



# STAFF REPORT SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: June 17, 2021

**PLANNER:** Christopher Wright, Associate Planer II

**SUBJECT:** **Minor Cultural Heritage Permit, 20-083 Lindbom Residence,** a request to allow exterior alterations and add 91 square feet to a historic residence with a City Mills Act agreement.

**LOCATION:** 1815 Calle De Los Alamos

**ZONING/GENERAL PLAN:** Residential-Low density zoning district and Coastal Zone Overlay (RL-CZ)

**PROJECT SUMMARY:**

- In 1928, the site was developed with a 1,867 square foot residence and detached garage on a 7,260 square-foot reverse corner lot. The two-story residence was built for Bent. Brown and designed by Carl Lindbom. Mr. Lindbom designed only two other residences in San Clemente: (1) La Casa Pacifica, the residence of H.H. Cotton and the “Western White House” retreat of former President Nixon; and (2) Casa Romantica, the residence of San Clemente’s founder, Ole Hanson. The residence has a C-shape around a courtyard.

**Figure 1 – Existing conditions**



- The Lindbom residence is on the City's List of Designated Historic Resources for its association with the Ole Hanson/Spanish Village by the Sea period of development and the significance of its architect, Carl Lindbom. The structure's integrity is fair due to two projects: 1) a first-and-second story 1,000 square-foot addition in 1980 that altered the residence's original roofline and form visible from the public right-of-way, and 2) a masonry white stucco "garden wall" constructed after 1960 between the garage and residence. For more information on the structure and its historic status, please refer to Attachment 3 for the 2006 historic structure survey form; and Attachment 10 for the Cultural Heritage Subcommittee (CHSC) staff report.
- In 2018, the City approved Historic Property Preservation Agreement (HPPA) 18-434, adding the residence to the City's "Mills Act" program that provides property tax reduction incentives to restore, improve, and preserve historic buildings and grounds. As part of the HPPA review process, an architectural historian inspected the property and recommended improvements for completion within the initial ten-year contract term or prior to property transfer.
- The proposed project completes the Mills Act contract improvements (Attachment 4) before the ten-year contract term. Refer to Attachment 6 for annotated photographs that identify original structures, alterations, and the proposed work. The project adds 91 square feet on the first story in areas screened from the street. The kitchen is expanded 22 square feet into a courtyard behind the residence and 69 square feet of storage space is added to the rear of the garage. The proposed alterations include new landscape and hardscape, replacing nontraditional details with Spanish Colonial Revival materials encouraged by the City Design Guidelines; new balcony railings, replacing and redesigning a courtyard stairway with open railings to minimize visibility of mass from the street; and installing a courtyard chimney and modifying the existing chimney cap to match.
- Zoning Ordinance Section 17.16.100 requires Zoning Administrator approval of a Minor Cultural Heritage Permit (MCHP) to allow exterior alterations and an addition under 500 square feet to a structure listed on the City's Designated Historic Resources List.
- The CHSC reviewed the project on May 12, 2021. The CHSC supported the project with recommended design changes to improve the project's consistency with design guidelines and required findings. See Attachments 10 and 11 for the CHSC staff report, minutes, and the applicant's response to CHSC comments. It is staff's position that the applicant made sufficient design changes to address the CHSC's recommendations.
- The project meets the required findings for approval because:
  - The project preserves the structures' form and scale visible from the street, replaces nontraditional details with materials and design features recommended by the City's Design Guidelines for Spanish Colonial Revival architecture, and the project repairs and restores original materials where feasible. New landscaping reduces visibility and focus on the 1980s addition and accents the entrance pathway and other original portions of the structure. Also, the project improves the design and reduces the height of a non-original garden wall to restore apparent spacing and varied scale of the adjoining historic garage and residence;

- The project does not increase the structure's maximum height; the addition has setbacks exceeding requirements, and lot coverage below the maximum allowed by the zoning district;
- The project's architectural design and materials are compatible with the historic structure. The proposed materials will help differentiate alterations from the original house while remaining consistent with the structures' Spanish Colonial Revival architecture. Also, the alterations can be removed in the future to restore the form and integrity of the historic property and environment; and
- The project completes improvements in a Mills Act agreement for the rehabilitation of the structure and ahead of the contract time schedule.
- The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) because the project involves exterior alterations and less than a 50 percent addition to a residence.
- Public comments have not been received on this item as of the date this report was prepared.

## **RECOMMENDATION**

Staff recommends that the Zoning Administrator:

1. Determine the project is Categorically Exempt from the requirements of the CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities); and
2. Adopt Resolution ZA 21-008, approving Minor Cultural Heritage Permit 20-083, Lindbom Residence, subject to attached conditions of approval.

### ***Attachments:***

1. Resolution ZA 21-008  
Exhibit A - Conditions of Approval
2. Location map
3. 2006 DPR survey form
4. Mills Act contract improvements
5. Photographs
6. Annotated photographs
7. Secretary of the Interior Standards
8. Architect inspection report
9. Materials board
10. May 12, 2021 CHSC staff report and minutes
11. Applicant response to CHSC comments
12. Plans

# ATTACHMENT 1

## RESOLUTION NO. ZA 21-008

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING MINOR CULTURAL HERITAGE PERMIT 20-083, LINDBOM RESIDENCE, A REQUEST TO ALLOW EXTERIOR ALTERATIONS AND AN ADDITION TO A HISTORIC RESIDENCE LOCATED AT 1815 CALLE DE LOS ALAMOS

WHEREAS, on February 28, 2020, an application was submitted by Richard and Leanne Jones, 1815 Calle De Los Alamos, San Clemente, CA, 92672, for Minor Cultural Heritage Permit 20-083, Lindbom Residence, and deemed complete on May 24, 2021; a request to consider exterior alterations and a minor addition under 500 square feet to a historic residence at 1815 Calle De Los Alamos with a City Mills Act agreement. The site is in the Residential Low Zone within the Coastal Zone Overlay (RL-CZ). The site's legal description is Lot 7, Block 16 of Tract 852 and Assessor's Parcel Number is 692-301-07; and

WHEREAS, the Planning Division completed an initial environmental assessment of the above matter in accordance with California Environmental Quality Act (CEQA) and recommends that the Zoning Administrator determine this project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities) because the project involves exterior alterations and less than a 50 percent addition to a residence; and

WHEREAS, the City Planner advertised and noticed the Zoning Administrator public hearing for this item at least ten days in advance of the public hearing by both publication in a newspaper of general circulation in the City of San Clemente and by mailing a notice of the time, place, and purpose of such hearing to required recipients including property owners within 300 feet of the subject parcel; and

WHEREAS, on March 5, 2020, and October 15, 2020, the City's Development Management Team (DMT) reviewed the proposed project and determined it complies with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, on May 12, 2021, the City's Cultural Heritage Subcommittee (CHSC) considered the project and recommended design changes. Since the meeting, the applicant made project revisions to address CHSC comments; and

WHEREAS, on June 17, 2021, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, The Zoning Administrator of the City of San Clemente does hereby resolve as follows:



Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. Compliance with the California Environmental Quality Act.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is Categorical Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities). This exemption consists of the operation, repair, maintenance, or minor alteration of existing public or private structures involving negligible or no expansion of the existing use, including additions to existing structures that do not result in an increase of more than 50 percent of floor area. Here, the proposed project involves minor exterior alterations and a 91 square foot addition to a 2,867 square-foot residence on the City's designated list of historic resources.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines Section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time, given the proposed use is consistent with General Plan policies and Zoning regulations, which were studied and addressed in the General Plan EIR. Development of the site is limited by standards for density, setbacks, lot coverage, parking, height, etc. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. The project is consistent with the Secretary of Interior Standards as described in Section 3.F, and completes Mills Act contract improvements for rehabilitation of the historic resource ahead of the required schedule. Thus, the Class 1 exemption applies, and no further environmental review is required.

