



Design Review Subcommittee (DRSC)

Meeting Date: August 25, 2021

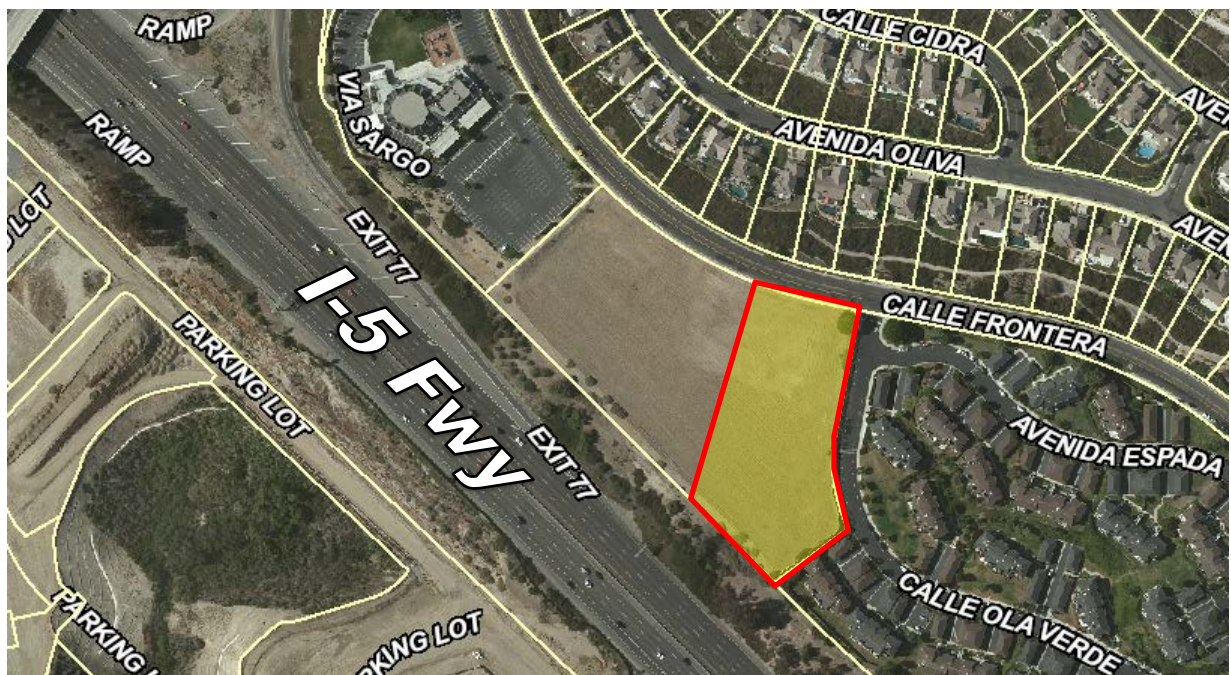
PLANNER: Stephanie Roxas, AICP, Senior Planner

SUBJECT: **Master Project (MP) 21-158 – Frontera Memory Care & Assisted Living Facility**, a request to develop a 24-bed memory care and 64-unit assisted-living facility on 2.5-acres of a vacant parcel located at APN 679-021-05, adjacent to the Pacific Coast Church at 2651 Calle Frontera.

BACKGROUND:

The project site is vacant and abuts the I-5 freeway to the south, single-family residences to the north, multi-family condominiums to the east (Faire Harbour), and Pacific Coast Church to the west. A location map is provided in Attachment 1. The project site is located in the Institutional area of the Marblehead Inland Specific Plan, and the General Plan Land Use Element designates the site as Institutional. The site is owned by Pacific Coast Church. The general project boundaries is depicted in Figure 1.

Figure 1 – Aerial Map



In March 2020, the City approved entitlements for the “Artis Memory Care Facility” at the project site; for reference, the Planning Commission staff report is provided as Attachment 2. However, due to unexpected changes resulting from the pandemic, the applicant decided not to pursue construction of the project. The property owner selected another

operator, South Bay Partners, to develop the site with a similar State-licensed residential care facility. Because entitlements from the Artis project did not expire, the applicant proposes to comply with the previously-approved Specific Plan Amendment (SPA) and Tentative Parcel Map (TPM). The current proposal requires applications for a Conditional Use Permit, Architectural Permit, and Site Plan Permit, which are being concurrently reviewed as part of Master Project 21-158. This project requires Planning Commission approval only.

Why is DRSC Review Required?

Zoning Ordinance Section 17.12.025 requires DRSC review of the Site Plan Permit and Architectural Permit. This design review is intended to advise applicants on how projects can best comply with policies and/or design guidelines that relate to visual impact issues, such as site planning, architecture, and landscaping. The Subcommittee’s recommendation will be forwarded to the Planning Commission.

PROJECT DESCRIPTION:

The applicant, South Bay, is proposing to construct and operate a State-licensed residential care facility for the elderly consisting of a 24-bed memory care component and a 64-unit assisted-living component. The project, totaling 81,071 sq. ft. of building area, would be developed on approximately 2.5 acres of vacant land fronting Calle Frontera. Site access will be from Calle Frontera via an access driveway that will be located on the adjacent parcel. The facility will have employees present 24-hours a day, seven days a week. Parking is primarily intended for employees and visitors to the facility; most residents will not have an active driver’s license and even fewer will own a vehicle. There will be a van available to transport residents of the facility to shopping, medical appointments, etc.

ANALYSIS:

The Marblehead Inland Specific Plan establishes minimal standards for the Institutional planning area, which are summarized in Table 1 below.

Table 1 – Applicable Development Standards

Development Standard	Marblehead Inland SP	Proposed	Complies with SP?
Primary Building Setback:			
Front Yard	20 ft.	20 ft. 6 in.	Yes
Side Yard	10 ft.	13 ft. 9 in.	Yes
Rear Yard	20 ft.	60 ft. 6 in.	Yes
Building Height	25 ft. maximum	25 ft.	Yes
Parking*	62 spaces	53 spaces	TBD based on study

* The Zoning Ordinance requires congregate care facilities to provide one covered space for every two units, and one guest parking space for each five units. However, exceptions to the parking requirements substantiated by a parking study may be approved through the discretionary review required for the congregate care facility.

The Specific Plan does not regulate lot coverage, lot size/width, density, or landscaping. The Zoning Ordinance establishes standards for special uses, such as congregate care facilities. However, Section 17.28.110 specifies development standards for residential, nonresidential, and mixed-use zones; it does not specify standards for institutional zones. Overall, institutional uses, such as the proposed memory care and assisted living facility, are intended to be reviewed on a case-by-case basis. Through the discretionary review process, the City may establish additional development limitations given the project's specific site conditions, surrounding land uses, and compatibility with the area.

Architecture

The project utilizes a Cape Code-style architecture consistent with the adjacent Faire Harbour condominiums. Architectural details include: horizontal cement board siding, gable roofs, brick veneer accents, synthetic slate roofing, second floor balconies, and metal trellises. Figure 2 below provides a side-by-side comparison of the approved Artis project, and the current proposal by South Bay. Renderings and elevations are provided within the project plans (Attachment 3).

Figure 2 – Comparison of Previously-Approved and Current Projects



Overall, the project represents a substantial improvement over the previously-approved design. The previous project was single-story, and the current proposal is two stories while still being under the maximum height limit (25 feet). The two-story design allows for enhanced variation within the building form and shape. The current proposal uses articulation techniques that were less viable in a single-story design, such as upper floor balconies and brick veneer base. Additionally, the second-floor windows provide added relief to the building, while breaking up the roof and building mass. These architectural details are illustrated in the rendering in Figure 3 on the following page.

Figure 3 –Calle Frontera Street View

The applicant also retained design features that were desirable in the approved Artis project. Specifically, the main parking lot and service areas (i.e., trash enclosure) is oriented towards the rear of the property so it is not visible from the street. The proposed site plan includes a small parking lot and visitor drop-off area located at the front of the property. Previously, the drop-off/pick-up area was located on the building side, which required vehicles to make a U-turn in the driveway. The current site plan is preferable as it facilitates safer and more convenient resident drop-offs/pick-ups, and overall the internal vehicle circulation is improved.

Design Guidelines and General Plan Consistency

The Marblehead Inland Specific Plan does not contain design guidelines, and the Citywide Design Guidelines do not address institutional uses. Furthermore, the site is not in the Architectural Overlay so the project is not required to feature Spanish Colonial Revival architecture. In reviewing the architectural merit of the project, staff assessed whether the project was consistent with general guidelines that address issues such as site planning, architecture, neighborhood compatibility, and landscaping. Staff determined the project is consistent with the following Design Guidelines and General Plan policies:

1. Development proposals should demonstrate an effort to retain significant existing natural features. Existing topography, drainage courses, vegetation, and public views should be [considered]. (Design Guidelines II.3)
2. Design of buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood. (Design Guidelines II.B.3)
3. Provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other appropriate means. (Design Guidelines II.A.2)
4. Locate off-street parking and service areas to minimize visibility from the street. (Design Guidelines II.A.5)

5. UD-3.03. Buffers and Setbacks. “We require that new uses and buildings, characterized by differing functions, activities, density, scale and massing, provide conditions of approval, landscaped buffers and/or setbacks between uses to prevent or reduce adverse impacts.”

CONCLUSION

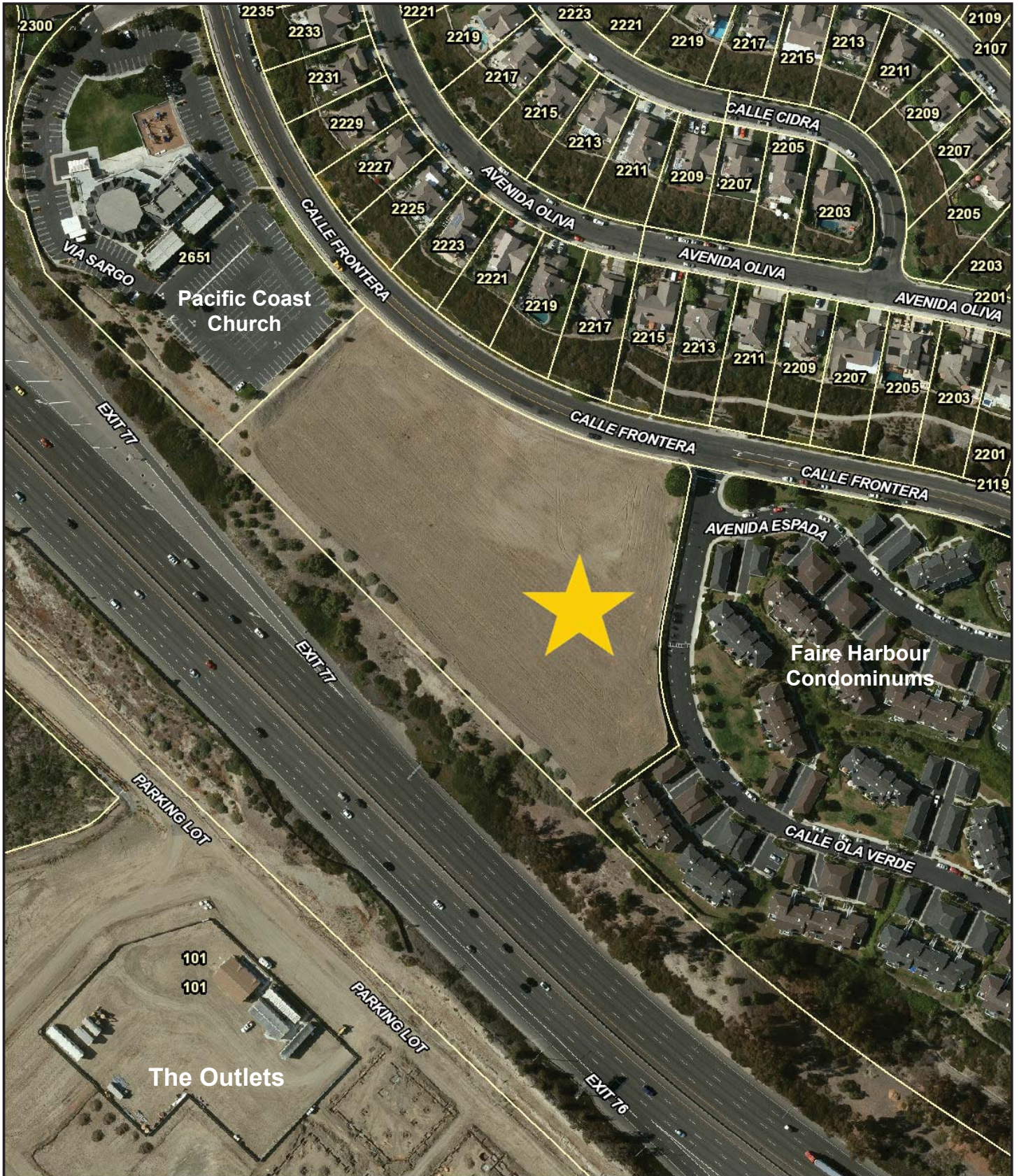
Overall, the project is consistent with applicable Design Guidelines and General Plan policies, although the City’s regulatory documents contain minimal guidance on the development of new institutional uses. The project is compatible with the scale and density of the area in that the development is under the height limit (25 feet) established for the Institutional area of the Marblehead Inland Specific Plan.

In addition to reviewing projects for consistency with the City’s Design Guidelines and General Plan Policies, the project is reviewed for its overall architectural quality and merit. Staff believes the project represents a substantial improvement over the previously-approved design. The Subcommittee previously expressed concerns over the Artis project appearing “too institutional” in its design. However, staff believes the project was designed as a high-quality residential project that would fit in well within any residential neighborhood. For these reasons, staff is not recommending specific changes to the project.

Staff seeks DRSC input and feedback to assist the applicant in developing a project of high architectural quality and design. Furthermore, staff seeks DRSC direction on whether the project’s design is ready for Planning Commission consideration after recommended modifications are incorporated, or if additional DRSC review is recommended.

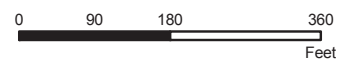
Attachments:

1. Location Map
2. 2/19/20 Planning Commission Staff Report for Previously-Approved Project
3. Project Plans



City of San Clemente

Project: Frontera Memory Care & Assisted Living Facility
Address: Calle Frontera & Calle Ola Verde (APN 679-021-05)





STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: February 19, 2020

PLANNER: Stephanie Roxas, AICP, Senior Planner

SUBJECT: **Specific Plan Amendment 19-014, Tentative Parcel Map 19-021, Site Plan Permit 19-022, Architectural Permit 19-023, and Conditional Use Permit 19-094 – Artis Memory Care Facility**, a request to develop a 72-bed memory care assisted living residence on 2.5-acres of a vacant parcel located at APN 679-021-05, to be addressed as 2401 Calle Frontera.

REQUIRED FINDINGS

The following findings shall be made to approve the proposed project. The draft Resolution (Attachment 1) and analysis section of this report provide an assessment of the project's compliance with these findings.

Specific Plan Amendment, Section 17.16.030(G), to amend text within the Marblehead Inland Specific Plan.

- A. The proposed specific plan or specific plan amendment is consistent with the goals, objectives, policies, and programs of the General Plan, and is necessary and desirable to implement the provisions of the General Plan.
- B. The uses proposed in the specific plan or specific plan amendment are compatible with adjacent uses and properties.
- C. The proposed specific plan or specific plan amendment will not adversely affect the public health, safety and welfare.
- D. The proposed specific plan amendment will not create internal inconsistencies within the specific plan.

Tentative Parcel Map, Section 16.08.060(C), to subdivide a parcel into two lots.

- A. The site is physically suitable for the type of development.
- B. The site is physically suitable for the proposed density of the development.
- C. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- D. The design of the subdivision or the type of improvements is not likely to cause serious public health problems.

- E. The subdivision, with its provisions for any design and improvements, is consistent with the General Plan and any applicable specific plan.

Site Plan Permit, Section 17.16.050(F), to allow development of vacant land.

- A. The proposed development is permitted within the subject zone pursuant to the approval of a Site Plan Permit and complies with all the applicable provisions of this title, the goals, and objectives of the San Clemente General Plan, and the purpose and intent of the zone in which the development is being proposed.
- B. The site is suitable for the type and intensity of development that is proposed.
- C. The proposed development will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- D. The proposed development will not be unsightly or create disharmony with its locale and surroundings.
- E. The proposed development will minimize or eliminate adverse physical or visual effects which might otherwise result from unplanned or inappropriate development, design or location.

Architectural Permit, Section 17.16.100(F), to allow construction of a new building.

- A. The architectural treatment of the project complies with the San Clemente General Plan.
- B. The architectural treatment of the project complies with any applicable specific plan and this title in areas including, but not limited to, height, setback color, etc.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines.
- D. The general appearance of the proposal is in keeping with the character of the neighborhood.
- E. The proposal is not detrimental to the orderly and harmonious development of the City.

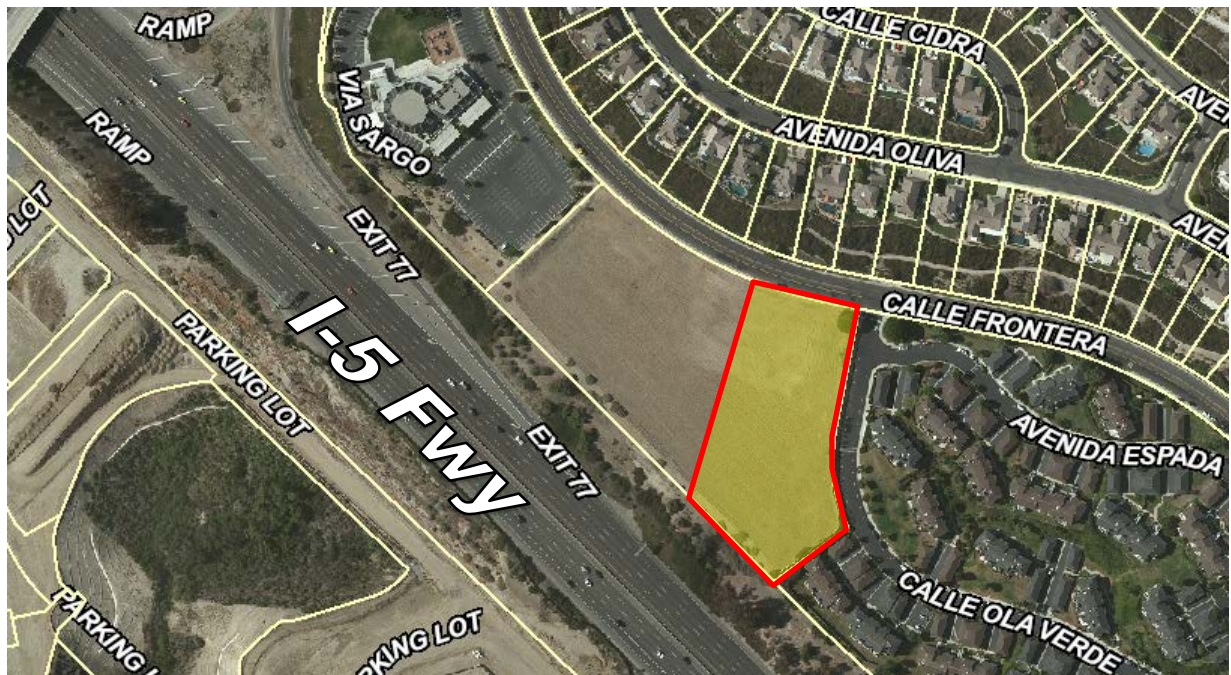
Conditional Use Permit to allow the operation of a memory care assisted living residence within the Institutional zone of the Marblehead Inland Specific Plan.

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, San Clemente General Plan, and the purpose and intent of the zone in which the use is being proposed.
- B. The site is suitable for the type and intensity of use that is proposed.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- D. The proposed use will not negatively impact surrounding land uses.

BACKGROUND

The 2.5 acre project site is vacant and abuts the I-5 freeway to the south, single-family residences to the north, multi-family condominiums to the east (Faire Harbour), and Pacific Coast Church to the west. A location map is provided in Attachment 2 and depicted in Figure 1 below. The site is located in the Institutional area of the Marblehead Inland Specific Plan, and the General Plan Land Use Element designates the site as Institutional. The site is owned by Pacific Coast Church. If the project is approved, the applicant, Artis Senior Living of San Clemente LLC, intends to purchase the site.

Figure 1 – Aerial Map



Other developments have been proposed on the project site. In 2004, the Planning Commission approved a master campus plan allowing the demolition of the existing church building and expansion and phased construction of a new church facility comprised of three buildings. The project was never built, and the entitlements expired. Most recently, Lennar proposed a General Plan land use and Marblehead Inland Specific Plan zone change from Institutional to Residential Medium to construct a 75-unit townhome development with a proposed density of 13.9 dwelling units per acre. During the development review process, the applications were withdrawn.

Development Management Team Meeting:

The Development Management Team (DMT) first reviewed the project in January 2019. The DMT subsequently reviewed revised plans and application materials in April, September, and December 2019. The DMT supports the project with the recommended conditions of approval in Attachment 1, Exhibit A.

Noticing:

Public notices were distributed and posted per City and State requirements. No written comments have been received from the public regarding this project proposal.

PROJECT DESCRIPTION

The applicant, Artis Senior Living of San Clemente LLC, proposes the construction and operation of a single-story, 72-bed State-licensed residential care facility for the elderly afflicted with Alzheimer's disease and related memory disorders. The proposal consists of a 37,717 square foot building with 43 surface parking spaces. The proposal includes subdividing 2.5 acres of vacant land at the southwest corner of Calle Frontera and Calle Ola Verde. Access to the project site would be from Calle Frontera, as depicted in Figure 2 below. The 2.5-acre project site is currently part of a 5.6-acre parcel that would be split via a proposed Tentative Parcel Map. The applicant proposes to construct an access driveway on the proposed adjacent parcel, which would serve both the project and future development on the remaining vacant parcel.

Figure 2 – Perspective from Calle Frontera



The memory care facility would be divided into four unique residential “neighborhoods” each containing a communal living room, den, residential kitchen, and dining room where meals are served. By creating smaller-scale spaces, the “neighborhoods” are intended to ease resident anxiety through familiar surroundings. All rooms are private studios with one bed approximately 250 square feet in size. The facility also includes a “town center” that connects the four neighborhoods. The “town center” features a community center, studio space for large gatherings and activities, barber/beauty salon, and health center. The facility would be staffed 24 hours a day, 7 days a week with 45 employees and three employee shifts. For the residents’ safety, the proposed facility would be fully secured with perimeter fencing and locked gates, up to 8 feet in height. Two outdoor courtyards are proposed in the building center that provide open space, walking paths, and seating areas in a secure setting. Along the west elevation, a larger enclosed garden is proposed with resident-safe landscaping.

Marblehead Inland Specific Plan Amendment:

The project site is within the Marblehead Inland Specific Plan (Specific Plan), which contains the zoning applicable to the site. The Specific Plan designates the site as Institutional, and it specifies that the contemplated uses at the time of the Specific Plan's adoption were "Church and Day Care Center Facilities." The applicant requests text amendments to the Specific Plan, which are summarized below:

1. Clarify that a residential memory care facility and other institutional uses are conditionally permitted. Please note the requested change applies only to the project site. For example, if the site currently containing Pacific Coast Church were redeveloped, it would be subject to the existing Specific Plan regulations.
2. Create flexibility in the height of walls, hedges, and fences by allowing maximum heights to be determined through the Site Plan Permit review process.

No changes are proposed to the site's Institutional land use designation. Attachment 4 to this report details the proposed text amendments to the Marblehead Inland Specific Plan.

Community Outreach:

The applicant has made an effort to incorporate neighborhood input into the project design. Over the past several months the applicant has made presentations regarding the project at the Faire Harbour Homeowners' Association monthly meeting twice and once at the Marblehead Inland Master Association monthly meeting. The applicant also recently held a neighborhood outreach meeting at Pacific Coast Church after notifying over 50 residences nearest the project site in the Highlight Light single-family and Faire Harbour townhome neighborhoods. The applicant informed staff that residents in attendance at the presentation were generally supportive of the project, and the applicant was able to incorporate neighbors' requests. For example, the project will maintain all existing parallel parking spaces along Calle Ola Verde as well as the mature trees along the Faire Harbour development.

