



## Design Review Subcommittee (DRSC)

Meeting Date: August 11, 2021

**PLANNER:** David Carrillo, Assistant Planner

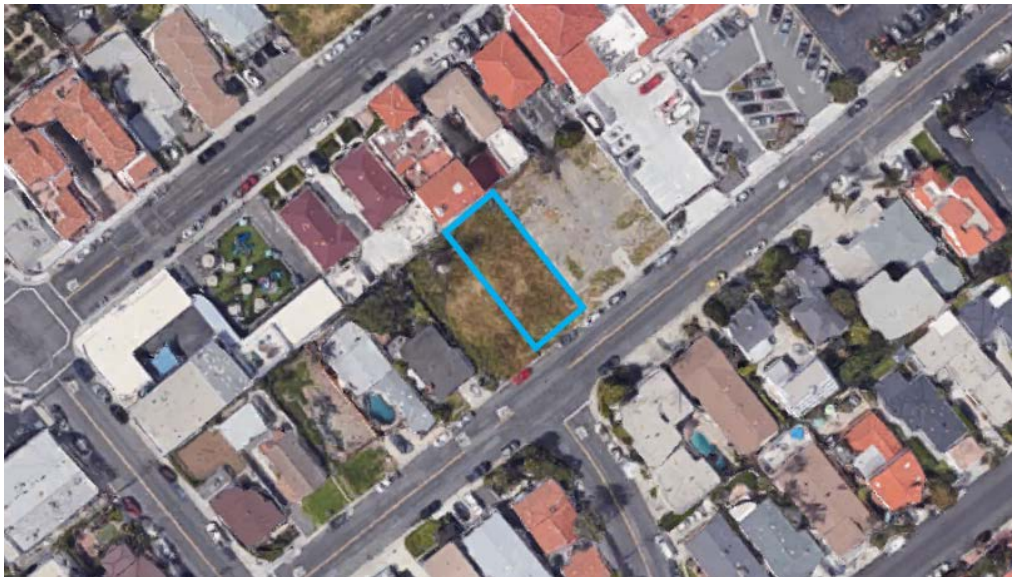
**SUBJECT:** **Cultural Heritage Permit 21-054, Casa Rosa Duplex**, a request to consider the construction of a two-story duplex building on a vacant lot located within the Architectural Overlay District.

### **BACKGROUND:**

#### *Site Data*

The project site is a 4,000 square-foot interior, vacant lot located within the Residential Medium Zoning District and Architectural Overlay District (RM-A). Surrounding land uses include single- and multi-family residential buildings, and an Orange County Fire Authority station and senior care center to the east. The site's legal description is N TR 779 BLK 8 LOT 31, and Assessor's Parcel Number 058-091-15. Image 1 below is an aerial view of the site. See Attachment 2 for photographs of existing conditions.

#### **Image 1 – Aerial View of Project Site**



#### *Project Description*

The applicant proposes a 5,100 square-foot two-story duplex building designed in the Spanish Colonial Revival architectural style. Each unit consists of a rooftop deck and an

attached two-car tandem garage, accessed through concrete-paved driveways. Trash containers would be stored on either side of the building, and screened from public view by side yard gates. Design elements proposed include a clay tile roof, exposed rafter tails, smooth white stucco, vinyl windows, and wood doors (including the garage door), balconies, wrought iron, and wood trellis eyebrows. Landscaping consists of one pygmy date palm and one lemon tree in the front yard, along with natural turf. Minimal natural turf is also provided on the side and rear yards. Image 2 below shows a 3D rendering of the proposed duplex building. See Attachment 3 for a complete set of renderings, and Attachment 5 for conceptual plans.

**Image 2 – 3D Rendering of Proposed Duplex**



*Why is DRSC Review Required?*

Since the project site is within the Architectural Overlay District, the proposed duplex requires a Cultural Heritage Permit (CHP) and review by the Design Review Subcommittee (DRSC). The purpose of this review is for the DRSC to provide feedback to the applicant on architectural design issues, such as architectural quality and style, massing, scale, proportions, landscaping, materials, design features, and the project's consistency with the City's Design Guidelines.

**ANALYSIS:**

*Development Standards*

The proposed project is consistent with all applicable development standards, as shown in Table 1 below.

**Table 1 – RM Development Standards**

<b><i>Standard</i></b>	<b><i>Zoning Ordinance</i></b>	<b><i>Proposed</i></b>	<b><i>Complies with the Code</i></b>
<u>Setbacks</u> (Minimum)			
Front	15'-0"	15'-0"	Yes
Side	5'-0"	5'-0"	Yes
Rear	5'-0"	5'-0"	Yes
<u>Lot Coverage</u> (Maximum)	55%	51%	Yes
<u>Building Height</u> (Maximum)	25'	24.95'	Yes
<u>Parking</u> (Minimum for two units)	4	4	Yes
<u>Landscaping</u>	Setback areas visible from a public street must be landscaped (except for entry walkways and driveways)	Setback areas visible from a public street.	Yes

*Architecture*

The project is consistent with the Architectural Overlay District goal to preserve the Spanish Village character in that the applicant is proposing a form of Spanish Colonial Revival architecture. The window and door materials are consistent with the City's Window Materials Policy (see Attachment 4). Additionally, the project's scale, mass, and form is generally consistent with the neighborhood consisting of one- and two-story residential buildings with street-facing garages and front yard landscaping. However, staff believes the project is not a true example of Spanish Colonial Revival architecture, and can improve it's consistency with the City's Design Guidelines and General Plan Policies with a few modifications, to achieve a better example of Spanish Colonial Revival architecture.

Several design guidelines and General Plan policies have been identified below, along with recommendations on how the project may be modified to improve its consistency with each guideline and policy. Staff is also recommending that the applicant review and

apply the Henry Lenny Architectural Guidelines to assist with the building's ornamentation.

- Design Guidelines
  - DG II.B.3. - Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.
    - Recommendation: Provide a larger front yard setback on the second story, either fully or partially, or extend the front balcony towards the front of the building, in conjunction with stepping the second level back, to reduce massing impacts. Existing two-story buildings in the immediate neighborhood mitigate massing impacts through the use of larger setbacks, front-facing balconies or landscaped buffers.
  - DG II.C.2 - Ornament and sculptural detail are located where special emphasis is desired, such as at entrance and tiled patio areas.
    - Recommendation: Emphasize the entry to both units.
  - DG II.C.3 - Reduce the perceived height and bulk of large structures by dividing the building mass into smaller components.
    - Recommendation: At the front of the building, reduce the size of the hip roof by only sheltering living space, and provide another roof element for the balcony, in conjunction with stepping the second level back.
  - DG II.C.3.c - The area of solid building wall should be greater than the total area of door and window openings in the wall, except at shopfront locations.
    - Recommendation: Remove wood trellis eyebrows.
    - Recommendation: Reduce the size of windows on the front elevation.
  - DG II.C.3.c - The relation between the height of a column and its mass or thickness should be visually consistent with the weight of the overhead structure it supports.
    - Recommendation: Reduce the bulkiness of the balcony on the east elevation by removing stucco columns.

- DG II.D.2 - Tile pavers are typical of San Clemente's earliest paving patterns and may be incorporated either as trim for concrete slabs or used to pave entire surfaces.
  - Recommendation: Incorporate red tile pavers on walkways, or replace concrete walkway steps with red tile pavers.
- DG II.D.2 - Site walls and planters should blend with the development's architecture so they appear to be extensions of the buildings.
  - Recommendation: Remove surrounding wood frame around side yard gates. The proposed wood frames better represent the old west style of architecture.
- DG IV.G.2.c - Rectangular wooden casement frames with small panes of glass.
  - Recommendation: Provide windows with divided lites to create glass panes.
- General Plan Policies
  - LU – 1.05.b. - Design all building elevations to convey the visual character of individual units rather than a single, continuous building mass and volume.
    - Recommendation: Emphasize the entry to both units.
  - LU – 1.05.i. - Minimize the total area of driveway paving in relation to landscaping.
    - Recommendation: Reduce the amount of concrete on the driveway by providing turf block pavers.

*Landscaping*

The City's Landscape Consultant reviewed the preliminary landscape plan and determined that more detail on the plan is required prior to obtaining preliminary approval. More detail on the proposed plant palette is requested in order to identify plant species and their compliance with the City's drought-tolerant and native standards. Additionally, vertical vines along the property parameter to soften wall surfaces are recommended. Prior to scheduling the project for a Planning Commission hearing, the applicant will need to address comments from the City's Landscape Consultant.

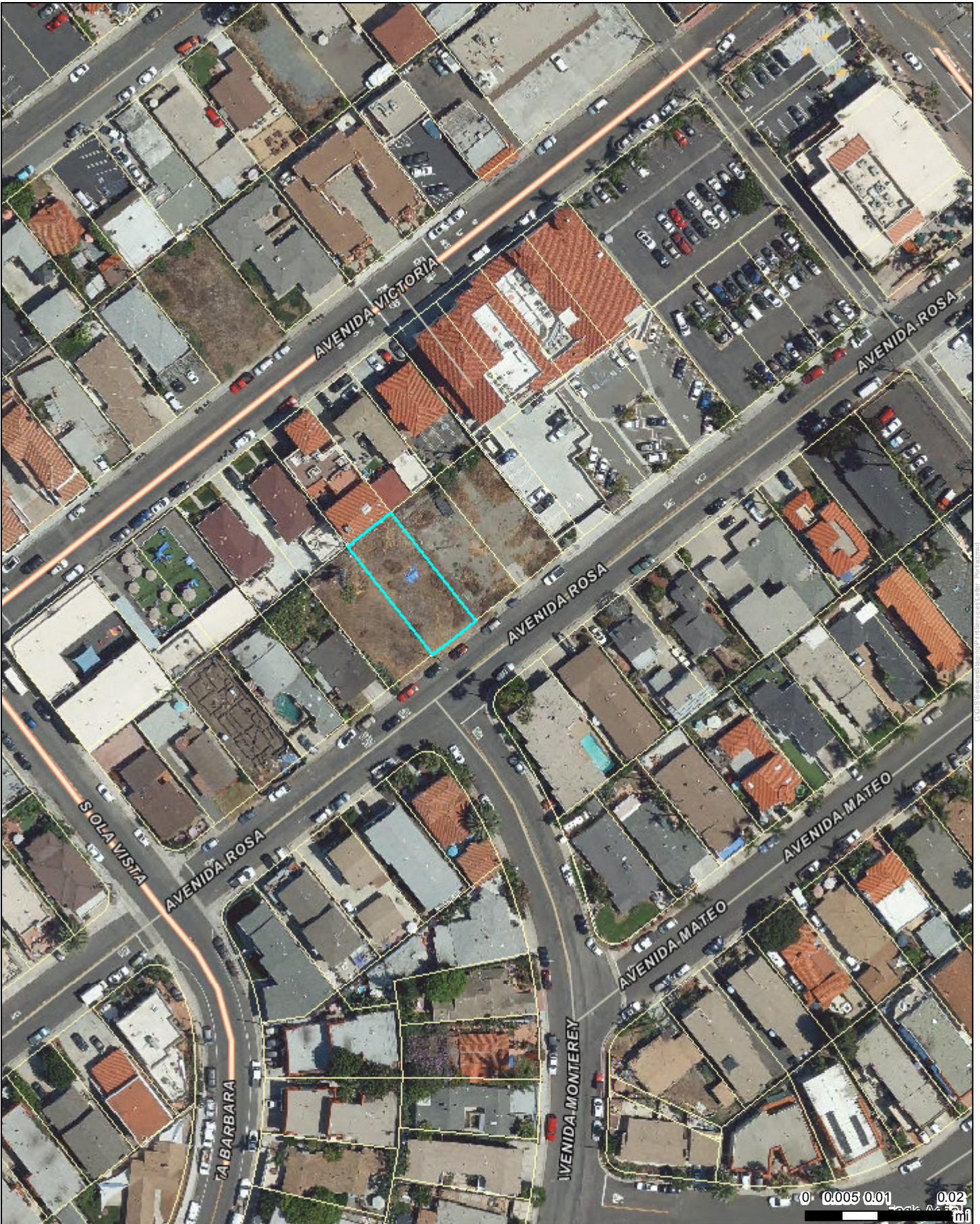
**RECOMMENDATIONS:**

Staff recommends several changes to improve the quality of the project and consistency with design guidelines and General Plan Policies. Below is a list of recommendations:

1. Provide a larger front yard setback on the second story, either fully or partially, or extend the front balcony towards the front of the building to reduce massing impacts. Existing two-story buildings in the immediate neighborhood mitigate massing impacts through the use of larger setbacks, front-facing balconies, or landscaped buffers.
2. Emphasize the entry to both units.
3. At the front of the building, reduce the size of the hip roof by only sheltering living space, and provide another roof element for the balcony, in conjunction with stepping the second level back.
4. Remove wood trellis eyebrows.
5. Reduce the size of windows on the front elevation.
6. Reduce the bulkiness of the balcony on the east elevation by removing stucco columns.
7. Incorporate red tile pavers on walkways, or replace concrete walkway steps with red tile pavers.
8. Remove surrounding wood frame around side yard gates.
9. Provide windows with divided lites to create glass panes.
10. Reduce the amount of concrete on the driveway by providing turf block pavers.
11. Review and apply the Henry Lenny Architectural Guidelines to assist with the building's ornamentation.
12. Address comments provided by the City's Landscape Consultant.