Section 3. Minor Cultural Heritage Permit Findings

The Zoning Administrator finds the following regarding MCHP 20-083:

- A. The architectural treatment of the project complies with the San Clemente General Plan, in that:
1. The project improves the architectural and historical integrity of the historic resource consistent with the Secretary of Interior Standards. The project preserves the buildings form and scale visible from the street, replaces nontraditional materials, repairs and restores features, and enhances the historically open street scene with attractive landscaping that accents the main entrance. The landscape also provides vertical plantings to reduce visibility and focus on a prior addition that altered the residence's form and roofline visible from the street. Also, the project improves the design and reduces the height of a non-original garden wall to restore apparent spacing and varied scale of adjoining

historic structures. Therefore, the project is consistent with the following:

- a. Land Use Element Policy LU-1.04. Single-Family Residential Uses: *"We require that single-family houses and sites be designed to convey a high level of architectural and landscape quality in accordance with the Urban Design Element and Zoning Code..."*;
  - b. Coastal Land Use Plan Policy LU-5 which states, *"Require that single-family houses and sites be designed to convey a high level of architectural and landscape quality and consideration of the following: Varied and distinct building elevations, facades, and masses (avoiding undifferentiated "box-like" structures); Use of landscaping to complement the architectural designs of structures; and Location and design of garages so that they do not dominate the appearance of the dwelling from the street;"*
  - c. Historic Preservation Element Policy HP-2.05, State and Federal Standards, *"We ensure projects follow the Secretary of Interior Standards for the Treatment of Historic Properties and standards and guidelines as prescribed by the State Office of Historic Preservation for any listed historic resources or properties eligible for historic listing;"* and
  - d. Historic Preservation Element Policy HP-2.10, *"Additions to historic structures shall preserve the resources' historic and architectural significance and shall be consistent with the City's Historic Preservation Guidelines."*
- B. The architectural treatment of the project complies with the Zoning Ordinance including, but not limited to, height, setback, and color, in that:
1. The project improves the architectural and historical integrity of the residence consistent with the purpose of Minor Cultural Heritage Permit described in Zoning Ordinance Section 17.16.100;
  2. The project complies with development standards. The residence's height, size, and lot coverage are below the zoning district allowances for the neighborhood. The project does not increase the structure's maximum height; the addition has setbacks exceeding requirements, and lot coverage below the maximum allowed by the zoning district; and
  3. The project enhances the street scene with attractive landscaping consisting of native plant species and a mix of plant profiles that accent the entrance and historically significant portions of the structure. The landscaping implements goals in the General Plan and intent of regulations in the Zoning Ordinance for landscaping and drainage.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines, in that:
1. The project improves the architectural and historical integrity of the historic

resource consistent with the Secretary of Interior Standards. The project preserves the structures' form and scale visible from the street, replaces nontraditional materials, repairs and restores features, and enhances the historically open street scene with attractive landscaping that accents the main entrance. The landscape also provides vertical plantings to reduce visibility and focus on a prior addition that altered the residence's form and roofline visible from the street. Also, the project improves the design and reduces the height of a non-original garden wall to restore apparent spacing and varied scale of adjoining historic garage and residence. Therefore, the project is consistent with design guidelines for Spanish Colonial Revival architecture and historic structures, including:

- a. Guideline II.C.2, Basic Principles of 'Spanish Colonial Revival' Architecture,. "Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture" and "Ornament and sculptural detail are located where special emphasis is desired, such as at entrance ...;" and
  - b. Guideline IV.E.1, Compatibility with Historic Resources, "*New development should preserve and be compatible with existing historic resources...*"; and Guideline IV.E.2, Diligent Effort to Rehabilitate,. "*New improvements to renovate or alter a historic site should demonstrate a diligent effort to retain and rehabilitate the historic resource...*"
- D. The general appearance of the proposal is in keeping with the character of the neighborhood, in that:
1. The project's scale, mass, form, setbacks, and materials are compatible with adjacent existing structures. The proposed additions are one-story screened from the street in a neighborhood with one-and-two story structures. The project does not increase the maximum height of the structure;
  2. The proposed additions have setbacks exceeding requirements and the proposed lot coverage is below the maximum allowed by the zoning district; and
  3. The proposed architectural alterations enhance the appearance of the structure consistent with the City's Design Guidelines for Spanish Colonial Revival architecture and historic structures. The project has traditional, high-quality materials and details.
- E. The proposed use will not be detrimental to the harmonious development of the City, in that:
1. The project is proposed on a developed site in an urban area;
  2. The proposed alterations to the structure have high quality architecture consistent with the City's Design Guidelines;

3. The residence's height, size, and lot coverage are below the zoning district allowances for the neighborhood. The project does not increase the structure's maximum height; the addition has setbacks exceeding requirements, and lot coverage below the maximum allowed by the zoning district; and
  4. The proposed alterations are consistent with the Secretary of the Interior's Standards for the rehabilitation of historic structures to be compatible with the historic residence. The project completes improvements in a Mills Act agreement for the rehabilitation of the structure and ahead of the contract time schedule.
- F. The City finds that the proposed rehabilitation including modifications, alterations, and additions, are sufficiently in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties and preserve to the extent feasible the character defining features, in that:
1. The project preserves the property's historical use as a residence with an open landscaped street scene;
  2. The project preserves or rehabilitates the structure's historical integrity. The project replaces nontraditional and non-original materials with high-quality traditional Spanish Colonial Revival materials and details, and repairs and restores features where feasible. The proposed landscaping accents the historical main entrance to make that space and connecting pathway a visual focal point from the street;
  3. The project improves the structure's integrity where a prior addition and alterations were completed inconsistent with Secretary of Interior standards. According to a 2006 City historic structure survey, the property is listed as having a "fair" integrity due to two projects: 1) the second story addition in 1980 that altered the structure's original roofline and form visible from the public right-of-way, and 2) a high masonry white stucco "garden wall" with roof members was constructed after 1960 between the original garage and residence. The proposed landscaping reduces visibility and focus on the 1980s addition and accents the entrance pathway and other original portions of the structure. The project also improves the design and reduces the height of a non-original garden wall to restore apparent spacing and varied scale of the adjoining historic garage and residence;
  4. The project does not change portions of the building that have acquired historic significance. The project maintains the building's form and scale visible from the street with alterations that maintain or restore spatial relations that characterize the property;
  5. The project's architectural design and materials are compatible with the historic structure. The proposed materials, such as roof tiles, stucco, windows, and doors, will help differentiate additions and alterations from the original house while remaining consistent with the structure's Spanish Colonial Revival architecture. Also, the alterations will be undertaken in a manner that do not

create a false sense of historical development. The alterations can be removed in the future to restore the form and integrity of the historic property and environment; and

6. The project will not result in the loss of character-defining features.

Section 4. Zoning Administrator Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Minor Cultural Heritage Permit 20-083, Lindbom Residence, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on June 17, 2021.

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Cecilia Gallardo-Daly, Zoning Administrator

CONDITIONS OF APPROVAL  
MINOR CULTURAL HERITAGE PERMIT 20-083, LINDBOM RESIDENCE

**1.0 GENERAL CONDITIONS OF APPROVAL**

- 1.1 Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner. Planning
- 1.2 The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs, The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. Planning
- 1.3 Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180. Planning
- 1.4 The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws. All

**4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS**

- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. Planning

**Landscape Plans**

- 4.5 The applicant shall submit, and must obtain approval from the City’s Consulting Landscape Architect, a detailed landscape and irrigation plan incorporating drought tolerant plants, prepared by a registered landscape architect, and in compliance with all pertinent requirements. (SCMC Section 17.68.020) Planning

**Utilities**

- 4.13 In the event the project valuation is \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following: \*Public Works

- A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach and utilities to meet current City standards (2% cross fall) when adequate right-of-way exists, unless a waiver is applied for and approved by the City Manager. This includes construction of an ADA compliant access ramp at the corner intersection to meet City Standards. Since the street right-of-way is approximately 7.5 feet behind the curb face on Calle Primavera, a sidewalk easement is anticipated to be required to be granted to the City for sidewalk purposes, unless the waiver is approved by the City Manager. Since the street right-of-way is approximately 10 feet behind the curb face on Calle de los Alamos, a sidewalk easement is not anticipated to be required to be granted to the City for this frontage.

- B. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector.

- C. An Administrative Encroachment Permit will need to be approved to the satisfaction of the City Engineer for the proposed garden wall and associated improvements located within the public right of way.

*[SCMC Chapter 15.36 and Sections 12.08.010, 12.20 and 12.24.050]*

**5.0 PRIOR TO FINAL INSPECTION**

**Architecture**

- 5.10 All exterior details and materials shall be approved by the Planning Planning

Division prior to installation.

