITS WILL HAVE TANDEM PARKING GARAGES AS ALLOWED BY ZONING ORDINANCE TABLE 17.64.050 ITEM 7.2 AND 17.64.090

PROJECT WILL REQUEST A MINOR EXCEPTION FOR A 6 INCH ENCROACHMENT ON THE SECOND FLOOR OF THE NORTH AND SOUTH ELEVATIONS FOR DEEP SET ARCHITECTURAL WINDOWS. PER ZONING CODE 17.24.080, TABLES 17.24.080A AND 17.24.080B.

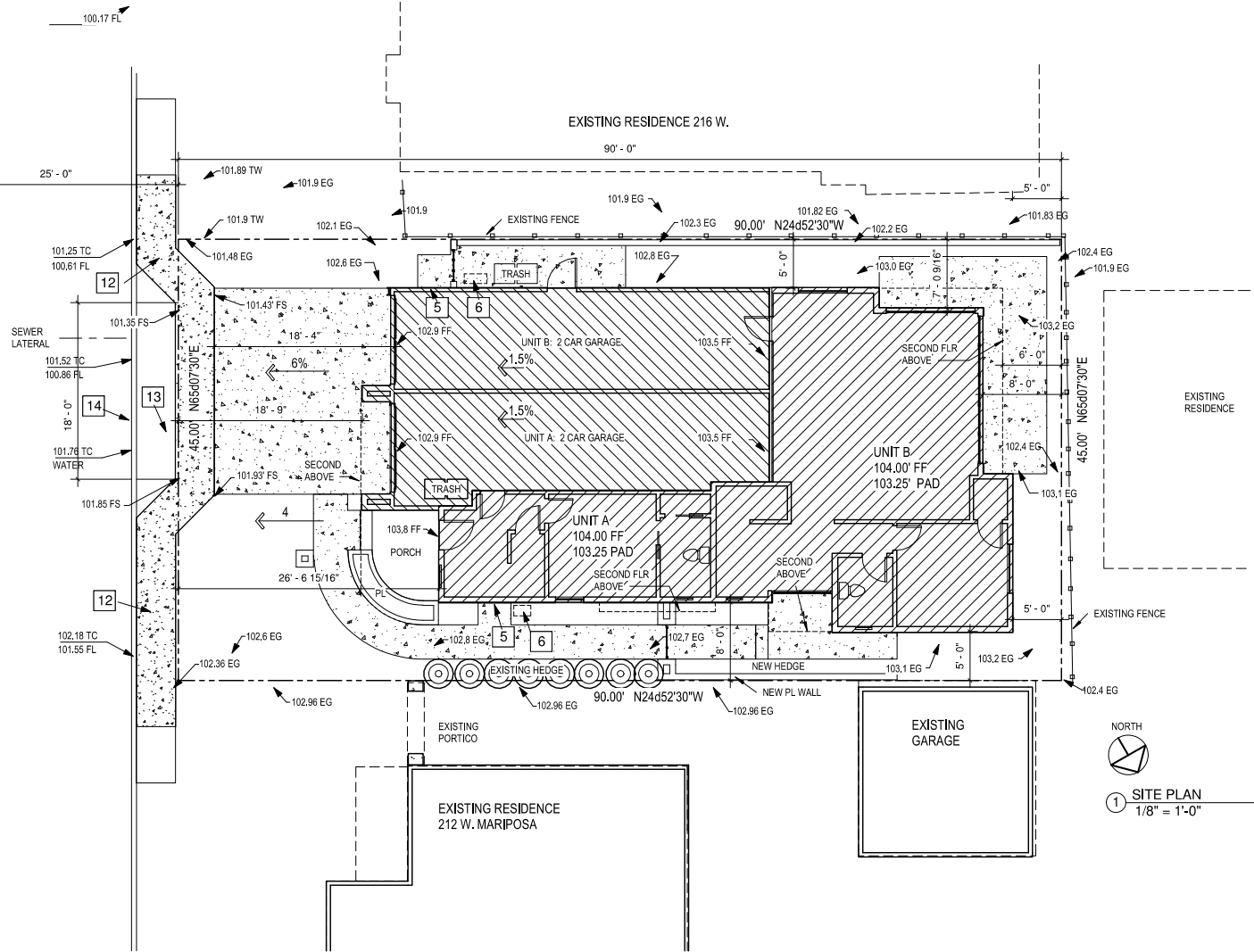
RESIDENCE WILL BE OF CONTEMPORARY STYLE USING TRADITIONAL MATERIALS WITH VERTICAL AND HORIZONTAL OFFSETS AND PITCHED ROOF IN THE MASSING. THE GOAL IS TO CREATE A RELEVANT NEW STYLE WITH A RESIDENTIAL SCALE.

STONE IS USED AROUND THE GARAGE DOORS AND AT THE ENTRANCE TO UNIT B TO CREATE A SUBSTANTIVE ACCENT. WOOD SIDING IS USED ON SEVERAL WALL PLANES TO CREATE PROPORTIONAL ACCENTS. WHITE STUCCO IS USED TO TIE IN THE ADJACENT HISTORIC HOME. PITCHED ROOFS WITH TILE ARE INCORPORATED IN THE ELEVATIONS TO REFLECT THE RESIDENTIAL USE OF THE STRUCTURES.

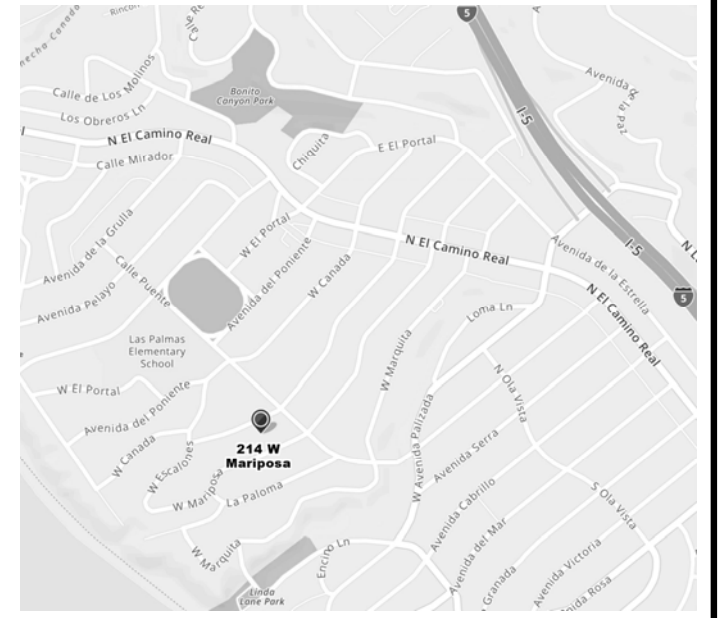
THE NORTH SIDE HAS AN ADDITIONAL SETBACK, TOTTALLING EIGHT FEET. TO GIVE AS MUCH SEPARATION FROM THE HISTORICAL HOME AS POSSIBLE.

COVER SHEET RENDERINGS		CHP 21-001
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672		C
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM		

MARIPOSA



1 SITE PLAN
1/8" = 1'-0"



4 VICINITY MAP
1/4" = 1'-0"

ZONING: RM (CZ)
OCCUPANCY R-3(U): DUPLEX
TYP CONST. V-B SPRINKLERS (NFPA 13R)
SET BACKS
FRONT 15' TO STRUCTURE
FRONT 18' TO GARAGE DOORS
SIDE 5' TO STRUCTURE
REAR 5' TO STRUCTURE
HEIGHT LIMIT: 25' PER 17.24.110
WATER QUALITY: NON PRIORITY

BUILDING AREA:
UNIT A
FIRST FLOOR: 433 sf
SECOND FLOOR: 1307 sf
TOTAL: 1740 sf
ROOF DECK: 377 sf
YARD 400 sf
UNIT B
FIRST FLOOR: 807 sf
SECOND FLOOR: 862 sf
TOTAL AREA: 1669 sf
ROOF DECK 536 sf
YARD 437sf
2 TANDEM GARAGES: 837 sf
LOT AREA:
45X90 = 4050 sf
LOT COVERAGE 2223 sf 55%
MAX COVERAGE 55% x 4050 = 2227 sf
FRONT YARD LANDSCAPE = 386 SF
REQUIRED = 675/2 = 337 SF
TOTAL LANDSCAPE AREA = 1012 SF, 25%

THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL IMPLEMENTED
CASQA CONSTRUCTION BMP HANDBOOK
EROSION AND SEDIMENT

- SE- DESILTING
- SE- GRAVEL BAG
- SE- STREET
- SE- GRAVEL BAR
- SE-1 STORM DRAIN
- TC- STABILISED CONSTRUCTION
- EC- WIND EROSION
- EC- SLOPE

THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL IMPLEMENTED
CASQA CONSTRUCTION BMP HANDBOOK
WASTE MANAGEMENT AND MATERIAL POLLUTION