***Attachments:***

1. Location Map
2. Photos of Existing conditions
3. 3D Renderings
4. Window Materials Policy
5. Conceptual Plans



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City of San Clemente, CA, 2021



CHP 21-054, CASA ROSA DUPLEX  
APN: 058-091-15

SITE PHOTOGRAPHS





# SITE PHOTOGRAPHS



VIEW OF VACANT LOT FROM AVENIDA ROSA



WEST VIEW OF NEIGHBORING LOT FROM THE SUBJECT LOT

# SITE PHOTOGRAPHS



NEIGHBORING LOT ACROSS FROM SUBJECT SITE



NEIGHBORING LOT ACROSS FROM SUBJECT SITE

REAR YARD VIEWS

## SITE PHOTOGRAPHS











# Memorandum Planning

June 3, 2013

To: Planning Staff  
 From: Jim Pechous, City Planner  
 Subject: Design Guidelines Interpretation - Window Materials in the Architectural and Pedestrian Overlay  
 Copies: Planning Commission

## SUMMARY

To enhance and maintain the sense of historical character within the Architectural (A) and Pedestrian (P) Overlay districts, the following interpretation of the City's Design Guidelines related to acceptable window materials for non-historic properties and additions to historic properties (excluding original historic resource) have been established:

- ∂ WINDOWS IN THE ARCHITECTURAL (A) OVERLAY AND PEDESTRIAN (P) OVERLAY
- Exterior modifications to structures, including windows, located within the overlay are subject to a Minor Cultural Heritage Permit (MCHP); staff waivers may be requested and shall be reviewed as described in Section 17.16.110 of the Municipal Code.
  - The matrix below identifies window types allowed on non-residential and residential properties within the Architectural/Pedestrian Overlay at the discretion of the City Planner; provided they meet design standards outlined below, and are approved in accordance with the staff waiver process described above:

	Non-residential Central Business District	Non-residential Outside Central Business District	Residential Central Business District	Residential Outside Central Business District	Historic Property (original)	Historic Property (Addition)
Wood	Yes	Yes	Yes	Yes	Yes	Yes
Steel (Iron)	Yes	Yes	Yes	Yes	No	Yes
Fiberglass (factory finish)	Yes	Yes	Yes	Yes	No	Yes
Aluminum (factory finish)	Yes	Yes	Yes	Yes	No	Yes
Vinyl Ground Floor	No	No	No	Yes	No	No
2nd Story/Non- Visible	No	No	Yes	Yes	No	No

∂ DESIGN STANDARDS

- Window design shall be traditional in style.
- Windows shall mimic the appearance of true divided lite windows.
- The window surround, or flange, shall be constructed as part of the frame, not a plant on detail.
- Factory color finishes are acceptable.

The interpretation was established in a Planning Commission Study Session on March 20, 2013. Past interpretations were made during Planning Commission Study Sessions of August 16, 2006; September 6, 2006; October 4, 2006; May 18, 2011; and November 2, 2011.



# Casa Rosa

100 Ave. Rosa  
San Clemente, Calif. 92672

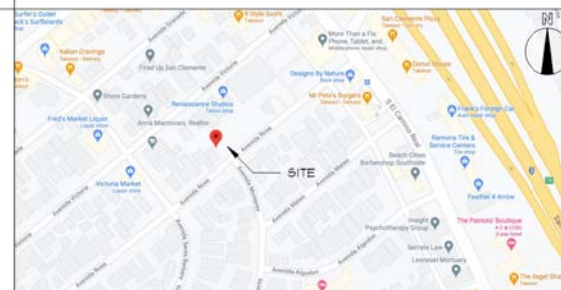


PROJECT SUMMARY

**Residential Project Summary**  
(to be completed by applicant)

PROJECT AREA	ACRES	SQUARE FEET		
Lot coverage	2027	51%		
Landscape coverage	378	10%		
DWELLING UNITS (BASED ON NET AREA)	NUMBER	NET DENSITY		
Dwelling units	2			
BUILDING HEIGHT	ALLOWED	PROPOSED		
Top of roof	25'	24'-1.5"		
Plateline (if applicable)				
Number of stories	2	2		
SETBACKS	REQUIRED	PROPOSED		
Front side	15' BLDG, 18' GAR.	SAME		
Right side (facing property)	5'	5/7'		
Left side (facing property)	5'	5/7'		
Rear	5'	5'		
Canyon/bluff	N/A	N/A		
PARKING	SPACE REQUIRED		SPACE PROVIDED	
	COVERED	UNCOVERED	COVERED	UNCOVERED
Single family				
Duplex	4	2	4	2
Multifamily/condominium:				
Studio				
One bedroom				
Two bedroom				
Three bedroom				
Four bedroom				
Guest parking				
<b>TOTAL</b>	<b>4</b>	<b>2</b>	<b>4</b>	<b>2</b>

VICINITY MAP



PROPERTY INFORMATION

APN#: 058.091.15  
LEGAL: LOT 31, BLOCK 8, TRACT 779  
ZONING: RM

SCOPE OF WORK

1. CONSTRUCT NEW RESIDENTIAL DUPLEX

PROJECT DIRECTORY

**OWNER:** MARK WARD GOINGS INC.  
176 AVE. CABRILLO  
SAN CLEMENTE, CA 92672  
PH: 714.328.9531

**DESIGNER:** BRIAN OPP  
2703 VIA LADO  
SAN CLEMENTE, CA 92672  
PH: 949.363.3715

**CIVIL:** MILANI.CO  
25872 WHITE ALDER LANE  
LAGUNA HILLS, CA 92653  
PH: 714.655.3463

**SOILS:** VIA GEOS  
305 N COAST HWY, UNIT R  
LAGUNA BEACH, CA 92651  
PH: 949.494.2721

SHEET INDEX

T-1--cover sheet  
SP-1--survey/site plan  
ENG-1--civil plan title sheet  
ENG-2--civil notes/sections  
ENG-3--precise grading plan  
ENG-4--erosion control plan  
A-101--1st. floor plan-landscape  
A-102--2nd. floor plan  
A-201--elevations  
A-202--elevations

CASA ROSA  
 100 AVE. ROSA, LOT 31  
 SAN CLEMENTE, CALIF. 92672

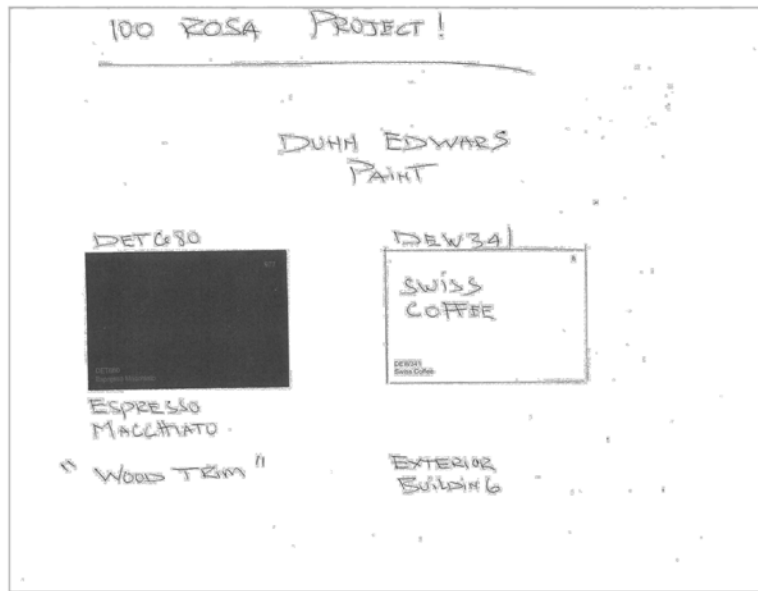
DATE	DESCRIPTION
4/27/21	PLANNING SUBMIT-1
7/9/21	PLANNING COMMENTS

PLOT DATE:

SHEET TITLE:

TITLE SHEET

T-1



COLORS



INSET WINDOWS



ROOF-GUTTER-EAVE



INSET DOORS



SIDEWALK



WROUGHT IRON



CASA ROSA

100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

DATE	DESCRIPTION
1/21	PLANNING COMMENTS

PLOT DATE:

SHEET TITLE:  
SAMPLE MATERIALS  
BOARD

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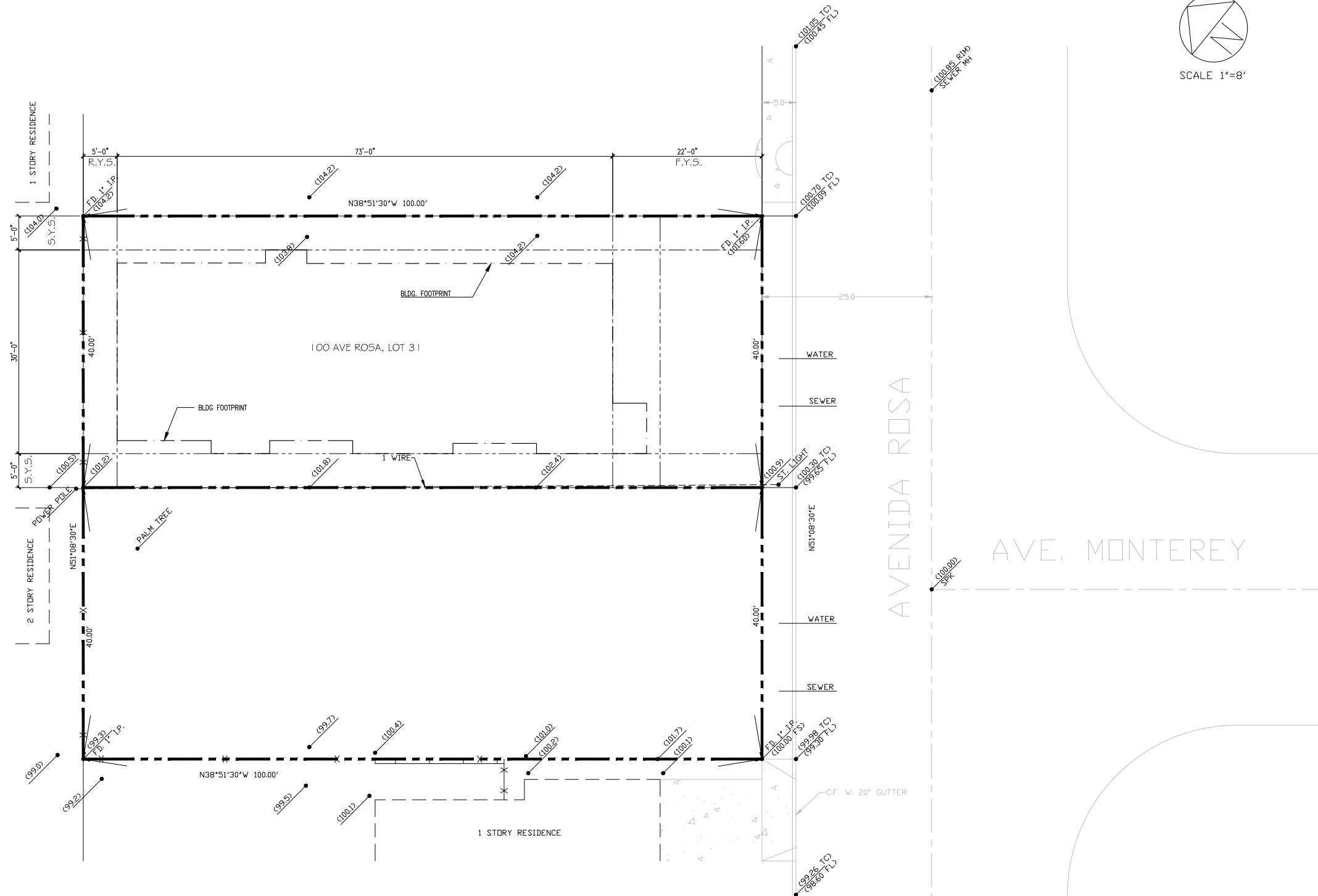


SCALE 1"=8'

**OPP  
CONST**

Brian Gregory Opp  
Design/Drafting  
2703 Via Lido, San Clemente, CA 92672

oppconst@gmail.com  
949.363.3715



NOTE: RECORD EASEMENTS ARE NOT DRAWN

**CASA ROSA LOT 31**  
100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

DATE	DESCRIPTION

**RDM SURVEYING INC.**  
RON MIEDEMA L.S. 4653  
23010 LAKE FOREST DRIVE #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924 OFFICE  
(949) 858-3438 FAX  
RDMSURVEYING@AOL.COM