- 5.11 Two-piece clay tile roofing shall be used with booster tiles on the edges and ridges and random mortar packing. The mortar shall be packed on 100 percent of the tiles in the first two rows of tiles and along any rake and ridgeline, and shall be packed on 25 percent of the tiles on the remaining field. Mortar packing shall serve as bird stops at the roof edges. The volume of mortar pack to achieve the appropriate thickness shall be equivalent to a 6 inch diameter sphere of mortar applied to each tile. And, original roof tiles shall be used along rake and ridgelines and in the field where tiles are more visible from the street. Planning  
\*
  
- 5.12 Stucco walls shall consist of ‘steel, hand trowel’ (no machine application), smooth Mission finish and slight undulations (applied during brown coat) and bull-nosed corners and edges, including archways (applied during lathe), with no control/expansion joints. Planning
  
- 5.13 The design and material of the garage door shall be approved by the Planning Division prior to commencing work on the garage door area. The single-panel garage door should be repaired and refinished or replaced with a similar design, unless the Engineering Division recommends a sectional door to ensure safe and unobstructed use of right-of-way in close proximity of the garage for pedestrian and vehicle traffic. Planning  
\*\*

**7.0 OPERATIONAL CONDITIONS OF APPROVAL**

- 7.17 The Applicant (including any property owners and managers, and their designees) understands and acknowledges that short-term lodging and boarding house uses are not permitted with the approval of this permit. Short-term lodging units (STLUs) and boarding houses require City-approval, and any unpermitted STLU or boarding house operations are prohibited. Applicant, property owner, and any successors in interest of the property shall be responsible for ensuring that all residential uses abide by the City’s zoning requirements for the subject zone. *[Citation - Section 17.04.060(B) & 17.32.030/17.36.020/17.40.030/17.52.030 of the SCMC]* Code  
Comp  
\*\*
  
- 7.18 The Applicant (including any property owners and managers, and their designees) shall ensure that discharge of washwater and other pollutants is prohibited from entering the storm drain system. Applicant must prevent pollutants (e.g. sediment, trash, food waste etc.) and any washwater used during cleanup from entering the storm drain system. Code  
Comp  
WQ  
\*\*
  
- 7.19 The Applicant (including any property owners and managers, and Code

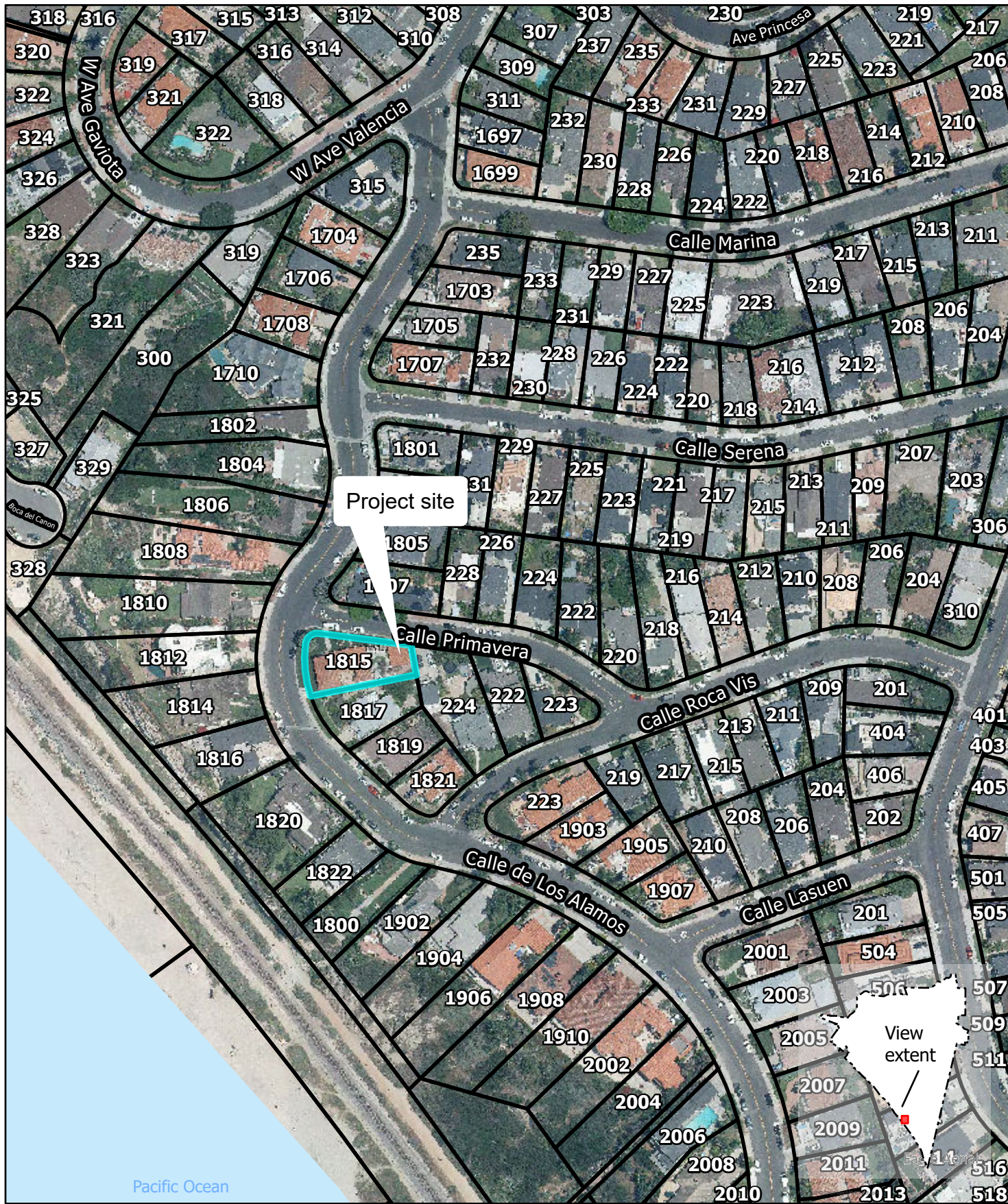


their designees) shall use her/his best judgment and best management practices to ensure the residential activities on the premises will be conducted in a manner that will not be disruptive to neighbors. The property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, "It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval," and any subsequent revision of this section of the code. *[Citation - Section 8.52.030(Y) of the SCMC]*

Comp  
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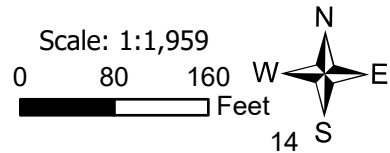
- \* Denotes a modified Standard Condition of Approval
- \*\* Denotes a project-specific Condition of Approval





### Vicinity Map

Project: Lindbom Residence  
Address: 1815 Calle De Los Alamos





# PRIMARY RECORD

Other Listings

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

Resource Name or #: 1815 CALLE DE LOS ALAMOS

**P1. Other Identifier:**

**P2. Location:**  Not for Publication  Unrestricted **a. County** Orange  
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

**b. USGS 7.5' Quad** Date T ; R ; 1/4 of 1/4 of Sec ; **B.M.**

**c. Address** 1815 Calle De Los Alamos **City** San Clemente **Zip** 92672

**d. UTM: Zone ; mE/ mN**

**e. Other Locational Data:** Assessor Parcel Number: 692-301-07

**P3a. Description:**

The property contains a two-story single family residence with a irregular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a front-gable roof as well as a hip roof portion. A shed roof is over the full length porch running along the primary facade. The porch features wood balustrades and wood porch supports. The residence also features exposed rafter tails. A garden wall runs between the residence and garage. The fenestration consists of original wood casement windows throughout the residence. There are steel casements on the second level. Altered fenestration includes steel casements on the second level and vinyl windows along the Calle De Los Alamos elevation. The residence is in good condition. Its integrity is fair.

**P3b. Resources Attributes:** 02 Single Family Property

**P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other



**P5b. Description of Photo:**

West elevation, east view. May 2006.