- WM- MATERIAL DELIVERY AND
- WM- MATERIAL
- WM- STOCKPILE
- WM- SPILL
- WM- SOLID WASTE
- WM- HAZARDOUS WASTE
- WM- CONTAMINATED WASTE
- WM- CONCRETE WASTE
- WM- SANITARY/SEPTIC WASTE

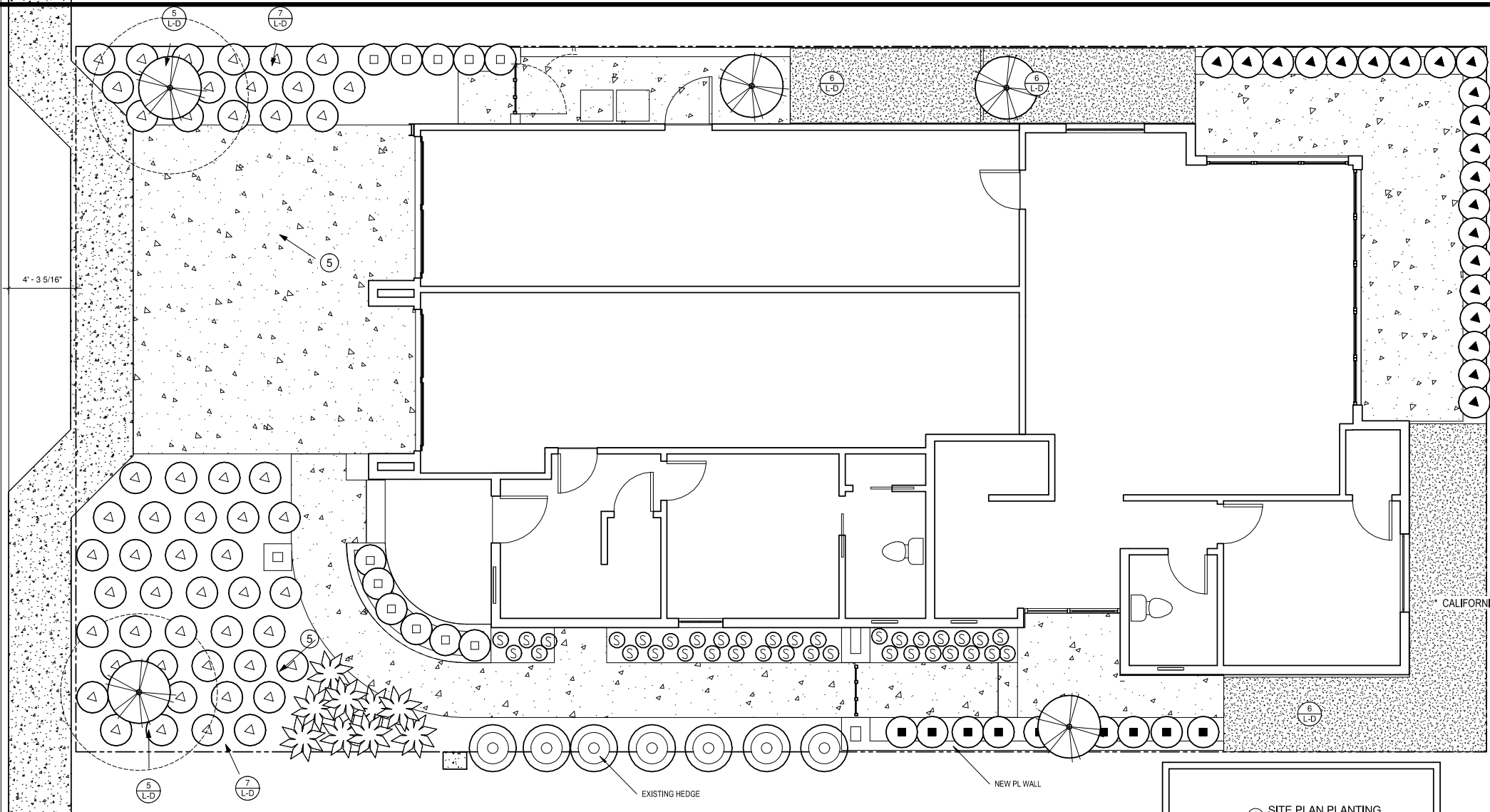
THE FOLLOWING BMP'S WHERE APPLICABLE, SHALL IMPLEMENTED PER CASQA CONSTRUCTION
FOR NON-STORMWATER MANAGEMENT AND MATERIAL

- NS- WATER CONSERVATION
- NS- PAVING AND GRINDING
- NS- ILLICIT
- NS- VEHICLE AND EQUIPMENT
- NS-1 CONCRETE
- NS-1 CONCRETE
- NS-1 MATERIAL AND EQUIPMENT

SITE

- THRESHOLD HEIGHT SHALL NOT EXCEED 3/4" FOR SLIDING AND 1/2" FOR ALL OTHER DOORS. (CBC)
- LANDINGS SHALL BE LEVEL, EXCEPT EXTERIOR LANDINGS WHICH MAY 1/4" PER FOOT MAXIMUM (2% SLOPE). (CBC 1008.1.4) MIN 36" WIDE X 36"
- EXCEPTION 3 SECTION
THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7.75 BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING THE
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBER PER (CRC IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING PROPERTY. NUMBER SHALL CONTRAST WITH THEIR BACKGROUND. NUMBER SHALL BE A MINIMUM 4 INCHES HIGH AND 1/2" INCH STROKE
- ELECTRICAL PANEL
SDGE SHALL APPROVE METER LOCATION. PROVIDE WORK AREA OF MIN. 30" BY 36" DEEP. E SHEETS FOR PANEL
- GAS METER LOCATION: LOCATION SHALL BE APPROVED BY CALIFORNIA GAS SEE P SHEET FOR
- FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES (CRC R403.1.7.3)
- ROOF WATER SHALL DRAIN TO NON-ERODIBLE SURFACE OR DISCHARGE THRU ROOF GUTTERS CONNECT TO DRAINAGE SYSTEM
- EXISTING 4" V.C.P. SEWER
- EXISTING 3/4" WATER LINE AND PRESSURE REDUCER AND BACKFLOW PREVENTER REQUIRED BETWEEN METER AND
UPON COMPLETION OF THE INSTALLATION, THE BACKFLOW PREVENTION NEEDS TO BE TESTED AND CERTIFIED FOR OPERATIONAL COMPLIANCE. OF THE TEST REPORTS MUST BE SUBMITTED TO THE CITY. PRIOR TO INSPECTION, THE BACKFLOW PREVENTION DEVICE NEEDS TO BE INSPECTED APPROVED BY THE CITY'S CROSS CONNECTION CONTROL
- CONSTRUCT SIDEWALK PER CITY STANDARD ST-3, MIN. 4' WITH 2% MAX CROSS (SIDEWALK IN FRONT OF DRIVE APPROACH TO BE 6"
- CONSTRUCT DRIVE APPROACH PER CITY STD.
- REMOVE EXISTING CURB IN FRONT OF PROPOSED DRIVE APPROACH SAW CUT AND REMOVE AC PAVING FOR NEW CONCRETE GUTTER REMOVAL AND REPLACEMENT OF ADDITIONAL ASPHALT MAY REQUIRED BY FIELD INSPECTOR IF DEEMED
- EARTH WORK LESS THAN 50 CUBIC YARDS
- CONSTRUCT 2 3" DIA CURB CORES PER CITY STD PLAN ST-7

SITE PLAN
CHP 21-001
PROJECT: DUPLEX
214 W. MARIPOSA
SAN CLEMENTE, CA.
92672
OWNER: 505 ARDILLA LLC
238 AVENIDA VICTORIA
SAN CLEMENTE, CA. 92672
TAYLOR FOX: (949) 607-8880
TAYLORFOX@GMAIL.COM
A1



1 SITE PLAN PLANTING
1/4" = 1'-0"

PLANTING

1. PLANT APPROPRIATENESS SHALL BE SELECTED BASED UPON ADAPTABILITY TO THE CLIMATIC, GEOLOGIC AND CONDITIONS OF THE
2. SELECTION OF WATER-EFFICIENT AND CALIFORNIA NATIVE PLANT IS REQUIRED. WITH
3. COMPOSE TO BE INCORPORATED INTO SOIL AT A RATE OF AT LEAST FOUR YARDS PER 1000 SQ FT TO A DEPTH OF 6 INCHES INTO LANDSCAPE
4. PLANTS HAVING SIMILAR WATER USE SHALL BE GROUPED TOGETHER DISTINCT
5. MULCH: A MINIMUM 3 INCH LAYER OF ORGANIC MULCH SHALL BE APPLIED ALL EXPOSED SOIL SURFACES OF PLANTING REQUIRED AROUND TREES, SHRUBS AND ON NONIRRIGATED
6. ANNUAL COLOR PLANTINGS SHALL BE USED ONLY IN AREAS OF HIGH IMPACT AND MUST BE IRRIGATED WITH DRIP, MICRO IRRIGATION OR SYSTEMS WITH EFFICIENCIES OF 90 PERCENT OR
7. THE USE OF INVASIVE AND/OR NOXIOUS PLANT SPECIES IS
8. TREES AND SHRUBS PLANTS ON PRIVATE PROPERTY SHALL BE PLANTED THAT AT MATURITY THEY DO NOT INTERFERE WITH SERVICE LINES, SAFETY VISIBILITY AREA, AND BASIC PROPERY RIGHTS OF ADJACENT
9. RECIRCULATION WATER SYSTEMS SHALL BE USED FOR WATER