**TOPOGRAPHIC SURVEY**  
JOB: 34-6      DATE: 3-17-03

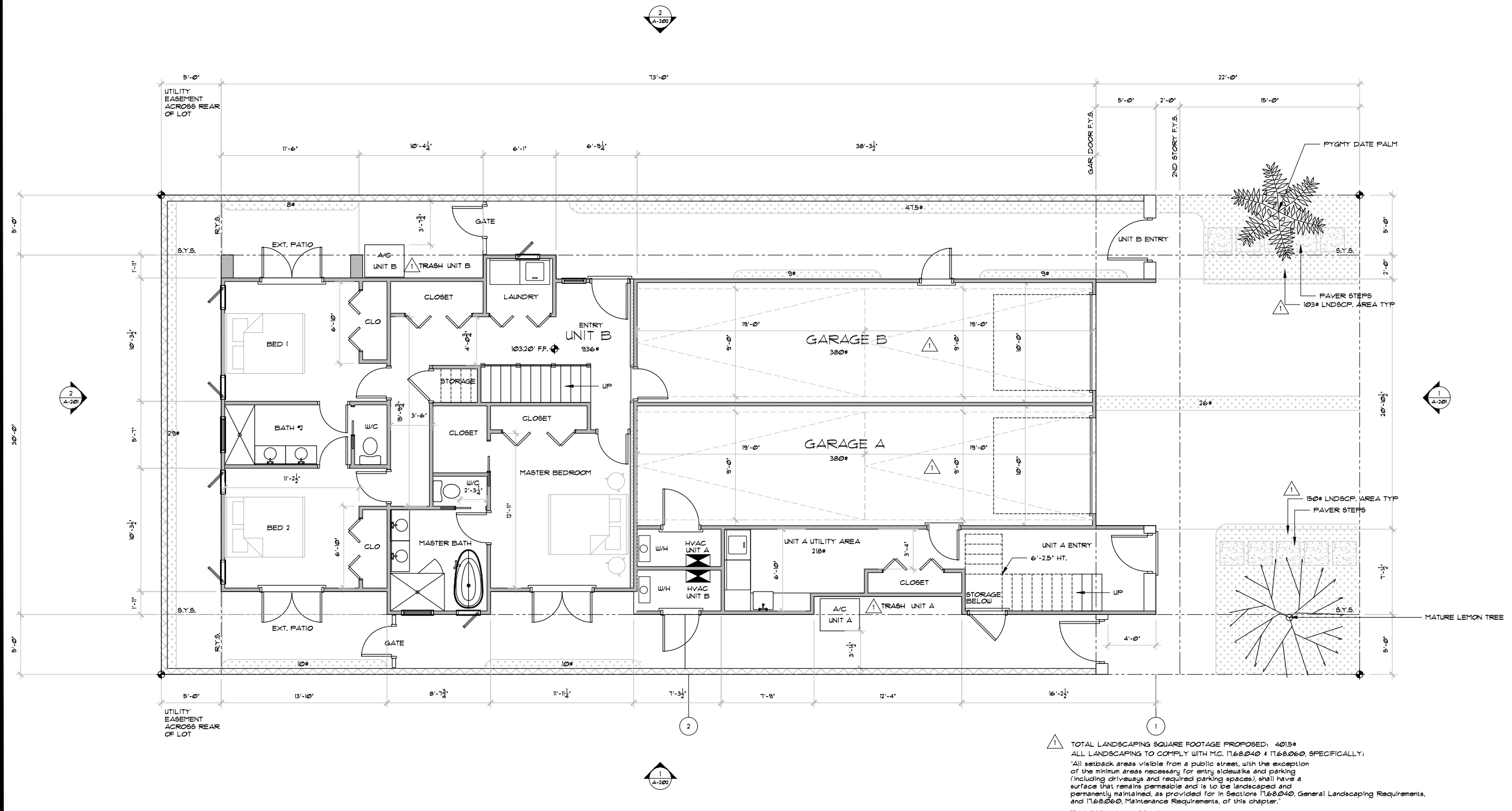
**PREPARED FOR:**  
DMB & ASSOCIATES  
P.O. Box 1985  
Laguna Beach, CA 92652

**LEGAL DESCRIPTION:**  
Lots 31 and 32, Block 8,  
Tract No.  
779, San Clemente

**BENCH MARK:**  
Spikr at centerline intersection  
of Avenida Rosa and Ave. Monterey.  
Elevation = 100.00

**ADDRESS OF PROJECT:**

PLOT DATE:	
SHEET TITLE:	
SITE PLAN	
SP-1	
SHEET-	OF -



CASA ROSA  
100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

**BUILDABLE AREA**  
2027\* BUILDING FOOTPRINT  
2200\* MAX COVERAGE (95% OF 4000\*)

UNIT A		UNIT B	
FIRST FLOOR	240*	FIRST FLOOR	936*
2ND FLOOR	1460*	2ND FLOOR	550*
GARAGE	380*	GARAGE	380*
BALCONY	107*	BALCONY	193*
ROOF DECK	338*	ROOF DECK	344*
HVAC CLOSET	26*	HVAC CLOSET	26*
<b>TOTAL</b>	<b>2611*</b>	<b>TOTAL</b>	<b>2509*</b>

1 TOTAL LANDSCAPING SQUARE FOOTAGE PROPOSED: 4015\*  
ALL LANDSCAPING TO COMPLY WITH M.C. 1768040 & 1768060, SPECIFICALLY:  
"All setback areas visible from a public street, with the exception of the minimum areas necessary for entry sidewalks and parking (including driveways and required parking spaces), shall have a surface that remains permeable and is to be landscaped and permanently maintained, as provided for in Sections 1768040, General Landscaping Requirements, and 1768060, Maintenance Requirements, of this chapter."  
1768040 - General landscaping requirements.  
ALIVING Plant Materials. Landscaping shall consist primarily of drought tolerant living plant material. Hardscape improvements shall not be counted toward fulfilling the required landscape.  
California Native Species. California Native plant species shall be planted in at least 60 percent of required landscaped areas.

DATE	DESCRIPTION
7.9.21	PLANNING COMMENTS

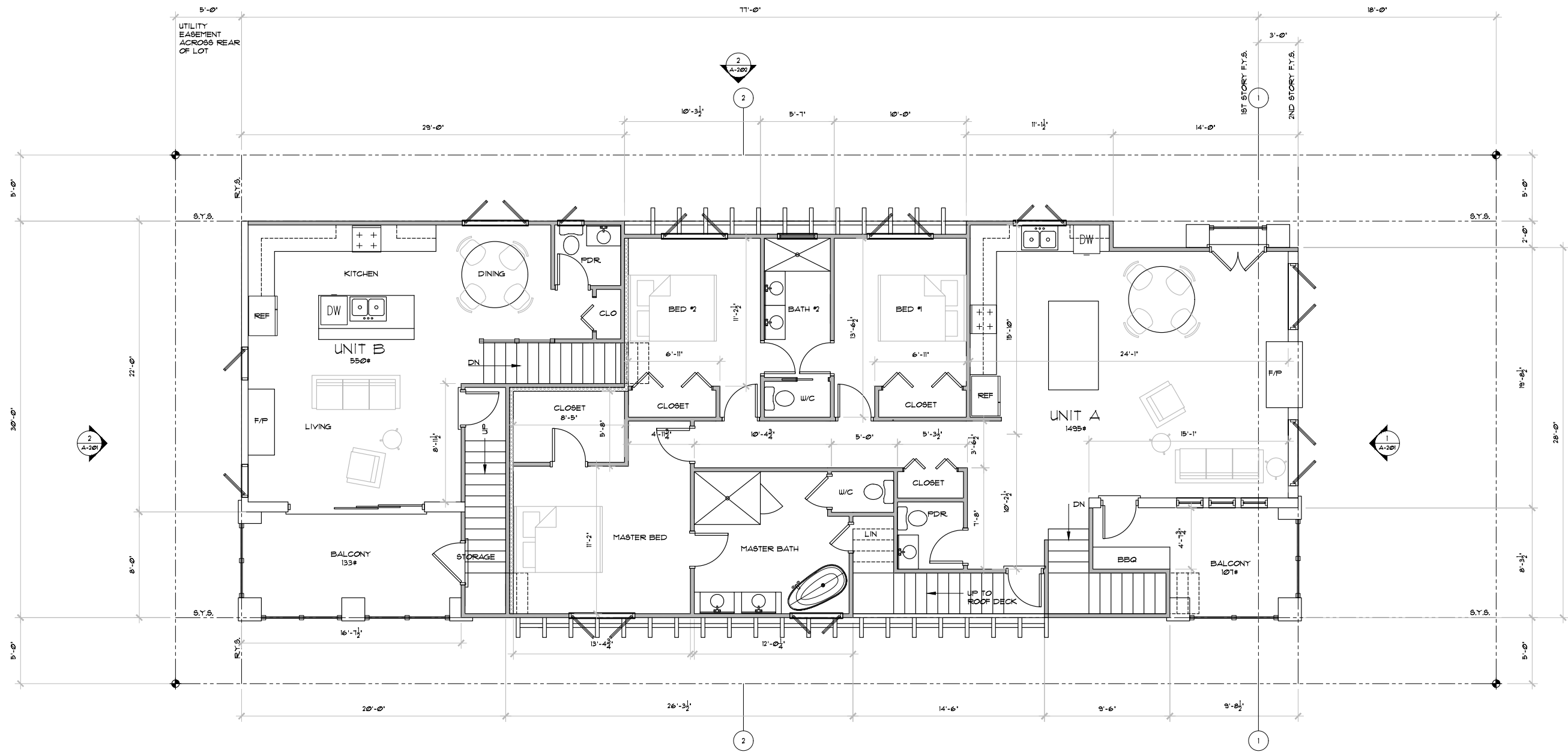
PLOT DATE:

SHEET TITLE:

1ST FLOOR PLAN  
LANDSCAPE

A-101

SHEET - OF -



CASA ROSA  
100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

DATE	DESCRIPTION

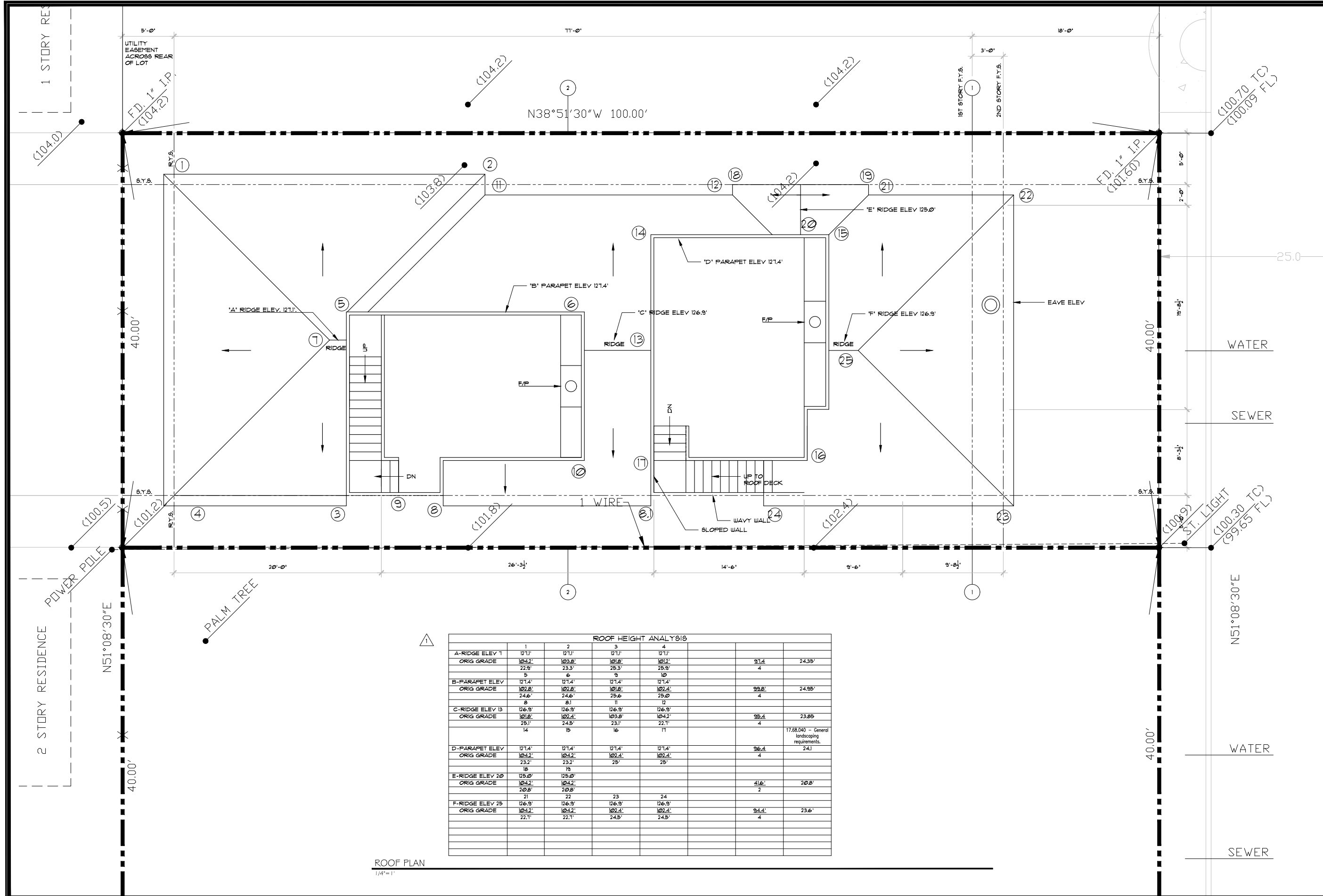
PLOT DATE:

SHEET TITLE:  
2ND FLOOR PLAN

A-102  
SHEET- 02 -

CASA ROSA

100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672



ROOF HEIGHT ANALYSIS						
	1	2	3	4		
A-RIDGE ELEV 1	121.1'	121.1'	121.1'	121.1'		
ORIG GRADE	104.2'	103.8'	102.8'	102.2'	91.4'	24.35'
	22.9'	23.3'	25.3'	25.9'	4'	
	5	6	9	10		
B-PARAPET ELEV	121.4'	121.4'	121.4'	121.4'		
ORIG GRADE	102.8'	102.8'	102.8'	102.4'	99.8'	24.95'
	24.6'	24.6'	25.6'	25.0'	4'	
	8	11	12			
C-RIDGE ELEV 13	126.9'	126.9'	126.9'	126.9'		
ORIG GRADE	101.8'	102.4'	103.8'	104.2'	95.4'	23.85'
	25.1'	24.5'	23.1'	22.1'	4'	
	14	15	16	11		17.66,040 - General landscaping requirements.
D-PARAPET ELEV	121.4'	121.4'	121.4'	121.4'		
ORIG GRADE	104.2'	104.2'	102.4'	102.4'	96.4'	24.1'
	23.2'	23.2'	25'	25'	4'	
	18	19				
E-RIDGE ELEV 20	125.0'	125.0'				
ORIG GRADE	104.2'	104.2'			41.6'	20.8'
	20.8'	20.8'			2'	
	21	22	23	24		
F-RIDGE ELEV 25	126.9'	126.9'	126.9'	126.9'		
ORIG GRADE	104.2'	104.2'	102.4'	102.4'	94.4'	23.6'
	22.1'	22.1'	24.5'	24.5'	4'	

ROOF PLAN  
1/4"=1'

DATE	DESCRIPTION
1.9.21	PLANNING COMMENTS

PLOT DATE:

SHEET TITLE:

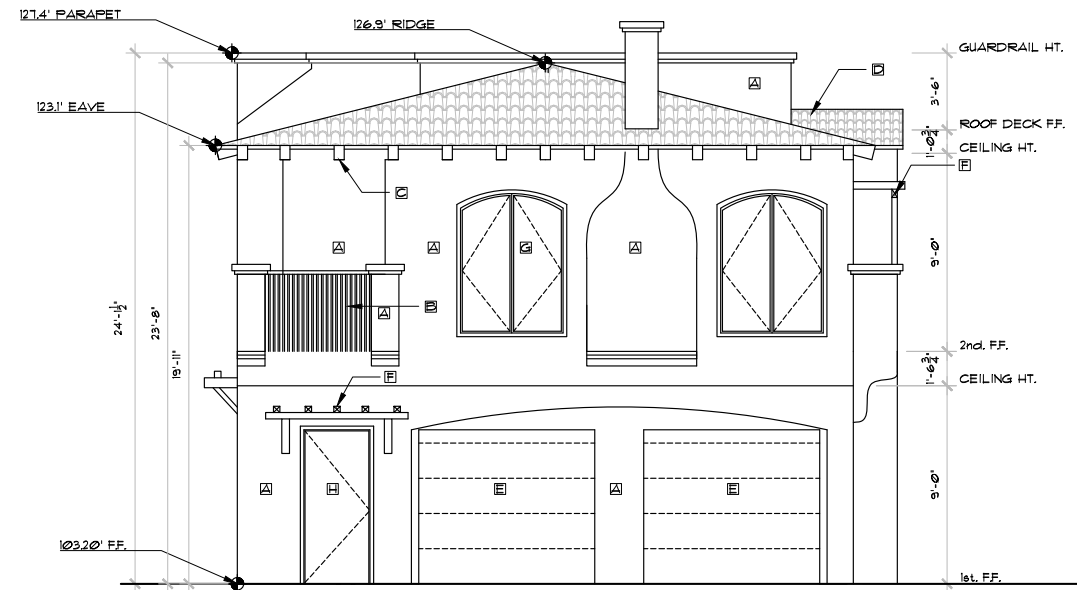
ROOF PLAN

A-103

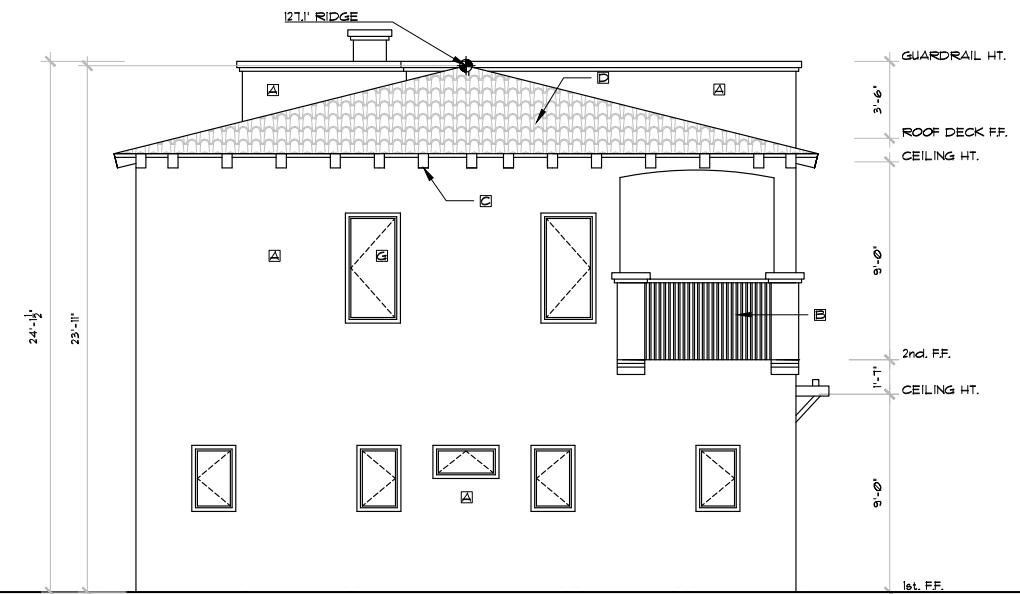
SHEET- OF

CASA ROSA  
100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

KEYNOTES	
A	SMOOTH TROWELL WHITE STUCCO
B	BLACK WROUGHT IRON GUARDRAIL
C	DARK BROWN EXPOSED ROOF RAFTERS
D	MORTAR SET RED TILE ROOF
E	DARK BROWN ROLL UP GARAGE DOOR
F	DARK BROWN WOOD TRELLIS
G	EXTERIOR WINDOW, TYP.
H	EXTERIOR DOOR, TYP.



FRONT ELEVATION  
 $\frac{1}{8}''=1'$



REAR ELEVATION  
 $\frac{1}{8}''=1'$

DATE	DESCRIPTION
1.9.21	PLANNING COMMENTS

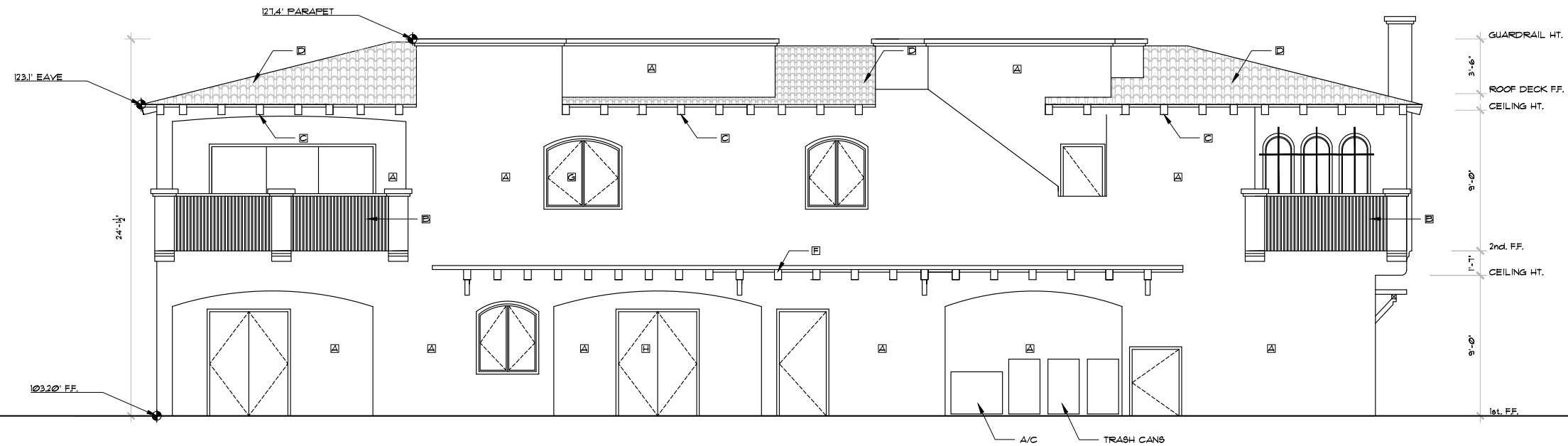
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SHEET TITLE:

ELEVATIONS

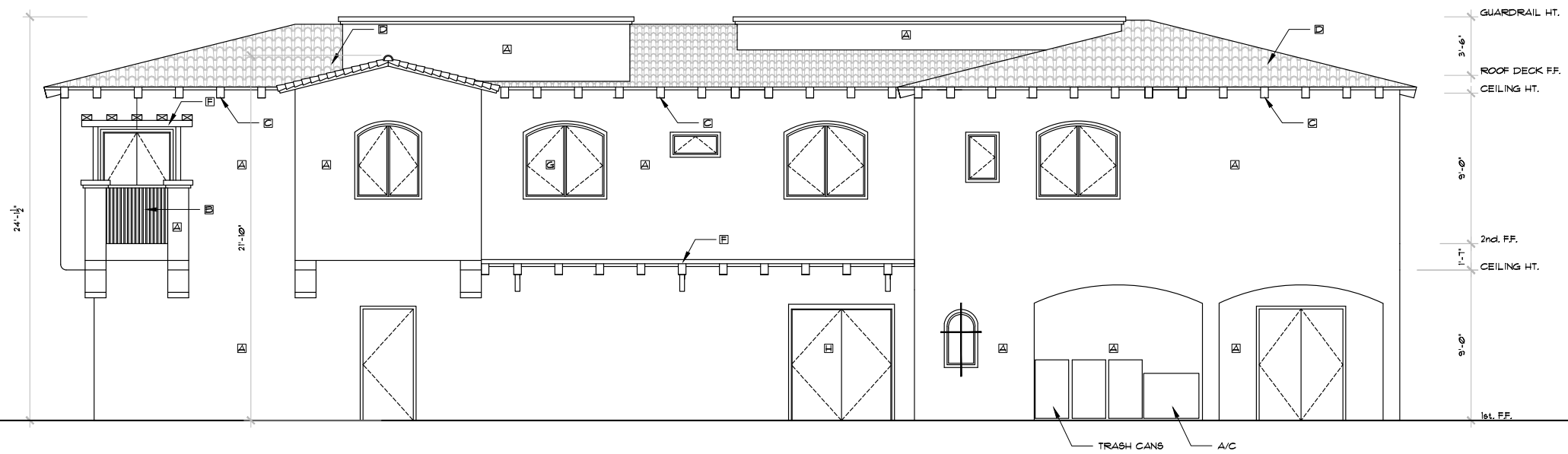
A-201

SHEET- 02 -



LEFT SIDE ELEVATION  
1/4" = 1'

KEYNOTES	
A	SMOOTH TROWELL WHITE STUCCO
B	BLACK WROUGHT IRON GUARDRAIL
C	DARK BROWN EXPOSED ROOF RAFTERS
D	MORTAR SET RED TILE ROOF
E	DARK BROWN ROLL UP GARAGE DOOR
F	DARK BROWN WOOD TRELLIS
G	EXTERIOR WINDOW, TYP.
H	EXTERIOR DOOR, TYP.