**P6. Date Constructed/Sources:**

Historic  Both  
 Prehistoric

1928 (F) Building Permit

**P7. Owner and Address:**

Barron, Salomon & Barron, Yolanda M.  
1815 Calle De Los Alamos

**P8. Recorded by:**

Historic Resources Group, 1728  
Whitley Avenue, Hollywood, CA  
90028

**P9. Date Recorded:** 9/20/2006

**P10. Survey Type:**

City of San Clemente Historic  
Resources Survey Update

**P11. Report Citation:** None.

**Attachments:**  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

DPR 523A (1/95) HRG

# BUILDING, STRUCTURE, AND OBJECT RECORD

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NRHP Status Code 3D

Resource Name or #: 1815 CALLE DE LOS ALAMOS

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved?  No  Yes  Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: Carl Lindbom

b. Builder: (Unknown)

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This two-story single-family residence was built for Bent. Brown and designed by Carl Lindbom in 1928. This property is a distinctive example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development, and under Criterion C for its unique interpretation of the Spanish Colonial Revival style. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

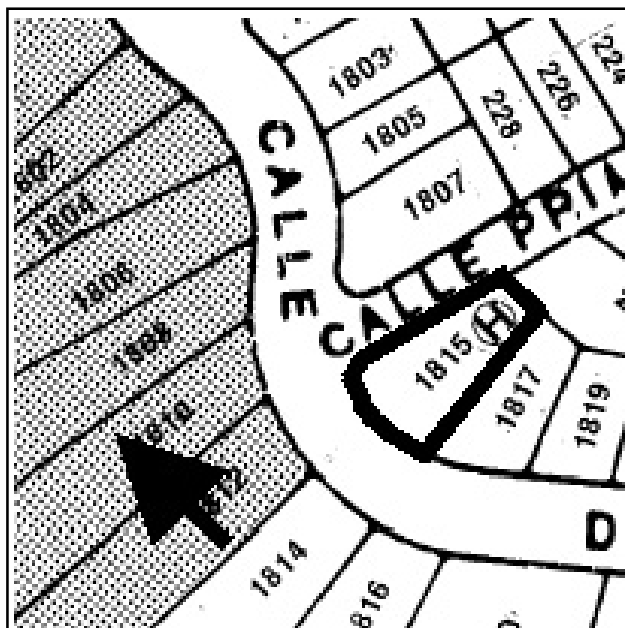
B12. References: San Clemente Building Permits; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/20/2006

(This space reserved for official comments.)



# CONTINUATION SHEET

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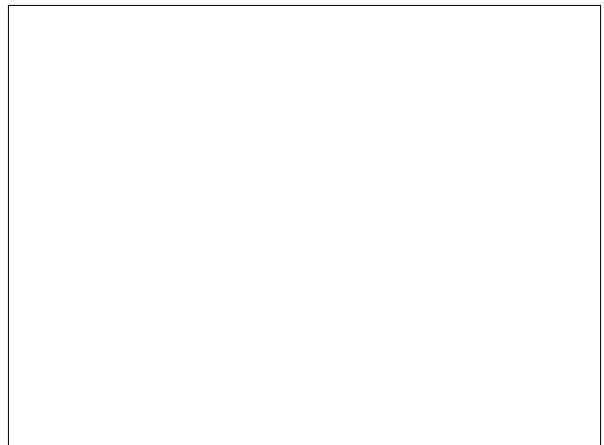
Resource Name or #: 1815 CALLE DE LOS ALAMOS

Recorded by: Historic Resources Group

Date: 9/20/2006

Continuation  Update

## Photographs of the Subject Property, Continued:



# ATTACHMENT 4

## **HISTORIC PROPERTY IMPROVEMENTS TO BE COMPLETED**

Historic property improvements due prior to and up to the date of sale or transfer of the property shall be completed prior to sale or transfer of the property.

	Proposed Work/Task	Proposed Completion
1.	Engage the services of a structural engineer with experience in historic preservation to assess garage foundation/ structure and prepare an implementation plan for recommended work. Work may entail the removal of large tree in rear courtyard.	2020
2.	Carefully remove peeling paint from original wood casement windows using the gentlest means possible, make any necessary repairs and repaint. Inspect annually for proper operation, seal, make repairs in kind as needed.*	2019
3.	Carefully remove paint from doors using the gentlest means possible and repaint as needed. Inspect annually for proper operation, seal, make related repairs in kind as needed.*	2019
4.	Repair or replace in kind individual, deteriorated wood board of soffit.	2022
5.	Repair or replace in kind broken crawlspace vents around base of house to prevent debris and rodents from entering or causing damage to building/foundation.	2022
6.	Replace incompatible, non-original vinyl windows with new windows that are compatible with the historic character of the building.	2022
7.	Prep, patch, repair and repaint exterior stucco in kind.	2022
8.	Replace incompatible, replacement "S" tiles with appropriate clay tiles following the San Clemente Design Guidelines.	2026
9.	Refurbish wrought iron light fixtures on site. Place compatible fixtures on front elevation.	2026
10.	Make necessary upgrades to electrical, mechanical, and plumbing systems so that it results in the least alteration possible to the historic building and its character-defining features.	2026
11.	Replace incompatible, non-original vinyl garage door with new door that is compatible with the historic character of the building.	2028
12.	Prepare a comprehensive landscape and hardscape plan, documenting existing conditions, and submit to the City with all proposed work including new courtyard with fountain, backyard pool, etc.	2028
13.	Provide a clear termite inspection report (also known as a WDO Report).	2028
14.	Engage the services of an architectural historian or architect/designer with experience in historic preservation to restore original staircase based on documentary evidence or create new design that is compatible with the size, scale, material, and color of the historic building.	2033

\* See the National Park Service's Preservation Brief #10 for instructions on paint removal.



# ATTACHMENT 5

Below are historic aerial images of the neighborhood from 1938 and 1960. Additional current photos of the property are on the following pages. The aerials helped to identify that the wall enclosing the courtyard and the front attached patio cover were later additions.

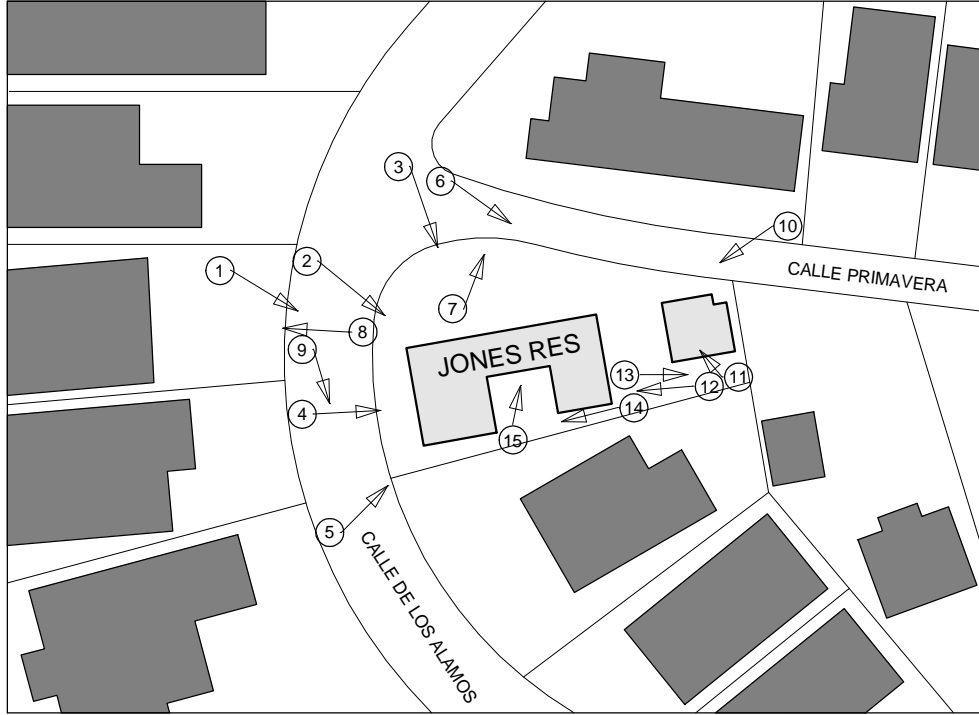
**Figure 1 – 1938 Aerial Photo**



**Figure 2 – 1960 Aerial Photo**



# JONES RESIDENCE - PHOTOGRAPHS



①





②



③



④



⑤





6



7





8



9





10



11





12



13





14



15



REMOVE PINK STUCCO/TILE DETAIL AROUND WINDOWS AND DOORS, TYP

REMOVE AND REPLACE ENTRY WALK, ADD TILE STAIRS, BRICK DETAILING AND ENTRY PILASTERS TO ENHANCE MAIN ENTRANCE

GREEN SHADE INDICATES VISIBLE PORTION OF EXISTING HISTORIC STRUCTURE





REPLACE (E) WINDOW WITH FRENCH DOORS AND IRON JULIETTE BALCONY

REPLACE (E) WINDOW WITH FRENCH DOORS TO BALCONY

INFILL RECESSED WALLS w/ STUCCO

REDUCE DECK LENGTH



REMOVE AND REPLACE 45 DEG. DECK SUPPORT w/ EXPOSED BEAMS

REMOVE PINK STUCCO/TILE ACCENT AROUND WINDOWS. REPLACE w/ ROUNDED STUCCO

GREEN SHADE INDICATES VISIBLE PORTION OF EXISTING HISTORIC STRUCTURE

REPLACE (E) WINDOW WITH FRENCH DOORS AND STEPS TO PATIO



REPLACE (E) WINDOW WITH FRENCH DOOR AND IRON JULIETTE BALCONY

REMOVE AND REPLACE S-TILE w/ CLAYT BARREL TILE, TYP

REMOVE AND REPLACE NON-HISTORIC STAIR AND LANDING SUPPORT WALLS

REMOVE AND REPLACE WINDOWS AND DOORS IN NON-HISTORIC WALL

CONSTRUCT NEW OUTDOOR STUCCO FIREPLACE AND HEARTH

GREEN SHADE INDICATES VISIBLE PORTION OF EXISTING HISTORIC STRUCTURE



GREEN SHADE INDICATES VISIBLE PORTION OF EXISTING HISTORIC STRUCTURE

REMOVE NON-HISTORIC PORTION AT BACK OF GARAGE. REPLACE WITH OUTDOOR KITCHEN AND POOL EQUIPMENT ROOM (NOT VISIBLE FROM PUBLIC R.O.W.)