PLANTS SHALL BE "LOW" WATER USE PLANT SPECIES PER WUCOLS RATINGS. PLANTS SHALL BE NON-INVASIVE PER THE CALIFORNIA NATIVE PLANT SOCIETY DATA BASE

Prescriptive Compliance Landscape Design Checklist
(Can only be used when aggregate landscape areas are 2,500 square feet or less)

The criteria listed below is mandated by the California Department of Water Resources (DWR) and must be satisfied for projects applying for Prescriptive Compliance. More detail can be found in Appendix D of CCR Title 23: water.ca.gov/legacy/files/wateruseefficiency

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test). <i>Residential:</i> Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.	NOTE 3 / L-1
Plant Water Use	<i>Non-residential:</i> Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	PLANTING SCHDEULE L-1
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers. Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	NOTE 5 / L-1 NA
Turf	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	NA NA
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor. Irrigation controller programming data will not be lost due to an interruption in the primary power source. Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	NOTE 7 / L-2. NOTE 7 / L-2. L-2 NA

Note
Landscape area includes all the planting areas, turf areas, and water features in a landscape design plan and are subject to the Maximum Applied Water Allowance calculation (MAWA). The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).

SECTION D. Landscape Documentation Package Submittal Checklist
Prescriptive Compliance Pathway (Option 2)

Note: This is a streamlined compliance pathway available only to projects with landscaped area 2,500 square feet or less. Only use this checklist for projects applicable for Prescriptive Compliance. Standards for Prescriptive Compliance can be found in Appendix D of the State Model Water Efficiency Landscape Ordinance and included in this packet in the Prescriptive Compliance Landscape Design Checklist.

When a landscape project triggers the Model Water Efficient Landscape Ordinance (CCR Title 23, Chapter 2.7), the following items must be included as part of the Landscape Documentation Package (CCR Section 492—Appendix D) in order to be considered complete and applicable for Water Efficient Landscape Review. In addition to the items listed below, at the time of inspection, the permit applicant must provide the owner of the property with a Certification of Completion, Certificate of Installation, irrigation schedule, and schedule of landscape and irrigation maintenance.

TO BE COMPLETED BY APPLICANT	Submitted
Project Submittal Form/Certificate of Landscape Design Form	■
Applicants shall complete the Landscape Documentation Submittal Form with owner's signature and Certificate of Landscape Design Form wet signed by the Landscape Architect.	
Water Efficient Landscape Worksheet	■
The Water Efficient Landscape Worksheet shall be pasted in the Landscape Plans. An example of the worksheet is included in this document.	
Irrigation Metering Device (for projects with landscape > 1,000 sq. ft)	□
The project is subject to either CALGreen Tier 1 or Tier 2 and the landscape is greater than 1,000 sq. ft., and therefore, must install a dedicated irrigation meter.	N/
Landscape Design Plan	■
A Landscape Design Plan shall be submitted and must meet all requirements outlined in CCR §492.6. The Landscape Design Plan must 1) contain the following statement "I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them for the efficient use of water in the landscape design plan" and 2) shall bear the signature of a licensed landscape architect or licensed landscape contractor.	
Compliance with the design measures listed in the Prescriptive Compliance (APPENDIX -D of the State MWLEO) Landscape Design Checklist (available on the following page) is mandatory and must be documented on the landscape plans in order to use the Prescriptive Compliance option 2.	

NAME	SIZE	WATER	QUANTITY
GROUND COVER			
DYMONDIA MARGARETA / SILVER CARPET	FLATS 9"	LO	8 FLATS
* LEYMUS CONDENSATUS / CANYON PRINCE	1 GAL 18"	LO	26
ARTIFICIAL TURF	260 SF	N	
SHRUBS			
* CEANOTHUS "CONCHA" / CALIF. LILAC	5 GAL	LO	4
* LOBELIA LAXIFLORA / MEXICAN CARDINAL FLOWER	1 GAL	LO	24
* FUSHIA LEWISIA / CONSTANT	1 GAL	LO	16
OWNER SELECTED SUCCULENTS	1 GAL	LO	50
ALOE ARBOESCENS	1 GAL	LO	14
TREE			
ACACIA SMALLII / SWEAT ACACIA	24"	LO	2