RIGHT SIDE ELEVATION  
1/4" = 1'

CASA ROSA  
100 AVE. ROSA, LOT 31  
SAN CLEMENTE, CALIF. 92672

DATE	DESCRIPTION
1.9.21	PLANNING COMMENTS

PLOT DATE:

SHEET TITLE:

ELEVATIONS

A-202

SHEET- OF -



**PRIVATE ENGINEER'S NOTICE TO CONTRACTOR**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT ON RECORD OR NOT SHOWN ON THESE PLANS.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

**DESIGN RESPONSIBILITY:**

THE DESIGN ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY OR DESIGN AND ACCEPTABILITY OF THE WORK HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISION OF THE PLANS FOR APPROVAL BY THE CITY.

**UNAUTHORIZED CHANGES AND USES**

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

**LEGEND**

- 100 EXIST. CONTOUR
- 65 PROP. CONTOUR
- CENTERLINE
- PROPERTY LINE
- FLOWLINE
- 2.0% SHEET FLOW RATE
- S=0.01 PIPE FLOW RATE
- PROP. SCREEN/RETAINING WALL
- CONSTRUCTION NOTE NUMBER
- 240.50 TG  
239.68 INV. ELEVATION/INVERT CALLOUTS
- S=0.01 4" P.V.C. DRAIN PIPE
- SEWER CLEANOUT
- ROOF DOWNSPOUT
- 4" ATRIUM GRATE
- 4" BRASS GRATE
- TRENCH DRAIN
- 4"SS SEWER LATERAL
- 1"W WATER LATERAL
- METER BOX
- EX. RETAINING WALL
- EX. WOOD FENCE
- EX. TUBE FENCE
- PROP. FULL DEPTH AC PAVEMENT
- PROP. UTILITY TRENCH (BACKFILL AND REPAIR)
- PROP. PCC PAVEMENT SEE PLAN FOR SECTION
- PROP. TILE PAVEMENT SEE LANDSCAPE PLANS
- PROP. LANDSCAPING SEE LANDSCAPE PLANS

**ABBREVIATIONS**

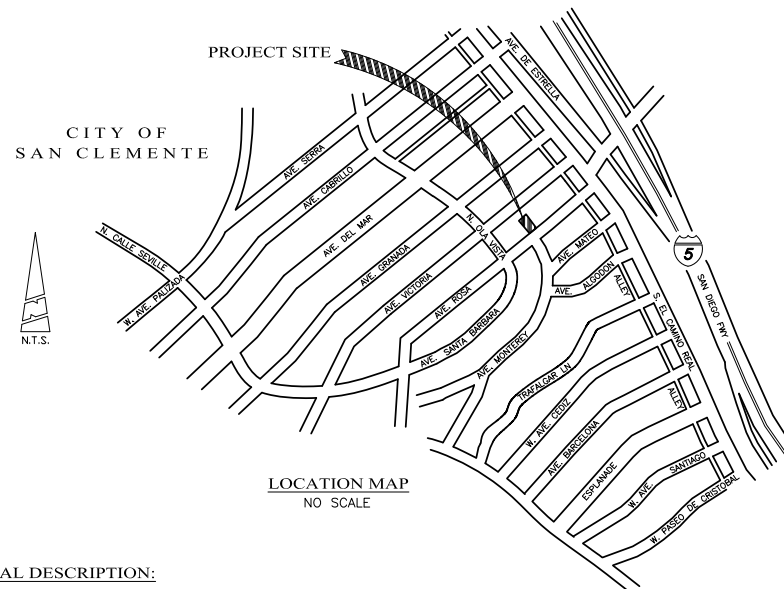
- AB AGGREGATE BASE
- BC BEGIN CURVE
- BCR BEGIN CURB RETURN
- CF CURB FACE
- CL CENTER LINE
- CONC CONCRETE
- CY CUBIC YARDS
- DF DEEPENED FOOTING
- D.S. DOWNSPOUT
- DWY DRIVEWAY
- EA EACH
- EC END CURVE
- ECR END CURB RETURN
- ELEV ELEVATION
- EP EDGE OF PAVEMENT
- FG FINISH GRADE
- FF FINISH FLOOR ELEV.
- FL FLOWLINE ELEV.
- FS FINISH SURFACE
- GB GRADE BREAK
- GFF GARAGE FINISH FLOOR
- HP HIGH POINT
- INV INVERT OF PIPE
- INT INTERSECTION
- LF LINEAR FOOT
- LG LIP OF GUTTER
- MAX MAXIMUM
- MIN MINIMUM
- NTS NOT TO SCALE
- PVC POLYVINYL CHLORIDE
- RD ROOF DRAIN
- RG ROUGH GRADE
- SD STORM DRAIN
- SF SQUARE FEET
- TC TOP OF CURB
- TG TOP OF GRADE
- TF TOP OF FOOTING ELEV.
- TW TOP OF WALL ELEV.
- TFW TOP OF FENCE WALL
- TYP TYPICAL

# CITY OF SAN CLEMENTE PRECISE GRADING PLANS FOR CASA ROSA DUPLEX

**100 AVENIDA ROSA  
SAN CLEMENTE, CA. 92672**

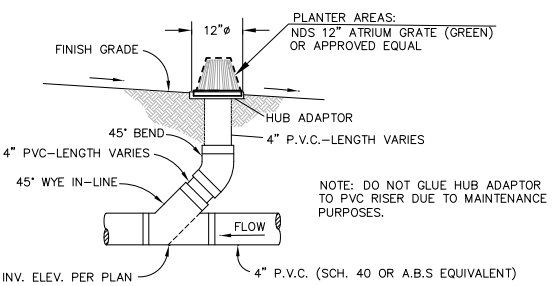
**LOT NO. 31 IN BLOCK 8, TRACT 779  
COUNTY OF ORANGE, CITY OF SAN CLEMENTE, CA.**

**APN 058-091-15**



**LEGAL DESCRIPTION:**  
LOT NO. 31 OF BLOCK 8, TRACT 779  
IN THE CITY OF SAN CLEMENTE, COUNTY OF ORANGE, STATE OF CALIFORNIA,  
AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 23, PAGES 19 TO 25  
INCLUSIVE, MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY

**BENCH MARK:** NAVD88 ELEV.: 180.998 FT. YR LEVELED 2005/YR ADJUSTED 1995  
O.C.S. 3B-113-05  
DESCRIBED BY OCS 2005 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3B-113-05", SET IN THE TOP OF THE SOUTHWESTERLY CORNER OF A 6.4 FT. BY 9.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF AVENIDA DEL PRESIDENTE AND AVENIDA MENDOCINO, 36 FT. EASTERLY OF THE CENTERLINE OF DEL PRESIDENTE, AND 63 FT. SOUTHERLY OF THE CENTERLINE OF MENDOCINO. MONUMENT IS SET LEVEL WITH THE SIDEWALK.



**LANDSCAPE DRAIN INLET**  
NOT TO SCALE

**UTILITIES:**  
**WATER AND SEWER**  
CITY OF SAN CLEMENTE UTILITIES DIVISION  
(949)366-1553  
**ELECTRICAL**  
SDG&E (949)361-8028  
**GAS**  
SOCAL GAS (800) 427-2200  
**CABLE TV**  
COX COMMUNICATIONS (949) 563-8889  
**TELEPHONE**  
AT&T (714) 618-9124

**BASIS OF BEARING**  
THE NORTHEASTERLY LINE LOT 35,  
BLOCK 8, TRACT 779 SHOWN  
THEREON AS N38°51'30"W

**SOILS ENGINEER:**  
**VIAGEOS CONSULTING GEOLOGISTS**  
CONTACT: MICHAEL CHILDS  
305 N. COAST HIGHWAY, SUITE R  
LAGUNA BEACH, CA 92652  
(949) 494-2721 PH  
(949) 376-5766 FX

SITE INFO	
PARCEL SIZE	4,000 SF
EXIST. IMPERVIOUS	0 SF
DISTURBED AREA	4,000 SF
PRIORITY PROJECT WATER QUALITY	NON-PRIORITY (NEW DEVELOPMENT ADD/REPLACE LESS THAN 10K SF)
HYDROLOGIC SUBAREA	SAN CLEMENTE HS
HIGH THREAT TO WATER QUALITY	NO
WDID#	NOT APPLICABLE
WATER QUALITY/BMP INSPECTION FREQUENCY	AS NEEDED LESS THAN 1 ACRE

**\*EARTHWORK**

	CUT	FILL
RAW VOLUME	145 C.Y.	15 C.Y.
OVER-EX:	592 C.Y.	592 C.Y.
NET:	EXPORT	130 C.Y.

\* ENGINEER ESTIMATE ONLY. CONTRACTOR SHALL PERFORM OWN EARTHWORK VOLUME ESTIMATE ASSUMED 4" DEEP OVER-EX AND RECOMPACT

**DECLARATION OF RESPONSIBLE CHARGE FOR THE SOILS ENGINEER:**  
THIS PLAN HAS BEEN REVIEWED BY VIAGEOS CONSULTING GEOLOGISTS, AND APPEARS TO BE IN GENERAL CONFORMITY WITH THE RECOMMENDATIONS IN OUR REPORT TITLED "PRELIMINARY GEOTECHNICAL INVESTIGATION FOR PROPOSED DUPLEX, 100 AVENIDA ROSA (LOT 31, TRACT 779), SAN CLEMENTE, CA." PROJECT NO. 211686, REPORT NO. 21-020 DATED MARCH 15, 2021 AND ALL ADDENDA.

BY: MICHAEL B. CHILDS, PRESIDENT  
CERTIFIED ENGINEERING GEOLOGIST CEG 1664  
LICENSE EXP. 3/31/22

BY: KEITH D. TUCKER  
REGISTERED GEOTECHNICAL ENGINEER #841  
LICENSE EXP. 12/31/22

**CONSTRUCTION NOTES**

- C1 CONSTRUCT SIDEWALK PER CITY OF SAN CLEMENTE STD. NO. ST-5. SIDEWALK SHALL BE 6" THICK WHERE DRIVEWAY OCCURS. 65 SF
- C2 CONSTRUCT RESIDENTIAL DRIVEWAY (X=3") PER CITY OF SAN CLEMENTE STD. NO. ST-9. WIDTH PER PLAN. 205 SF
- C3 CONSTRUCT 6" P.C.C. PAVEMENT WITH #4 REBAR @ 16" O.C. EACH WAY. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH (SCORING, TEXTURE, COLOR, TILE). 290 SF
- C4 CONSTRUCT 6" PVC (SCH. 40) DRAINAGE PIPE. 215 LF
- C5 CONSTRUCT 4" PCC LANDSCAPE WALKWAY. 1,045 SF
- C6 CONSTRUCT 6" DRAIN INLET PER DETAIL ON SHEET 1. 15 EA.
- C7 CONSTRUCT CURB DRAIN PER CITY OF SAN CLEMENTE STD. NO. ST-7. USE 2-4" SCHEDULE 80 PVC PIPES FROM INLET TO CURB. 2 EA.
- C8 CONSTRUCT SITE WALL PER SEPARATE PERMIT. SEE SHEET 4 FOR PROFILE. 665 SF

**QUANTITIES**

**SEWER AND WATER NOTES**

- W1 INSTALL 1" WATER SERVICE ASSEMBLY PER CITY OF SAN CLEMENTE STD. NO. W-1 AND WS-1. INSTALL A CITY APPROVED BACKFLOW DEVICE DOWNSTREAM OF METER ON PRIVATE PROPERTY. INSTALL A CITY APPROVED PRESSURE REGULATOR DEVICE ON PRIVATE PROPERTY ON HOSE BIB PRIOR TO ENTRY INTO BUILDING. 2 EA.
- S1 INSTALL 6" PVC (SDR 35) SEWER LATERAL CONNECTION PER CITY OF SAN CLEMENTE STD. NO. S-6 WITH SADDLE WYE PER CITY OF SAN CLEMENTE STD. NO. S-8 AND WS-1. 1 EA.

**EROSION CONTROL NOTES**

- E1 CONSTRUCT GRAVEL BAG BARRIER PER DETAIL ON SHEET 4. 250 LF
- E2 INSTALL CONSTRUCTION FENCING AND GATE PER DETAIL ON SHEET 4. 280 LF
- E3 INSTALL STABILIZED CONSTRUCTION ACCESS PER DETAIL ON SHEET 4. 355 SF
- E4 INSTALL INLET PROTECTION PER DETAIL ON SHEET 4. 15 EA
- E5 INSTALL CONCRETE WASHOUT AREA PER CASQA DETAIL WM-8. 1 EA
- E6 INSTALL PORTABLE TOILET SANITARY WASTE MANAGEMENT PER CASQA DETAIL WM-9. 1 EA
- E7 IMPLEMENT STREET SWEEPING AND VACUUMING AS NECESSARY PER CASQA DETAIL SE-7. 1 EA

**OWNER:**  
**MR. MARK GOINGS**  
MGI CONSTRUCTION  
176 AVENIDA CABRILLO  
SAN CLEMENTE, CA 92672  
(714) 673-6020 PH.

**DESIGNER:**  
**BRIAN OPP**  
2703 VIA LADO  
SAN CLEMENTE, CA 92672  
(949) 363-3715 PH.

**JOB ADDRESS:**  
**100 AVENIDA ROSA  
SAN CLEMENTE, CA 92672  
APN 058-091-15**

**OWNER'S STATEMENT:**  
I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

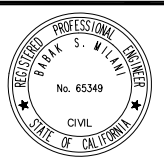
BY: MARK GOINGS DATE:

SHEET INDEX	
SHT. NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL NOTES AND DETAILS
3	PRECISE GRADING PLAN
4	EROSION CONTROL AND BEST MANAGEMENT PLAN
(TBD)	SITE WALL DETAILS AND NOTES BY (TBD)

**NOTE: SEE SHEET 2 FOR CITY OF SAN CLEMENTE STANDARD NOTES.**

REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

PLANS PREPARED BY:  
**MILANI.CO**  
CONSULTING ENGINEERS  
25872 WHITE ALDER LANE  
LAGUNA HILLS, CA. 92653  
714-655-3463 PH.