PROJECT ANALYSIS***Architecture and Design:***

As illustrated in Figure 3 on the following page below, the project utilizes a Cape Code-style architecture in a neutral earth tone color palette. Architectural details include: cement fiber horizontal siding, gable roofs with vertical siding, asphalt roof shingles, roof dormers, and vinyl espaliers and surrounds. Building bump-outs, columns, and contrasting trim are provided for architectural relief.

The applicant describes the project's design concept as follows: "Simple finishes and materials are employed to articulate the traditional seaside architecture. The colonial dialect features a neutral palette which is enlivened with white-painted decorative

moldings, latticework and pedimented porches supported by classical columns. Pitched roofs with hip and gable elements further define the character of building’s serviceable wings and promote the essence of a domestic architecture.” Attachment 6 to this report includes project plans and architectural renderings.

Figure 3 – Main Building Entrance



Design Review Subcommittee (DRSC)

The DRSC reviewed the project three times on July 10, 2019; September 25, 2019; and November 13, 2019. Minutes from the most recent DRSC meeting are provided as Attachment 3. The Subcommittee found the project to be compatible with the scale and density of the Institutional zone while maintaining sensitivity to neighboring uses and potential view impacts by complying with the 25 foot height limit. The Subcommittee supports the project as proposed.

Development Standards:

The proposed use is considered a type of congregate care facility, which is defined in the Zoning Ordinance as “a facility for senior citizens, that is arranged in a group setting and includes independent living and sleeping accommodations in conjunction with shared dining and recreational facilities. No congregate care units shall contain kitchens.” Zoning Ordinance Section 17.28.110 establishes special use regulations for congregate care facilities. However, this section primarily refers to the development standards of the underlying zone. The Marblehead Inland Specific Plan establishes minimal standards for the Institutional planning area. As detailed in Table 1 below, the project complies with all development standards.

Table 1 – Applicable Development Standards

Development Standard	Marblehead Inland SP	Proposed	Complies with SP?
Primary Building Setback:			
Front Yard	20 ft.	40 ft.	Yes
Side Yard	10 ft.	15 ft.	Yes

Development Standard	Marblehead Inland SP	Proposed	Complies with SP?
Rear Yard	20 ft.	60 ft.	Yes
Building Height	25 ft. maximum	25 ft.	Yes
Walls, Fences, Hedges	6 ft. maximum	Up to 8 ft.	Yes, with SP Amendment

The Specific Plan does not regulate lot coverage, lot size/width, density, or landscaping. Furthermore, Section 17.28.110 specifies development standards for residential, nonresidential, and mixed-use zones; the Zoning Ordinance does not specify development limitations for institutional zones. Overall, institutional uses, such as the proposed memory care facility, are intended to be reviewed on a case-by-case basis. Through the discretionary review process, the City may establish additional development limitations given the project’s specific site conditions, surrounding land uses, and compatibility with the area.

Parking and Traffic:

Zoning Ordinance Section 17.28.100.E.(2) requires congregate care facilities to provide one covered space for every two units, and one guest parking space for each five units. However, exceptions to the parking requirements substantiated by a parking study may be approved through the discretionary review required for the congregate care facility. Under the Zoning Ordinance, the project requires 50 parking spaces, but only 43 spaces are proposed on-site. To demonstrate that the 43-space supply is sufficient to meet the project’s parking demand, a parking and trip generation analysis was prepared by Linscott, Law & Greenspan, Engineers (Linscott).

Parking demand counts were conducted at existing memory care communities in San Juan Capistrano, Newport Mesa, Escondido, and Rancho Santa Margarita. These memory care communities are comparable to the proposed project in terms of size and operational characteristics. Based on parking data collected, Linscott found that parking ratios for the memory care communities ranged between 0.45 to 0.51 spaces per licensed bed. The highest empirical ratio (0.51 spaces/bed) was applied to the project (72 beds proposed). The project’s peak parking demand is estimated to be 37 spaces. The proposed site plan includes 43 spaces, resulting in a surplus of six spaces.

To further substantiate the proposed 43-space parking supply, Linscott also reviewed the Institute of Transportation Engineers’ (ITE) Parking Generation Manual. The manual includes parking ratios for a “Congregate Care Facility” (0.46 spaces per dwelling unit) and “Assisted Living Facility” (0.53 spaces per dwelling unit). Application of these ITE ratios resulted in a parking surplus of five to 10 spaces. Last, Linscott compared the traffic generated by the proposed use against a child day care facility, which was the use originally contemplated for the project site when the Specific Plan was adopted. The project is estimated to generate significantly fewer vehicle trips than a day care facility. Compared to a hypothetical day care of 168 students, the project would result in 500

fewer daily trips, 117 fewer AM peak hour trips, and 114 fewer PM peak hour trips. The full analysis is provided as Attachment 5A.

Perimeter Fencing:

Due to the nature of the memory care facility, a perimeter fence is required for the residents' safety and security. The proposed fence would enclose three sides of the development along the north, south, and east elevations. The west elevation includes the main building entrance with a receptionist desk that would limit access into/out of the facility. The proposed fence consists of white vinyl material and varies from 6'-10" to 8'-0" in height.

Staff worked with the applicant to develop a fencing design that would balance security needs with aesthetic concerns and maintaining the residential character of the area. Initially, staff requested use of a see-through fence material, such as wrought iron. However, the applicant cited safety concerns (i.e., residents may attempt to leave the facility). The current proposal incorporates an "open" design at the top 1'-2" of the fence. The spacing between the vertical vinyl slats breaks up the mass of the fence and allows for more building visibility.

Along the Calle Frontera frontage, the project is at a lower grade than street level, so the majority of the fence faces the interior of the development. Trees and shrubs would be planted to further soften the appearance of the fence from street view. Figure 4 below illustrates an existing block wall at the Faire Harbour boundary to remain. The proposed perimeter fence would be installed behind the block wall, with only the top of the fence being visible from Calle Ola Verde.

Figure 4 – Existing Block Wall & Proposed Fence along Calle Ola Verde



Along the freeway frontage, the grade level of the site is approximately 20 feet higher than the freeway, thereby making the project highly visible from the freeway. The applicant proposes a split fence design with a clear acrylic 4'-0" tall panel atop a solid vinyl fence. Staff supports the proposed split fence design as it reduces potential massing impacts and reveals more of the building architecture from the freeway perspective.

Project Impact on Public Services and Facilities:

In the past the City Council has identified concerns regarding the potential impact assisted-living and congregate care facilities may have on ambulatory service in the community. Condition of Approval 7.17 requires the business operator to be responsible for resident transportation to doctors' appointments and other non-emergency services. For example, the operator may wish to use a resident shuttle service, rather than ambulatory service for non-emergency calls. However, for emergencies the operator would rely on 911 calls for service. To ensure the project pays its fair share of costs for ambulatory services annually, Condition 7.18 has been added. The condition states "The project will be subject to any City ordinance adopted to provide for extraordinary cost recovery of emergency services, in excess of the standards set by the City in such ordinance." This condition was required for similar projects, including Raya's Paradise.

Storm Drain Easement:

The proposed development requires the modification of existing storm drain improvements due to utility conflicts with the proposed building improvements. The project includes a request to abandon the easement that runs through the property and relocate the storm drain easement near the edge of the new parcel's boundary. The City Council is the final decision making body for the abandonment of any public easements.

Public Works staff reviewed the request and determined that relocating the storm drain easement would not create a conflict with utility connections to adjacent properties. Therefore, Public Works supports the request. Staff recommends the Planning Commission recommend to the City Council to authorize the City Engineer to execute and record any necessary easement quitclaim deeds for any portion of storm drain easement in conflict with proposed improvements. Public Works staff recommends the inclusion of Conditions 2.37, 3.18, and 3.19 to effectuate this action.

GENERAL PLAN CONSISTENCY

The General Plan land use designation for the project site is Institutional, which includes the following goal: "Provide a variety of public and institutional uses, such as governmental, administrative, recreation, cultural, religious, social services and educational uses that help meet the broader community's needs and that are designed to be compatible with surrounding neighborhoods, and with the architectural character of the areas in which they are located." The proposed use provides needed social services to the community by providing a safe assisted living residence for the elderly afflicted with Alzheimer's disease and related memory disorders. As described in the Architecture and Design section of the report, the proposed development is compatible with the scale and density of surrounding residential uses. Table 2 on the following page further details the project's consistency with the Institutional land use designation.

Table 2 – Relevant General Plan Policy

Policy	Project Consistency
1. LU-6.04: Child and Adult Day Care. We allow for the continuation of existing and development of new child and adult day-care facilities in any land use zone where they are compatible with adjacent uses.	Consistent. The proposed use provides assisted living and supportive care for elderly residents with memory disorders. The proposed building was designed to be compatible with the scale and density of existing residential and institutional uses. Furthermore, the project generates less traffic than other permitted institutional uses (i.e., day care).

DESIGN GUIDELINES CONSISTENCY

The Marblehead Inland Specific Plan does not contain design guidelines, and the Citywide Design Guidelines do not address institutional uses. Furthermore, the site is not in the Architectural Overlay so the project is not required to feature Spanish Colonial Revival architecture. However, there are general guidelines that address site planning, architecture, neighborhood compatibility, and landscaping. As detailed in Table 3 below, the project is consistent with the Design Guidelines.

Table 3 – Relevant Design Guidelines

Guidelines	Project Consistency
1. Development proposals should demonstrate an effort to retain significant existing natural features. Existing topography, drainage courses, vegetation, and public views should be [considered]. (Design Guidelines II.3)	Consistent. The existing site is located approximately 20 feet above the grade level of the freeway. To improve public views from the freeway, the perimeter fence along the freeway frontage uses a split design with a transparent acrylic panel atop a solid vinyl fence. Existing vegetation along Calle Frontera and Calle Ola Verde will be maintained and has been incorporated into the project.
2. Design of buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood. (Design Guidelines II.B.3)	Consistent. The project uses a Cape Cod-style architecture in a neutral earth tone color palette. The project was designed to complement the existing Pacific Coast Church building. The proposed single-story building is a less intense scale of development relative to the adjacent two-story Faire Harbour condominiums. The project uses design elements, such as

Guidelines	Project Consistency
	horizontal siding and asphalt roof shingles, which are consistent with Faire Harbour.
3. Locate off-street parking and service areas to minimize visibility from the street. (Design Guidelines II.A.5)	Consistent. The parking lot is oriented towards the rear of the property and is not visible from the street. Trees are proposed along the perimeter of the parking lot to soften views from the freeway. Service areas, such as the trash enclosure and emergency generator, would not be visible from the streets or freeway.
4. <u>UD-3.03. Buffers and Setbacks.</u> “We require that new uses and buildings, characterized by differing functions, activities, density, scale and massing, provide conditions of approval, landscaped buffers and/or setbacks between uses to prevent or reduce adverse impacts.”	Consistent. A large enclosed garden is proposed along the Calle Ola Verde frontage. The proposed layout provides a large setback between the project and existing condominium development. Furthermore, the proposed building is setback over 60 ft. from the Caltrans right-of-way. The parking lot is oriented towards the rear to provide a buffer between the freeway and proposed facility.

ENVIRONMENTAL COMPLIANCE (CEQA)

Staff completed an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). CEQA Guidelines Section 15183 allows for a streamlined environmental review process for projects that are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.

An environmental analysis was prepared by the City’s consultant, Terra Nova Planning and Research, Inc. (Terra Nova). Terra Nova found the proposed project to be consistent with the land use designation assigned to the subject parcel in the City of San Clemente Centennial General Plan. The project was also found to be consistent with the overall findings of the General Plan Environmental Impact Report (EIR) that was certified in 2014 (SCH No. 2013041021). Potential project-related impacts, including cumulative and off-site impacts, were fully addressed in the EIR, and applicable mitigation measures were provided to reduce project-specific impacts. Therefore, in accordance with CEQA Guidelines Section 15183, the project qualifies for an exemption from additional environmental review, and no further analysis of the project is required. Attachment 5 to this report includes the full environmental analysis. Technical studies are provided as Exhibits A, B, and C to Attachment 5.

SUMMARY

Overall, the proposal is consistent with the General Plan, Design Guidelines, and Marblehead Inland Specific Plan. Proposed text amendments to the Specific Plan are limited to allowing a memory care facility and taller fence for security purposes at the project site. The project was designed to be compatible with the scale and density of the Institutional zone. Furthermore, the project is consistent with the residential character of the surrounding neighborhood by incorporating a Cape Cod-inspired style into its architecture and complies with the 25 foot height limit to minimize potential view impacts to surrounding uses. Furthermore, based on empirical data, the project will accommodate its anticipated peak parking demand on-site and generate less traffic than a day care use previously contemplated for the site.

RECOMMENDATION

Because the project includes proposed text amendments to the Marblehead Inland Specific Plan, the City Council is the final review body for this project. Staff recommends that the Planning Commission recommend the following actions to the City Council.

1. Determine the project is exempt from CEQA pursuant to the California Environmental Quality Act (CEQA) (California Public Resources Code [PRC] §21000 et seq. (Section 21083.3 and the State CEQA Guidelines (Title 14, California Code of Regulations [CCR] §§ 15000 et seq.) Section 15183 which allows for a streamlined environmental review process for projects that are consistent with the densities established by existing zoning, community plan or general plan policies for which an EIR was certified; and
2. Adopt Resolution PC 2-004, approving Specific Plan Amendment 19-014, Tentative Parcel Map 19-021, Site Plan Permit 19-022, Architectural Permit 19-023, and Conditional Use Permit 19-094 for Artis Memory Care Facility located at APN 679-021-05.
3. Authorize the Public Works Director/City Engineer to execute and record any necessary easement quitclaim deeds for any portion of storm drain easement in conflict with proposed improvements.

Attachments:

1. Resolution No. PC 20-004
Exhibit A – Conditions of Approval
Exhibit B – Environmental Analysis
2. Location Map
3. November 13, 2019 DRSC Meeting Minutes
(A copy of the DRSC staff report is available [on the City's website.](#))
4. Proposed Amendments to Marblehead Inland Specific Plan
5. Environmental Analysis

- A. Parking Demand and Trip Generation Analysis
 - B. Noise and Vibration Impact Analysis
 - C. Health Risk Assessment
6. Project Plans

Building Code Summary:

2019 CALIFORNIA BUILDING CODE as amended and adopted by the City of San Clemente.

1. OCCUPANCY GROUPS & CONSTRUCTION

R-2.1 Memory Care & Assisted Living [Type IIIA] – Floors 1–2
 A-2 Dining / Commercial Kitchen [Type IIIA] – Ground Floor
 A-3 (accessory) Community Uses [Type IIIA] Floors 1–2
 B (accessory) Office [Type IIIA] – Ground Floor Administration Offices

4. SPECIAL REQUIREMENTS

Sec. 420.2. Requirements for dwelling unit separation walls to be constructed as 1-hour fire partitions per 708.

Sec. 420.3. Requirements for dwelling unit separation floors to be constructed as 1-hour horizontal assemblies per 711.

Sec. 420.4 R-2.1 occupancies shall be equipped throughout with an automatic sprinkler system in accordance with section 903.2.6.

Sec. 420.5 Fire Alarm Systems and Smoke Alarms shall be provided in Group R-2.1 Occupancies in accordance with Section 907.2.10. Single or multiple-station smoke alarms shall be provided in Group R-2.1 in accordance with Section 907.2.10.

Sec. 420.6 Smoke Barriers shall be provided in Group R-2.1 to subdivide every story used by persons receiving care, treatment or sleeping and to provide other stories with an occupant load of 50 or more persons, into not fewer than two smoke compartments. Such stories shall be divided into smoke compartments with an area of not more than 22,500 square feet (2092 m²) and the distance of travel from any point in a smoke compartment to a smoke barrier door shall not exceed 200 ft. The smoke barrier shall be in accordance with Section 709.

5. HEIGHT & AREA

Basic Allowable Area (Table 506.2) , Height (Table 504.3), # Stories (Table 504.4):

R-2.1 Type IIIA Assisted Living Facilities: 49,500 sf per story, 65 feet, 3 stories (nonambulatory persons shall be limited to the first 2 stories)

A-2 & A-3 Type IA Assembly Areas: Dining / Commercial Kitchen 42,000 sf, 4 stories

A-3 Type IIIA Assembly Areas: (B occupancy less than 50 occupants) 42,000 sf, 4 stories above grade plane---to be accessory to R-2.1 Occupancy

B Type IIIA Office Uses: 85,500 sf, 6 stories above grade plane---to be accessory to R-2.1

General area increase equation per story (506.2.4):

Allowable Area of a mixed-occupancy building with more than one story above grade plane = allowable area from Table 506.2 + Frontage area increase:

$A_a = [A_t + (NS \times IF)]$ (see equation 5-3)

A_a = total allowable building area per story
 A_t = Tabular allowable area factor (Table 506.2)
 NS = Tabular allowable area factor in accordance with table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).
 IF = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3. (Equation 5-5) [NOT USED]

Allowable Area Tabulation: (A2 & A3 Occupancy)

$A_t = 42,000$ sf

$NS = 0$ (NOT USED)

$IF = 0$ (NOT USED)

$A_a = [42,000 \text{ sf} + (0 \times 0)]$

$A_a = 42,000$ sf

Allowable Area Tabulation: (R2.1 Occupancy)

$A_t = 49,500$ sf

$NS = 0$ (NOT USED)

$IF = 0$ (NOT USED)

$A_a = [49,500 \text{ sf} + (0 \times 0)]$

$A_a = 49,500$ sf

Section 508.4.2 ALLOWABLE BUILDING AREA: In each story, the building area shall be such that the sum of the ratios of the actual building area of each separated occupancy divided by the allowable building area of each separated occupancy shall not exceed 1.

GROUND FLOOR ALLOWABLE AREA:
 A2 & A3 Occupancy Area: 14,606 sf / 42,000 sf = .35
 R2.1 Occupancy Area: 30,312 sf / 49,500 sf = .61 [.35 + .61 = .96 < 1]

SECOND FLOOR ALLOWABLE AREA:
 R2.1 Occupancy Area: 36,153 sf/49,500 sf = .73 < 1

6. TYPE OF CONSTRUCTION

Sec. 602.3 Type III. Exterior walls are required to be of noncombustible construction, but Fire-Retardant-Treated wood complying with sec. 2303.2 shall be permitted within exterior wall assemblies with a 2-hour rating or less.

7. FIRE RATED CONSTRUCTION

Sec. 718.2. Fireblocking. Fire block horizontal and vertical combustible concealed draft openings as required in this section:
 -Materials (718.2.1)

- Concealed wall spaces (718.2.2),
- Connections between horizontal and vertical spaces (718.2.3),
- Stairways (718.2.4),
- Ceiling and floor openings (718.2.5),
- Concealed spaces of exterior wall coverings and architectural elements (718.2.6),
- Concealed wood floor sleepers (718.2.7).

Sec. 718.3. Draftstopping shall be installed to subdivide floor/ceiling assemblies where required by Section 708.4.2. [Exception: Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.]

Sec. 718.4. Draftstopping in attics shall be installed to subdivide attic spaces where required by Section 708.4.2. [Exception: Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.]

9. FIRE PROTECTION

All portions of the project shall be fully sprinklered with a full NFPA 13 system. Class 1 standpipes (in combination with sprinkler system) are required per Sec. 905.

Fire alarm systems and smoke alarms to be installed per Sec. 907.2.9.4

Smoke alarm locations within dwelling unit per Sec. 907.2.10.2 (Carbon Monoxide alarms per Sec. 420.6).

Sec. 907.5.2.3.1 Visible alarm notification appliances shall be provided in Public Use Areas and Common Use Areas. [refer to Section 907.5.2.3.1 for list]

Fire Department Connection (FDC) location per Sec. 912.

10. MEANS OF EGRESS

Sec. 1005.3 Means of Egress sizing for sprinklered buildings: Stair width = 0.2 x Occupant Load, Other egress component width = 0.15 x Occupant Load.

Sec. 1009 Accessible Means of Egress: All means of egress from accessible spaces are required to be accessible per Sec. 1009.1.

Sec. 1009.8: Provide a two-way communication system complying with Sections 1009.8.1 and 1009.8.2 at the landing serving each elevator or bank of elevators on each accessible floor that is one or more stories above or below the level of exit discharge.

Sec. 1011.5.2 Riser Height and Tread Depth
 Stair risers: 4" min. to 7" max.
 Stair treads: 11" min.

Sec. 1011.7: Stairways shall be built of materials consistent with the types permitted for the type of construction of the building, except that wood Handrails shall be permitted for all types of construction.

Sec. 1006.2: Two exits or exit access doorways from any space shall be provided where the design occupant load or the common path of egress travel distance exceeds the values listed in Table 1006.2.1: Common Path of Egress: sprinklered R-2.1 = 75 feet (occupant load 10 max), S-2 = 100 feet (occupant load=29 max) for one exit.

Table 1017.2: The travel distance within the exit access portion of the means of egress system must be less than the distance requirements of Table 1016.2. From the most remote point on a floor to the nearest exit must be less than:
 -250 feet in each sprinklered R-2.1 occupancy building.

R-2.1, Type IIIA Walls & Openings (Table 601)

FIRE RATED WALL/FLOOR	RATING (Table 601)	OPENINGS (Table 716.1 (2))	STC
Structural Frame	1 hour	---	---
Bearing Walls - Exterior	2 hour noncombustible or AFRTW per 602.3	---allowable ext. oprngs. per 705.5. 1-1/2 hour if protection required	---
Bearing Walls - Interior	1 hour	---	---
Exterior Walls (Table 602)	1 hour < 30 feet 0 hour > 30 feet Noncombustible or AFRTW per 602.3	---allowable ext. oprngs. per 705.5. 3/4 hour if protection required	---
Nonbearing Walls - Interior	0 hour	---	---
Floors	1 hour	---	---
Roof	1 hour	---	---
Tenant Sep. Party Wall	1 hour	None	50
Tenant Sep. Floor/Ceiling	1 hour	None	50
Corridor walls	1 hour	1/3 hour*	50**
Fire Walls	3 hour	3 hour	50**
Smoke Barriers	1 hour	1/3 hour*	50**
Stairs	May be of any material allowed under Construction type	---	---
Stair, Chute, Elevator Shaft 1 to 3 stories**	1 hour	1 hour	50**

* Per Sec. 716.2.2.1, rated doors located in corridor walls or smoke barrier walls shall also meet the requirements for a smoke and draft control assembly (716.2.2.1.1).

** STC 50 minimum when adjacent to living space.

*** Elevator shaft to have 1 hour fire partition lobby at corridors and Parking Levels with 1/3 hour door with smoke & draft control assembly or smoke containment system with smoke & draft control assembly

Note: Fire doors and frames shall be factory-labeled per Sec. 716.2.9.1 and 716.2.9.4. Fire doors required to meet smoke and draft control requirements shall be additionally labeled per 716.2.9.3 (corridor doors, elevator slam doors)



San Clemente Memory Care / Assisted Living

Calle Frontera (Part of Parcel 2651 Calle Frontera)
 San Clemente, California 92673
 (Conditional Use Permit : ####)

Project Summary:

Site Area: 2.53± ac. (110,176± sf)
 APN: 679-021-05
 General Plan: Institutional (INST)
 Zoning: Institutional (per Marblehead Inland Master Specific Plan)

Setbacks:	Required:	Provided:
Front yard	20'-0"	20'-6" min. (varies)
Side yard (east)	10'-0"	14'-0" min. (varies)
Side yard (west)	10'-0"	13'-9" min. (varies)
Rear yard	20'-0"	60'-6" min. (varies)

Total Building Area: 81,071 sf

MEMORY CARE:

Unit	Type	No.	Size	Area	%
D1	Studio	21	355 sf	7,455 sf	88
D2	Studio	2	335 sf	670 sf	8
D3	Studio	1	376 sf	376 sf	4
Total:		24		8,501 sf	100%

ASSISTED LIVING:

Unit	Type	No.	Size	Area	%
A1	Studio	7	479 sf	3,353 sf	11
B1	One Bedroom	22	628 sf	13,816 sf	34
B2	One Bedroom	10	645 sf	6,450 sf	15
B3	One Bedroom	17	628 sf	10,676 sf	27
C1	Two Bedroom	3	908 sf	2,724 sf	5
C1.1	Two Bedroom	2	952 sf	1,904 sf	3
C2	Two Bedroom	3	1,034 sf	3,102 sf	5
Total:				42,025 sf	100%

(Exterior wall variations) + 369 sf
 42,394 sf

Total Guest Rooms: 88

Total: 88 50,895 sf

FLOOR AREA: Common Areas (Terrace)

Ground Floor: (Assisted Living)	12,550 sf	
(Memory Care)	2,056 sf	
Total:	14,606 sf	
Second Floor:	1,128 sf	(1,032 sf)
Total:	15,734 sf	(1,032 sf)

Corridors:

Ground floor: (Assisted Living)	3,952 sf
(Memory Care)	2,937 sf
Second floor:	7,553 sf
Total:	14,442 sf

TOTAL AREA: 81,071 sf

Residential Floor Area: 50,895 sf
 Common Area Floor Area: 15,734 sf
 Corridors: 14,442 sf
 TOTAL AREA: 81,071 sf

PARKING:

Provided:

Level:	Standard Stalls	Accessible (2% MIN)	Accessible Van	EV Stalls (10% MIN)	Total
Ground Floor:	46	1	1	5	53

Total Stalls: 46 1 1 5 53

Project Description:

RESIDENTIAL CARE FACILITY FOR THE ELDERLY CONSISTING OF:
 (24) MEMORY CARE UNITS LOCATED ON THE GROUND FLOOR AND SECOND FLOORS (R2.1 OCCUPANCY & TYPE IIIA CONSTRUCTION).