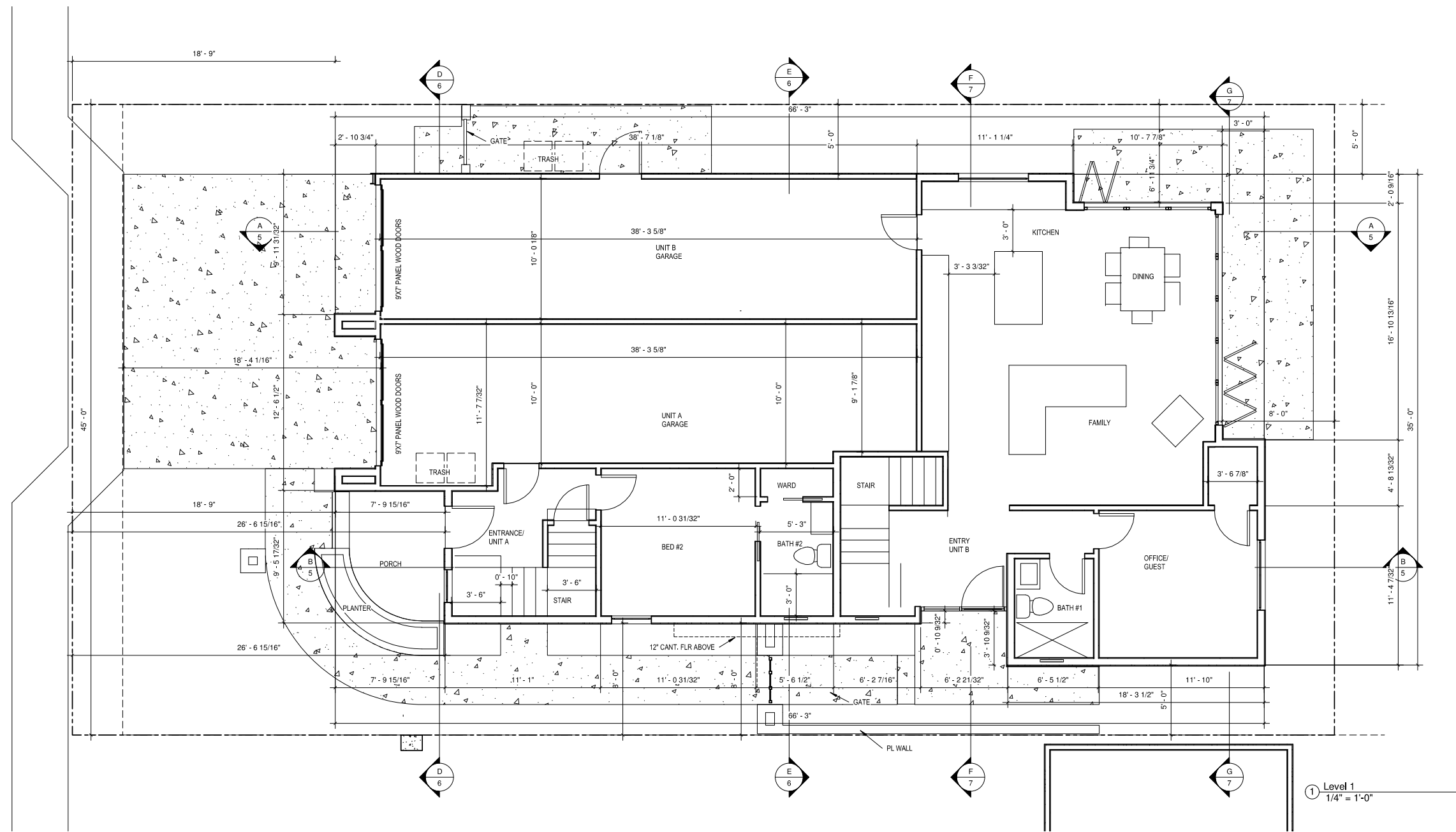
LANDSCAPE PLANTING

PROJECT: DUPLEX
214 W. MARIPOSA
SAN CLEMENTE, CA.
92672

OWNER: 505 ARDILLA LLC
238 AVENIDA VICTORIA
SAN CLEMENTE, CA. 92672
TAYLOR FOX: (949) 607-8880
TAYLORFOX@GMAIL.COM

CHP

L-1

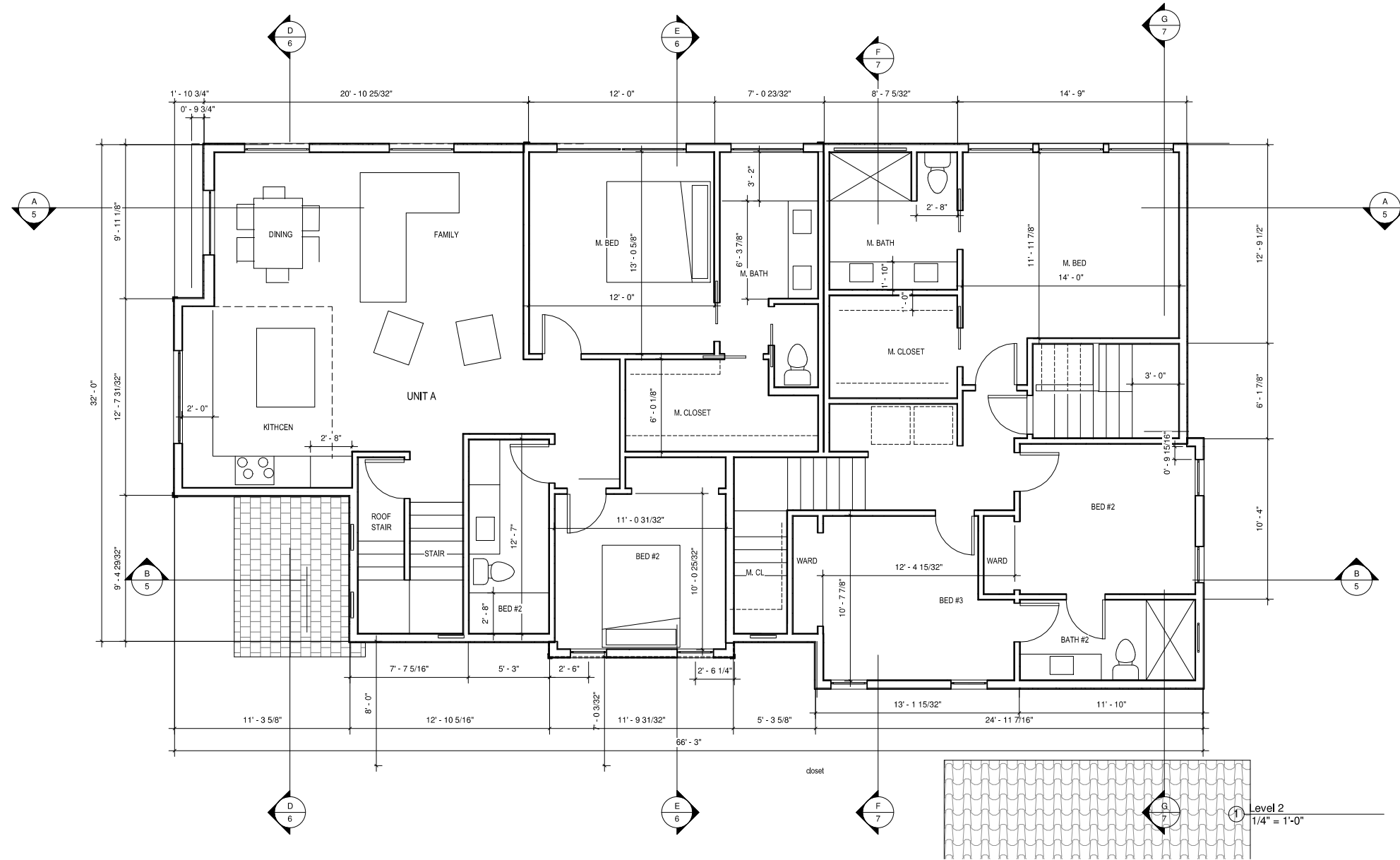


① Level 1
1/4" = 1'-0"

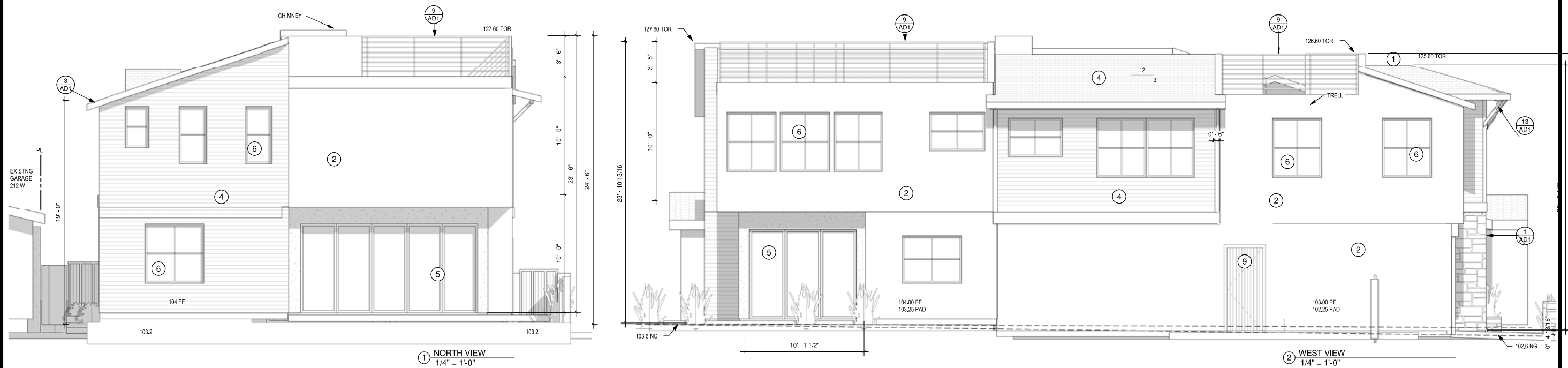
2223

FIRST FLOOR	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672 OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	CHP 21-001 <div style="font-size: 2em; font-weight: bold; text-align: center;">1</div>

DAVID YORK, ARCHITECT 403 CALLE CAMPANERO, SAN CLEMENTE, CA. 92673 (949) 887-8034 YORKARCH@YAHOO.COM

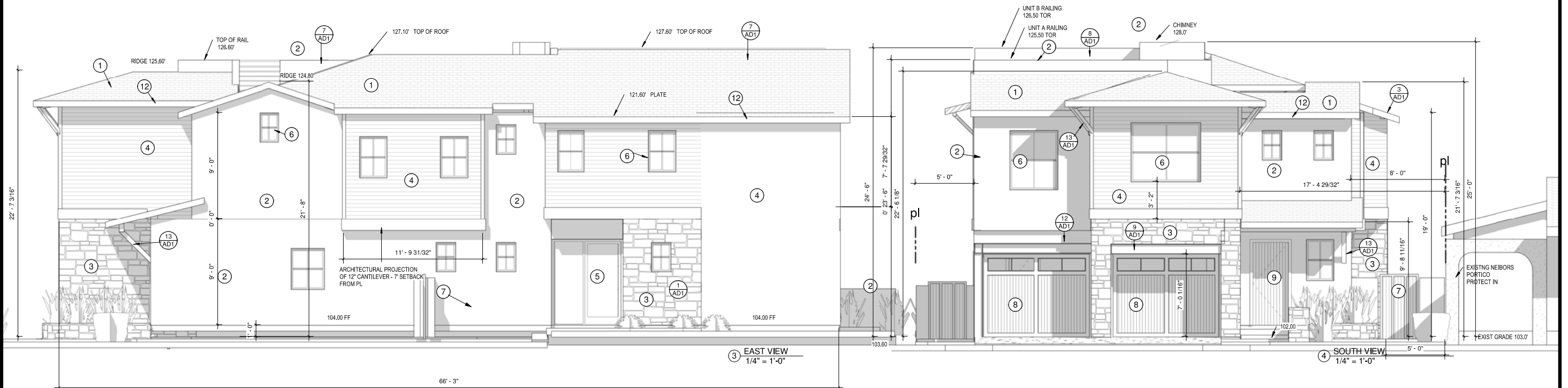


SECOND	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	<div style="font-size: 2em; font-weight: bold;">2</div> <div style="font-size: 1.5em; font-weight: bold;">49</div>