## **SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES**

***Rehabilitation (making possible a compatible use for a property through repair, alterations and additions while preserving portions/features that convey its historical, cultural or architectural values)***

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Lindbom Residence Remodel/Addition:

In response to the DMT recommendation, we performed exploratory demolition of the existing structure in the areas we are proposing to modify. The building materials of more recent dimensional Douglas Fir and pressure treated lumber, modern asphalt impregnated black building paper, and stucco finish with galvanized chicken wire lath all indicate the areas we investigated were constructed during the 1980 second story addition, and are not historic elements. See below for our findings:

1. **The existing exterior stairs** are not historic. They are constructed with pressure treated lumber, exposed on the top side, and supported on pre-made pyramid footing supports. There are Spanish tiles on the risers, but these were clearly not historic and were installed on the new stairs. The stairs are sub-par and shoddy construction.



A.



B.



C.

2. **The existing battered walls** supporting the landing and creating an enclosed entry foyer are not historic. We broke a portion of the exterior stucco below the stairs, and the wall is constructed with new douglas fir studs supported on a pressure treated sill plate. The stucco lath is galvanized chicken wire over impregnated black building paper.



A.



B.

3. **The exterior walls on the North and West elevations** are double wall stud construction where the interior “Historic Wall” still has the original wood lath and plaster on the interior face, and the exterior face has non-historic stucco which appears to have been replaced monolithically with the stucco on the outer stud wall. The outer wall was constructed to support the non-historic second story structure above is constructed with new steel pipe columns on pad footings with douglas fir stud infill and stucco with galvanized chicken wire lath and new stucco over impregnated black building paper. 2 building sections from plans prepared for the second story addition showing the double wall condition are shown below for item 4.



A.

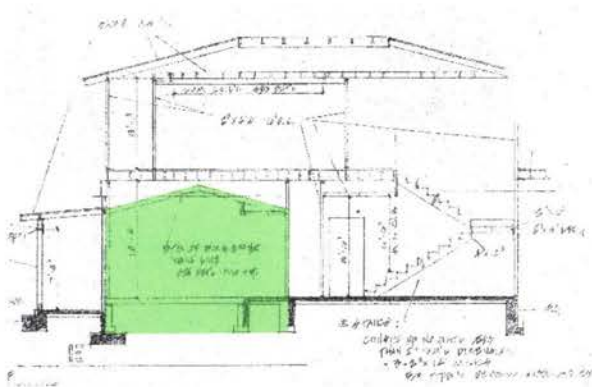


B.

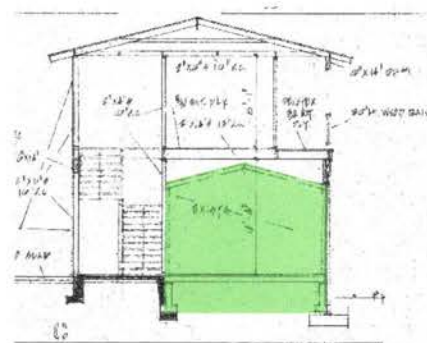


C.

4. **The interior stair well and associated exterior walls** are not historic as is evidenced looking at both sections C and E below. This wing of the historic structure was completely enclosed by new walls, floor and roof, with the exception of 2-rectangular recesses as noted in item 3 above. The interior stairs were constructed to provide access to the added second story 1980.

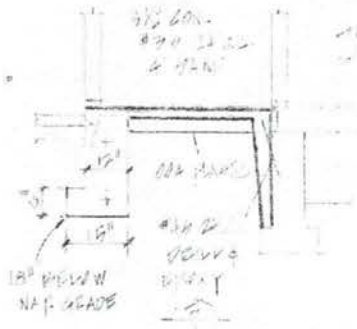


Section E



Section C

5. **The South wall of the kitchen at the courtyard** is not historic. It appears that the roof framing was replaced to extend into the courtyard. See detail 3 below showing a new slab and footing outside of the existing raised floor kitchen creating the existing hall. The photos below were taken from the interior side of the exterior wall after removing a portion of the ceiling. It is clear that the roof and wall framing is not historic, with plywood sheathing on the roof.



Section 3



A.



B.

Based on the investigative demolition and documentation of the construction drawings from the prior 2-story addition, it is clear that none of the exterior walls we are proposing to alter are historic elements. We have included a comprehensive demo plan with existing elevations and keynotes indicating historic and non-historic elements.

Regards,

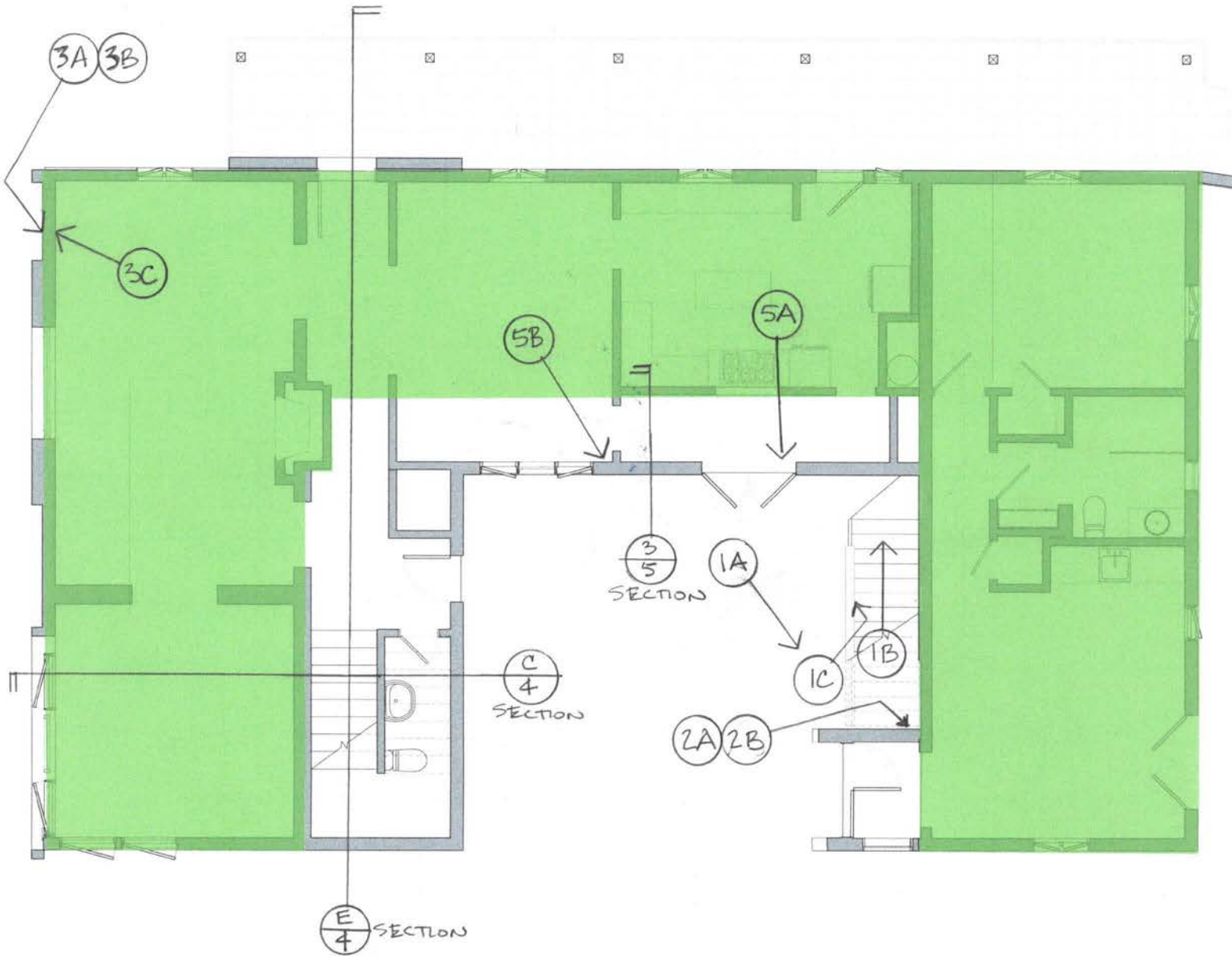
Iain Buchan, PE



# LINDBOM RESIDENCE

## DEMO KEY PLAN

\* GREEN SHADE INDICATES FOOTPRINT OF HISTORIC STRUCTURE





# ATTACHMENT 9

Jones Residence Exterior Materials  
1815 Calle de Los Alamos  
San Clemente, CA 92672