SCALE:	DESIGNED:	DRAWN:	CHECKED:
AS NOTED	BM	BM	BM
ACAD FILE NO.			
PROJECT NO.			
DATE: R.C.E. 65349 EXP. 9-30-21			
BABAK S. MILANI ENGINEER OF WORK			

**CITY OF SAN CLEMENTE  
TITLE SHEET  
CASA ROSA DUPLEX  
100 AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
LOT NO. 31, BLOCK 8, TRACT 779 (APN 058-091-15)**

**SHEET  
1  
OF  
25  
4**



**ENG 21-XXX**

CITY OF SAN CLEMENTE  
GENERAL NOTES  
FOR  
EROSION CONTROL  
MARK  
GOINGS

1. IN CASE OF EMERGENCY CALL: WORK TELEPHONE NO.: (714) 673-6020  
NAME HOME TELEPHONE NO.:
2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL OR CITY ENGINEER.
4. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
5. AFTER A RAINSTORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
6. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESIRABLE FACILITIES.
7. THE PERMITTEE SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
8. ALL TEMPORARY GRADING HILL ROADS WITHIN AREAS WHICH ARE TO REMAIN UNDEVELOPED AND NATURAL SHALL BE RESTORED TO NATURAL CONDITIONS AND REVEGETATED WITH NATIVE GRASSES UPON COMPLETION OF GRADING OPERATIONS.
9. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE OPERATED WITHIN 100' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY COATED AND MAINTAINED TIRE FLUFFERS.
10. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODED ORDINANCE DIVISION 6 (NOISE CONTROL).
11. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS.
12. EROSION CONTROL DEVICES WILL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES, AND PLANS OF THESE CHANGES SUBMITTED FOR PLAN CHECK AS REQUIRED.
13. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
14. THE DESIGNER CIVIL ENGINEER WILL OBSERVE EROSION CONTROL WORK AND WILL INFORM THE CITY AND THE DEVELOPER IF THE WORK IS NOT IN ACCORDANCE WITH THE APPROVED PLAN.

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CITY OF SAN CLEMENTE  
GENERAL NOTES  
FOR  
EROSION CONTROL  
MARK  
GOINGS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING ORDINANCE AND MANUAL OF THE CITY OF SAN CLEMENTE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT.
2. NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE CITY ENGINEER. A PRE-GRADE MEETING IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING INSPECTOR OR THEIR REPRESENTATIVES, AND WHEN REQUIRED, THE ARCHAEOLOGIST, PALEONTOLOGIST AND/OR OTHER UTILITY REPRESENTATIVES.
3. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE ENGINEERING DIVISION WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
- A. INITIAL INSPECTION: WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO DAYS BEFORE ANY GRADING OR BUSHING IS STARTED.
  - B. TOE INSPECTION: AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE THE FILL IS PLACED.
  - C. EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED, BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN FEET.
  - D. FILL INSPECTION: AFTER THE FILL PLACEMENTS STARTED, BUT BEFORE THE VERTICAL HEIGHT OF THE FILL EXCEEDS TEN FEET.
  - E. DRAINAGE DEVICE INSPECTION: AFTER FORMING OF TERRACE DRAINS, DOWNDRAINS, OR AFTER PLACEMENT OF PIPE IN SUBDRAINS BUT BEFORE ANY CONCRETE OR FILTER MATERIAL IS PLACED.
  - F. ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED, THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF ROUGH GRADING.
  - G. FINAL: WHEN ALL WORK INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN, PROFESSIONAL CERTIFICATIONS AND THE REQUIRED REPORTS HAVE BEEN SUBMITTED.
4. CUTSLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
5. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISHED SURFACE.
6. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE DENSITY. MAXIMUM DENSITY TO BE DETERMINED BY ASTM-D1557 (FIVE (5) LAYER TEST) OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 79-2, OR APPROVED EQUIVALENT.
7. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED BY THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST PRIOR TO PLACING OF FILL.
8. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL AS PER DETAIL ON PLAN.
9. ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY

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ADDITIONAL FILLS ARE ADDED.

10. THE EXISTING IRRIGATION LINES, SUBGRADE STRUCTURES, SEPTIC TANKS, AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE CITY INSPECTOR AND SOILS ENGINEER.
11. THE STOCKPIILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO EXCAVATION.
12. THE DESIGN CIVIL ENGINEER PRIOR TO ROUGH GRADE APPROVAL SHALL PROVIDE THE MINIMUM OF ONE BLUE TOP PER LOT, SET AT THE HIGHEST POINT IN THE FINISHED DRAINAGE SWALE.
13. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
14. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, OBSERVE AND REVIEW EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS IN ADDITION TO THOSE DEPICTED ON THIS PLAN WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON. ANY ADDITIONS SHALL BE NOTED ON THE "AS-BUILT" PLANS.
15. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
16. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SHOWN IN THE FIELD FOR LINE AND GRADE AND NOTED AND SHOWN ON THE "AS-BUILT" PLANS.
17. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO EVALUATE THE STABILITY OF EACH SLOPE SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS. THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE CITY ENGINEER FOR APPROVAL. ALL APPROVAL TO BE GRANTED ON THE BASIS OF DETAILED GEOLOGICAL MAPPING AND WRITTEN FIELD MEMO.
18. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL OBSERVE THE CONSTRUCTION OF THE BUTTRESSING AND COMMENT ON THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION. ALL CHANGES SHALL BE ADDRESSED IN THE FINAL SOILS REPORT.
19. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTREMELY FRACTURED OR FALTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
20. THE ENGINEERING GEOLOGIST OR HIS REPRESENTATIVE SHALL BE ON SITE FOR OBSERVATION AND TESTING, AS NECESSARY, AND SUBMIT A COMPLETE REPORT AND MAY UPON COMPLETION OF THE ROUGH GRADING.
21. THE FINAL COMPACTION REPORT AND APPROVAL FROM THE SOILS ENGINEER SHALL CONTAIN THE TYPE OF FIELD TESTING PERFORMED. EACH TEST SHALL BE IDENTIFIED WITH THE METHOD OF OBTAINING THE IN-PLACE DENSITY, WHETHER SAND CONE OR DRIVE RING, AND SHALL BE SO NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

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22. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PROVIDE OBSERVATION AND TESTING SERVICES, AS NECESSARY, AND BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR FURNISH.
23. THE DESIGN CIVIL ENGINEER SHALL EXERCISE SUFFICIENT CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN HIS FURNISH.
24. DUST SHALL BE CONTROLLED BY WATERING.
25. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
26. THE LOCATION AND PROTECTION OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
27. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
28. PRIOR TO FINAL APPROVAL, THE DESIGN CIVIL ENGINEER SHALL CERTIFY TO THE ENGINEERING DIVISION THE NUMBER OF YARDS TO CUT, FILL, AND IMPORT MOVED DURING THE GRADING OPERATIONS.
29. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE 5 CEMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
30. EXPORT SOIL MUST GO TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE CITY ENGINEER.
31. SLOPES EXCEEDING FIVE FEET IN HEIGHT MUST BE PLANTED WITH A PLANT MATERIAL DESIGNED BY A REGISTERED LANDSCAPE ARCHITECT AND APPROVED BY THE CITY AND MUST BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM.
32. PRIOR TO FINAL APPROVAL, THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE FOR THE APPROVED GRADING PLAN.
33. FOR GRADING PERMITS ISSUED BEFORE AUGUST 15, EROSION CONTROL PLANS, IF NECESSARY, SHALL BE REQUIRED AND SHALL BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER BY SEPTEMBER 15. FOR GRADING PERMITS WHICH ARE ISSUED AFTER AUGUST 15, AND WHERE GRADING IS NOT EXPECTED TO BE COMPLETED BY OCTOBER 15, EROSION CONTROL PROVISIONS SHALL BE REQUIRED.
34. THE APPROVED SOIL ENGINEERING REPORT PREPARED BY:
- ENTITLED SEE SHT. 1 DATED: \_\_\_\_\_  
REPORT NO. \_\_\_\_\_  
AND ALL REVISIONS ARE TO BE CONSIDERED PART OF THE PLANS, AND THE RECOMMENDATIONS CONTAINED THEREIN ARE TO BE ADHERED TO.
35. CONCRETE FOR SIDEWALK, CURB & GUTTER, ACCESS RAMPS, AND DRIVE APPROACHES SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 3250 PSI. CONCRETE MAY BE PROPORTIONALLY PLACED AND SHALL CONFORM TO SECTION 201 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK).
36. CONCRETE FOR EXTERIOR RETAINING WALLS AND STRUCTURAL FOUNDATIONS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 4500 PSI WITH A WATER-CEMENT RATIO OF 0.45.