1 NORTH VIEW
1/4" = 1'-0"

2 WEST VIEW
1/4" = 1'-0"



3 EAST VIEW
1/4" = 1'-0"

4 SOUTH VIEW
1/4" = 1'-0"

EXTERIOR ELEVATION

- EAGLE ROOFING: FLAT CONCRETE ROOF TILE, BEL AIR, COLOR: SLATE GREY PER IAPMO OR UES ER-1900, CLASS A ROOFING PER CBC 1505.2. UNDER LAYMENT OF 2-430 ASPHALT SATURATED FELT CONFORMING TO ASTM D228 TYP II MIN ROOF SLOPE IS 2.5" IN 12". TILE WEIGHT 10#/SF ATTACHED PER MANUFACTURE RECOMMENDATION, REFLECTIVITY: .17, EMISSIVITY: .92, SRI: .16 CRRC 0918-0046
- MAIN BODY PLASTER FINISH: SMOOTH FINISH FINISH COAT: OMEGA AKKORLEK, COLOR: ICEBER #9205 STUCCO SHALL BE THREE LAYERS 7/8" PORTLAND CEMENT ON WIRE MESH PROVIDE TWO LAYERS #15 FELT BUILDING PAPER RATED ONE HOUR RATED PER TABLE 720.1(2) ITEM 15-1.3 CBC (707A.3 CBC) CONFORMING TO ASTM 926 AND ASTM C 1093
- LIMESTONE VENEER TILE "CHAMPAGNE", ATTACHED PER DETAIL 1-AD-1 ADHERED MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R703.7.3 AND THE REQUIREMENTS IN SECTION 12.1 AND 12.3 OF TMS 402 ADHERED STONE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.7.1 ARTICLE 3.3C OR TMS 602 OR THE MANUFACTURERS INSTRUCTIONS
- EXTERIOR SIDING: HARDIPLANK LAP SIDING, SMOOTH, COLOR: UNIVERSAL KHAKI BY SHERWIN WILLIAMS, PRODUCT COMPLYS WITH ASTM C1186 AS GRADE II, TYPE A, FRAME SPREAD INDEX 0
- INSTALLED PER ICC ESR REPORT ICC ESR-2290, WITH OR WITHOUT WOOD STRUCTURAL PANEL SHEATHING, OVER TWO LAYERS 3/16" FELT W.P. BARRIER PER CBC SECT 1404.2 FASTENERS SHALL BE 8d GALV. BLIND NAILED AT MAX 24" O.C. TO STUDS.
- DOORS: WESTERN METAL WINDOWS AND DOOR, ALUMINUM DARK BRONZE ANODIZED (THERMALLY BROKEN) U-VALUE = .35 AND SHGC = .29 TEMPERED GLASS OR BE TESTED TO NFPA 257 CBC 708A.2.1

- WINDOWS: MILGUARD ALUMINUM WINDOWS DUAL GLAZED U-VALUE=.32 AND SHGC=.29 COLOR: BRONZE ANODIZED ALUMINUM
- SIDE GATE: 42" WIDE X 60" HIGH, 2" SQ METAL FRAME WITH VERTICAL PLANKING COLOR: UNIVERSAL KHAKI
- GARAGE DOORS: WOOD PANEL DOOR WITH OBSCURE TEMPERED GLASS TOP LIGHTS STAIN FINISH TO MATCH ENTRY DOORS UNIVERSAL KHAKI
- ENTRY DOOR: SWINGING DOOR: 2-1/2" WOOD STILE FRAME WITH 1-1/2" X 5.5" VERTICAL PANEL STAIN FINISH TO MATCH GARAGE DOOR
- WAC LIGHTING: ICON, MODEL WS-W54614-BZ, BRONZE LED 12.5 WATTS
- EXTERIOR FASCIA: 2x10 DF#1, TREATED LUMBER WITH TWO COATS OF EXTERIOR PRIMER COLOR: PERPETUAL GRAY, BY SHERWIN WILLIAMS.
- CONTINUOUS WEEP SCREED (MIN # 26 SHEET GAUGE) AT OR BELOW FOUNDATION PLATE LINE. SCREED SHALL BE MIN. 4" ABOVE EARTH AND 2" MIN. ABOVE FINISHED PAVED HARDSCAPE (R703.6.2.1 CRC)
- WOOD FRAMING MEMBERS RESTING ON EXTERIOR FOUNDATIONS LESS THAN 8" FROM FINISH GRADE SHALL BE PRESSURE TREATED, (CBC 2304.11.2) EXCEPTION: A 6" DISTANCE FROM FINISH GRADE IS PERMITTED WHERE EXPOSED EARTH IS PAVED WITH CONCRETE/ASPHALT FOR A WIDTH OF 18". DRAINAGE AWAY FROM EXTERIOR FOOTING/STRUCTURE IS REQUIRED.
- MIN. 4" ABOVE GRADE AND 2" MIN. ABOVE FINISHED LANDSCAPE (CBC 2306.5)

- APPROVED CORROSION-RESISTIVE FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS PER SECTION R703.8
 - EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
 - AT THE INTERSECTIONS OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OF STUCCO WALLS WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPING C, UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPING AND SILLS
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION
 - AT BUILT-IN GUTTERS
 - AT WALL AND ROOF INTERSECTIONS
- PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) UNDER STUCCO WHERE PLYWOOD SHEAR WALLS OCCUR (C.B.C SEC. 2510.6)
- EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. (CBC SEC. 1405.3)
- CHIMNEY SHROUD: 20 GAUGE METAL PER INSTALLATION MANUAL BRONZE FINISH
- ROOF VENTS, PIPE STACKS, ETC ARE TO BE PAINTED TO MATCH SURROUNDING MATERIAL
- ROOF VENTS SHALL BE FULLY COVERED BY CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16" TO MAX 1/8" (706.2 CBC)/R327.6.2 CRC)
- USE OHAGN FIRE & ICE MODEL "M" VENTS WITH 1/8" WIRE MESH OSFM APPROVED
- VENTS OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH A MINIMUM OPENING OF 1/16" AND MAXIMUM OF 1/8" OPENING (706A.1 CBC)/327.6.1 CRC)
- CLOTHES DRYER VENT SHALL BE PROTECT WITH METALLIC BACK DRAFT DAMPER

- PATIO CEILINGS SHALL HAVE STUCCO 7/8" PLASTER FINISH, THREE LAYER PORTLAND CEMENT WITH EXPANDED METAL LATH OVER TWO LAYERS OF #15 FELT BUILDING PAPER RATED ONE HOUR PER TABLE 720.1(2) ITEM 15-1.3 CBC, CONFORMING TO ASTM 926 AND ASTM C 1093 STATISFINS CBC 707A.6 ITEM 4
- ROOF AND DECK DRAINS SHALL BE CONSEALED IN WALLS AND CONNECT TO SITE DRAINAGE SYSTEM.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBER PER (CRC R319.1) IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY, NUMBER SHALL CONTRAST WITH THEIR BACKGROUND, ADDRESS NUMBER SHALL BE A MINIMUM 4 INCHES HIGH AND 1/2" STROKE.
- DECKING: WESTCOAT ALX FOR WOOD DECKS - ICC ESR-2201, RATED AS CLASS "A" ROOFING TESTED TO ASTM E108 CONFORMING TO SFM STANDARD 12-7A-4A PER CEC 709A CLASS A ROOF SEE SPECIFICATION SHEET D-3 DETAIL 1.
- BUILT UP ROOFING: GAF MATERIAL CORPORATION OR EQUAL CLASS A ROOF PER ICC ESR-1274 THREE PLY SBS HOT MOPPED SYSTEM ON PLYWOOD ROOF SHEATHING OR ENERGY GUARD; PLYISOCYANURATE TAPED FOAM ROOF INSULATION MIN. 3/4" THICK WITH 1/4" PER FOOT SLOPE. MECHANICALLY ATTACH TOGETHER ENERGY GUARD INSULATION AND BASE SHEET (GAFGLASS #75 BASE SHEET) WITH CAP HEAD NAILS (RING SHANK) 1/4" PAST ROOF SHEATHING WITH 1" ROUND CAPS MIN. SIX ANCHORS PER 24" INSULATION PANEL. HOT MOP IN PLACE GAF "RUBEROID 20" AND HOT MOP IN PLACE GAF "RUBEROID ENERGYCAP 30 FR" MEMBRANE MAY BE ATTACHED TO WOOD DECK WITHOUT INSULATION UL TESTED #TGFUR1306 - GAF SYSTEM 2

ELEVATIONS	
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OWNER: 505 ARDILLA LLC 238 AVENIDA VICTORIA SAN CLEMENTE, CA. 92672 TAYLOR FOX: (949) 607-8880 TAYLORFOX@GMAIL.COM	3

ROOF ELEMENT 1				
SYM	TOR	EG	LENGTH	AVERAGE
R1.1	125.60	102.60	23.0'	
R1.2	125.60	102.60	23.0'	
R1.3	125.60	102.60	23.0'	
R1.4	125.60	102.60	23.0'	
				23.0'