COMMON AREAS: ONE (1) STORY GROUND FLOOR COMMON AREAS INCLUDING MAIN LOBBY, DINING ROOM, COMMUNITY ROOMS, KITCHEN, WELLNESS GYM, MEMORY CARE COMMON AREAS, AND ADMINISTRATION OFFICES (A-2, A-3, & B OCCUPANCY & TYPE IIIA CONSTRUCTION). THE BUILDING WILL BE FULLY SPRINKLERED WITH A FULL NFPA 13 SYSTEM.

EXTERIOR COURTYARDS: TWO ASSISTED LIVING COURTYARDS WITH AMENITIES INCLUDING A POOL, BBQ AREA, WATER FEATURES AND LANDSCAPING. SECURED MEMORY CARE COURTYARD WITH AMENITIES INCLUDING SEATING AREAS, WATER FEATURE AND LANDSCAPED AREAS AND PATHWAYS.

Legal Description:

REFER TO A.L.T.A. SURVEY (SHEET A0.1A) FOR COMPLETE LEGAL DESCRIPTION

Vicinity Map:



Project Directory:

APPLICANT:
 SOUTH BAY PARTNERS, LLC.
 4514 COLE AVE., SUITE 1500
 DALLAS, TX 75205
 TEL: (214) 370-2829
 FAX: (214) 370-2899
 CONTACT: J. PATRICK MCGONIGLE
 pmcgonigle@southbaytd.com
 WILLIAM CROWEL
 william.d.crowel@gmail.com
 ADAM A. ARNOLD
 aarnold@southbaytd.com

ARCHITECT:
 VAN TILBURG, BANVARD & SODERBERGH, AIA
 1738 BERKELEY STREET
 SANTA MONICA, CA 90401
 TEL: (310) 394-0273
 FAX: (310) 394-2424
 CONTACT: JAN VAN TILBURG
 jvt@vts.com
 PETER PETRAGLIA
 ppetr@vts.com

Sheet Index:

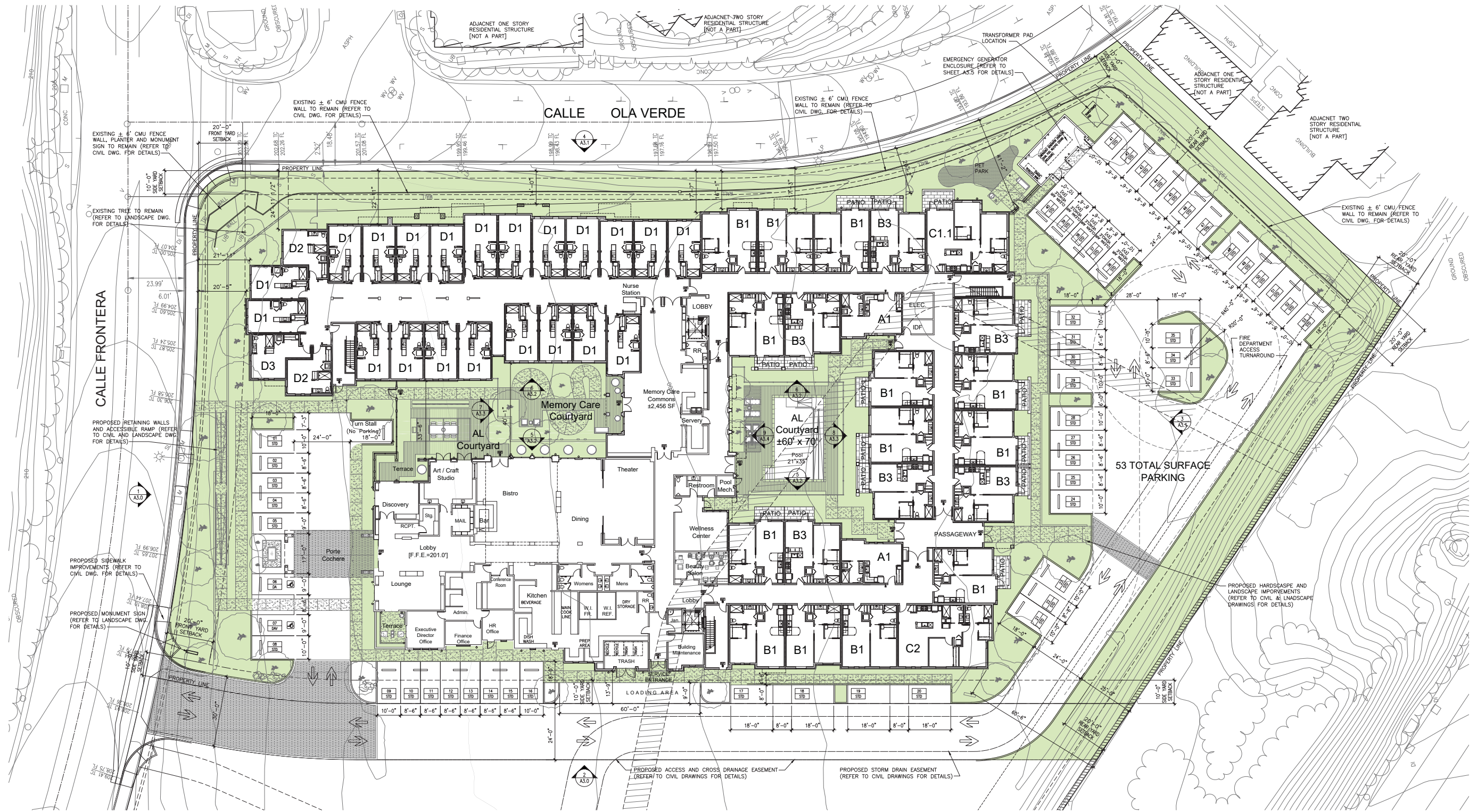
A0	COVER SHEET
A1.0	ARCHITECTURAL SITE PLAN
A1.1	A.L.T.A. LAND TITLE SURVEY
A1.2	A.L.T.A. LAND TITLE SURVEY
A1.3	EXISTING SITE PHOTOS
C1	PRELIMINARY SITE PLAN
C2	EXISTING CONDITIONS & PRELIMINARY DEMOLITION PLAN
C3	PRELIMINARY GRADING PLAN
C4	PRELIMINARY STORM DRAIN PLAN
C5	PRELIMINARY SEWER & WATER PLAN
A2.0	GROUND FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	ROOF PLAN
A3.0	NORTH & WEST ELEVATIONS
A3.1	SOUTH & EAST ELEVATIONS
A3.2	EAST & WEST COURTYARD ELEVATIONS
A3.3	SOUTH COURTYARD ELEVATIONS
A3.4	NORTH COURTYARD ELEVATIONS
A3.5	EMERGENCY GENERATOR ENCLOSURE PLANS & ELEVATIONS
A3.6	WALL SECTION
A4.0	NORTH RENDERING
A4.1	NORTH-EAST RENDERING
A4.2	NORTH-WEST RENDERING
A4.3	FREEMAN RENDERING
A4.4	AERIAL-NORTH RENDERING
A4.5	AERIAL-EAST RENDERING
A4.6	AERIAL-SOUTH RENDERING
A4.7	AERIAL-WEST RENDERING
A5.0	UNIT PLANS
A5.1	UNIT PLANS
A6.0	EXTERIOR FINISHES
L1	SCHEMATIC LANDSCAPE PLAN
L2	COURTYARD ENLARGED PLANS
L3	TERRACE ENLARGED PLANS
L4	LANDSCAPE MOOD IMAGERY
L5	CONCEPTUAL TREE PLAN
L6	CONCEPTUAL PLANTING PALETTE & NOTES
L7	CONCEPTUAL IRRIGATION AND HYDROZONE PLAN
L8	CONCEPTUAL LANDSCAPE LIGHTING PLAN
L9	WAYFINDING SIGNAGE EXHIBIT

**COVER SHEET
 A0.0**

June 30, 2021

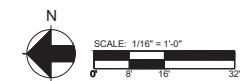
San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673



SITE PLAN

A1.0



June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
 4514 Cole Avenue
 Suite 1500
 Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

A0060
 1718 BERKELEY STREET
 SANTA MONICA, CA 90404
 TEL 310.794.0273 FAX 310.794.2424
 www.van-t.com
 SANTA MONICA • DENVER • SAN JOSE
VAN TILBURG, BANVARD & SODERBERGH, AIA
 ARCHITECTURE • PLANNING • URBAN DESIGN

ALTA/NSPS LAND TITLE SURVEY

CALLE FRONTERA, CITY OF SAN CLEMENTE COUNTY OF ORANGE, STATE OF CALIFORNIA

TITLE INFORMATION

FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO. 30061548-997-MAT-1C1
DATED: FEBRUARY 8, 2021 AT 7:30 AM

TITLE TO SAID ESTATE OR INTEREST VESTED IN

PACIFIC COAST CHURCH OF SAN CLEMENTE, A CALIFORNIA NON-PROFIT CORPORATION

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN CLEMENTE, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 1 OF PARCEL MAP NO. 84-827, AS SHOWN ON A MAP FILED IN BOOK 191, PAGES 6 AND 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, EXCEPTING THEREFROM, OIL, OR RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS, GEOTHERMAL POWER, AND ALL PRODUCTS THAT MAY BE DERIVED THEREFROM, WITHIN OR UNDER SAID PARCEL 1, TOGETHER WITH THE RIGHT TO DRILL, MINE OR EXPLORE FOR THE SAME, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM OTHER LANDS THROUGH OR ACROSS THE SUBSURFACE OF SAID PARCEL 1, HOWEVER GRANTOR, ITS SUCCESSORS, TRANSFERREES OR ASSIGNS SHALL NO RIGHT TO DRILL, MINE, STORE, EXPLORE, AND OPERATE THROUGH THE SURFACE OR THE UPPER FIVE HUNDRED FEET (500') OF THE SUBSURFACE OF SAID PARCEL 1, AS RESERVED IN DEED FROM MARBLEHEAD, A LIMITED PARTNERSHIP RECORDED IN OCTOBER 19, 1984 AS INSTRUMENT NO. 84-431390 OF OFFICIAL RECORDS OF SAID COUNTY.

PARCEL B:

AN NONEXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS PURPOSES OVER THAT PORTION OF THE PARCEL 2 OF PARCEL MAP NO. 84-827, AS SHOWN ON A MAP FILED IN BOOK 191, PAGES 6 AND 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, AS SAID EASEMENT IS SET FORTH IN THAT CERTAIN DEED RECORDED JUNE 20, 1990 AS INSTRUMENT NO. 90-326577 OF OFFICIAL RECORDS DESCRIBED AS FOLLOWS:

A STRIP OF LAND 20.00 FEET WIDE, THE SOUTHEASTERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER SAID PARCEL 2; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL SOUTH 48° 00' 00" WEST 100.00 FEET;
THE SIDE LINES OF SAID STRIP SHALL BE LENGTHENED OR SHORTENED SO AS TO TERMINATE NORTHEASTERLY IN THE NORTHEASTERLY LINE OF SAID PARCEL.

PARCEL C:

AN NONEXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS PURPOSES OVER THAT PORTION OF THE PARCEL 2 OF PARCEL MAP NO. 84-827, AS SHOWN ON A MAP FILED IN BOOK 191, PAGES 6 AND 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, AS SAID EASEMENT IS SET FORTH IN THAT CERTAIN DEED RECORDED JUNE 20, 1990 AS INSTRUMENT NO. 90-326577 OF OFFICIAL RECORDS DESCRIBED AS FOLLOWS:

A STRIP OF LAND 20.00 FEET WIDE, THE SOUTHEASTERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF SAID PARCEL 2, DISTANT THEREON SOUTH 48° 00' 00" WEST 100.00 FEET FROM THE EAST CORNER OF SAID PARCEL; THENCE ALONG SAID SOUTHEASTERLY LINE SOUTH 48° 00' 00" WEST 123.00 FEET.

SCHEDULE B EXCEPTIONS

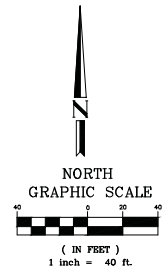
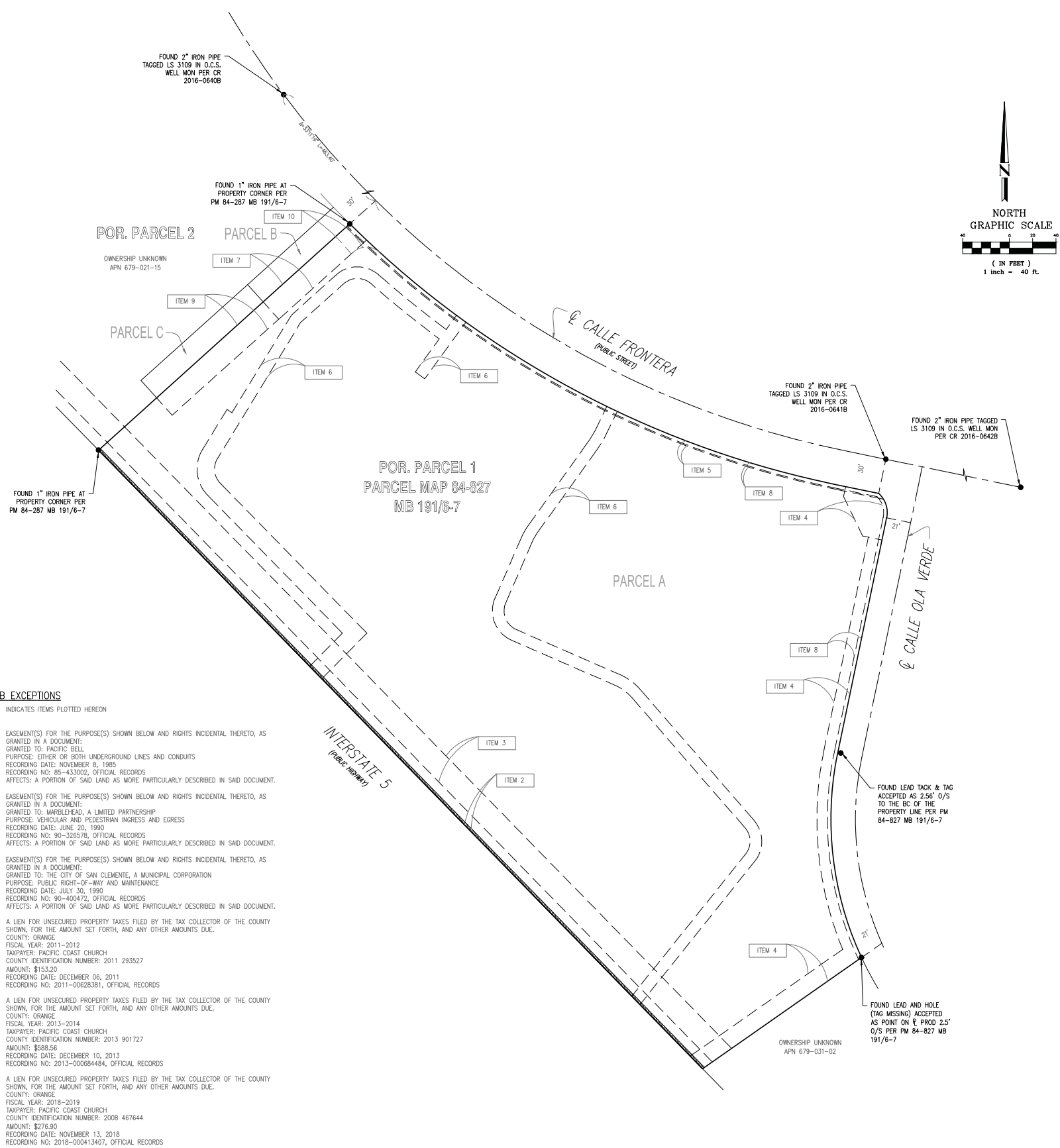
INDICATES ITEMS PLOTTED HEREON

- ITEM A PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2021-2022.
- ITEM B PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
TAX IDENTIFICATION NO.: 679-021-05
FISCAL YEAR: 2020-2021
1ST INSTALLMENT: \$32,504.49, PAID
2ND INSTALLMENT: \$32,504.49, OPEN (DELINQUENT AFTER APRIL 10)
PENALTY AND COST: \$3,273.44
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 10-000
- ITEM C THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODES OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.
- ITEM D A NOTICE ENTITLED: NOTICE OF ASSESSMENT FOR: ASSESSMENT DISTRICT NO. 95-1 EXCUTED BY: THE CITY OF SAN CLEMENTE RECORDING DATE: JULY 26, 1995 RECORDING NO: 95-0318248, OFFICIAL RECORDS REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- ITEM 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- ITEM 2 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT.
RECORDING DATE: DECEMBER 8, 1957
RECORDING NO: BOOK 4127, PAGE 488, OFFICIAL RECORDS
AFFECTS: THE SOUTHWESTERLY LINE OF SAID LAND
NOTE: SAID DEED CONTAINS A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A HIGHWAY OR FREEWAY CONTIGUOUS THERETO, AS CONTAINED IN AN INSTRUMENT IN FAVOR OF THE STATE OF CALIFORNIA.
- ITEM 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: THE CITY OF SAN CLEMENTE, A MUNICIPAL CORPORATION
PURPOSE: TO LAY, CONSTRUCT, MAINTAIN, OPERATE AND REPAIR AN OFF-SITE SEWER PIPE FOR TRANSPORTATION OF SEWAGE
RECORDING DATE: SEPTEMBER 26, 1977
RECORDING NO: BOOK 12361, PAGE 1977, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT. (THIS IS NOT THE CORRECT DOCUMENT, THE CORRECT DOCUMENT IS RECORDED IN BOOK 12391-1022 O.R.)
- ITEM 4 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: JANUARY 18, 1982
RECORDING NO: 82-019824, OFFICIAL RECORDS
SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.
THE PROVISIONS OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS WERE EXTENDED TO INCLUDE THE HEREIN DESCRIBED LAND BY AN INSTRUMENT
RECORDING DATE: OCTOBER 19, 1984
RECORDING NO: 84-431390, OFFICIAL RECORDS
AFFECTS: THAT PORTION OF SAID LAND SHOWN AS "PROPOSED LANDSCAPE MAINTENANCE EASEMENT" ON SAID PARCEL MAP NO. 84-827
- ITEM 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION
PURPOSE: UNDERGROUND FACILITIES AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND COMMUNICATION FACILITIES AND APPURTENANCES
RECORDING DATE: JUNE 16, 1983
RECORDING NO: 82-251928, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT. NOTE: THE EFFECT OF A QUILCLAIM DEED RECORDED MARCH 5, 1985 AS INSTRUMENT NO. 85-076406 OF OFFICIAL RECORDS.
- ITEM 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID PARCEL MAP NO. 84-827;
PURPOSE: PROPOSED STORM DRAIN
AFFECTS: A PORTION OF SAID LAND AS SHOWN ON SAID MAP
RECORDING NO: BOOK 191, PAGES 6 AND 7, OF PARCEL MAPS
PURPOSE: PROPOSED LANDSCAPING MAINTENANCE
AFFECTS: A PORTION OF SAID LAND AS SHOWN ON SAID MAP
- ITEM 7 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: OCTOBER 19, 1984
RECORDING NO: 84-431390, OFFICIAL RECORDS

SCHEDULE B EXCEPTIONS

INDICATES ITEMS PLOTTED HEREON

- ITEM 8 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PACIFIC BELL
PURPOSE: EITHER OR BOTH UNDERGROUND LINES AND CONDUITS
RECORDING DATE: NOVEMBER 8, 1985
RECORDING NO: 85-433002, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
- ITEM 9 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: MARBLEHEAD, A LIMITED PARTNERSHIP
PURPOSE: VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS
RECORDING DATE: JUNE 20, 1990
RECORDING NO: 90-326578, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
- ITEM 10 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: THE CITY OF SAN CLEMENTE, A MUNICIPAL CORPORATION
PURPOSE: PUBLIC RIGHT-OF-WAY AND MAINTENANCE
RECORDING DATE: JULY 30, 1990
RECORDING NO: 90-400472, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
- ITEM 11 A LIEN FOR UNSECURED PROPERTY TAXES FILED BY THE TAX COLLECTOR OF THE COUNTY SHOWN, FOR THE AMOUNT SET FORTH, AND ANY OTHER AMOUNTS DUE.
COUNTY: ORANGE
FISCAL YEAR: 2011-2012
TAXPAYER: PACIFIC COAST CHURCH
COUNTY IDENTIFICATION NUMBER: 2011 293527
AMOUNT: \$153.20
RECORDING DATE: DECEMBER 06, 2011
RECORDING NO: 2011-00628381, OFFICIAL RECORDS
- ITEM 12 A LIEN FOR UNSECURED PROPERTY TAXES FILED BY THE TAX COLLECTOR OF THE COUNTY SHOWN, FOR THE AMOUNT SET FORTH, AND ANY OTHER AMOUNTS DUE.
COUNTY: ORANGE
FISCAL YEAR: 2013-2014
TAXPAYER: PACIFIC COAST CHURCH
COUNTY IDENTIFICATION NUMBER: 2013 901727
AMOUNT: \$988.56
RECORDING DATE: DECEMBER 10, 2013
RECORDING NO: 2013-00068484, OFFICIAL RECORDS
- ITEM 13 A LIEN FOR UNSECURED PROPERTY TAXES FILED BY THE TAX COLLECTOR OF THE COUNTY SHOWN, FOR THE AMOUNT SET FORTH, AND ANY OTHER AMOUNTS DUE.
COUNTY: ORANGE
FISCAL YEAR: 2018-2019
TAXPAYER: PACIFIC COAST CHURCH
COUNTY IDENTIFICATION NUMBER: 2008 467644
AMOUNT: \$276.90
RECORDING DATE: NOVEMBER 13, 2018
RECORDING NO: 2018-000413407, OFFICIAL RECORDS
- ITEM 14 ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- ITEM 15 MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
- ITEM 16 PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.



LAND AREA

243,934.23 SF OR 5.60 ACRES±

ASSESSOR'S PARCEL NUMBERS

679-021-05

ZONING

THE SUBJECT PROPERTY IS ZONED INSTITUTIONAL PER MARBLEHEAD INLAND MASTER SPECIFIC PLAN; FOR MORE INFORMATION ON THIS ZONING AREA PLEASE CONTACT THE CITY OF SAN CLEMENTE, CALIFORNIA PLANNING DEPARTMENT AT (949) 361-8200.

FLOOD ZONE INFORMATION

THE SUBJECT PROPERTY LIES WITHIN THE CITY SAN CLEMENTE, CALIFORNIA AREA OF FLOOD INSURANCE RATE MAP PANEL NUMBER 06059C0509K, HAVING AN EFFECTIVE DATE OF 3/21/2019, IN ORANGE COUNTY, CALIFORNIA. FLOOD ZONE IS "X" AREA OF MINIMAL FLOOD HAZARD.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF CALLE FRONTERA PER PARCEL MAP NO. 84-827 P.M.B. 191 PAGES 6-7.