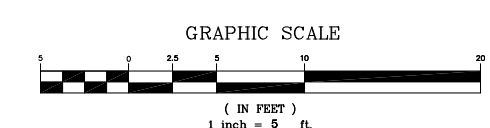
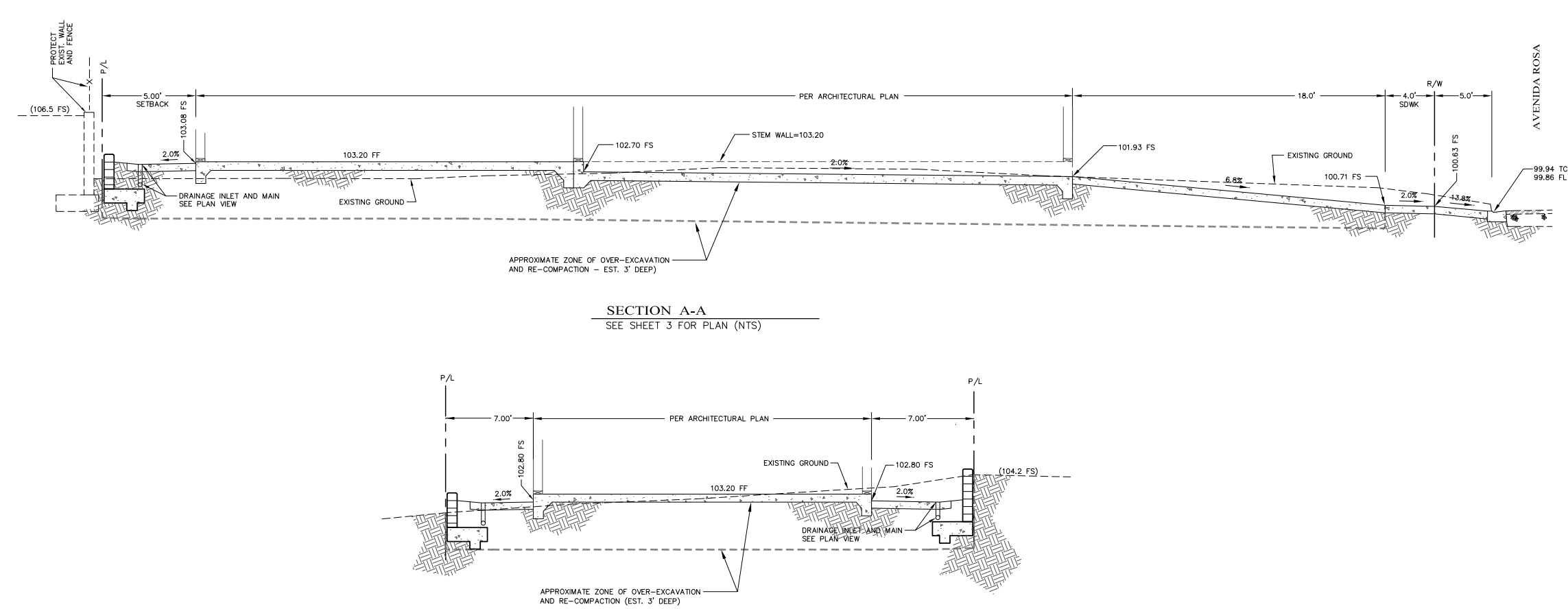
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37. CONCRETE REINFORCING SHALL BE 6" X 6 - W 1.4 WELDED WIRE MESH (WWM) OR APPROVED EQUAL.
38. GROUND SHALL BE PREWETTED TO THE SATISFACTION OF THE CITY INSPECTOR OR THE SOILS ENGINEER PRIOR TO PLACEMENT OF CONCRETE. MOISTURE LOSS RETARDANT SHALL BE USED WHEN REQUIRED BY THE SOILS ENGINEER.
39. FOF COMPACTED FILL:
- A. A MINIMUM FOUNDATION BEARING VALUE OF 1500 P.S.F. IS REQUIRED UNLESS MODIFIED BY THE SOILS REPORT.
  - B. NUMBER OF TESTS TO BE MADE SHALL BE: 1 TEST FOR EACH 2 FEET OF FILL OR 1 TEST FOR EACH 1,000 CUBIC YARDS (WHICHEVER IS GREATER)
40. THE UNDERSIGNED CIVIL ENGINEERS WILL BE RESPONSIBLE FOR THE MINIMUM PROFESSIONAL INSPECTIONS IN ACCORDANCE WITH SUBARTICLE 14 OF THE CITY OF SAN CLEMENTE'S GRADING ORDINANCE & GRADING MANUAL.
41. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS, EXCEPT AS OUTLINED BELOW, NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR LACED IN FILLS.
- A. THE SOILS ENGINEER MAY PERMIT PLACEMENT OF LARGER ROCK WHEN THE SOILS ENGINEER PROPERLY DIVIDES A METHOD OF PLACEMENT, CONTINUOUSLY INSPECTS PLACEMENT, AND APPROVES THE FILL STABILITY AND COMPETENCY. THE FOLLOWING CONDITIONS SHALL ALSO APPLY:
  - B. PRIOR TO ISSUANCE OF THE GRADING PERMIT, POTENTIAL ROCK DISPOSAL AREA(S) SHALL BE DELINEATED ON THE GRADING PLAN.
  - C. ROCK SIZES GREATER THAN TWELVE (12) INCHES IN MAXIMUM DIMENSION SHALL BE TEN (10) FEET OR MORE BELOW GRADE, MEASURED VERTICALLY. THIS DEPTH MAY BE REDUCED UPON RECOMMENDATION OF THE SOILS ENGINEER AND APPROVAL OF THE BUILDING OFFICIAL PROVIDED THAT THE PERMITTED USE OF THE PROPERTY WILL NOT BE IMPAIRED.
  - D. ROCKS GREATER THAN TWELVE (12) INCHES SHALL BE PLACED SO AS TO BE COMPLETELY SURROUNDED BY SOILS; NO NESTING OF ROCKS WILL BE PERMITTED.
  - E. ALL RECOMMENDATIONS SHALL BE REVIEWED AND APPROVED BY THE CITY.
42. GRADING OPERATIONS AND MAINTENANCE OF EQUIPMENT WITHIN ONE HALF MILE OF HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:30 P.M. AND 7:30 A.M. OR ANY TIME ON A SATURDAY, SUNDAY OR A CITY HOLIDAY.
43. THE DESIGN ENGINEER SHALL CERTIFY ALL HORIZONTAL LINES AND VERTICAL GRADES PRIOR TO RELEASE OF GRADING.
44. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE.
- A. ALL EROSION PROTECTION DEVICES MUST BE IN PLACE EACH DAY THE RAIN PROBABILITY FORECAST IS EQUAL TO OR GREATER THAN 40%. AFTER A RAIN EVENT OR DURING AN EXTENDED EVENT IF NECESSARY, ALL EROSION PROTECTION DEVICES SHALL BE

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- INSPECTED AND REPAIRED/CLEANED AS NEEDED TO ENSURE PROPER FUNCTION.
- B. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ("NON-STORMWATER" DISCHARGES) ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302. SITE SHALL INCLUDE BEST MANAGEMENT PRACTICES (BMPs) TO REDUCE THE QUANTITY (AMOUNT AND NUMBER OF INCIDENTS) OF NON-STORMWATER DISCHARGES AND TO IMPROVE THE QUALITY OF ANY NON-STORMWATER DISCHARGES.
- C. STORMWATER AND NON-STORMWATER DISCHARGES SHALL NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LINES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES, AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIUM OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLUORIDABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL, DEGREASING, AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS.
- D. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA (ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER AND NON-STORMWATER RUN-OFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS).
- E. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES AND PROPERTY OWNERS THAT THE DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN SYSTEM OR OTHER WATERSHED DRAINAGE FEATURES IS PROHIBITED.
45. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
46. PRIOR TO CONSTRUCTION, ALL SURVEY MONUMENTS AND CENTERLINE TIES ARE TO BE LOCATED IN THE FIELD. UPON COMPLETION OF CONSTRUCTION, ALL DAMAGED OR DESTROYED CENTERLINE TIES AND SURVEY MONUMENTS ARE TO BE RESET AND "CORNER RECORDS" PREPARED FOR SURVEY MONUMENTS FOR SUBMISSION TO THE CITY'S ENGINEERING DIVISION AND FILING WITH THE COUNTY SURVEYOR IN COMPLIANCE WITH AB1414. THIS MUST BE COMPLETED PRIOR TO CERTIFYING COMPLETION OF THE PROJECT. ALL RESTORATIONS OF SURVEY MONUMENTS SHALL BE CERTIFIED BY THE DESIGN REGISTERED ENGINEER IN ACCORDANCE WITH SECTION 971 OF THE BUSINESS AND PROFESSIONS CODE.
47. PRIOR TO GRADING, HYDRO AUGERS ARE TO BE INSTALLED AT THE TOE OF SLOPE FACE, IF APPLICABLE. ACTUAL LOCATIONS WILL BE DETERMINED BY SOILS ENGINEER IN THE FIELD. (MAXIMUM SPACING 50 FEET).
48. A CITY OF SAN CLEMENTE ENCROACHMENT PERMIT WILL BE REQUIRED PRIOR TO ANY GRADING OR WORK IN CITY'S PUBLIC RIGHT-OF-WAY.

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AT LEAST TWO DAYS  
BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

PLANS PREPARED BY:  
**MILANI & CO**  
CONSULTING ENGINEERS  
25872 WHITE ALDER LANE  
LAGUNA HILLS, CA. 92653  
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CITY OF SAN CLEMENTE  
GENERAL NOTES AND SECTIONS  
CASA ROSA DUPLEX  
100 AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
LOT NO. 31, BLOCK 8, TRACT 779 (APN 058-091-15)

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OF  
26  
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**CONSTRUCTION NOTES**

- (C1) CONSTRUCT SIDEWALK PER CITY OF SAN CLEMENTE STD. NO. ST-5. SIDEWALK SHALL BE 6" THICK WHERE DRIVEWAY OCCURS.
- (C2) CONSTRUCT RESIDENTIAL DRIVEWAY (X=3') PER CITY OF SAN CLEMENTE STD. NO. ST-9. WIDTH PER PLAN.
- (C3) CONSTRUCT 6" P.C.C. PAVEMENT WITH #4 REBAR @ 16" O.C. EACH WAY. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH (SCORING, TEXTURE, COLOR, TILE).
- (C4) CONSTRUCT 6" PVC (SCH. 40) DRAINAGE PIPE.
- (C5) CONSTRUCT 4" PCC LANDSCAPE WALKWAY.
- (C6) CONSTRUCT 6"Ø DRAIN INLET PER DETAIL ON SHEET 1.

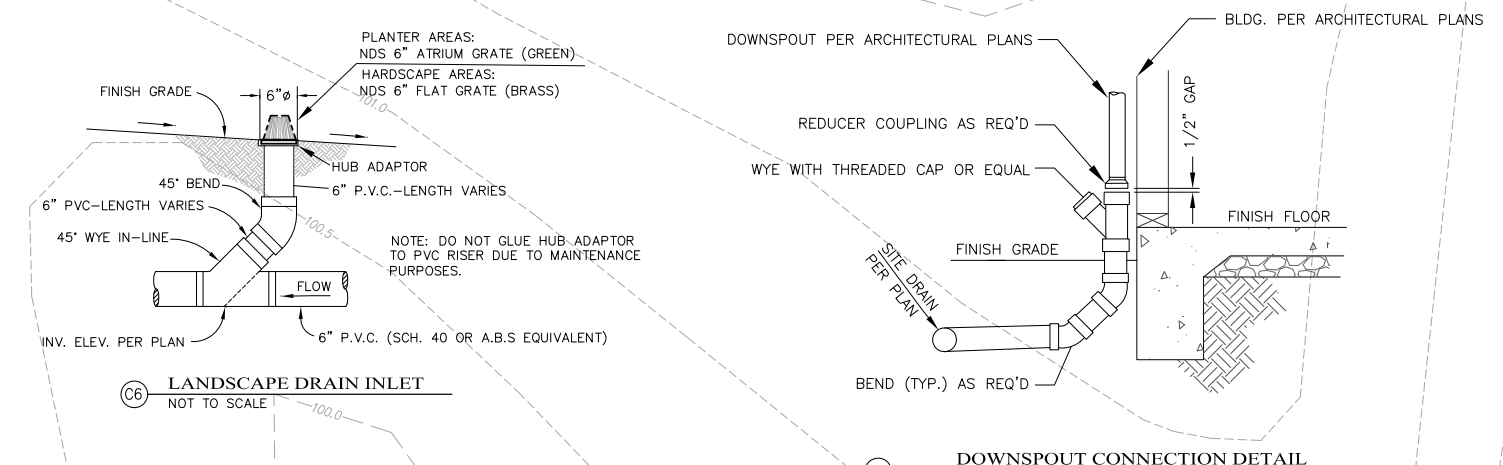
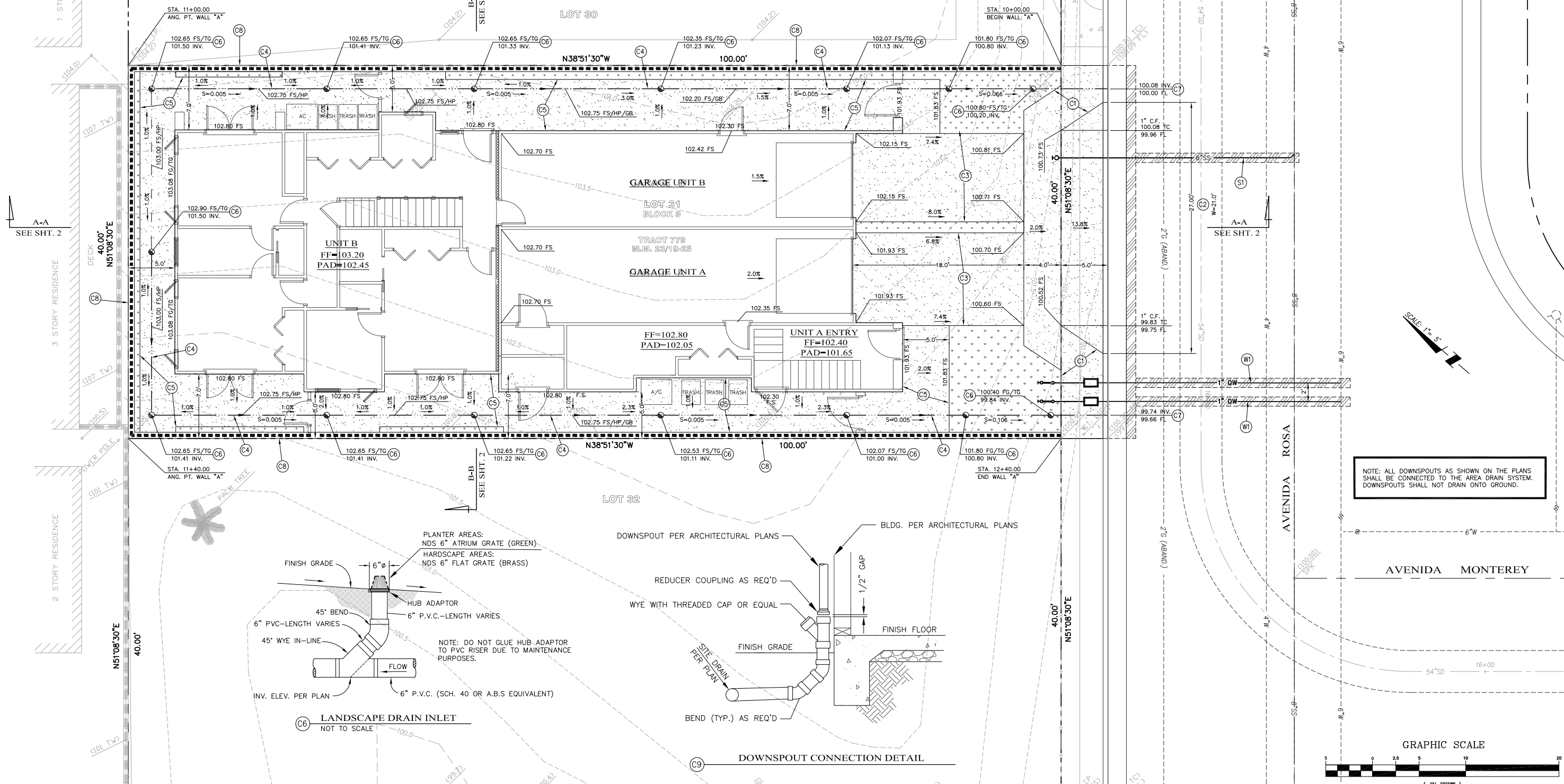
(C7) CONSTRUCT CURB DRAIN PER CITY OF SAN CLEMENTE STD. NO. ST-7. USE 2-4" SCHEDULE 80 PVC PIPES FROM INLET TO CURB.