ROOF ELEMENT 2				
SYM	TOR	EG	LENGTH	AVERAGE
R2.1	124.80	102.60	22.2'	
R2.2	124.80	102.60	22.2'	
R2.3	124.80	102.60	22.2'	
R2.4	124.80	102.60	22.2'	
				22.2'

ROOF ELEMENT 3				
SYM	TOR	EG	LENGTH	AVERAGE
R3.1	127.10	102.60	24.5'	
R3.2	127.10	102.60	24.5'	
R3.3	127.10	102.60	24.5'	
R3.4	127.10	102.60	24.5'	
				24.5'

ROOF ELEMENT 4				
SYM	TOR	EG	LENGTH	AVERAGE
R4.1	127.60	103.00	24.6'	
R4.2	127.60	103.00	24.6'	
R4.3	127.60	103.00	24.6'	
R4.4	127.60	103.00	24.6'	
				24.6'

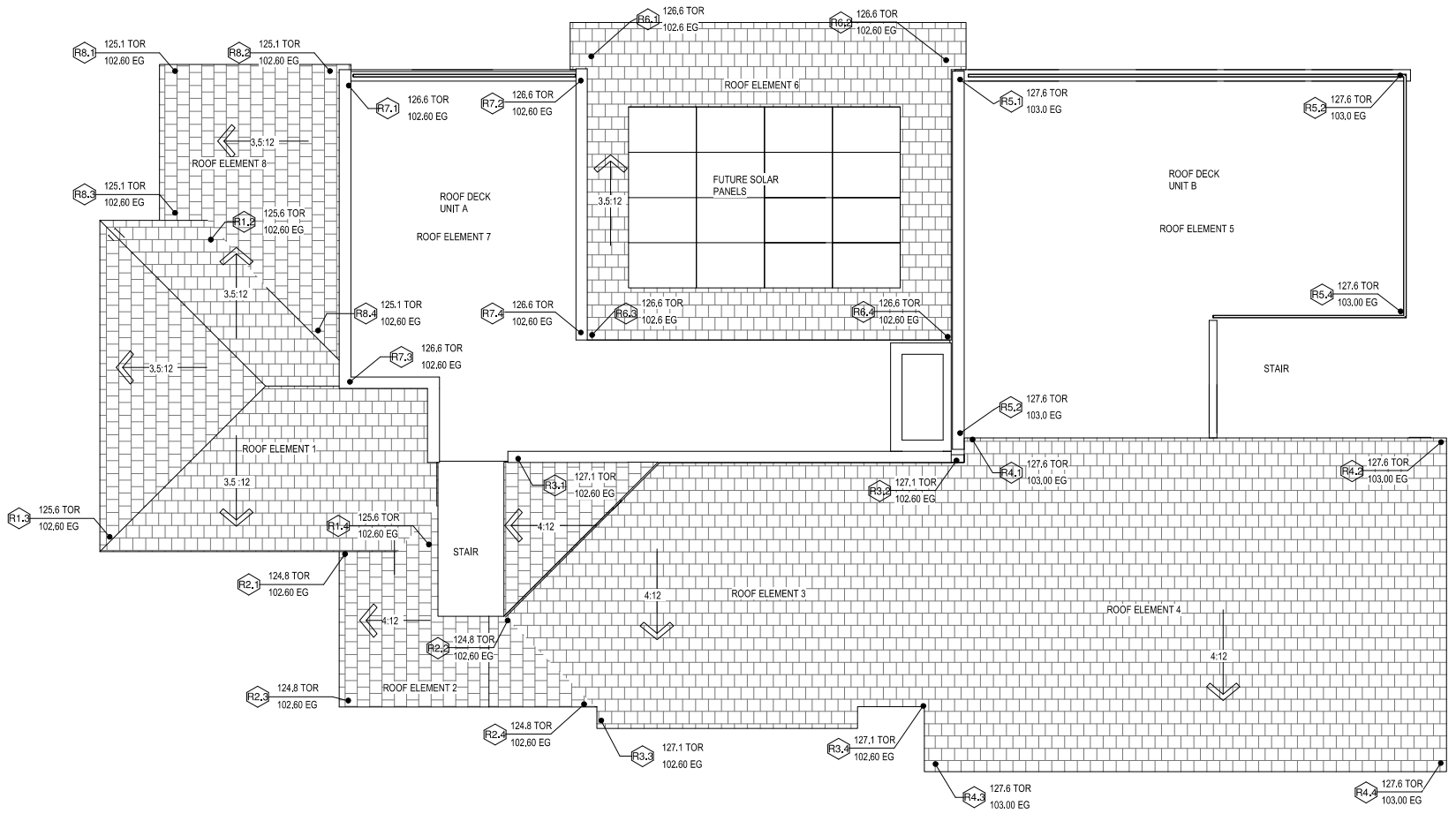
ROOF ELEMENT 5				
SYM	TOR	EG	LENGTH	AVERAGE
R5.1	127.60	103.00	24.6'	
R5.2	127.60	103.00	24.6'	
R5.3	127.60	103.00	24.6'	
R5.4	127.60	103.00	24.6'	
				24.6'

ROOF ELEMENT 6				
SYM	TOR	EG	LENGTH	AVERAGE
R6.1	126.60	102.6	24.0'	
R6.2	126.60	102.6	24.0'	
R6.3	126.60	102.6	24.0'	
R6.4	126.60	102.6	24.0'	
				24.0'

ROOF ELEMENT 7				
SYM	TOR	EG	LENGTH	AVERAGE
R7.1	126.60	102.6	24.0'	
R7.2	126.60	102.6	24.0'	
R7.3	126.60	102.6	24.0'	
R7.4	126.60	102.6	24.0'	
				24.0'

ROOF ELEMENT 8				
SYM	TOR	EG	LENGTH	AVERAGE
R8.1	125.10	102.60	22.5'	
R8.2	125.10	102.60	22.5'	
R8.3	125.10	102.60	22.5'	
R8.4	125.10	102.60	22.5'	
				22.5'