BEING: NORTH 78°15'00" WEST

BENCHMARK

DESCRIBED BY OCS 2002 - FOUND 3.34" OCS ALUMINUM BENCHMARK DISK STAMPED "SC-01-00", SET IN THE EASTERLY CORNER OF A 4 FT. BY 7 FT. CONCRETE VAULT. MONUMENT IS LOCATED ALONG THE NORTHEASTERLY SIDE OF VIA SOCORRO, 0.1 MILES NORTHEASTERLY OF THE CENTERLINE OF VIA CASAGUOTA AND 30 FT. NORTHEASTERLY OF THE CENTERLINE OF VIA SOCORRO. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 173.841' (NAVD'88)

SURVEYOR'S NOTES

1. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
3. NO EVIDENCE OF EARTHMOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED ON THIS SITE.
4. NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
5. NO OBSERVED EVIDENCE OF CEMETERIES.
6. NO OBSERVED EVIDENCE OF WETLANDS AT TIME OF SURVEY.

UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

THIS ALTA/NSPS LAND SURVEY IS FOR TITLE INSURANCE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION, DESIGN OR ENGINEERING FOR FUTURE DEVELOPMENT OF SITE.

THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY. ADDITIONAL RESEARCH, FIELD AND OFFICE SURVEY WILL BE REQUIRED.

THE RELATIVE POSITIONAL ACCURACY OF CALLED OUT IMPROVEMENTS SHOWN ON THE SURVEY IS WITHIN 0.1' +/- OF THEIR ACTUAL LOCATIONS.

T&M SURVEYING ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF CALIFORNIA, CERTIFIES TO:

PACIFIC COAST CHURCH OF SAN CLEMENTE, A CALIFORNIA NON-PROFIT CORPORATION & FIDELITY NATIONAL TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6A, 8, 9, 13, 14, 15, 16, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 02/27/2021.

Ty E. Thomas

3-8-2021

P.L.S. 9309 EXP. 09/30/2022

DATE



REVISIONS		
REV	DATE	DESCRIPTION

PREPARED BY:
T&M SURVEYING
531 E. TRENTON AVE.
ORANGE, CA
OFFICE 714-912-4042 CELL 714-906-8771
WWW.TMSURVEYING.COM

ALTA / NSPS LAND TITLE SURVEY

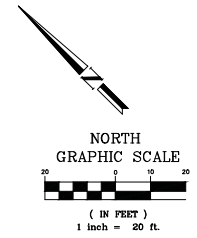
CALLE FRONTERA
SAN CLEMENTE, CALIFORNIA

PROJECT NO: **-871**

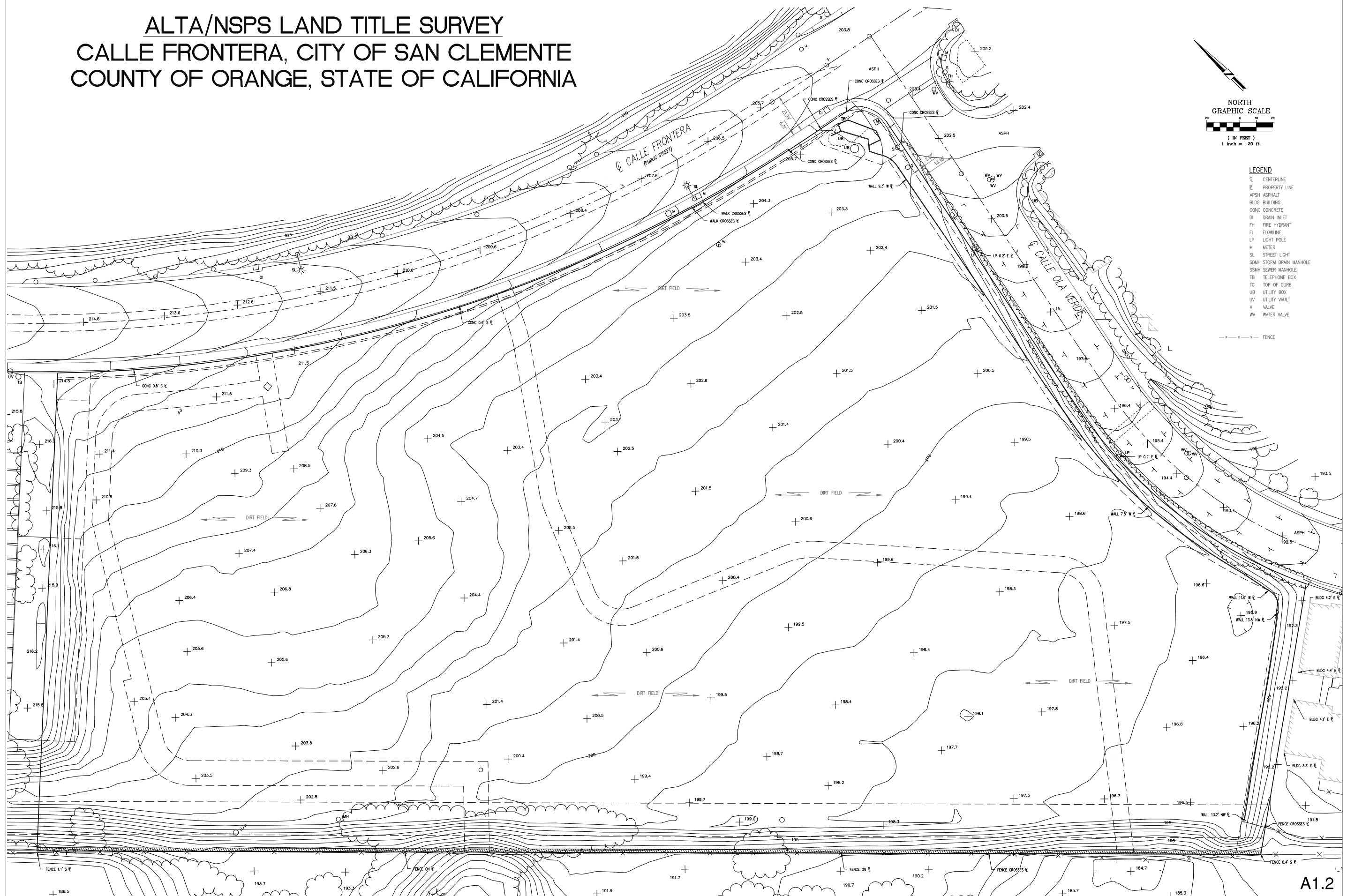
SHEET **1** OF **2**

A1.1

ALTA/NSPS LAND TITLE SURVEY CALLE FRONTERA, CITY OF SAN CLEMENTE COUNTY OF ORANGE, STATE OF CALIFORNIA



- LEGEND**
- CL CENTERLINE
 - PL PROPERTY LINE
 - ASPH ASPHALT
 - BLDG BUILDING
 - CONC CONCRETE
 - DI DRAIN INLET
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - LP LIGHT POLE
 - M METER
 - SL STREET LIGHT
 - SDMH STORM DRAIN MANHOLE
 - SSMH SEWER MANHOLE
 - TB TELEPHONE BOX
 - TC TOP OF CURB
 - UB UTILITY BOX
 - UV UTILITY VAULT
 - V VALVE
 - WV WATER VALVE



A1.2

INTERSTATE 5
(PUBLIC STREET)

REVISIONS		
REV	DATE	DESCRIPTION

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T&M SURVEYING
531 E. TRENTON AVE.
ORANGE, CA
OFFICE: 714-912-4042 CELL: 714-906-8771
WWW.TMSURVEYING.COM

ALTA / NSPS LAND TITLE SURVEY
CALLE FRONTERA
SAN CLEMENTE, CALIFORNIA

PROJECT NO: **-871**
SHEET **2**
OF **2**



VIEW #1 - NORTH



VIEW #2 - NORTH EAST



VIEW #3 - EAST



VIEW #4 - SOUTH



VIEW #5 - WEST



VIEW #6 - EAST



Overall Site View



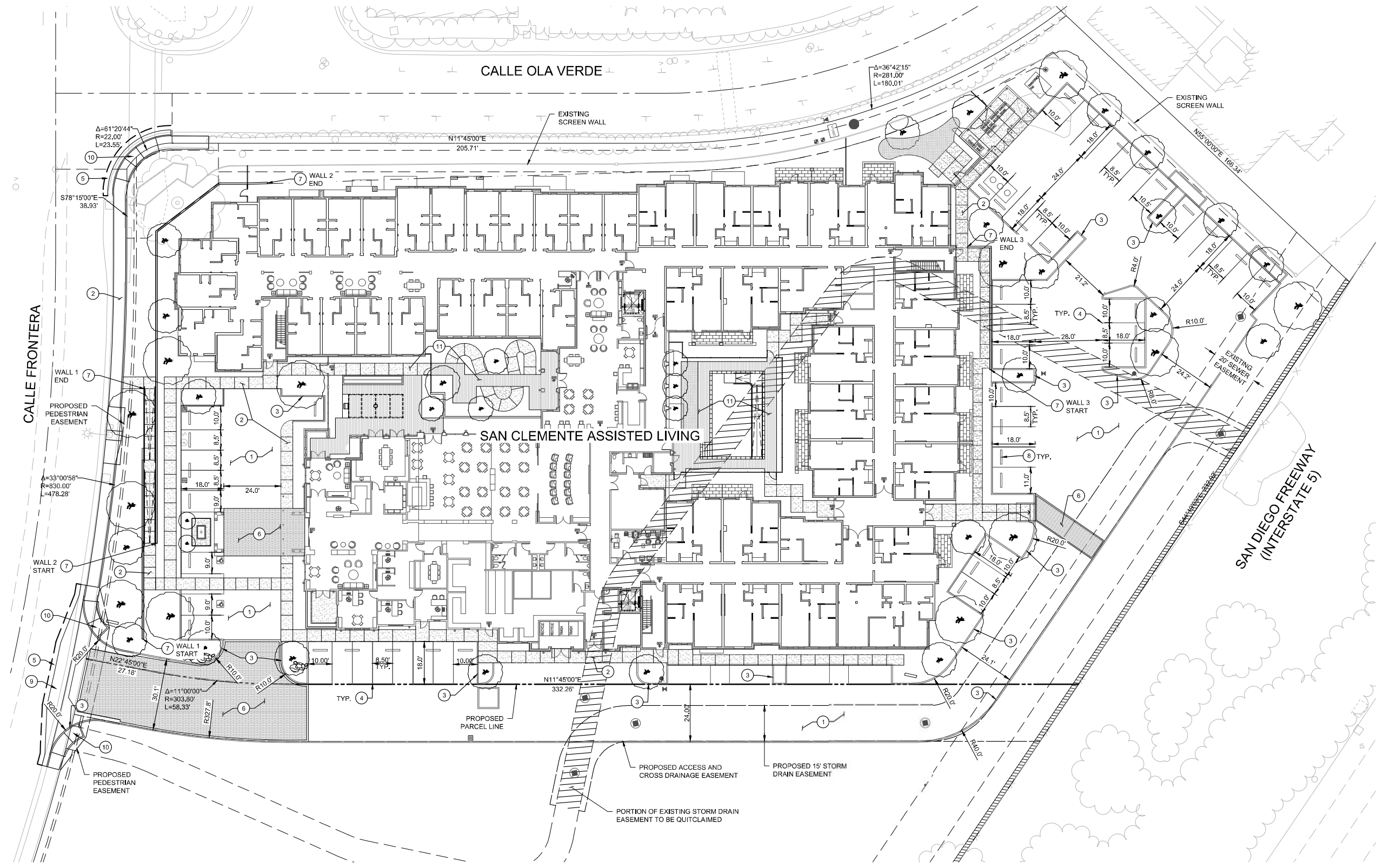
EXISTING
SITE
PHOTOS

A1.3

June 30, 2021

SITE PLAN NOTES

- ① PROPOSED AC PAVEMENT
- ② PROPOSED CONCRETE SIDEWALK
- ③ PROPOSED CURB
- ④ PROPOSED 4" WHITE PARKING SPACE STRIPING
- ⑤ PROPOSED SAWCUT OF EXISTING PAVEMENT TO FORM A NEAT JOINT. PROPOSED GRIND AND OVERLAY ADJACENT 24" OF EXISTING SURFACE.
- ⑥ PROPOSED CONCRETE PAVERS PER LANDSCAPE PLANS
- ⑦ PROPOSED RETAINING WALL
- ⑧ PROPOSED CONCRETE WHEEL STOP
- ⑨ PROPOSED 8" CROSS GUTTER
- ⑩ PROPOSED ADA CURB RAMP
- ⑪ PROPOSED COURTYARD HARDSCAPE PER LANDSCAPE PLANS



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 By: Andrew B...
 Date: 06/23/21 11:18 PM

PRELIMINARY

DATE: 06/23/21

PROJECT NO. SBPL0DEV0009

SHEET NO.

C1

**SAN CLEMENTE MEMORY CARE/ASSISTED LIVING
 SAN CLEMENTE, CALIFORNIA**
 SOUTH BAY PARTNERS
EXISTING CONDITIONS & PRELIMINARY DEMOLITION PLAN

PRELIMINARY

DATE: 06/23/21

PROJECT NO.
SBPL0DEV0009

SHEET NO.

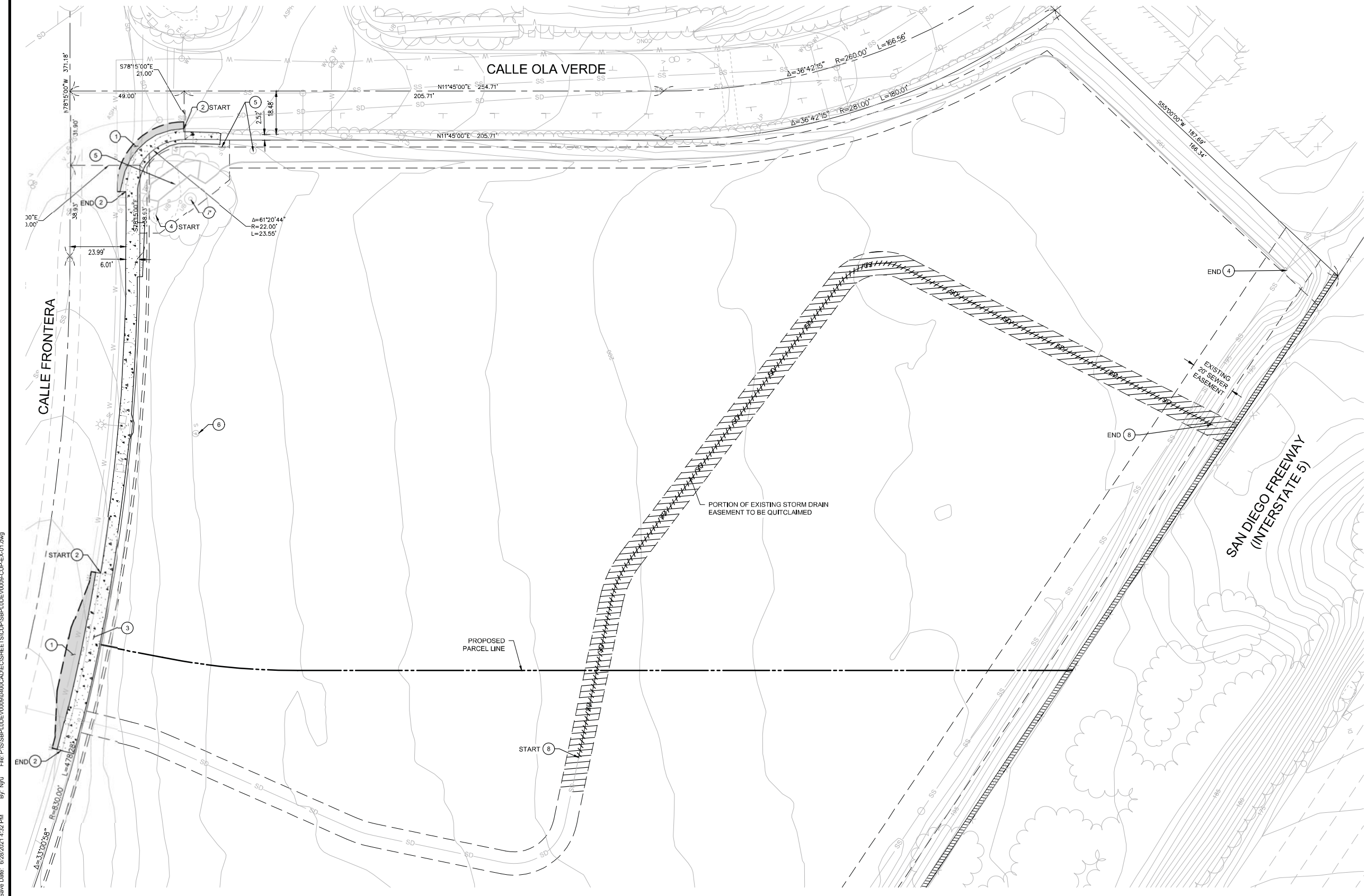
C2

LEGEND

- SAWCUT
- AC PAVEMENT TO BE REMOVED
- ▨ CONCRETE TO BE REMOVED
- EXISTING STORM DRAIN TO BE REMOVED

DEMOLITION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT
- 2 REMOVE EXISTING CURB & GUTTER
- 3 REMOVE EXISTING CONCRETE SIDEWALK
- 4 PROTECT EXISTING WALL & FOUNDATION
- 5 PROTECT EXISTING SIGN IN PLACE
- 6 REMOVE EXISTING SIGN
- 7 PROTECT TREE IN PLACE
- 8 CUT & REMOVE EXISTING STORM DRAIN



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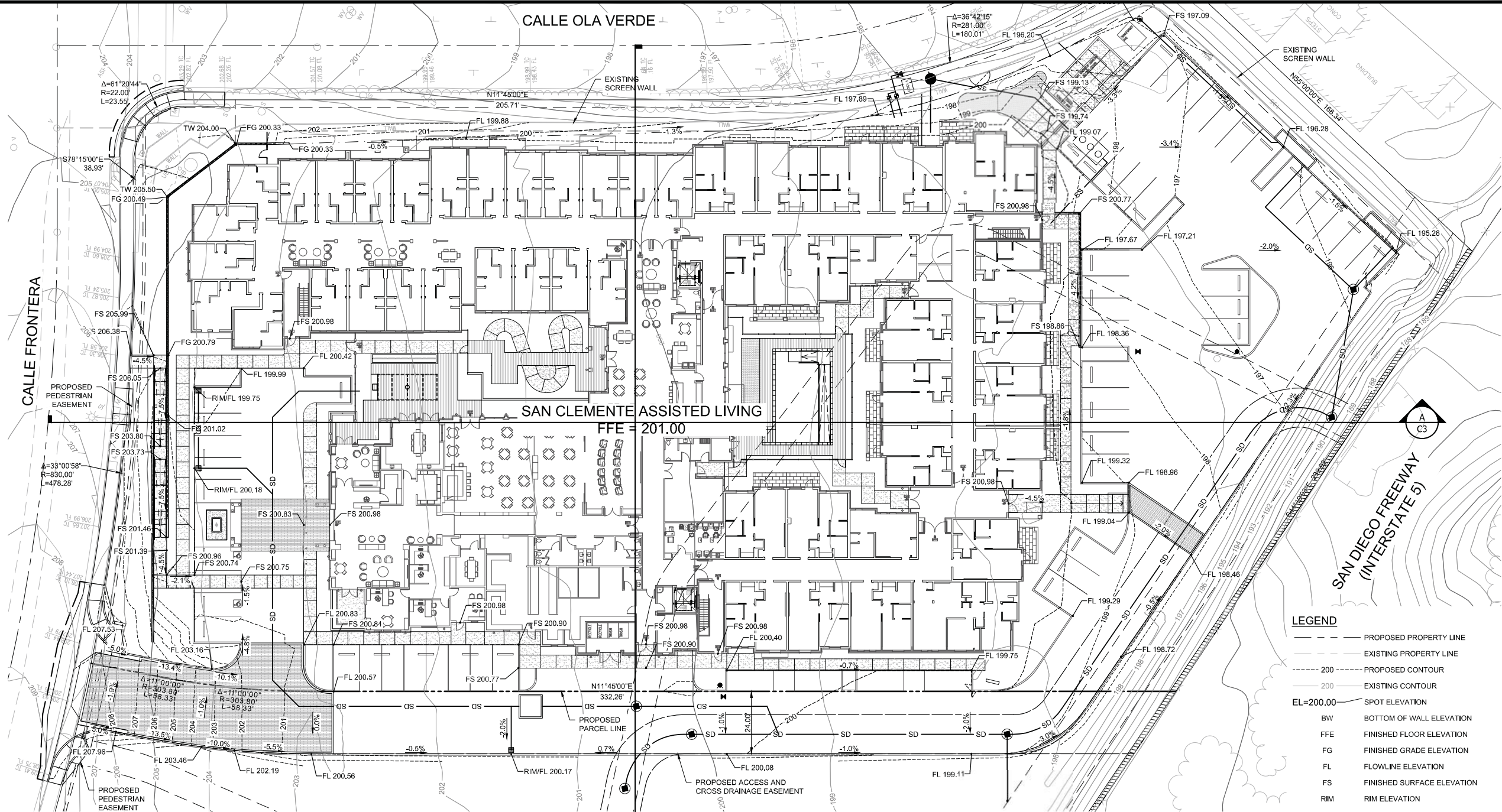
PRELIMINARY

DATE: 06/23/21

PROJECT NO.
SBPL0DEV0009

SHEET NO.