Window Color:



Stairwell Window Glazing



Exterior Door Color



Exterior Lighting Fixture



Chimney Cap



**CITY OF SAN CLEMENTE  
MINUTES OF THE REGULAR MEETING OF THE  
DESIGN REVIEW SUBCOMMITTEE  
MAY 12, 2021**

Subcommittee Members Present: Bart Crandell, Zhen Wu, and Michael Blackwell  
(All Subcommittee members participated in meeting via teleconference)

Staff Present: Senior Planner Stephanie Roxas, Associate Planner II Christopher Wright (Staff participated in meeting via teleconference)

**1. MINUTES**

The Subcommittee approved the minutes from the April 28, 2021 regular meeting.

**2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:**

**A. Minor Cultural Heritage Permit 20-083, 1815 Calle De Los Alamos, Lindbom Residence (Wright)**

A request to allow exterior alterations and add 91 square feet to a historic residence at 1815 Calle De Los Alamos with a City Mills Act agreement.

Associate Planner II Christopher Wright summarized the staff report. The applicants, Richard and Leanne Jones, and architect, Iain Buchan, were also present and available to answer questions.

No public comments were received on this item.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Recommended use of an alternative to the dwarf Strawberry trees. Stated that Olive "Swan Hill" trees are a more desirable species to flank the entry pathway for accent from the street.
- Recommended refinishing the existing garage one-piece door. If that is not practical and a sectional is proposed, a wood door is encouraged with a traditional design to complement the historic building.
- Stated the balconies should have a consistent railing design and material with use of wood or wrought-iron.
- Expressed concern over the high visibility of the proposed courtyard chimney. Recommended either reducing the height and relocating the structure, or minimizing the chimney's mass. If the latter, the Subcommittee stated the design and cap of the proposed and existing chimneys should complement each other, and encouraged upgrading the existing chimney cap.

- Supported the use of the proposed copper sconce or a similar high-quality traditional material.
- Recommended elimination of the keyhole door and roof tile on the garden wall and replacing the door with a simpler but attractive gate.
- Expressed concern over the massing of the new staircase visible from the street. Recommended replacing the stucco wall railing with wrought-iron and pilasters as needed for support.

In response to the Subcommittee's recommendations, the applicant agreed to work with staff to make design changes to address all or most of the comments noted above.

The Subcommittee approved the project proceeding to a Zoning Administrator hearing if the applicant works with staff to address these design issues consistent with the Subcommittee's guidance.

**B. Master Project 21-002, Project Summer, APNs 688-151-03 and 688-151-04**  
(Roxas)

A request to develop two vacant industrial parcels located at the terminus of Calle Cordillera and Calle Sombra in the Rancho San Clemente Business Park. The proposal includes construction of a 97,962 square foot e-commerce delivery station with a delivery van queueing area and parking storage for fleet automobiles and vans.

Senior Planner Stephanie Roxas summarized the staff report. The applicant was also present and available to answer questions. The applicant team was comprised of Derek Meddings of Greenlaw Partners; Robbie Knight of BH DevCo; and Niraj Patel, Noah Ramos, Luke Corsbie, Tam Nguyen, Jennifer Euyoqui of Ware Malcomb.

Staff received eight public comments on this item, and at their request, seven comment letters were read into the meeting record. Collectively the public comments cited concerns related to traffic, noise, lights, land use, compatibility, and potential impacts to surrounding residential neighborhoods.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Agreed with staff's recommendations outlined in the staff report.
- Recommended raising and/or lowering portions of the building to create variation in the roof height line.
- Recommended exploring lighting options that integrate lighting into the design of the building rather than being affixed onto the building walls.
- Recommended exploring opportunities to further screen the truck loading dock, especially from views off the public trail.
- Expressed concern over the proposed building height, especially given the topography of the area and the site's raised elevation. Recommended exploring



## Cultural Heritage Review Subcommittee

Meeting Date: May 12, 2021

**PLANNER:** Christopher Wright, Associate Planer II

**SUBJECT:** **Minor Cultural Heritage Permit, 20-083 Lindbom Residence,**  
a request to allow exterior alterations and add 91 square feet to  
a historic residence at 1815 Calle De Los Alamos with a City Mills  
Act agreement.

### **BACKGROUND**

In 1928, the site was developed with a 1,867 square foot residence and detached garage on a 7,260 square-foot reverse corner lot. The site is in the Residential Low Zone within the Coastal Zone overlay (RL-CZ). The two-story residence was built for Bent. Brown and designed by Carl Lindbom. Mr. Lindbom designed only two other residences in San Clemente: (1) La Casa Pacifica, the residence of H.H. Cotton and the “Western White House” retreat of former President Nixon; and (2) Casa Romantica, the residence of San Clemente’s founder, Ole Hanson. The residence has a C-shape around a courtyard.

**Figure 1 – Existing conditions**



### ***2006 Historic Survey***

The property was surveyed by the Historic Resources Group in 2006. The survey stated the resource is in good condition and identified the structure as a contributor to a potential local historic district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. The structure’s integrity is fair due to alterations. The

Department of Parks and Recreation (DPR) survey form (Attachment 2) describes the property as follows:

“The property contains a two-story single family residence with a irregular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a front-gable roof as well as a hip roof portion. A shed roof is over the full length porch running along the primary facade. The porch features wood balustrades and wood porch supports. The residence also features exposed rafter tails. A garden wall runs between the residence and garage. The fenestration consists of original wood casement windows throughout the residence. There are steel casements on the second level. Altered fenestration includes steel casements on the second level and vinyl windows along the Calle De Los Alamos elevation.”

Table 1 summarizes permits pulled with the City for the property after original construction. Most elevations of the structures have been modified to some extent.

**Table 1- Permit history**

Time	Work completed
1944	6' x 14' wood shed (since removed)
Post-1960	Garden wall connection from residence to detached garage
1967	New water heater
1980	This project added a 1,000 square-foot second story above the original one-story structure, shown in Figure 1, added to the first story on the interior side yard, and added a second story balcony. To construct the project, support posts and a wall were built over a majority of the front facade with the exception of two inset areas. The addition also expanded the rear of the structure surrounding the interior courtyard and added a non-original staircase to the second-story studio.
1980	New steps and covered patio deck with Spanish tile and posts (also shown on Figure 1) facing Calle Primavera. The patio is attached to original building form, also making the facade less visibly prominent, particularly the historical primary entrance.
1981	Spa in courtyard (since removed)
2001	Garage re-roof with clay tiles and underground conduit for utility line

As noted by the City's 2006 survey, this property is listed as having "fair" integrity. This is due to two projects: 1) the second story addition in 1980 that very visibly altered the property from view of the public right-of-way, and 2) the masonry white stucco "garden wall" constructed after 1960 that connects the original garage and residence. These alterations were completed when the City's architectural restrictions, established by Ole Hanson, were abandoned between 1937 and early 1980s. With renewed controls and historic preservation emphasis, the addition and wall likely would not be approved today as designed. This is because the alterations are inconsistent with the Secretary of the Interior's standards. The addition is not setback or subservient to the original structure and elevation, modifies and conceals the original form and structural roofline visible from the street. Also, non-traditional

Spanish Colonial Revival details were added, such as stucco, painted window surrounds and poor quality rafter tails. In terms of the garden wall, the enclosure has a height, materials, and details that diminish the distinctive visual spacing and scale of the original structures. Despite these questionable structural changes, the 2006 survey found the property is still significant because of its association with the Ole Hanson era of development and the significance of its architect, Carl Lindbom.