1 ROOF ANALYSIS
1/4" = 1'-0"

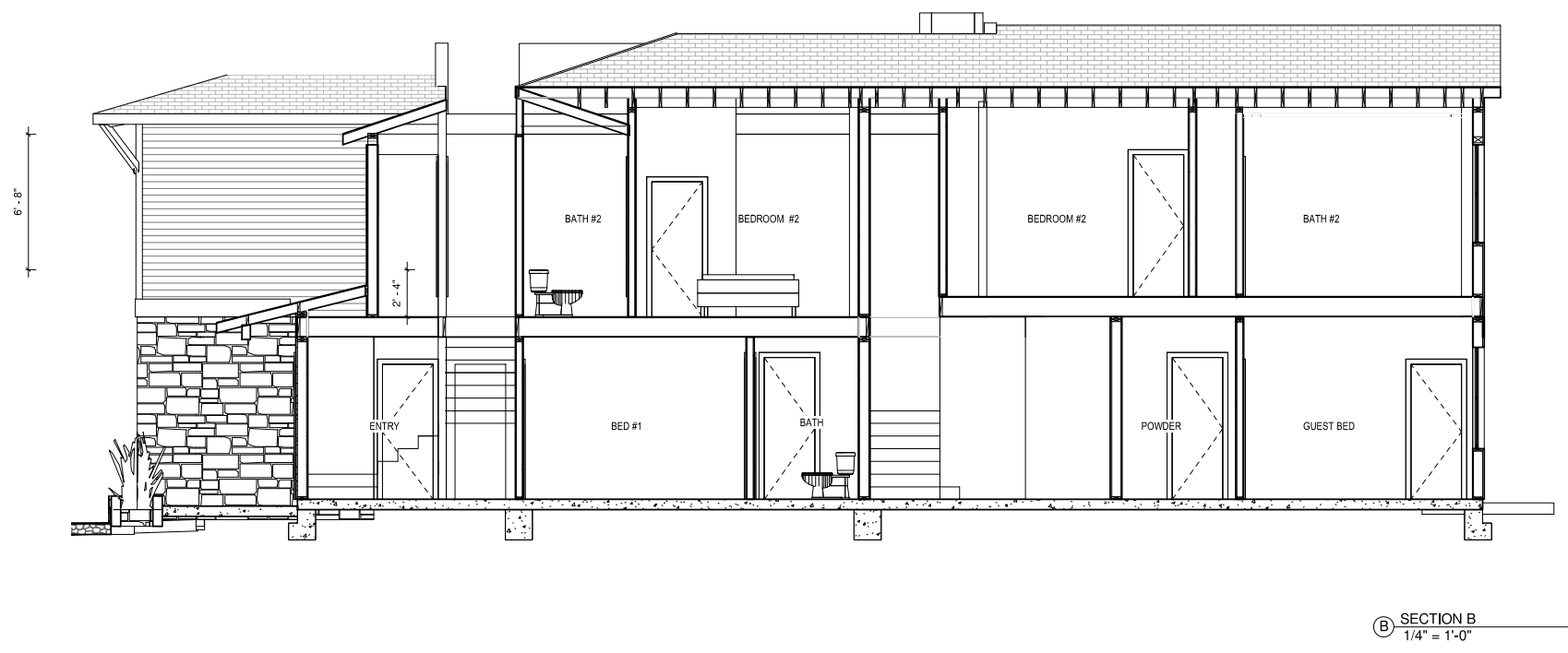
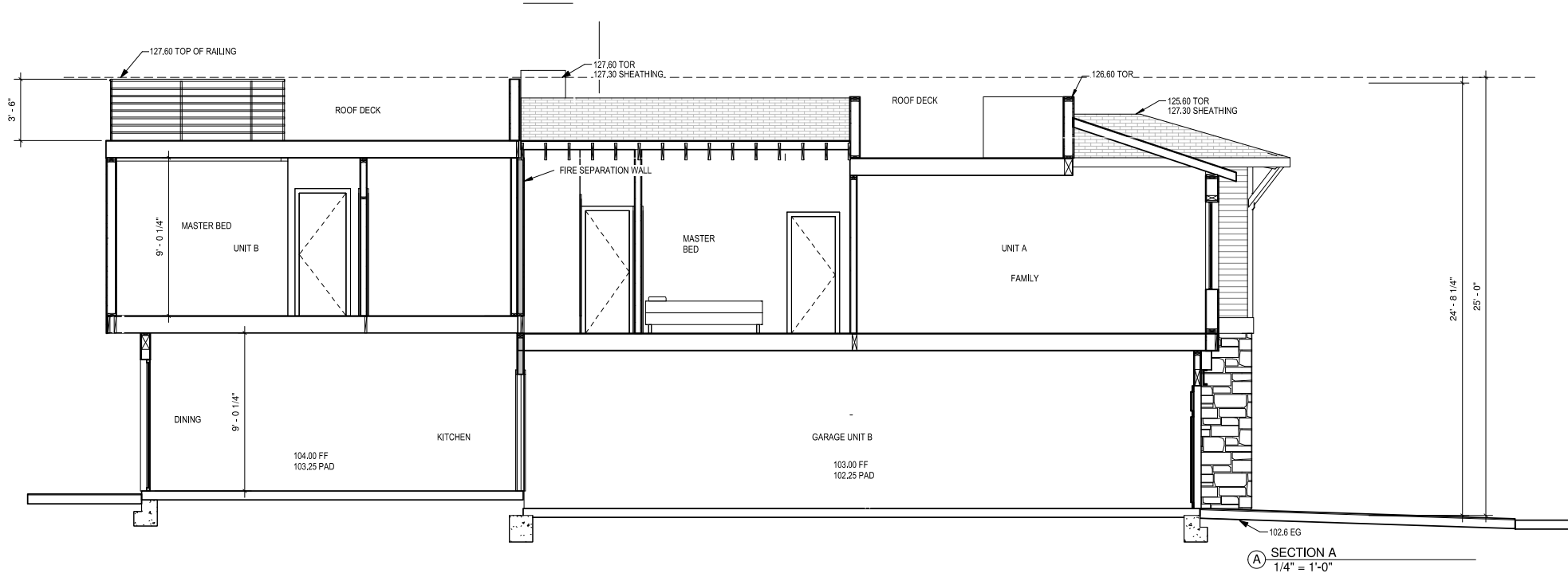


2 ROOF PLAN
1/4" = 1'-0"

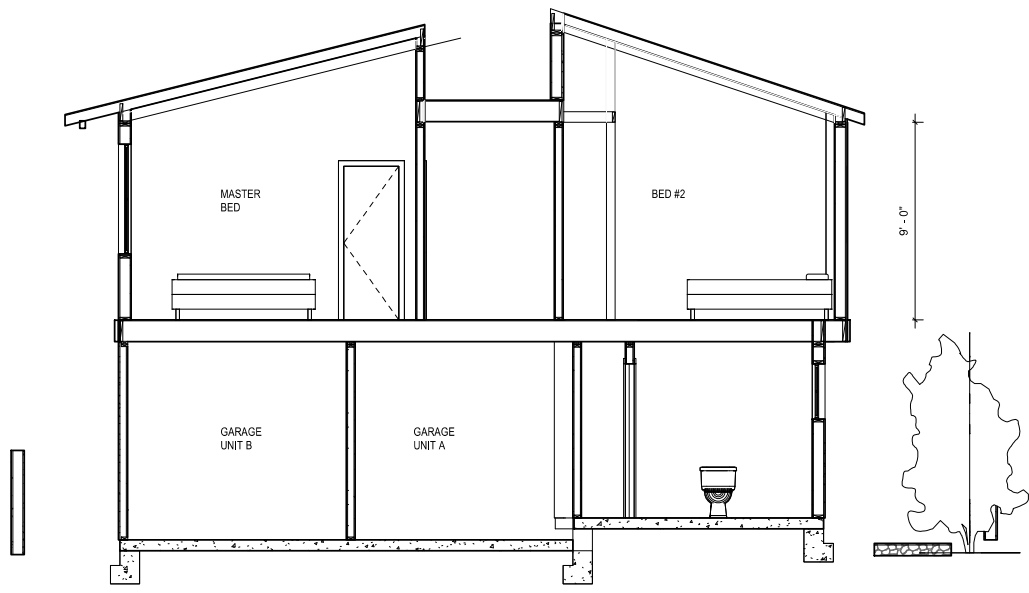
- R1. EAGLE ROOFING: FLAT CONCRETE ROOF TILE, BEL AIR, COLOR: SLATE GREY PER IAPMO OR UES ER-1900, CLASS A ROOFING PER CBC 1505.2, UNDER LAYMENT OF 2-800 ASPHALT SATURATED FELT CONFORMING TO ASTM D226 TYP II MIN ROOF SLOPE IS 2.5" IN 12", TILE WEIGHT 10#/SF ATTACHED PER MANUFACTURE RECOMMENDATION, REFLECTIVITY: .17, EMISSIVITY: .92, SRI: .16 CRRC 0918-0046
- R2. BUILT UP ROOFING: GAF MATERIAL CORPORATION OR EQUAL CLASS A ROOF PER ICC ESR-1274 THREE PLY SBS HOT MOPPED SYSTEM ON PLYWOOD ROOF SHEATHING OR ENERGY GUARD: PLOYISYANURATE TAPED FOAM ROOF INSULATION MIN. (3/4" THICK WITH 1/4" PER FOOT SLOPE, MECHANICALLY ATTACH TOGETHER ENERGY GUARD INSULATION AND BASE SHEET (GAFGLASS #75 BASE SHEET) WITH CAP HEAD NAILS (RING SHANK) 1/4" PAST ROOF SHEATHING WITH 1" ROUND CAPS MIN, SIX ANCHORS PER 24" INSULATION PANEL, HOP MOP IN PLACE GAF RUBBEROID 20' AND HOT MOP IN PLACE GAF RUBBEROID ENERGYCAP 30 FR" MEMBRANE MAY BE ATTACHED TO WOOD DECK WITHOUT INSULATION UL TESTED #TGUR1306 - GAF SYSTEM 2 PER CBC 7A
- R3. DECKING: WESTCOAT ALX FOR WOOD DECKS : ICC ESR-2201, RATED AS CLASS "A" ROOFING TESTED TO ASTM E108 CONFORMING TO SFM STANDARD 12-74-4A PER CEC 709A
- R4. RAILING: CABLE RAIL, 1/8" DIA STAINLESS STEEL CABLES AT 3" ON CENTER HORIZONTAL, NEWEL POST TO BE 1-1/2" x 1/2" STAINLESS STEEL PLATE GR 304 MAX 48" O.C. WITH CAP RAIL 1-1/2" x 1" x 1/8" THICK STAINLESS STEEL TUBE GRADE 304
- R5. PARAPET STUCCO RAILING: MIN. 42" HIGH
- R6. EXTERIOR FASCIA: 2x10 DF#1, TREATED LUMBER WITH TWO COATS OF EXTERIOR PRIMER
- R7. DECK AND ROOF DRAINS SIZED PER CPC TABLE 11-1 AND 11-2 WITH A 3 IN/HR INTENSITY 2" VERTICAL DRAIN COVERS 720 SF OF SURFACE 3" MIN. HORIZONTAL COVERS 1096 SF. DRAINS SHALL BE TESTED PER CPC 1109.2.1
- R8. ROOF AND DECK DRAINS SHALL BE CONCEALED IN WALLS AND CONNECT TO SITE DRAINAGE SYSTEM
- R9. ALUMINUM GUTTERS SHALL BE PROVIDE WITH PROTECTION TO PREVENT THE OF LEAVES AND DEBRIS WITHIN THE GUTTER WITH 1/4" CORROSION RESISTANT WIRE SCREEN OVER THE ENTIRE OPEN AREA OR THE GUTTER OR A FACTORY INSTALLED LEAF GUARD SHALL BE REMOVABLE FOR CLEANING (705.4 CBC) (R327.5.4 CRC)
- R10. FLASHING TO BE MINIMUM 26 GAUGE STAINLESS STEEL
 - A. VALLEY FLASHING SHALL EXTEND 11" FROM CENTER LINE EACH WAY AND SHALL HAVE A DIVERTER RIB 1" AT THE FLOW LINE. METAL FLASHING OVER ON LAYER 72# MINERAL -SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 MIN. 36" WIDE, RUNNING THE LENGTH OF THE VALLEY
 - B. ALL WALL AND ROOF CONNECTIONS AND OTHER AREAS EXPOSED TO WEATHER TO BE FLASHED AND COUNTER FLASHED AND CAULKED TO MAKE THEM WATER PROOF. NOTE: ALL FLASHING SHALL BE PAINTED TO MATCH ADOBE FLASH TILES. ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH CBC 1508.1509
- R11. ENCLOSED ATTIC AND ENCLOSED RAFTERS SPACES SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE ATTIC SPACE A NET FREE VENTING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED (R806.1 CRC) PROVIDE 1/200 OF ATTIC AREA IF AT LEAST 40% (BUT NOT MORE THAN 50%) OF THE REQUIRED VENT IS LOCATED NO MORE THAN 3' BELOW THE RIDGE. (R806.2 CRC)
- R12. UNVENTED ROOFS SHALL HAVE 3" OF AIR-IMPERMEABLE INSULATION (R-15) ATTACHED DIRECTLY TO THE ROOF SHEATHING WITH AIR-PERMEABLE INSULATION (R19) BELOW, PER CRC R806.5 ITEM 5.1.3 AND 5.3
- R13. PROVIDE 6 KW SOLAR SYSTEM PER TITLE 24 (DEFERRED SUBMITTAL) MOUNTED WITH IRONRIDGE ALUMINUM RACK SYSTEM
- R14. CHIMNEY SHROUD: 20 GAUGE METAL PER INSTALLATION MANUAL BRONZE FINISH