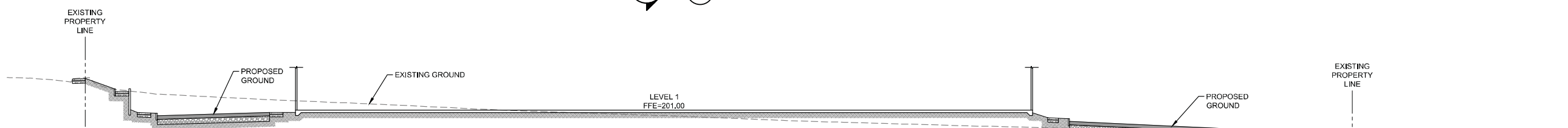
C3



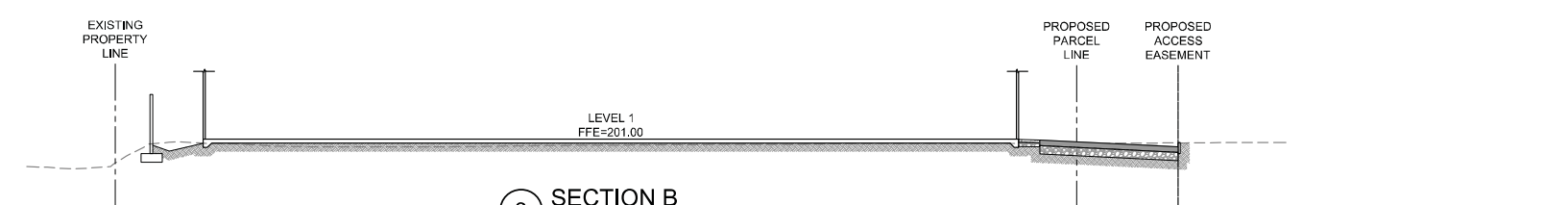
LEGEND

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - PROPOSED CONTOUR
- - - EXISTING CONTOUR
- EL=200.00 SPOT ELEVATION
- BW BOTTOM OF WALL ELEVATION
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE ELEVATION
- FL FLOWLINE ELEVATION
- FS FINISHED SURFACE ELEVATION
- RIM RIM ELEVATION
- TC TOP OF CURB ELEVATION
- TW TOP OF WALL ELEVATION

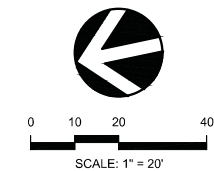
1 PRELIMINARY GRADING PLAN
 SCALE H:1"=20'



2 SECTION A
 SCALE H:1"=20'
 SCALE V:1"=10'



3 SECTION B
 SCALE H:1"=20'
 SCALE V:1"=10'



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LEGEND

- SD — PROPOSED STORM DRAIN
- SD — EXISTING STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- ~ SURFACE FLOW ARROW
- ▷ PIPE FLOW DIRECTION
- - - PROPOSED CONTOUR
- PROPOSED AREA DRAIN

STORM DRAIN NOTES

- 1 PROPOSED PRIVATE STORM DRAIN INLET
- 2 PROPOSED PRIVATE AREA DRAIN
- 3 PROPOSED PUBLIC STORM DRAIN STUB WITH CLEANOUT FOR FUTURE DEVELOPMENT
- 4 PROPOSED PUBLIC STORM DRAIN MANHOLE
- 5 PROPOSED PRIVATE STORM DRAIN MANHOLE
- 6 PROPOSED PRIVATE LATERAL FOR CONNECTION TO COURTYARD AREA DRAINS
- 7 PROPOSED PRIVATE MODULAR WETLAND WATER QUALITY VAULT
- 8 PROPOSED PUBLIC STORM DRAIN MANHOLE OVER EXISTING PUBLIC 30" RCP
- 9 PROPOSED PRIVATE MODULAR WETLAND WATER QUALITY INLET

DAVID EVANS AND ASSOCIATES INC.
 17782 17th ST, Suite 200
 Tustin, CA 92780
 Phone: 714.665.4500

SAN CLEMENTE MEMORY CARE/ASSISTED LIVING
SAN CLEMENTE, CALIFORNIA
 SOUTH BAY PARTNERS
PRELIMINARY STORM DRAIN PLAN

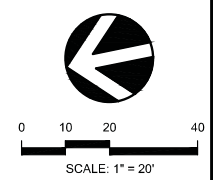
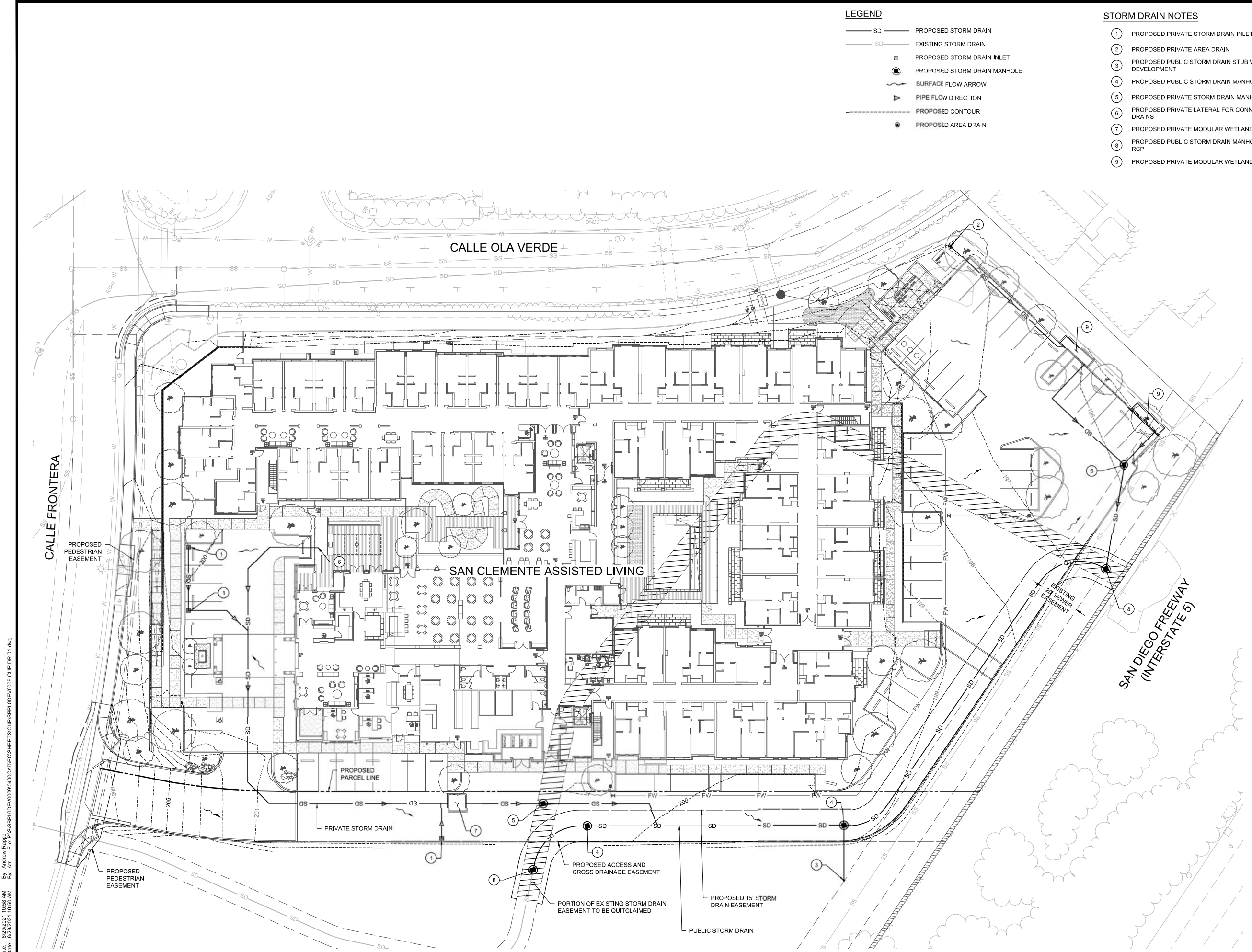
PRELIMINARY

DATE: 06/23/21

PROJECT NO. SBPL0DEV0009

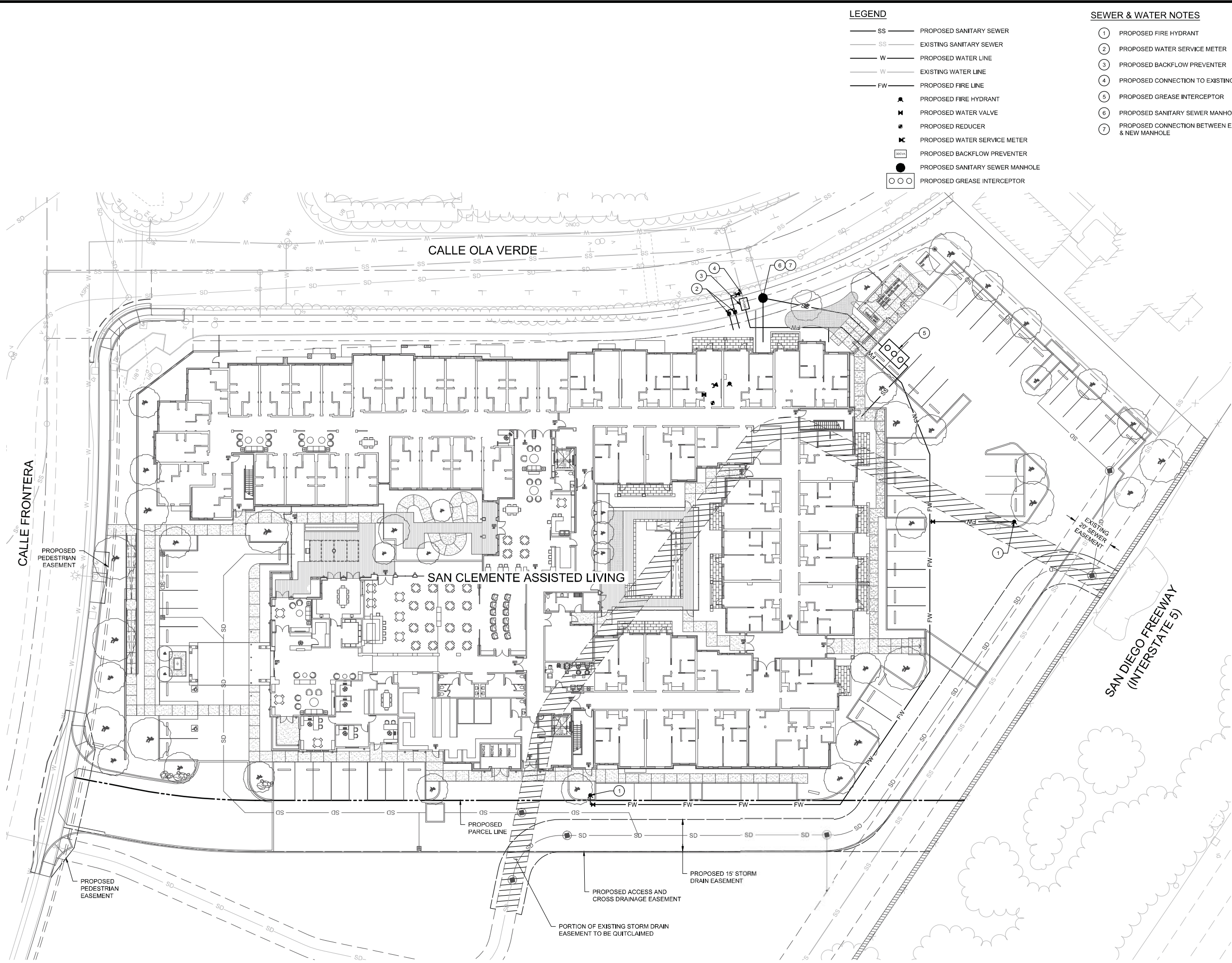
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C4



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 By: Andrew Benge
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LEGEND

- SS — PROPOSED SANITARY SEWER
- SS — EXISTING SANITARY SEWER
- W — PROPOSED WATER LINE
- W — EXISTING WATER LINE
- FW — PROPOSED FIRE LINE
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED REDUCER
- PROPOSED WATER SERVICE METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED SANITARY SEWER MANHOLE
- ○ ○ PROPOSED GREASE INTERCEPTOR

SEWER & WATER NOTES

- ① PROPOSED FIRE HYDRANT
- ② PROPOSED WATER SERVICE METER
- ③ PROPOSED BACKFLOW PREVENTER
- ④ PROPOSED CONNECTION TO EXISTING 10" DOMESTIC WATER LATERAL
- ⑤ PROPOSED GREASE INTERCEPTOR
- ⑥ PROPOSED SANITARY SEWER MANHOLE
- ⑦ PROPOSED CONNECTION BETWEEN EXISTING 8" SANITARY SEWER STUB & NEW MANHOLE

SAN CLEMENTE MEMORY CARE/ASSISTED LIVING
SAN CLEMENTE, CALIFORNIA
 SOUTH BAY PARTNERS
PRELIMINARY SEWER & WATER PLAN

PRELIMINARY

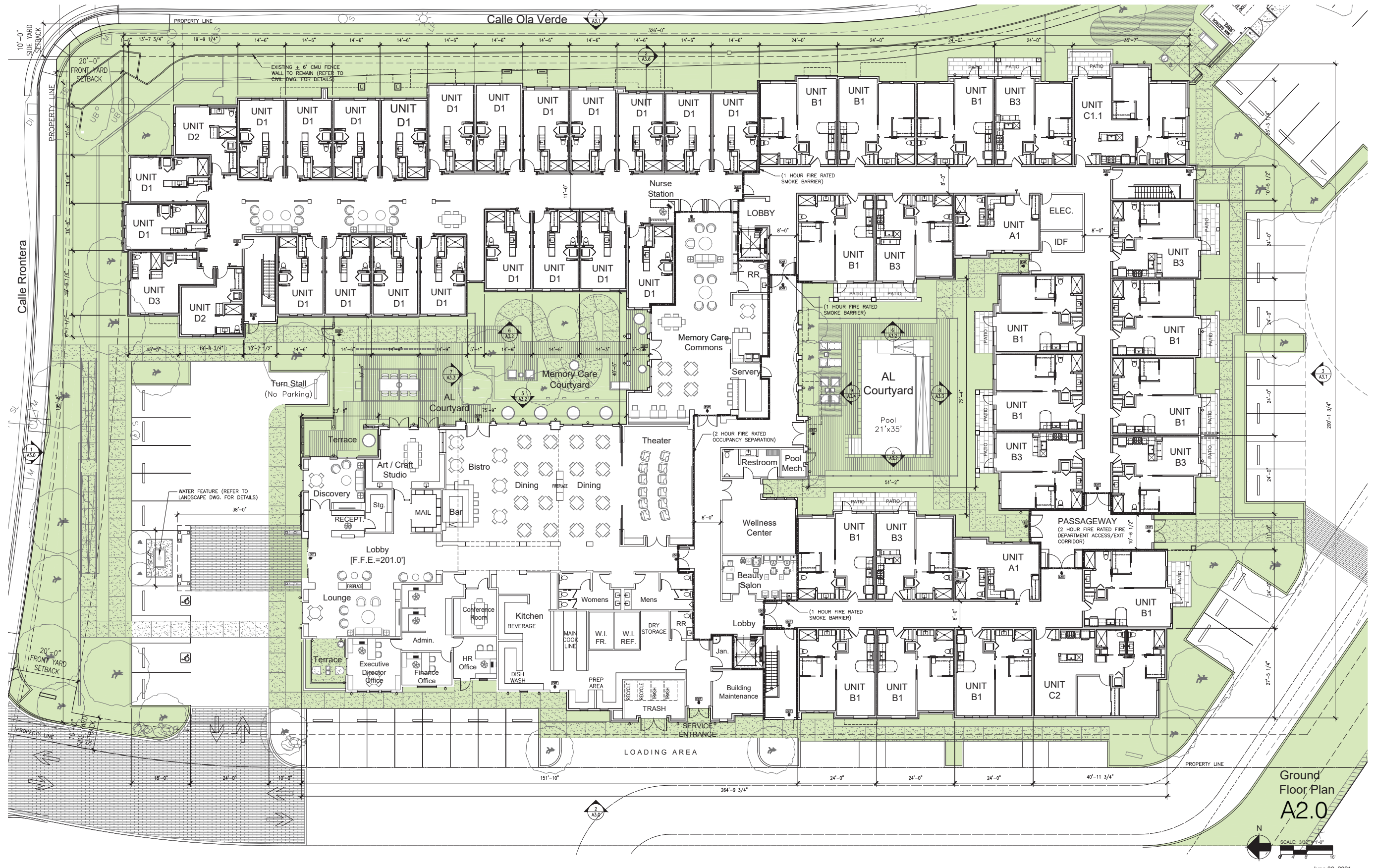
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PROJECT NO.
SBPL06V0009

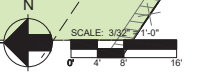
SHEET NO.

C5


DAVID EVANS
AND ASSOCIATES INC.
 17782 17th ST, Suite 200
 Tustin, CA 92780
 Phone: 714.665.4500



Ground Floor Plan
A2.0



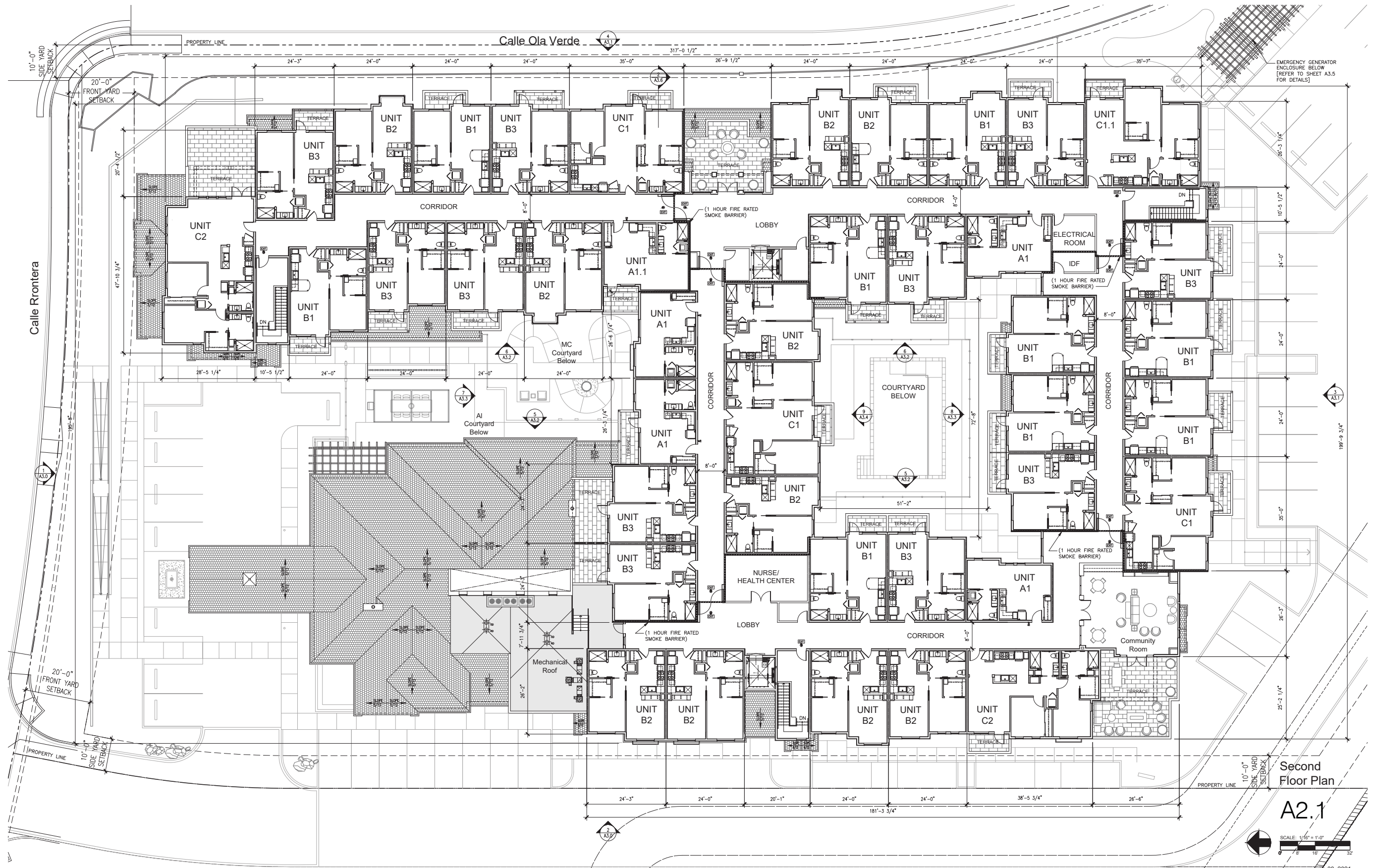
June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

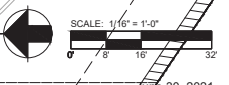
San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

A0060
1730 BERKELEY STREET
SANTA MONICA, CA 90404
TEL: 310.794.0273 FAX: 310.794.2424
www.vtbc.com
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Second Floor Plan
A2.1



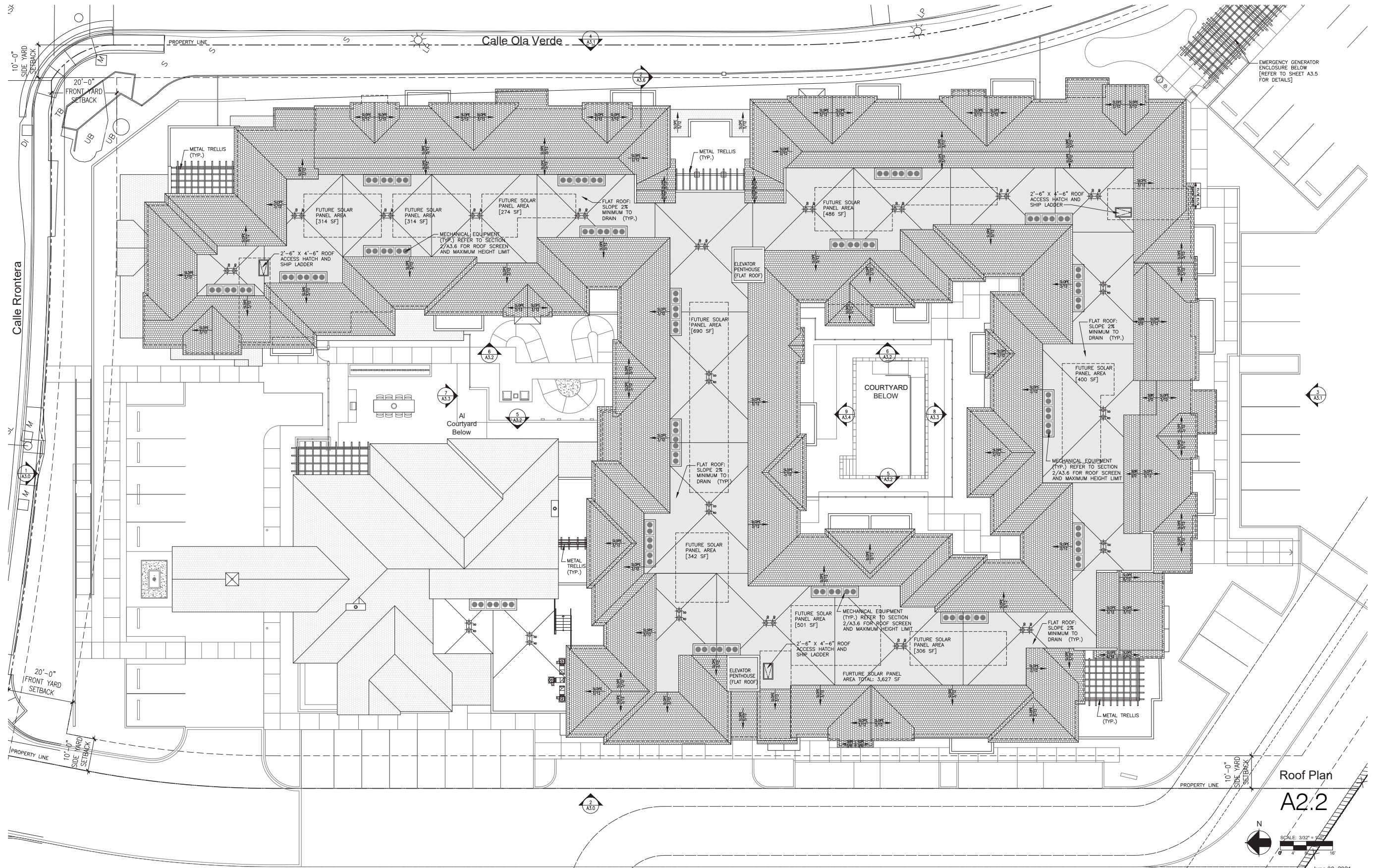
JUNE 30, 2021

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4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

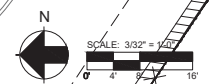
Calle Frontera, San Clemente, CA 92673

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EMERGENCY GENERATOR ENCLOSURE BELOW [REFER TO SHEET A3.5 FOR DETAILS]

Roof Plan
A2.2



June 30, 2021

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SOUTH BAY PARTNERS LLC
4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

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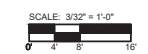
① NORTH ELEVATION



② WEST ELEVATION

NORTH & WEST ELEVATIONS

A3.0



June 30, 2021



③ SOUTH ELEVATION



④ EAST ELEVATION

SOUTH & EAST ELEVATIONS

A3.1



June 30, 2021



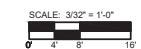
5 WEST COURTYARD ELEVATION



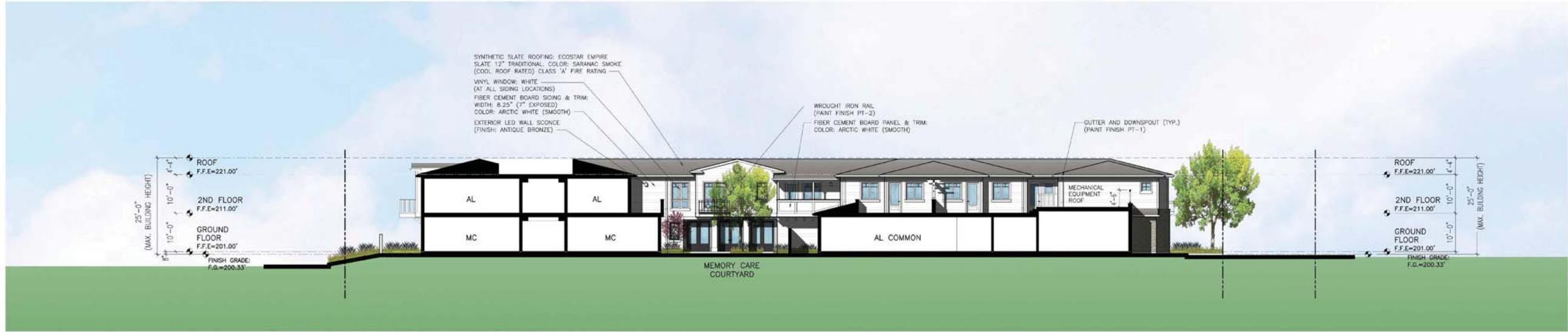
6 EAST COURTYARD ELEVATION

EAST & WEST
COURTYARD
ELEVATIONS

A3.2



June 30, 2021



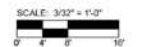
⑦ AL & MC COURTYARD - SOUTH ELEVATION



⑧ AL POOL COURTYARD - SOUTH ELEVATION

COURTYARD ELEVATIONS

A3.3



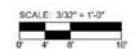
June 30, 2021



9 AL POOL COURTYARD - NORTH ELEVATION

COURTYARD
ELEVATIONS

A3.4



June 30, 2021

PREPARED FOR:
 SOUTH BAY PARTNERS LLC
 4514 Cole Avenue
 Suite 1500
 Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