### ***Mills Act***

In 2018, the City approved Historic Property Preservation Agreement (HPPA) 18-434, adding the residence to the City's "Mills Act" program that provides property tax reduction incentives to restore, improve, and preserve historic buildings and grounds. As part of the HPPA review process, an architectural historian inspected the property and recommended improvements for completion within the initial ten-year contract term or prior to property transfer.

### ***Why is CHSC Review Required?***

The Design Review Subcommittee (DRSC) serves as the Cultural Heritage Subcommittee (CHSC). CHSC review is required for MCHPs at the discretion of the City Planner or Review Authority in compliance with Section 17.12.025.B. The City Planner referred the project to the CHSC given the residence has a HPPA and a portion of the proposed improvements are required in the contract. And, the HPPA directs for improvements to be permitted according to the municipal code with attention to standards for historic preservation.

### **PROJECT DESCRIPTION**

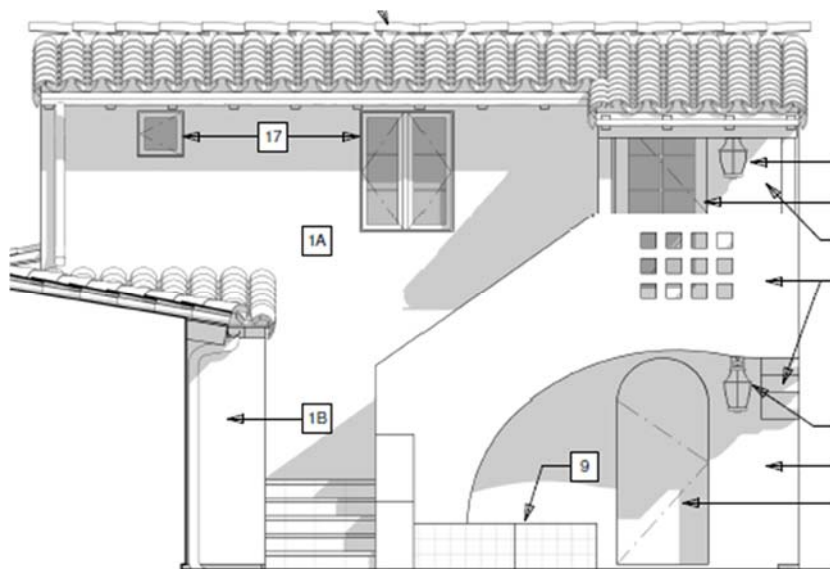
The project is summarized below. The proposed improvements complete the Mills Act contract improvements (Attachment 3) before the ten-year contract term. Refer to Attachment 5 for annotated photographs that identify original structures, alterations, and the proposed work. The applicant proposes to:

- Install new landscape and hardscape on the site, except a palm tree in the street-side yard. The comprehensive landscape plan upgrades the tree palette and drainage to reduce water use and improve wildlife habitat with the installation of a native plant palette. Accent planting would highlight the pathway to the main entrance, under the patio cover added in the 1980s, add vertical plantings in the front yard to reduce visibility and focus on the 1980 second-story addition, add a pool and fountain in the courtyard, and add a yard space in the front yard.
- Repair and restore wrought-iron light fixtures, stucco, windows, doors, soffits, and trim, wherever feasible. If replacements are needed, traditional materials and finishes will be used.
- Replace or redesign details and materials with traditional alternatives, such as replacing vinyl windows, doors (including garage door) with wood, removing stucco window "pop-out" surrounds, replacing S-tile with two-piece clay roof tile, remodeling the second-story

balcony added with the 1980 addition, adding balconies, and other changes shown on the attached plans.

- Add roof tile and replace a door in the non-original garden wall between the residence and detached garage. The proposed door has a key-hole inspired entry door that is a character-defining feature Casa Romantica.
- Add 22 square feet to a first floor kitchen adjoining the interior courtyard, where the building was expanded in 1980s so the existing footprint is non-original in this location.
- Add 69 square feet of storage to the detached garage at the rear screened from the street.
- Add two-story fireplace in the courtyard. The height would extend above the residence's original one-story roofline.
- Replace a non-original staircase used to access a second story studio from the interior courtyard. Mills Act Improvement 14 contract calls for a replacement staircase to have a design, size, scale, and materials that are compatible with the historic structure. Figure 2 below shows the proposed staircase design, modeled after the stairs on the historic resource at 1533 North El Camino Real.

**Figure 2 – Replacement courtyard staircase**



## **ANALYSIS**

### ***Development standards***

Table 2 is an analysis of the project's consistency with development standards. The residence and garage are nonconforming, but the proposed project complies with zoning requirements.



**Table 2 – Development standards**

Standard	Existing Condition	Development Standard	Proposed	Complies with standards
Lot coverage (Maximum)	34.3%	50%	34.6%	Yes
Height (Maximum)	24'-9"	25'	No change	Yes
Setbacks (Minimum):				
Front (De Los Alamos)	15'-4"	20'	No change	Yes
North street side yard (Calle Primavera)	4" (garage)/ 9'-6" (house)/7'-7" garden wall	10'	No change	Yes
South side yard	4'	10% average lot width up to 6' (6' on site)	6'	Yes
Rear yard	4'-11"	0'	No change	Yes
Landscaping (Minimum):				
Trees	One palm tree	3 trees (73'-4" front street frontage) at one 15-gallon tree per 25' street frontage	3 trees (2 new)	Yes
Front yard coverage		50% planting with 60% natives	33.7% w/60% native. Street side yard 66% coverage (not required)	Yes
Required parking (Minimum):	2 spaces covered	2 spaces	No change	Yes

***Architectural and Cultural Heritage Review***

As mentioned above, the historic structure’s significance is its Ole Hanson/Spanish Village by the Sea period of development. For approval, the project must be found consistent with the City’s Spanish Colonial Revival Design Guidelines and Secretary of Interior Standards to ensure projects meet General Plan goals and policies for historic resource preservation and high quality architecture.

***Design Guidelines***

The project is generally consistent with the City’s Design Guidelines. The project does not enlarge the size of the residence or garage in a neighborhood with similarly sized projects with zoning that allows for two stories and greater lot coverage. And, the project increases



landscape coverage with a mix of plant types that soften the site’s appearance, accent the entrance pathway, and improves the streetscene. Design changes are recommended to improve the project’s consistency with design guidelines in Table 3 below.

**Table 3 - Design Guidelines analysis**

Guideline	Project Consistency
<p>II.C.2, <i>Basic Principles of ‘Spanish Colonial Revival’ Architecture</i>,. “Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture” and “Ornament and sculptural detail are located where special emphasis is desired, such as at entrance ...”</p>	<p>Mostly consistent. The project preserves the buildings form and scale. The proposed design changes mostly improve the architectural integrity of the site. The proposed “key-hole” garden wall door and courtyard chimney visible from the street add attention to prior alterations that are inconsistent with Secretary of Interior standards and Design Guidelines discussed below.</p>
<p><i>Henry Lenny Design Guidelines, Door Hierarchy</i>, “Entry Doors are the most important, and should be the most ornate. The articulation of the remaining doors may be of a lesser quality.”</p>	<p>Inconsistent. The proposed “key-hole” garden wall door is inconsistent with guidelines. The decorative garden wall changes add interest and focus to a nonoriginal area, drawing focus away from the entrance.</p>
<p>IV.E.1, <i>Compatibility with Historic Resources</i>, “New development should preserve and be compatible with existing historic resources...”; and IV.E.2, <i>Diligent Effort to Rehabilitate</i>,. “New improvements to renovate or alter a historic site should demonstrate a diligent effort to retain and rehabilitate the historic resource...”</p>	<p>Mostly consistent. The project completes improvements required in the Mills Act contract ahead of the term, enhancing the historical integrity of the structures. Also, other changes are proposed that replace nontraditional materials and details with traditional alternatives. Changes are recommended that improve the project’s consistency with Secretary of Interior standards as described in Table 4.</p>

*Secretary of the Interior Standards*

Table 4 is an analysis of Secretary of the Interior Rehabilitation Standards #9 and #10 that are a focus for this project type. Refer to Attachment 6 for the complete standards.