ROOFING	
PROJECT: DUPLEX 214 W. MARIPOSA SAN CLEMENTE, CA. 92672	CHP 21-001
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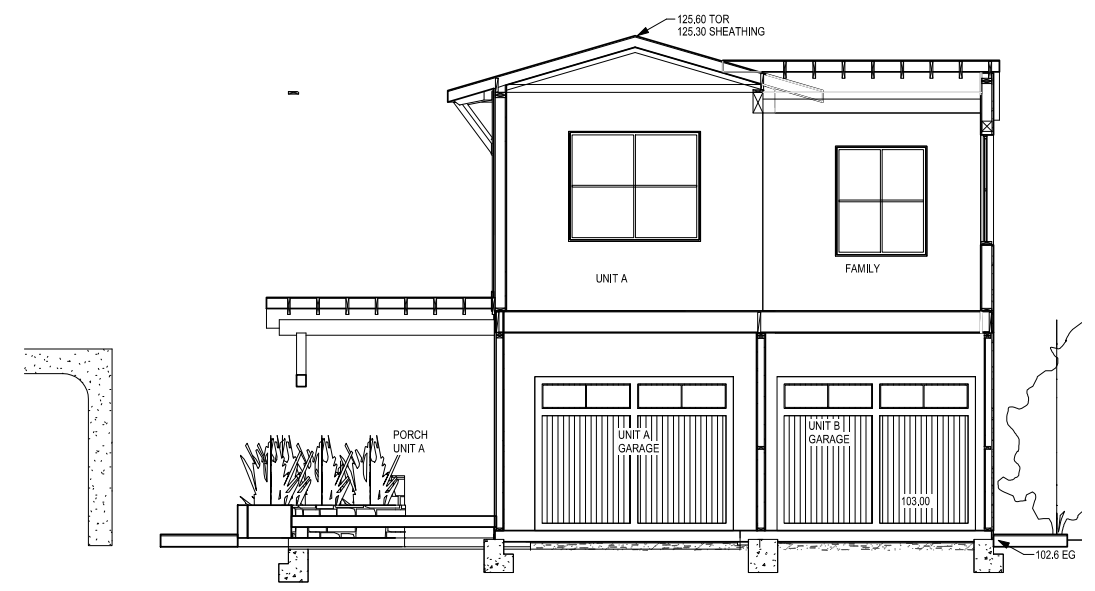
3 roof notes
1/4" = 1'-0"



CROSS SECTIONS	
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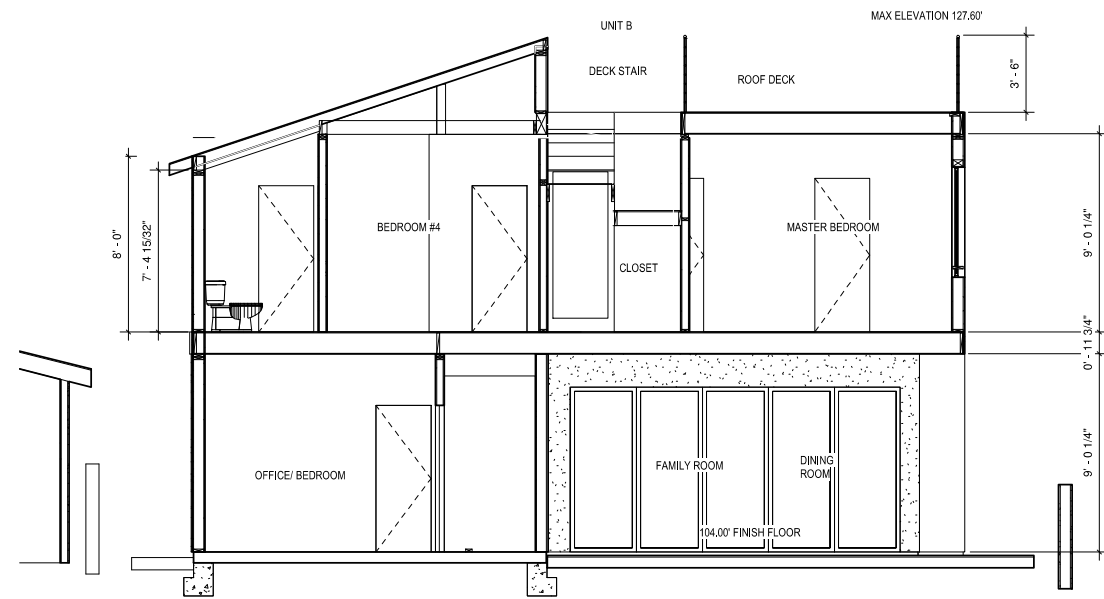


SECTION E
1/4" = 1'-0"

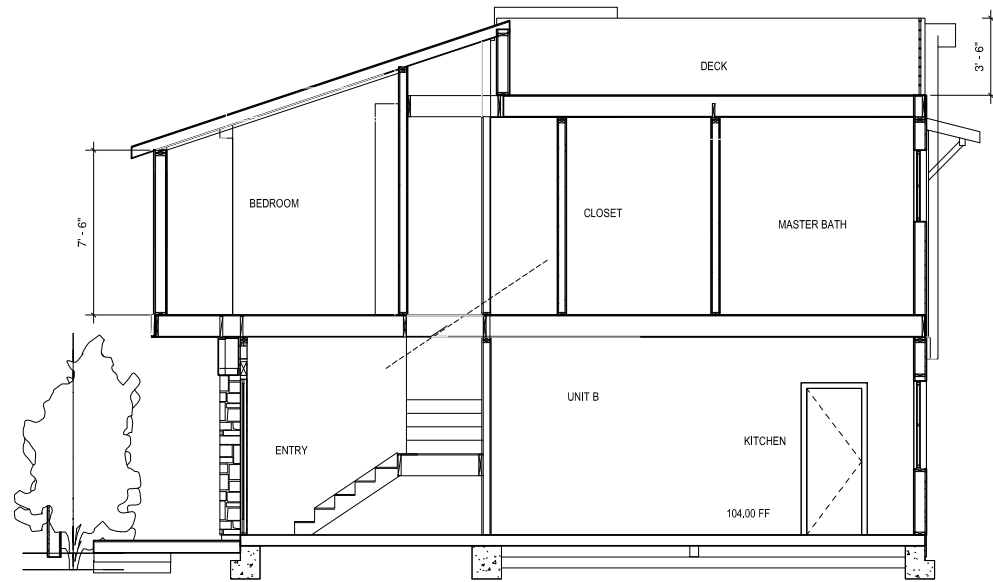


SECTION D
1/4" = 1'-0"

CROSS SECTION	
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SECTION G
1/4" = 1'-0"



SECTION F
1/4" = 1'-0"

CROSS SECTION	
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