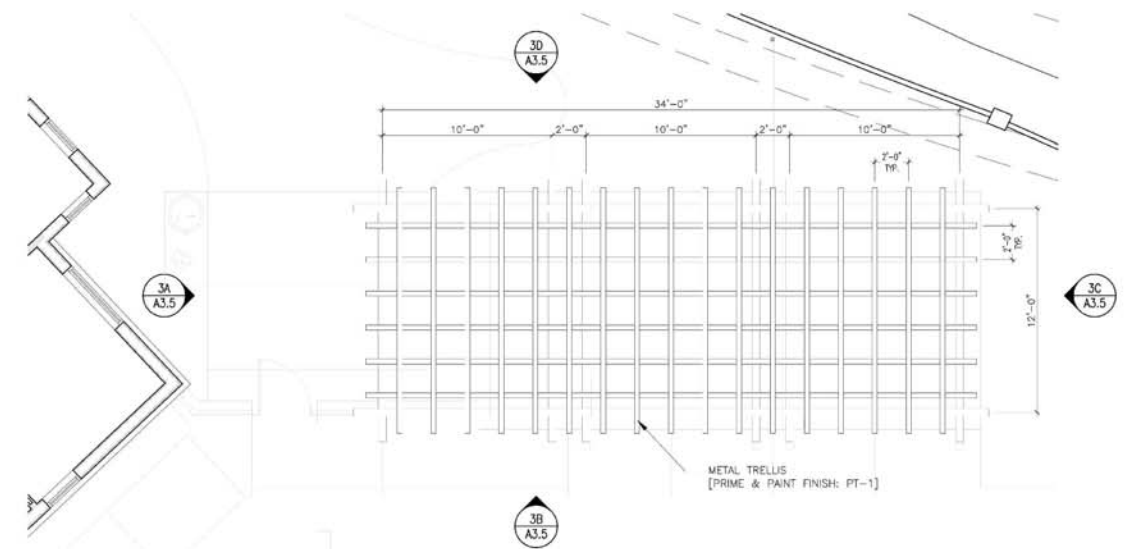
1738 BERKELEY STREET
 SANTA MONICA, CA 90404
 TEL: 310.342.0275
 WWW.VTBC.COM

A0060

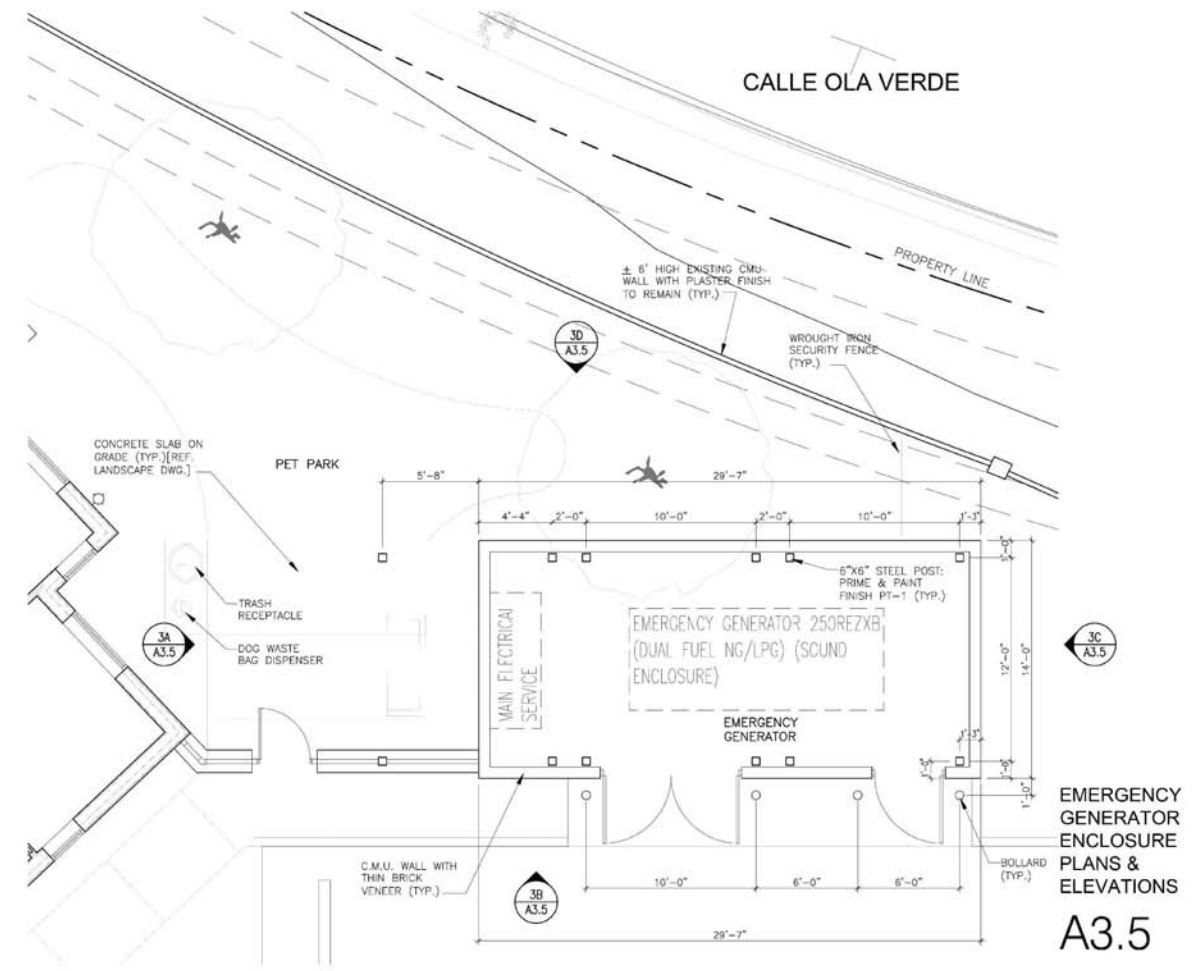
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 ARCHITECTURE • PLANNING • URBAN DESIGN



3 EMERGENCY GENERATOR ENCLOSURE - ELEVATIONS



2 EMERGENCY GENERATOR ENCLOSURE - ROOF PLAN

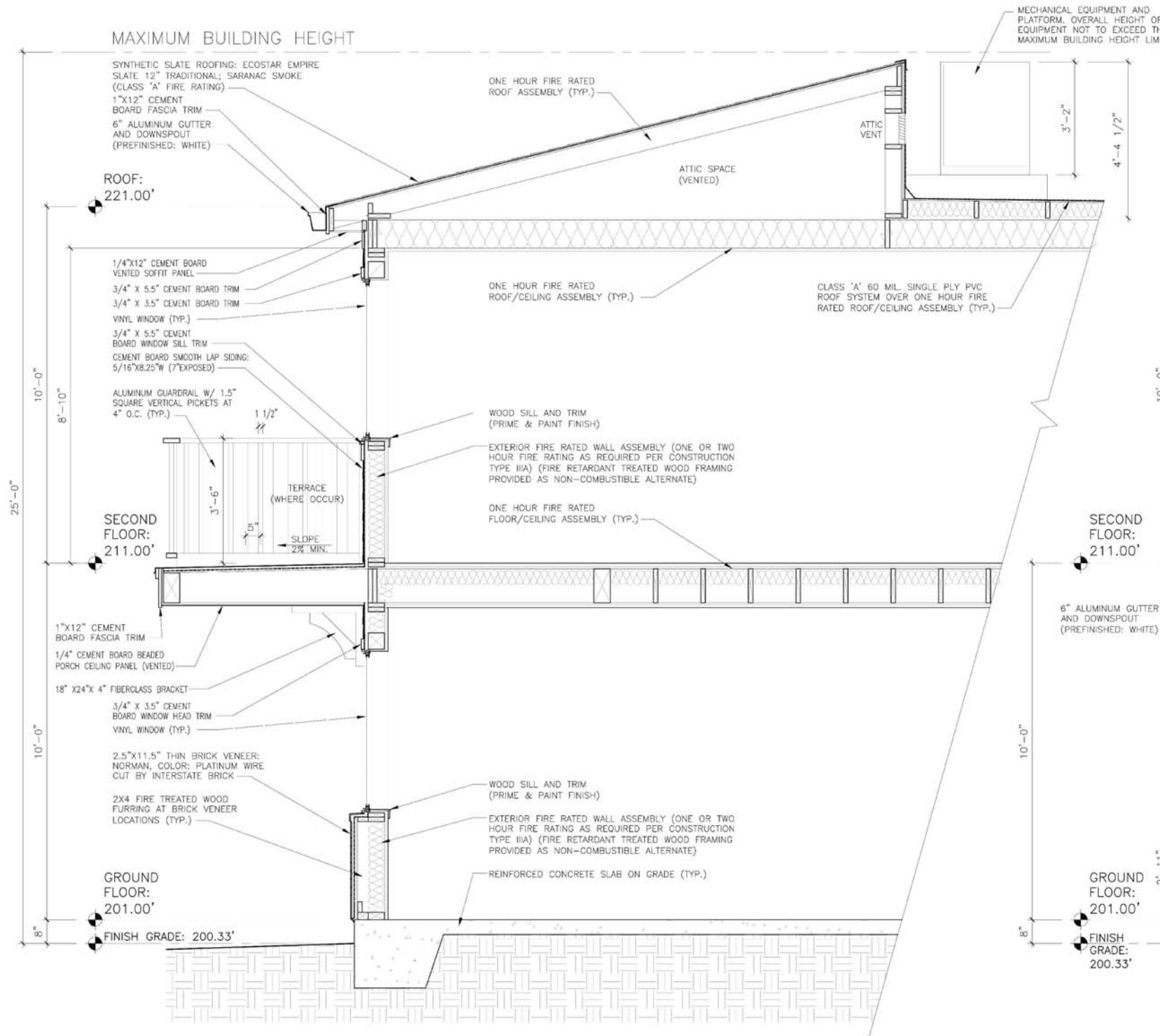


1 EMERGENCY GENERATOR ENCLOSURE - PLAN

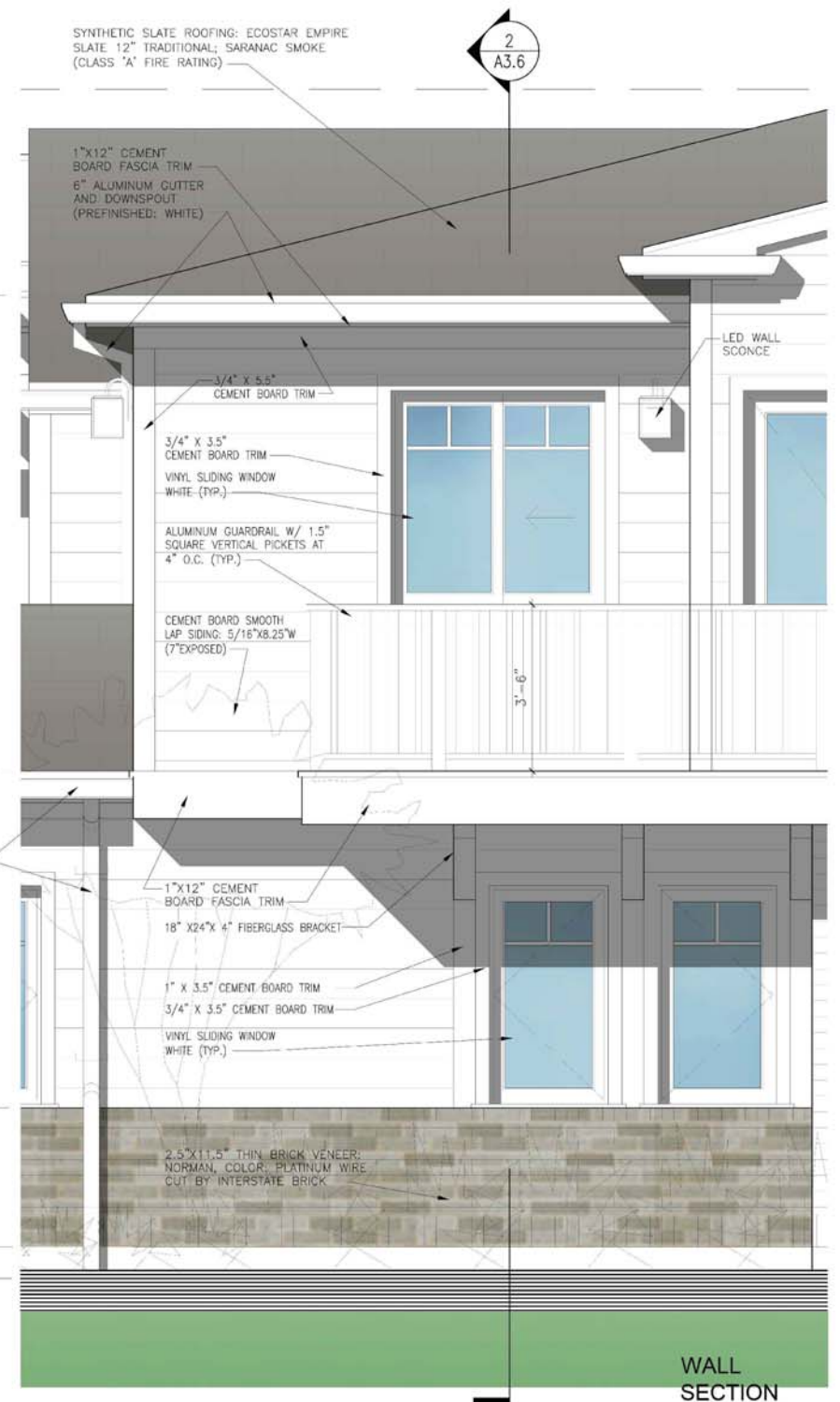
EMERGENCY GENERATOR ENCLOSURE PLANS & ELEVATIONS
A3.5



June 30, 2021



2 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



1 PARTIAL EXTERIOR ELEVATION A3.6
SCALE: 3/4" = 1'-0"



June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

San Clemente Memory Care / Assisted Living
Calle Frontera, San Clemente, CA 92673

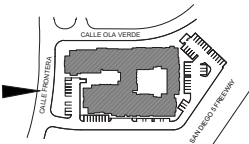
A0060
1734 BERKELEY STREET
SANTA MONICA, CA 90404
TEL: 310.342.0275
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CALLE FRONTERA VIEW
(EXISTING)



CALLE FRONTERA VIEW
(PROPOSED)



Render

A4.0

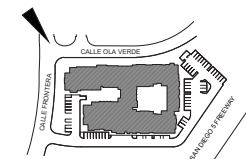
June 30, 2021



CALLE FRONTERA VIEW
(EXISTING)



CALLE FRONTERA VIEW
(PROPOSED)



Render

A4.1

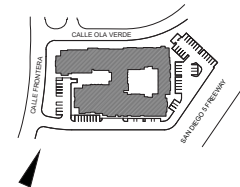
June 30, 2021



CALLE FRONTERA VIEW
(EXISTING)



CALLE FRONTERA VIEW
(PROPOSED)



Render

A4.2

June 30, 2021



SAN DIEGO 5 FREEWAY(SOUTH)
(EXISTING)

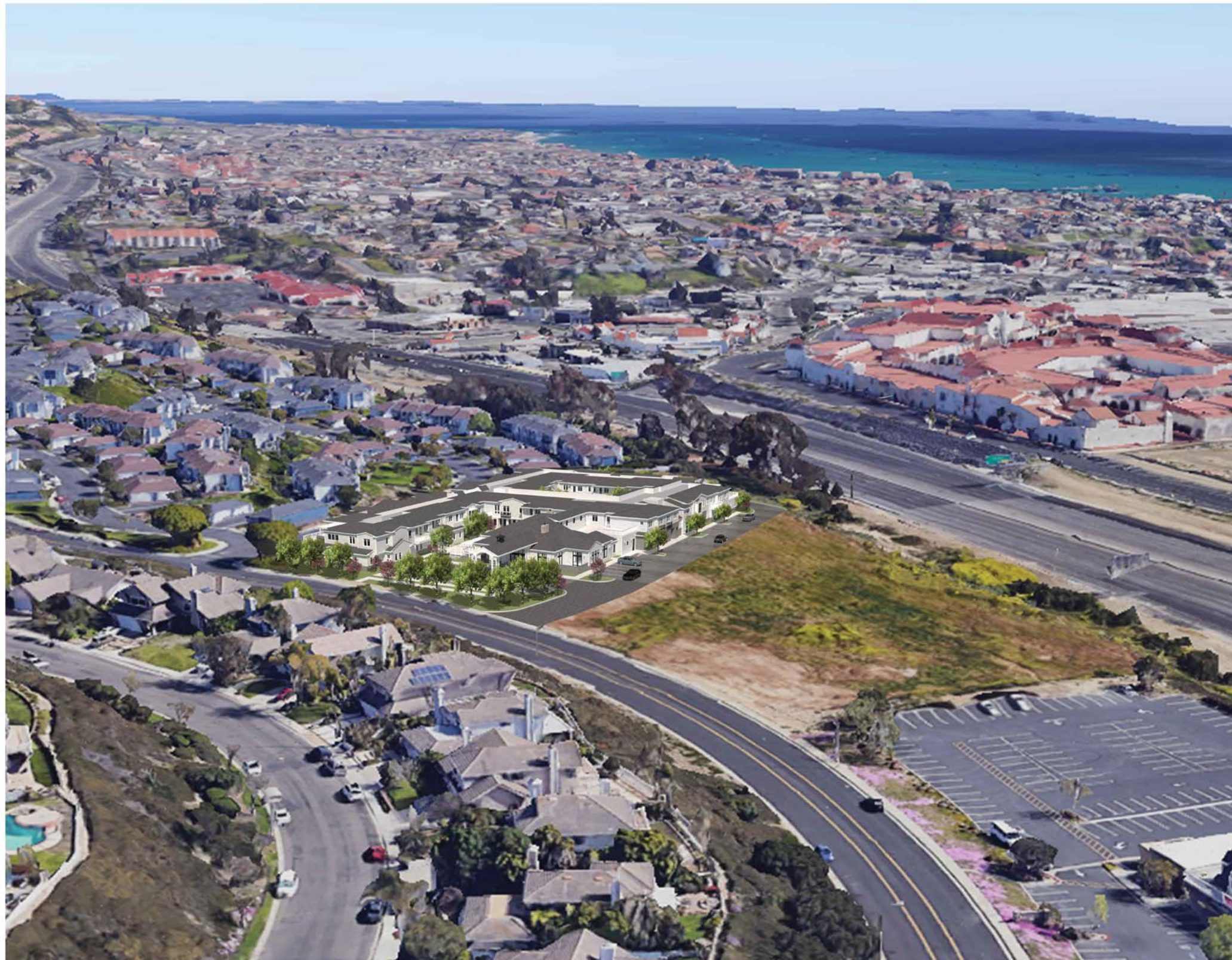


SAN DIEGO 5 FREEWAY(SOUTH)
(PROPOSED)



Render

A4.3



NORTH SIDE VIEW



Render

A4.4

June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
 4514 Cole Avenue
 Suite 1500
 Dallas, Texas 75205

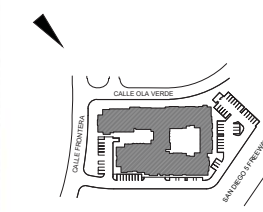
San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

1738 BERKELEY STREET
 SANTA MONICA, CA 90404
 TEL: 310.342.0275 FAX: 310.342.2424
 www.vtbc.com

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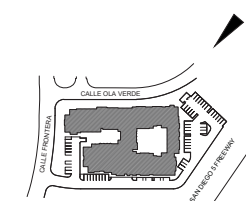


Render
A4.5

EAST SIDE VIEW



SOUTH SIDE VIEW



Render

A4.6

June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

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WEST SIDE VIEW



Render

A4.7

June 30, 2021

PREPARED FOR:
SOUTH BAY PARTNERS LLC
4514 Cole Avenue
Suite 1500
Dallas, Texas 75205

San Clemente Memory Care / Assisted Living

Calle Frontera, San Clemente, CA 92673

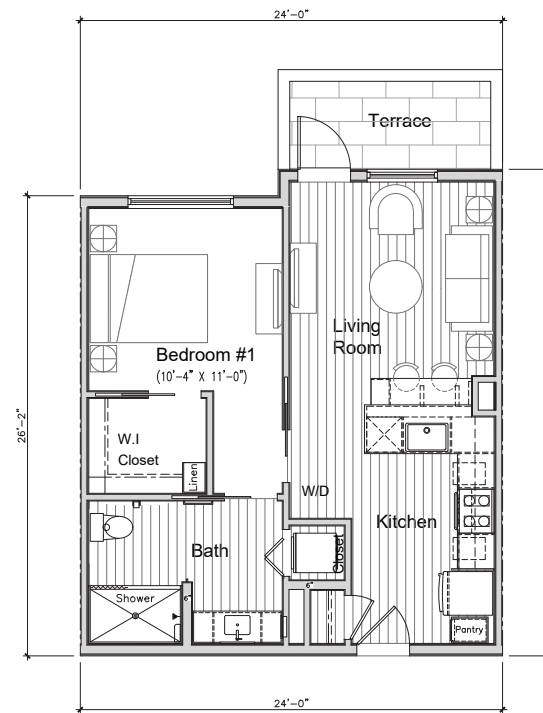
1738 BERKELEY STREET
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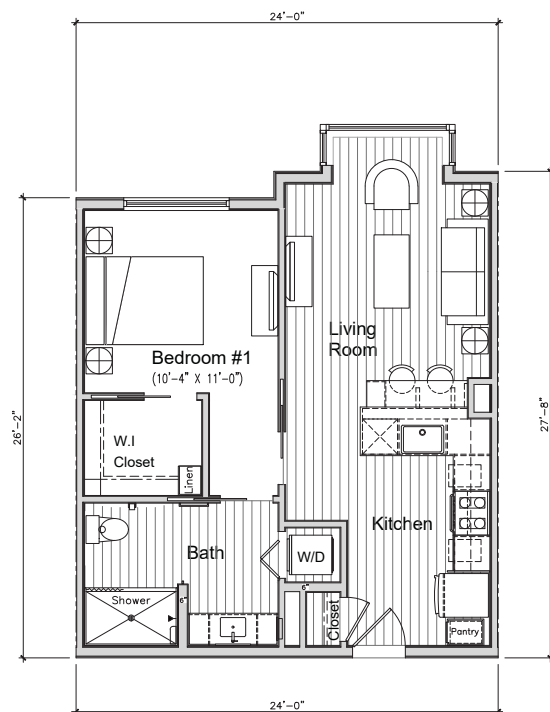
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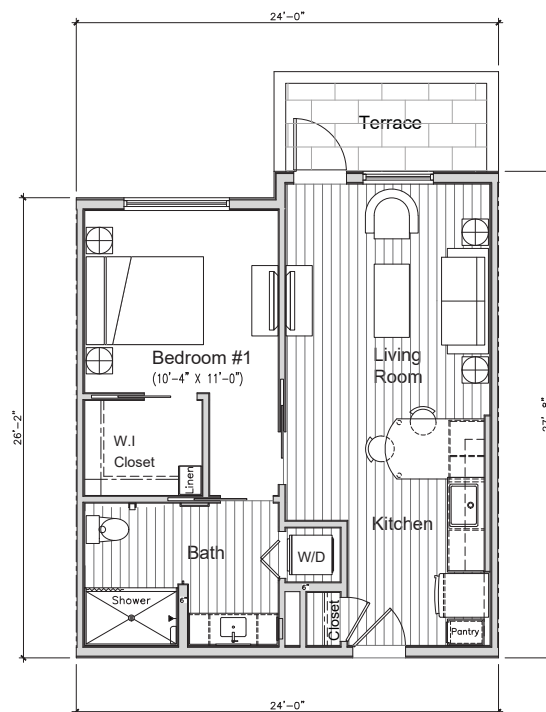
Unit Plan C1 - 2 Bedroom / 1 Bath
(Assisted Living)
[908 sf]