(C8) CONSTRUCT SITE WALL PER SEPARATE PERMIT. SEE SHEET 4 FOR PROFILE.

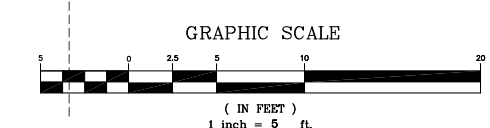
**SEWER AND WATER NOTES**

(W1) INSTALL 1" WATER SERVICE ASSEMBLY PER CITY OF SAN CLEMENTE STD. NO. W-1 AND WS-1. INSTALL A CITY APPROVED BACKFLOW DEVICE DOWNSTREAM OF METER ON PRIVATE PROPERTY. INSTALL A CITY APPROVED PRESSURE REGULATOR DEVICE ON PRIVATE PROPERTY ON HOSE BIB PRIOR TO ENTRY INTO BUILDING.

(S1) INSTALL 4" PVC (SDR 35) SEWER LATERAL CONNECTION PER CITY OF SAN CLEMENTE STD. NO. S-6 WITH SADDLE WYE PER CITY OF SAN CLEMENTE STD. NO. S-8 AND WS-1.



NOTE: ALL DOWNSPOUTS AS SHOWN ON THE PLANS SHALL BE CONNECTED TO THE AREA DRAIN SYSTEM. DOWNSPOUTS SHALL NOT DRAIN ONTO GROUND.



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**REVISIONS**

PLANS PREPARED BY:  
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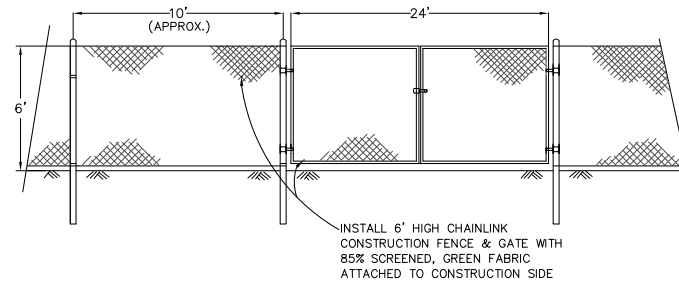
**CITY OF SAN CLEMENTE**  
**PRECISE GRADING PLAN**  
CASA ROSA DUPLEX  
100 AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
LOT NO. 31, BLOCK 8, TRACT 779 (APN 058-091-15)

THE FOLLOWING BMP'S, WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION BMP HANDBOOK FOR NON-STORMWATER MANAGEMENT AND MATERIAL MANAGEMENT

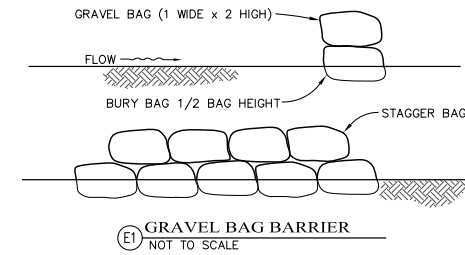
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|-------------------------------------|---|
| NS-1 WATER CONSERVATION PRACTICES   | NS-10 VEHICLE AND EQUIPMENT MAINTENANCE |
| NS-3 PAVING AND GRINDING OPERATIONS | NS-12 CONCRETE CURING                   |
| NS-6 ILLICIT CONNECTION/DISCHARGE   | NS-13 CONCRETE FINISHING                |
| NS-9 VEHICLE AND EQUIPMENT FUELING  | NS-14 MATERIAL AND EQUIPMENT USE        |

THE FOLLOWING BMP'S, WHERE APPLICABLE, SHALL BE IMPLEMENTED PER CASQA CONSTRUCTION BMP HANDBOOK FOR WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL

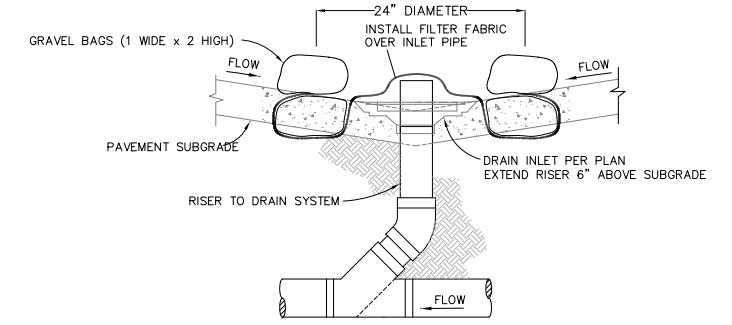
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| WM-1 MATERIAL DELIVERY AND STORAGE | WM-6 HAZARDOUS WASTE MANAGEMENT       |
| WM-2 MATERIAL USE                  | WM-7 CONTAMINATED WASTE MANAGEMENT    |
| WM-3 STOCKPILE MANAGEMENT          | WM-8 CONCRETE WASTE MANAGEMENT        |
| WM-4 SPILL PREVENTION AND CONTROL  | WM-9 SANITARY/SEPTIC WASTE MANAGEMENT |
| WM-5 SOLID WASTE MANAGEMENT        |                                       |



E2 CONSTRUCTION FENCE AND GATE DETAIL  
NOT TO SCALE



E1 GRAVEL BAG BARRIER  
NOT TO SCALE



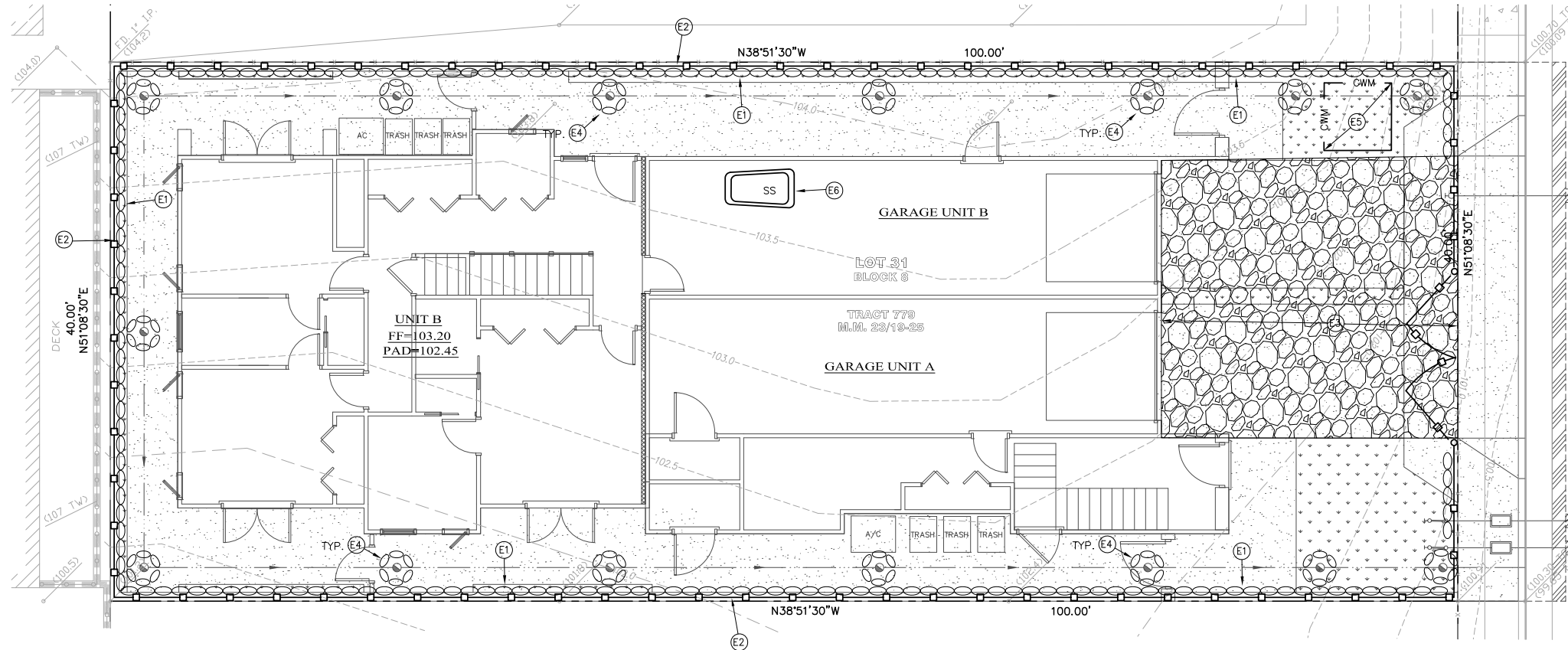
E4 INLET PROTECTION  
NOT TO SCALE

SCALE: 1" = 5'

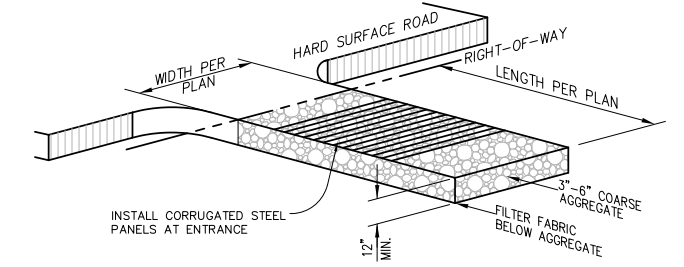
AVENIDA ROSA

EROSION CONTROL NOTES

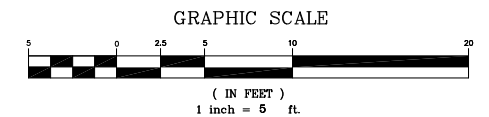
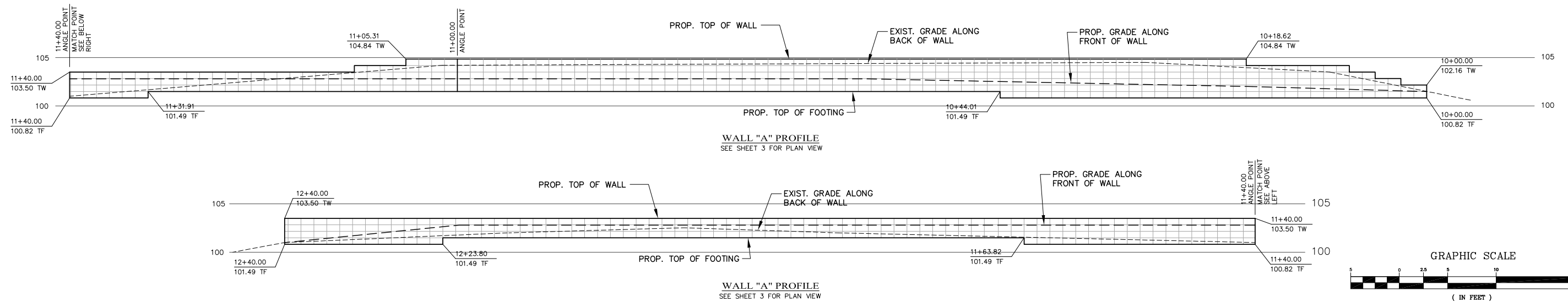
- E1 CONSTRUCT GRAVEL BAG BARRIER PER DETAIL ON SHEET 4.
- E2 INSTALL CONSTRUCTION FENCING AND GATE PER DETAIL ON SHEET 4.
- E3 INSTALL STABILIZED CONSTRUCTION ACCESS PER DETAIL ON SHEET 4.
- E4 INSTALL INLET PROTECTION PER DETAIL ON SHEET 4.
- E5 INSTALL CONCRETE WASHOUT AREA PER CASQA DETAIL WM-8.
- E6 INSTALL PORTABLE TOILET SANITARY WASTE MANAGEMENT PER CASQA DETAIL WM-9.
- E7 IMPLEMENT STREET SWEEPING AND VACUUMING AS NECESSARY PER CASQA DETAIL SE-7.



E3 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



E3 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



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CITY OF SAN CLEMENTE  
**EROSION CONTROL PLAN**  
CASA ROSA DUPLEX  
100 AVENIDA ROSA - SAN CLEMENTE, CA. 92672  
LOT NO. 31, BLOCK 8, TRACT 779 (APN 058-091-15)

SHEET  
**4**  
OF  
**28**  
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