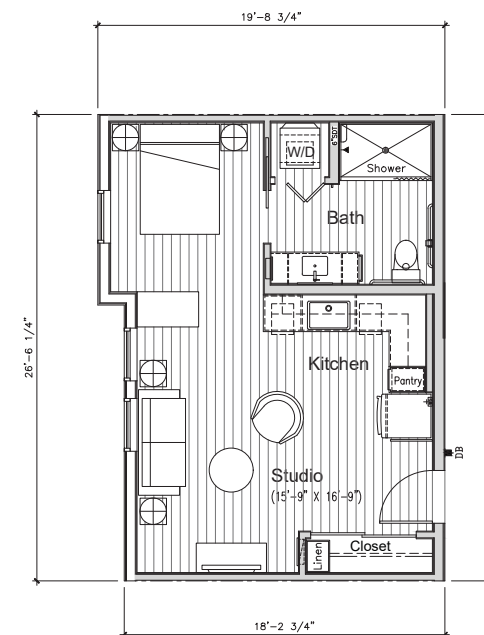
Unit Plan B3 - 1 Bedroom
(Assisted Living)
[628 sf]



Unit Plan B2 - 1 Bedroom
(Assisted Living)
[645 sf]



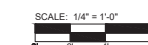
Unit Plan B1 - 1 Bedroom
(Assisted Living)
[628 sf]



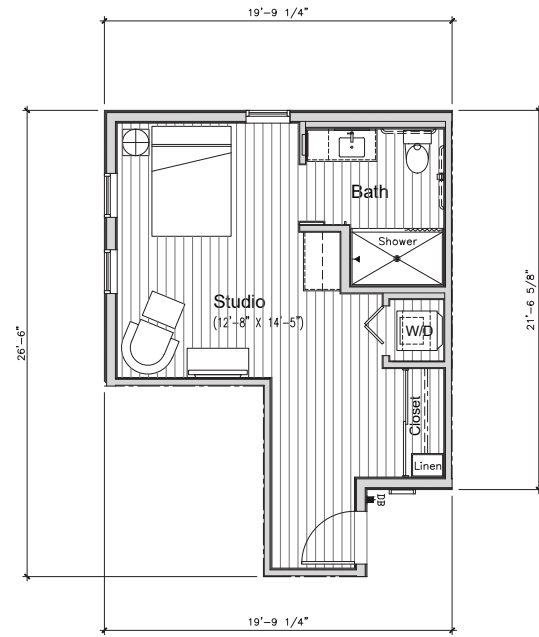
Unit Plan A1 - Studio
(Assisted Living)
[479 sf]

UNIT PLANS

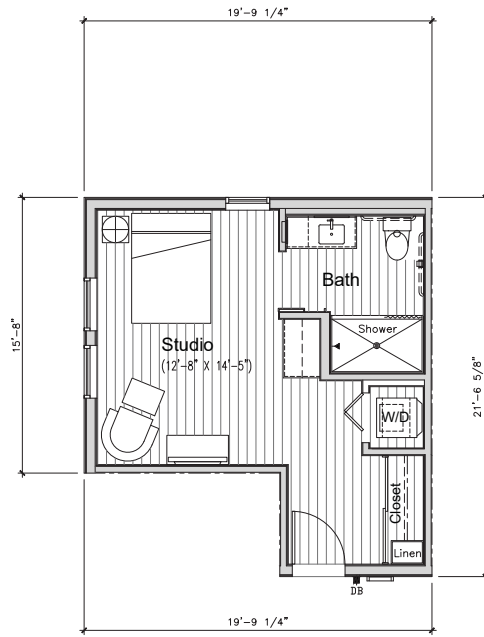
A5.0



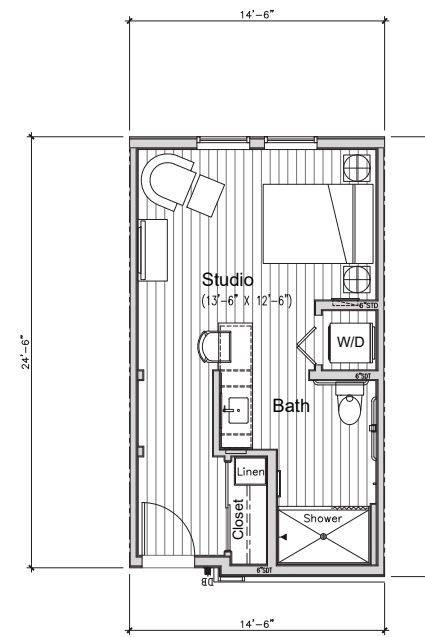
June 30, 2021



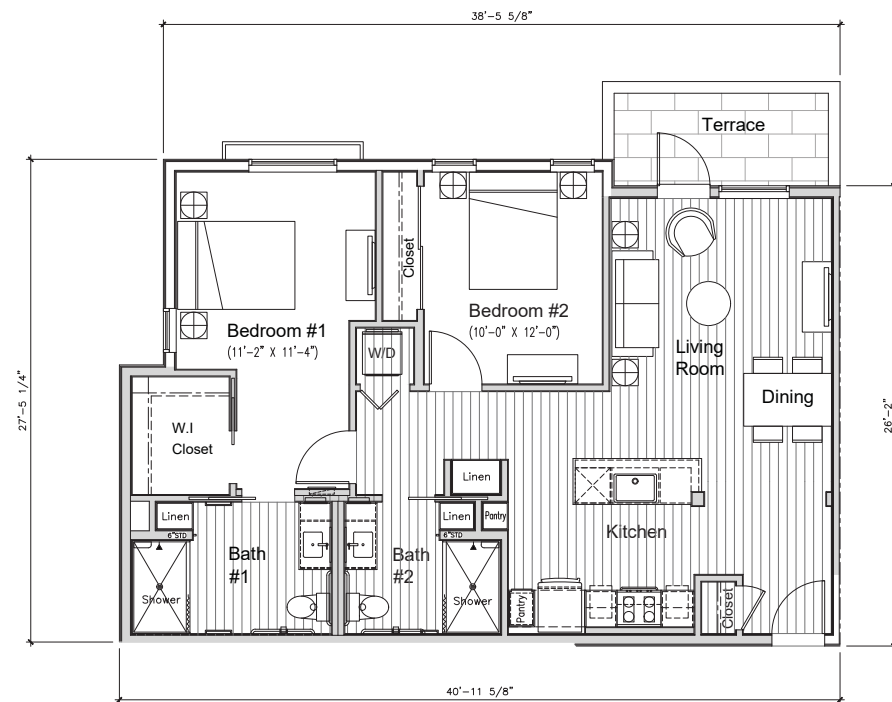
Unit Plan D3 - Studio
(Memory Care)
[376 sf]



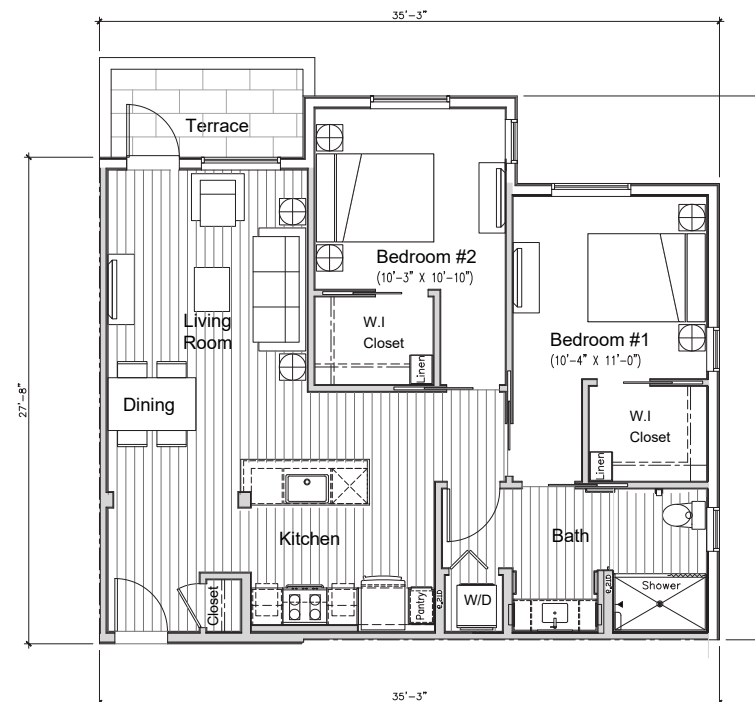
Unit Plan D2 - Studio
(Memory Care)
[335 sf]



Unit Plan D1 - Studio
(Memory Care)
[355 sf]



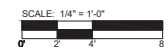
Unit Plan C2 - 2 Bedroom / 2 Bath
(Assisted Living)
[1,034 sf]



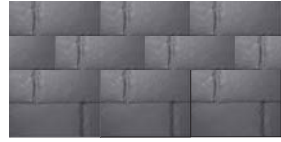
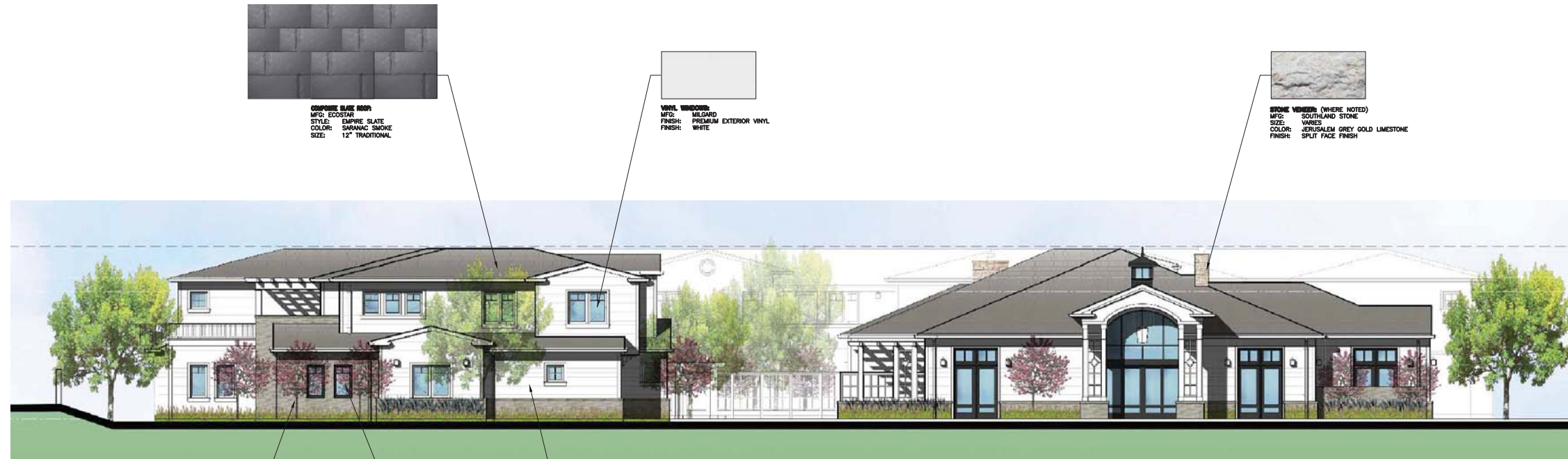
Unit Plan C1.1 - 2 Bedroom / 1 Bath
(Assisted Living)
[952 sf]

UNIT
PLANS

A5.1



June 30, 2021



EMPIRE SLATE ROOF
 MFG: ECOSTAR
 STYLE: EMPIRE SLATE
 COLOR: SARANAC SMOKE
 SIZE: 12" TRADITIONAL



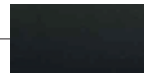
VINYL WINDOWS
 MFG: MILGARD
 FINISH: PREMIUM EXTERIOR VINYL
 FINISH: WHITE



STONE VENEER (WHERE NOTED)
 MFG: SOUTHLAND STONE
 SIZE: VARIES
 COLOR: JERUSALEM GREY GOLD LIMESTONE
 FINISH: SPLIT FACE FINISH



THIN-BRICK VENEER
 MFG: H.C. MUDDOX - THIN BRICK
 2.5" X 11.25" TEXTURE-WIRE CUT
 COLOR: PLATINUM [GRAY GROUT]



VINYL WINDOWS
 MFG: MILGARD
 FINISH: PREMIUM EXTERIOR VINYL
 FINISH: BRONZE



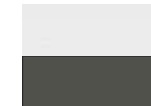
HORIZONTAL SIDING
 CEMENT BOARD SIDING: HARDY PLANK LAP SIDING
 MFG: JAMES HARDIE (OR EQ.)
 SIZE: 8.25" (7" EXPOSED)
 COLOR: ARTIC WHITE (SMOOTH FINISH)
 [ALL TRIM TO MATCH SIDING COLOR AND TEXTURE]



EXTERIOR LIGHTING
 EXTERIOR LED WALL SCONCES
 (ANTIQUE BRONZE FINISH)



EXTERIOR LIGHTING
 MERIDIAN COASTAL OUTDOOR PENDANT
 BY HURONWATON FORGE
 LARGE 9.7" DIA. X 15.7" HEIGHT (LED)
 (COASTAL BRONZE FINISH)



SIGNAL TRIM GUARDRAILS
 PAINT COLOR: [P1-1]
 COLOR: ARTIC WHITE



ACCENT PAINT, WROUGHT IRON RAILS
 PAINT COLOR: [P1-2]
 MFG: DUNN EDWARDS
 COLOR: DE 8371 "Blackjack"



EXTERIOR PRIMARY LIGHTING
 BOLLARD (DARK SKY APPROVED)
 (BRONZE FINISH)



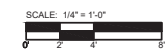
EXTERIOR AREA LIGHTING
 POLE LIGHT (DARK SKY APPROVED)
 (BRONZE FINISH)
 (REFER TO LANDSCAPE LIGHTING PLAN
 FOR ADDITIONAL INFORMATION)



CALLE FRONTERA - NORTH ELEVATION

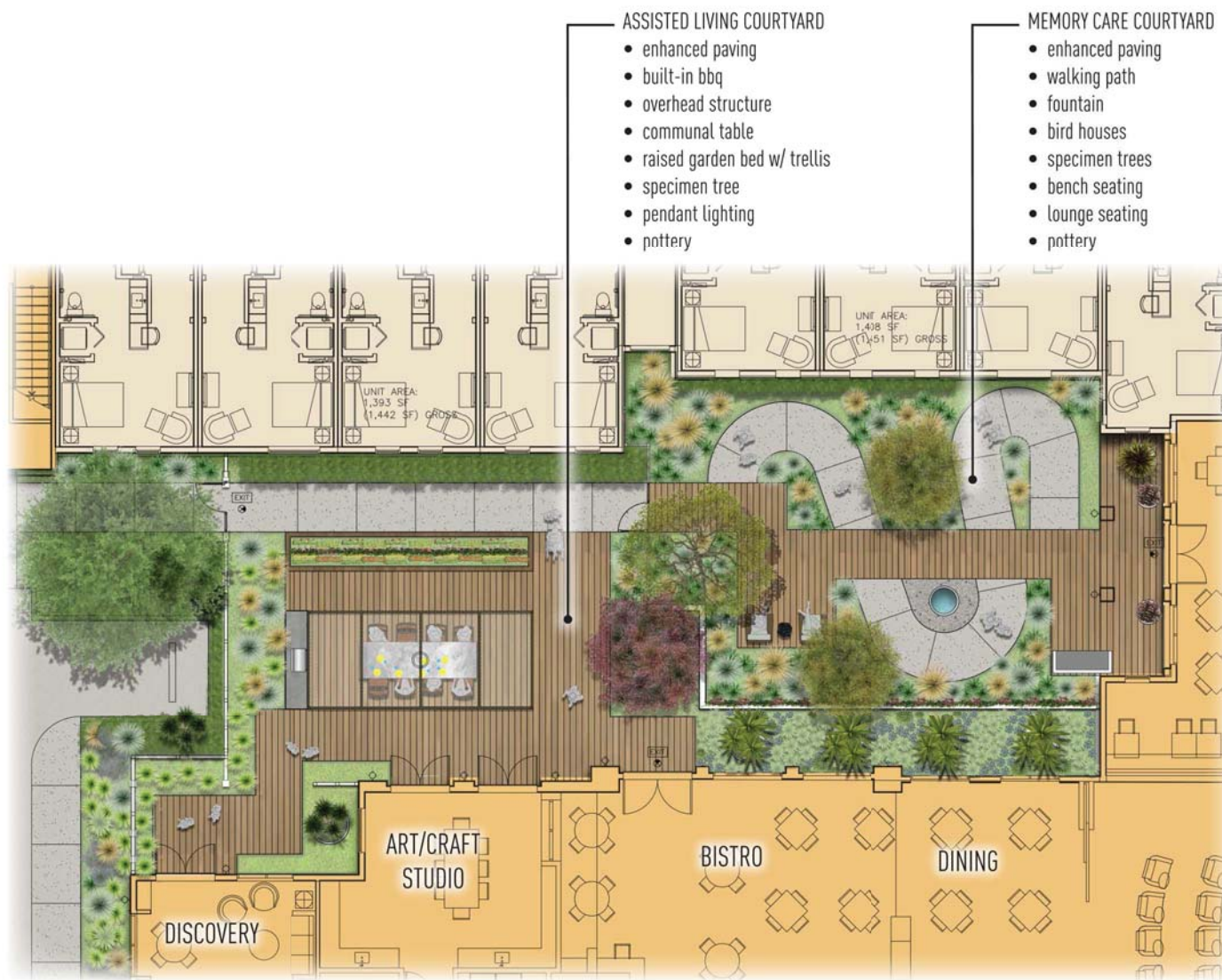
EXTERIOR FINISHES

A6.0

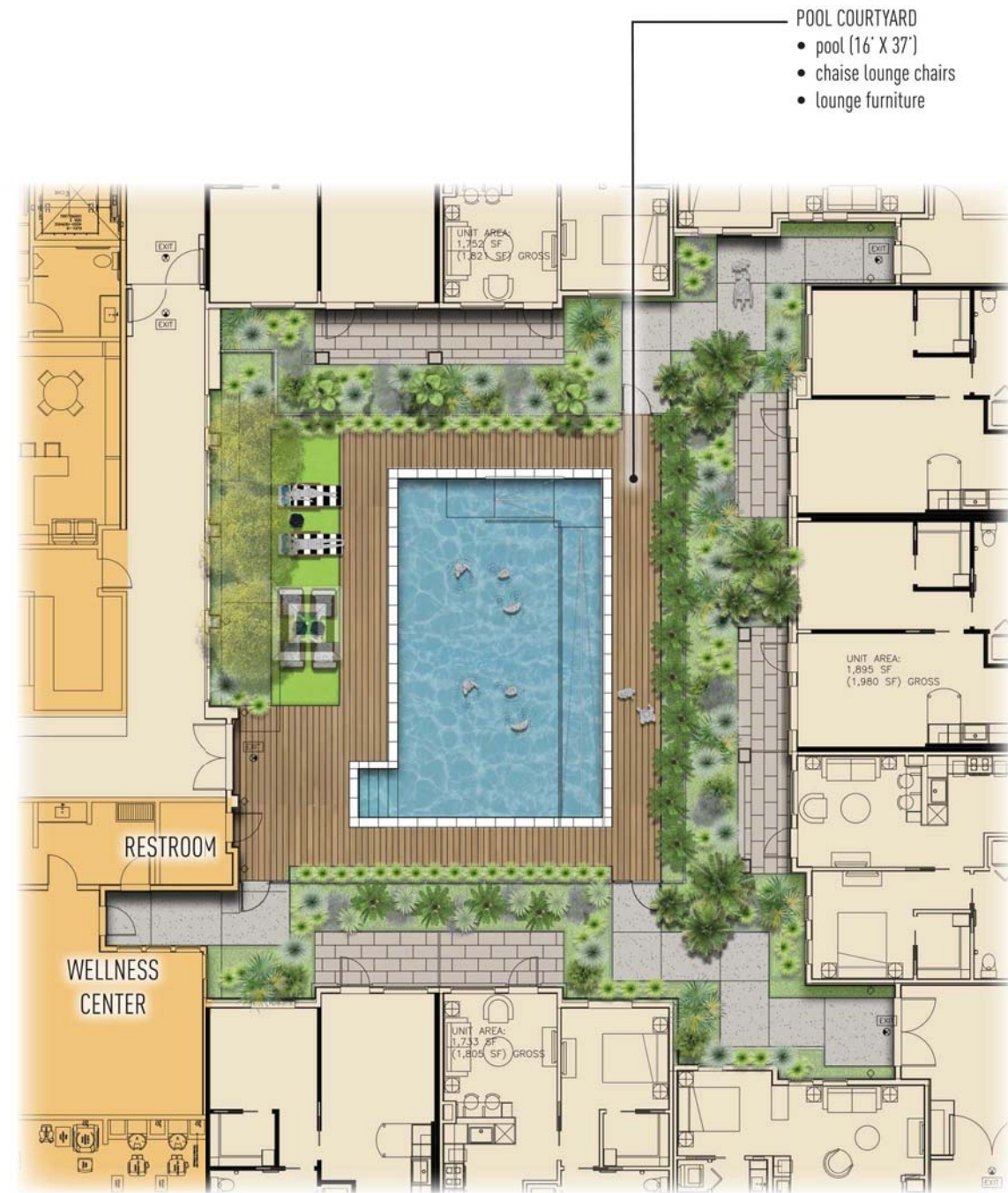


SCALE: 1/4" = 1'-0"
 June 30, 2021

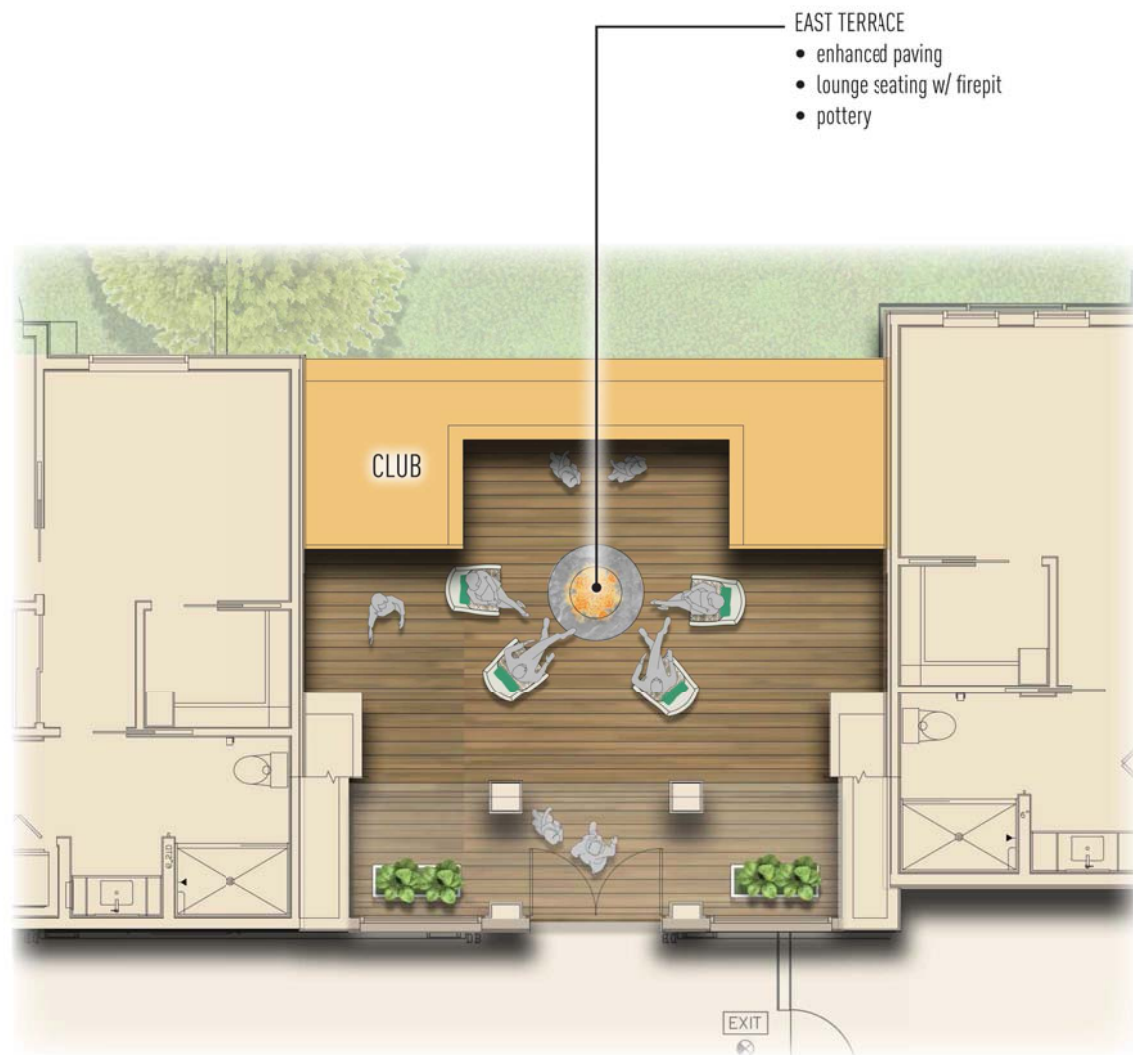




MEMORY CARE & ASSISTED LIVING COURTYARDS



POOL COURTYARD



- EAST TERRACE**
- enhanced paving
 - lounge seating w/ firepit
 - pottery

LEVEL 2 EAST TERRACE



- WEST TERRACE**
- enhanced paving
 - cafe table
 - lounge seating
 - firepit
 - pottery

LEVEL 2 WEST TERRACE



**SAN CLEMENTE
SENIOR HOUSING**


















South Bay Partners, LLC

SCHEMATIC DESIGN
June 30, 2021

LANDSCAPE MOOD IMAGERY



TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY
	AGONIS FLEXUCA	PEPPERMINT TREE	24"BOX	LOW	3
	ALOE BARBERAE	TREE ALOE	24" B.T.H.		4
	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	24"BOX	LOW	6
	CALLISTEMON VMINALIS	WEeping BOTTLE BRUSH	24"BOX	LOW	5
	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	36"BOX	LOW	5
	DRACAENA DRACO	DRAGON TREE	24"BOX	VERY LOW	1
	GEJERA PARVIFLORA	AUSTRALIAN WILLOW	24" B.T.H.		5
	HETEROMELES ARBUTIFOLIA	TOYON	24" B.T.H.		10
	LYONOTHAMNUS F. ASPLENIFOLIUS	FERNLEAF CATALINA IRONWOOD	36"BOX	LOW	4
	OLEA EUROPAEA	OLIVE MULTI-TRUNK	24"BOX	LOW	5
	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE MULTI-TRUNK	48"BOX	LOW	4
	PINUS ELGARICA	AFGHAN PINE	48"BOX	LOW	2
	PINUS TORREYANA	TORREY PINE	24"BOX	LOW	1
	QUERCUS AGRIFOLIA	COAST LIVE OAK	36"BOX	MEDIUM	4
	RHUS LANCEA	AFRICAN SUMAC - STANDARD	36"BOX	LOW	7

PLANT SCHEDULE					
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY
	AGONIS FLEXUOSA	PEPPERMINT TREE	24"BOX	LOW	3
	ALOE BARBERAE	TREE ALOE	24" B.T.H.		4
	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	24"BOX	LOW	6
	CALLISTEMON VIMINALIS	WEeping BOTTLE BRUSH	24"BOX	LOW	5
	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	36"BOX	LOW	5
	DRACAENA DRACO	DRAGON TREE	24"BOX	VERY LOW	1
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" B.T.H.		5
	HETEROMELES ARBUTIFOLIA	TOYON	24" B.T.H.		10
	LYONOTHAMNUS F. ASPLENIFOLIUS	FERNLEAF CATALINA IRONWOOD	36"BOX	LOW	4
	OLEA EUROPAEA	OLIVE MULTI-TRUNK	24"BOX	LOW	5
	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE MULTI-TRUNK	48"BOX	LOW	4
	PINUS ELДАРICA	AFGHAN PINE	48"BOX	LOW	2
	PINUS TORREYANA	TORREY PINE	24"BOX	LOW	1
	QUERCUS AGRIFOLIA	COAST LIVE OAK	36"BOX	MEDIUM	4
	RHUS LANCEA	AFRICAN SUMAC - STANDARD	36"BOX	LOW	7

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
SHRUBS:			
LOW WATER CONSERVING PLANTING AREAS (Parking Lot):			
ECHEVERIA GLAUCA	HENS & CHICKS	1 GAL	LOW
ECHEVERIA PEACOCKII	PEACOCK ECHEVERIA	5 GAL	LOW
AEONIUM ARBOREUM 'SCHWARZKOPF'	AEONIUM	5 GAL	LOW
AGAVE AMERICANA	CENTURY PLANT	15 GAL	VERY LOW
ALOE STRIATA	CORAL ALOE	5 GAL	LOW
DASYLIRION WHEELERI	DESERT SPOON	15 GAL	VERY LOW
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	VERY LOW
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL	VERY LOW
KALANCHOE BEHARENSIS	FELT PLANT	15 GAL	LOW
MUHLENBURGIA CAPILLARIS	PINK MUHLY	5 GAL	MEDIUM
SENECIO MANDRALISCAE	SENECIO	1 GAL	LOW
WESTRINGIA FLORIBUNDA	COAST ROSEMARY	5 GAL	LOW
MEDIUM / LOW TRANSITION PLANTING AREAS (Building Perimeter):			
AEONIUM 'URBICUM' 'SALAD BOWL'	AEONIUM	5 GAL	LOW
ALOE BAINSI	TREE ALOE	24" BOX	LOW
ALOE STRIATA	CORAL ALOE	5 GAL	LOW
ARBUTUS 'COMPACTA'	DWARF STRAWBERRY	5 GAL	LOW
BOUGAINVILLEA ROSENKA	SHRUB BOUGAINVILLEA	5 GAL.	LOW
CALLISTEMON 'LITTLE JOHN'	DWARF CALLISTEMON	5 GAL	LOW
CAREX DIVULSA	BERKELEY SEDGE	5 GAL.	LOW
CHONDRPETALUM 'ELEPHANTINUM'	LARGE CAPE RUSH	5 GAL.	LOW
DIANELLA REVOLUTA	LITTLE REV	5 GAL	LOW
DRACAENA DRACO	DRAGON TREE	24" BOX	VERY LOW
FESTUCA MAIREI	ATLAS FESCUE	1 GAL	LOW
FESTUCA OVINA GLAUCA	BLUE FESCUE	5 GAL	LOW
LOMANDRA LONGIFOLIA 'BREEZE'	SPINY-HEADED MAT RUSH	5 GAL.	LOW
ROSMARINUS PROSTRATUS	DWARF ROSEMARY	5 GAL.	LOW
SALVIA CLEVELANDII	CA BLUE SAGE	5 GAL	VERY LOW
TEUCRIUM CHAMAEDRYIS	GERMANDER	5 GAL	LOW
MEDIUM / LOW ENHANCED SHRUBS (Entry Drive & Pool Courtyard):			
AGAVE ATTENUATA 'MOONGLOW'	FOXTAIL AGAVE	15 GAL.	LOW
ALYOGYNE HUEGELII	BLUE HIBISCUS	15 GAL	LOW
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	5 GAL.	LOW
CARISSA M. 'HORIZONTALIS'	NATAL PLUM	5 GAL.	LOW
CRASSULA OVATA	JADE PLANT	15 GAL.	LOW
FURCRACEA FOETIDA 'MEDIOPICTA'	MAURITIUS HEMP	15 GAL.	LOW
PRUNUS ILICIFOLIA SPP. LYONII	CATALINA CHERRY	24" BOX	LOW

ORGANIC MULCHES:
3" THICK SHREDDED BARK MULCH
(SHRUB AREAS - ALL HYDROZONES)

- CITY OF SAN CLEMENTE PLANT PALETTE NOTES:**
- ALL LANDSCAPING SHALL CONSIST OF NATIVE OR NON-NATIVE DROUGHT TOLERANT NON-INVASIVE PLANT SPECIES
 - NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE BY THE CALIFORNIA NATIVE PLANT SOCIETY, THE CALIFORNIA INVASIVE PLANT COUNCIL, OR AS MAY BE IDENTIFIED FROM TIME TO TIME BY THE STATE OF CALIFORNIA SHALL BE EMPLOYED OR ALLOWED TO NATURALIZE OR PERSIST ON THE SITE.
 - NO PLANT SPECIES LISTED AS A "NOXIOUS WEED" BY THE STATE OF CALIFORNIA OR THE U.S. FEDERAL GOVERNMENT SHALL BE UTILIZED WITHIN THE PROPERTY.
 - ALL PLANTS SHALL BE LOW WATER USE PLANTS IDENTIFIED BY CALIFORNIA DEPARTMENT OF WATER RESOURCES.
 - ANY EXISTING LANDSCAPING THAT DOES NOT MEET THE ABOVE REQUIREMENTS SHALL BE REMOVED.
 - ALL PLANTING SHALL PROVIDE 90 PERCENT COVERAGE WITHIN 90 DAYS AND SHALL BE REPEATED IF NECESSARY TO PROVIDE SUCH COVERAGE; AND
 - ALL PLANTINGS SHALL BE MAINTAINED IN GOOD GROWING CONDITION THROUGHOUT THE LIFE OF THE PROJECT, AND WHENEVER NECESSARY, SHALL BE REPLACED WITH NEW PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH THE LANDSCAPE PLAN.
 - ALL PLANT SELECTIONS TO MEET THE CRITERIA SET FORTH IN THE MARBLEHEAD COASTAL SPECIFIC PLAN**



IRRIGATION HYDROZONES	
	HYDRO-ZONE 1 - SHADE EXPOSURE (NORTHEAST FACING) - 10,365 SF IRRIGATION TECHNIQUE SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 2 - SUN EXPOSURE (SOUTHWEST FACING) - 9,064 SF IRRIGATION TECHNIQUE SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 2 - SUN EXPOSURE (NORTHEAST FACING) - 1,362 SF IRRIGATION TECHNIQUE SUB SURFACE DRIP IRRIGATION
	HYDRO-ZONE 2 - SUN EXPOSURE (SOUTHWEST FACING) - 1,857 SF IRRIGATION TECHNIQUE SUB SURFACE DRIP IRRIGATION

TOTAL LANDSCAPE AREA
TOTAL LOT AREA: 22,648 SF

IRRIGATION CONCEPT STATEMENT:

IRRIGATION ZONES: IRRIGATION HYDRO-ZONES SHALL HAVE PLANTS GROUPED WITH SIMILAR WATERING REQUIREMENTS.

DEPTH OF IRRIGATION LINES: ALL ON-GRADE LATERAL LINES SHALL BE BURIED TO A DEPTH OF 18" MIN. ALL IN-GRADE MAINLINES SHALL BE BURIED TO A DEPTH OF 24" MIN.

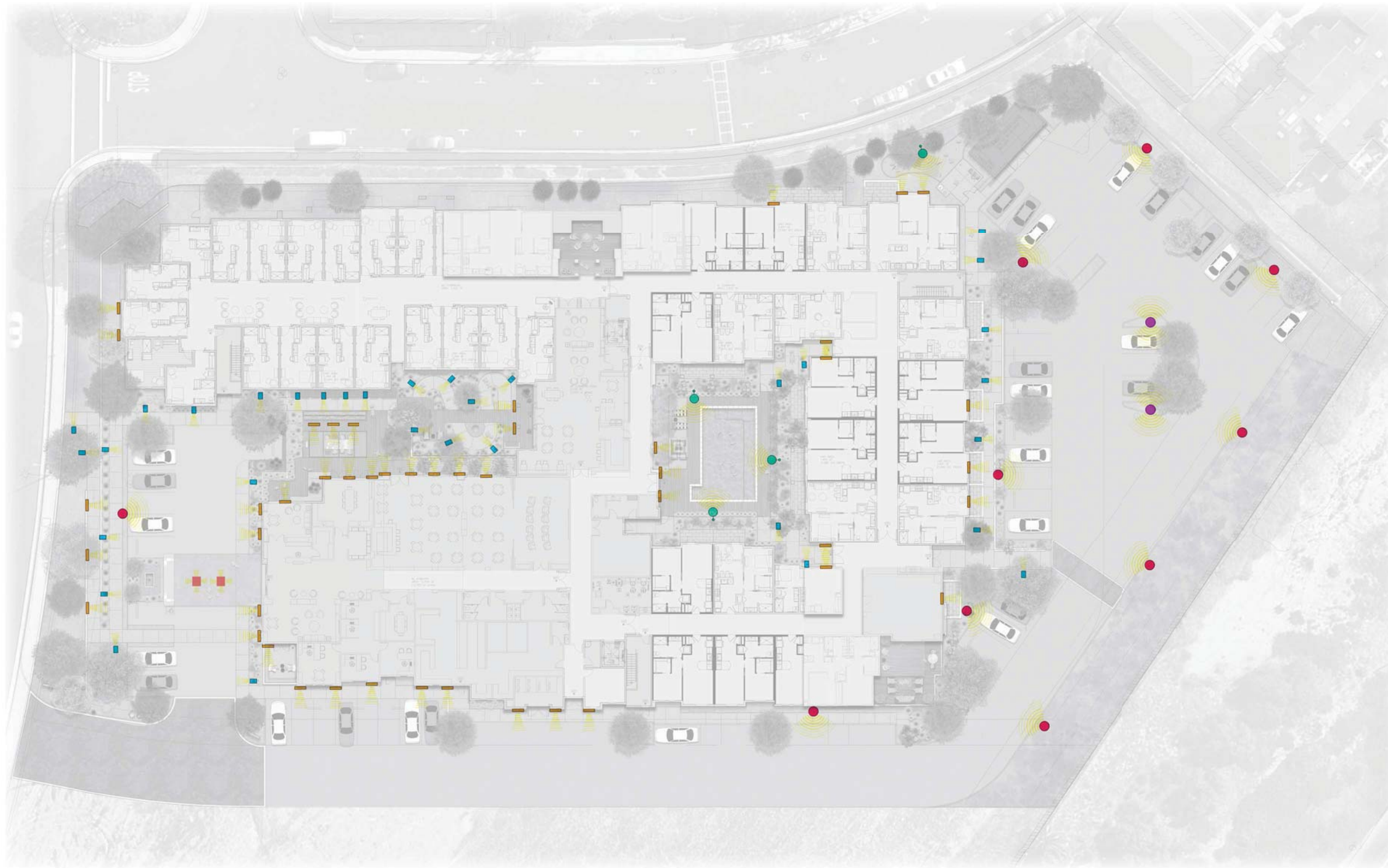
BACKFLOW PREVENTOR: BACKFLOW PREVENTOR SHALL BE A REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTOR (FEBCO 825Y OR EQUAL) TYPE AS APPROVED BY WATER SURVEYOR and SCREENED WITH LANDSCAPING FROM PUBLIC VIEW.

IRRIGATION SMITTERS: ALL SHRUB AREAS SHALL BE IRRIGATED USING DRIP IRRIGATION SYSTEM. ALL TREES SHALL BE IRRIGATED USING BUBBLER AND/OR DRIP IRRIGATION SYSTEM. ALL GROUND COVER AREAS SHALL BE IRRIGATED USING DRIP IRRIGATION SYSTEM.

IRRIGATION CONTROLLER: CONTROLLER SHALL BE AUTOMATIC WITH MULTIPLE PROGRAMMING CAPABILITY. CONTROLLER TO BE REPROGRAMMED SEASONALLY TO MINIMIZE RUNOFF and OVER WATERING. "SMART" CONTROLLER WEATHER TRACKING DEVICES SHALL BE UTILIZED TO CONTROL IRRIGATION CYCLES ACCORDING TO SPECIFIC IRRIGATION REQUIREMENTS.

CLASS OF IRRIGATION PIPE: ALL MAINLINE SHALL BE CLASS 315 PVC. ALL LATERAL LINES SHALL BE CLASS 200 PVC.

THE IRRIGATION DESIGN SHALL COMPLY WITH THE CRITERIA OF CITY OF SAN CLEMENTE WATER CONSERVATION POLICIES and REQUIREMENTS.



EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE/TECHNIQUE	LOCATION
	PEDESTRIAN POLE LIGHT (FULL SHIELDS)	POOL COURTYARD DOG PARK
	VEHICULAR POLE LIGHT - 1 ARM (FULL SHIELDS)	SITE PERIMETER
	VEHICULAR POLE LIGHT - 2 ARM (FULL SHIELDS)	SITE PERIMETER
	42" HT BOLLARD	PEDESTRIAN WALKWAYS
	DOWN LIGHT	PORTE COCHERE
	BUILDING MOUNTED SCONCE OR WALL MOUNTED LOUVER LIGHTS	SITE WIDE

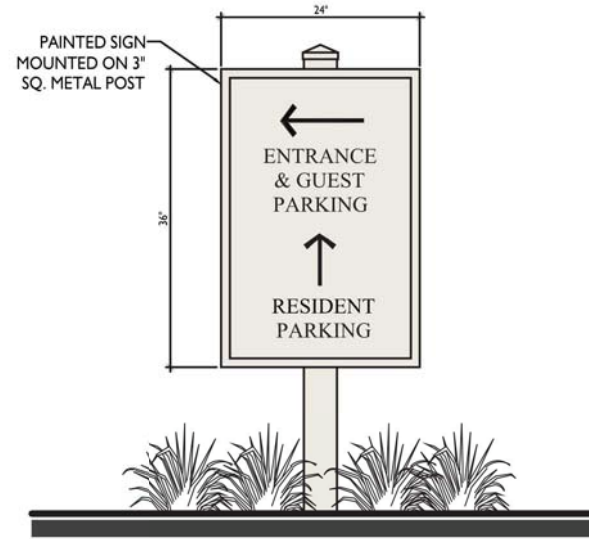
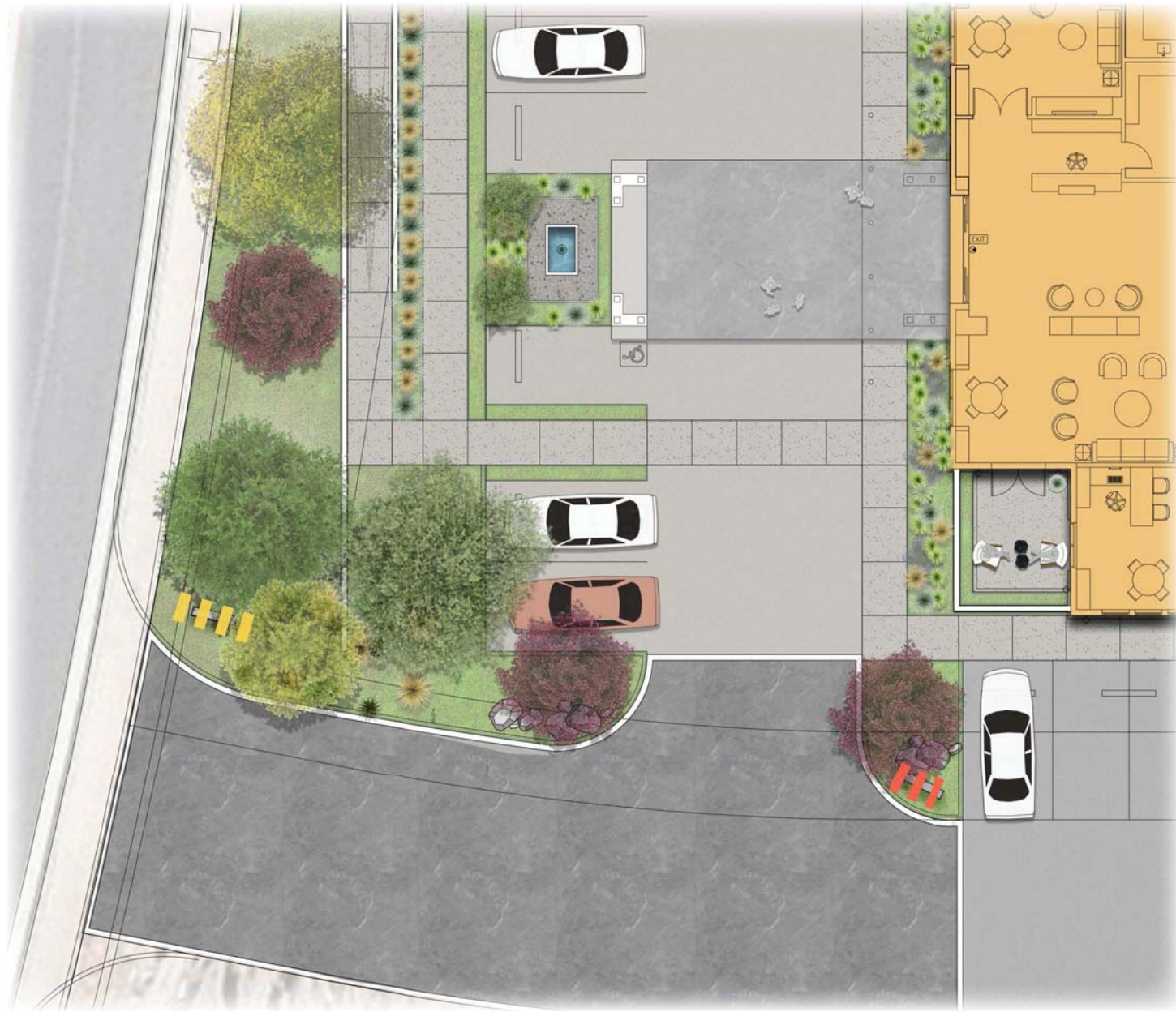
LIGHTING CONCEPT:

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

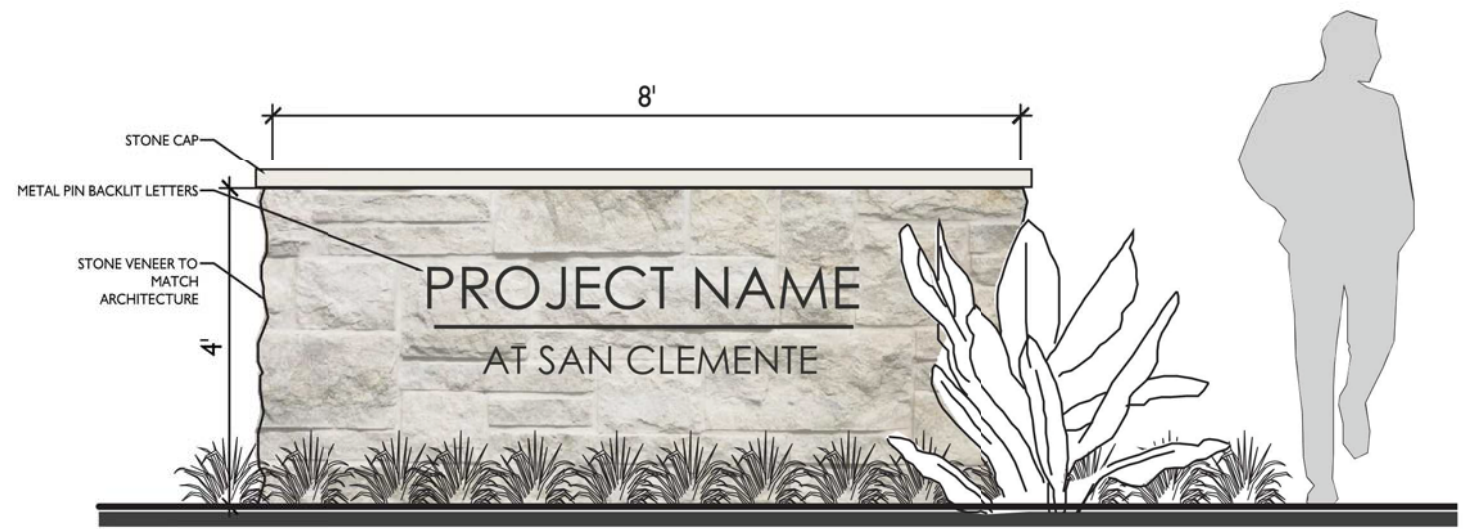
WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE L.E.D. OR METAL HALIDE.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED. **SHIELDS WILL BE USE TO DIRECT LIGHT DOWNWARD.**

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.



A. DIRECTIONAL SIGNAGE ELEVATION



B. PROJECT SIGNAGE ELEVATION