**Table 4 – Secretary of Interior Standards analysis**

Standard	Project Consistency
<p>Standard 9, “New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated</p>	<p>Mostly consistent. The project mostly improves the architectural and historical integrity of the resource. The project preserves the buildings form and scale, replaces nontraditional materials, repairs and restores features, and enhances the historically open streetscene with attractive landscaping that accent the main entrance. The proposed chimney and garden wall alterations are inconsistent with standards. The new chimney and garden wall alterations</p>

Standard	Project Consistency
<p>from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”</p>	<p>adds attention to the 1980 addition that doesn’t meet standards as described above. The project adds detail to the 1960s garden wall that diminished the distinctive spatial relationship and design of original structures, inconsistent with Secretary of Interior standards. This is consistent with standards that call for the historically significant and original structural elements to be a visual focus.</p>
<p>Standard 10, “New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”</p>	<p>Consistent. The addition does not alter the original footprint, height, or roofline design visible from the street. The project would retain or restore original character defining features and make changes that mostly improve the architectural quality consistent with design guidelines.</p>

**General Plan consistency**

Table 5 provides an analysis of the project’s consistency with General Plan policies. The table does not necessarily provide an analysis of all applicable policies, but rather policies of focus for the type of request.

**Table 5 – General Plan analysis**

Policy	Project Consistency
<p><i>HP-2.05, State and Federal Standards, “We ensure projects follow the Secretary of Interior Standards for the Treatment of Historic Properties and standards and guidelines as prescribed by the State Office of Historic Preservation for any listed historic resources or properties eligible for historic listing.”</i></p>	<p>Mostly consistent. See assessment of Secretary of Interior Standards above in Table 4.</p>
<p><i>HP-2.10 Consistency with Historic Preservation Guidelines, “Additions to historic structures shall preserve the resources’ historic and architectural significance and shall be consistent with the City’s Historic Preservation Guidelines.”</i></p>	<p>Consistent. See Design Guidelines analysis in Table 3 above.</p>

**RECOMMENDATION**

The following design changes are recommended to improve the project's consistency Design Guidelines, Secretary of Interior Standards, and General Plan policies discussed above. Staff seeks CHSC feedback on the project, recommended changes below, and whether the project is ready to be forwarded to the Zoning Administrator for a decision.

1. Redesign the courtyard chimney so the height does not extend above the residence's original one-story roofline facing Calle Primavera.
2. On the garden wall between the garage and residence, maintain the access door design and remove the existing window and trellis, simplifying the design of the wall to restore apparent spacing and varied scale of historic structures on both ends from Calle Primavera. Staff does not support the proposed key-hole door and addition of roof tile for the reasons described in Tables 3 and 4 above.

**Attachments:** \_\_\_\_\_

- ~~1. Location map~~
- ~~2. 2006 DPR survey form~~
- ~~3. Mills Act contract improvements~~
- ~~4. Photographs~~
- ~~5. Annotated photographs~~
- ~~6. Secretary of the Interior Standards~~
- ~~7. Architect inspection report~~
- ~~8. Materials board~~
- ~~9. Plans~~

The Cultural Heritage Subcommittee (CHSC) reviewed the project on May 12, 2021, and supports the project with design changes. The applicant’s response to the CHSC’s recommendations is summarized in Table 1 below. Following the table is the applicant’s correspondence describing the efforts made and process followed to respond to the CHSC comments.

**Table 1 - CHSC Comments**

CHSC Recommendation	Applicant Response
<p>Recommended use of an alternative to the dwarf Strawberry trees. Stated that Olive “Swan Hill” trees are a more desirable species to flank the entry pathway for accent from the street.</p>	<p><i>Addressed.</i> The applicant modified the landscape plan according to the recommendation.</p>
<p>Recommended refinishing the existing garage one-piece door. If that is not practical and a sectional is proposed, a wood door is encouraged with a traditional design to complement the historic building.</p>	<p><i>Addressed.</i> Condition of approval 5.13 requires the design and material of the garage door to be approved by the Planning Division prior to commencing work on the garage door area. The condition states that “<i>The single-panel garage door should be repaired and refinished or replaced with a similar design, unless the Engineering Division recommends a sectional door to ensure safe and unobstructed use of right-of-way in close proximity of the garage for pedestrian and vehicle traffic.</i>”</p>
<p>Stated the balconies should have a consistent railing design and material with use of wood or wrought-iron.</p>	<p><i>Addressed.</i> The Juliette balconies will have forged wrought-iron guardrails and other deck and balcony spaces will have wood balusters.</p>

CHSC Recommendation	Applicant Response
<p>Expressed concern over the high visibility of the proposed courtyard chimney. Recommended either reducing the height and relocating the structure, or minimizing the chimney's mass. If the latter, the Subcommittee stated the design and cap of the proposed and existing chimneys should complement each other, and encouraged upgrading the existing chimney cap.</p>	<p><i>Addressed.</i> The applicant explored options of relocating the chimney and reducing its height below the residence's roofline but the options were found to be impractical for function and spacing the courtyard that is an important design aspect of the site plan. The applicant researched needs for the chimney in terms of the building and fire code and made adjustments to the best extent feasible to reduce mass and height. Also, the existing chimney is modified to match the new chimney as recommended by the CHSC. For more explanation, please refer to the applicant's correspondence below, after this table.</p>
<p>Supported the use of the proposed copper sconce or a similar high-quality traditional material.</p>	<p><i>Addressed.</i> The applicant modified the existing chimney cap to match the new chimney with a stucco decorative cap design that is in character with the architectural style</p>
<p>Recommended elimination of the keyhole door and roof tile on the garden wall and replacing the door with a simpler but attractive gate.</p>	<p><i>Addressed.</i> The applicant reduced the height of the garden wall, eliminated a window and the trellis, and replaced the keyhole door with an arched door. On the rear side of the wall, the keyhole design is not visible from the street.</p>
<p>Recommended replacing the stairway stucco wall railing with wrought-iron and pilasters as needed for support.</p>	<p><i>Addressed.</i> The applicant replaced the stairway stucco railing with an open wood guardrail and stucco pilasters, minimizing visible mass from the street.</p>

**From:** [iain@besincsc.com](mailto:iain@besincsc.com) <[iain@besincsc.com](mailto:iain@besincsc.com)>

**Sent:** Monday, May 24, 2021 9:48 AM

**To:** Wright, Christopher <[WrightC@san-clemente.org](mailto:WrightC@san-clemente.org)>

**Cc:** 'Richard Jones' <[ric@ricjoneslegal.com](mailto:ric@ricjoneslegal.com)>; 'Leanne Jones' <[ljjones@cox.net](mailto:ljjones@cox.net)>; 'Siavash Sassani' <[siavash@besincsc.com](mailto:siavash@besincsc.com)>

**Subject:** Lindbom Residence

Good morning Christopher,



I was able to get the noticing materials delivered by courier to my office, and I will deliver them as soon as I get them this afternoon.

Thank you for the productive zoom meeting on Friday. I am writing this message to summarize the discussion and design process we engaged in to resolve the DRSC Commission's direction and request on a few of the outstanding design items.

Beginning with the courtyard stair design, we were able to come up with a very nice and more open stair design by lowering the stucco guardrail down, and adding a wood guardrail, while still maintaining enough mass for the arch and corbel detail. This will reduce the massing and visibility of the stair from the courtyard and from Calle de Los Alamos, closer to what we assume was its original design.

Regarding the deck, stair and Juliette Balcony railings, the commissioners recommended that the railings be the same design and material. We have done a lot of research and our own experience is the Juliette balconies are typically a light metal element attached to the building with varying levels of detail, and generally the Spanish Colonial Revival balconies are a simpler design which is what we are proposing. The existing deck, stairs and back yard balcony are all solid structures with stucco with wood posts, and wood corbel beams below on 2 of the decks. We feel it is in keeping with the architectural integrity, consistency to have all of the solid deck rails constructed of wood with the same baluster detail throughout.

Regarding the rear garden wall and gate design, staff and the Commissioners were not in support of the client's desire to have a keyhole gate expressed on the street side of the wall, but were in favor of that element being expressed on the interior side with a simpler gate design as viewed from the street. In addition, staff recommended that the existing open wood beams and the proposed roof tiles be removed from the design so that the wall would appear as a garden wall, and not an extension of the building. We have revised the design to be a simple arch-top gate and recessed stucco opening on the street side, and a recessed keyhole opening on the interior backyard side. To add interest to the design, we lowered the existing wall height on either side of the gate with a swooping arch top at the existing wall height above the gate to provide enough thickness above the arch. In order to keep the wall height above the gate at the existing wall height, we added a step with a landing on the interior side of the wall.

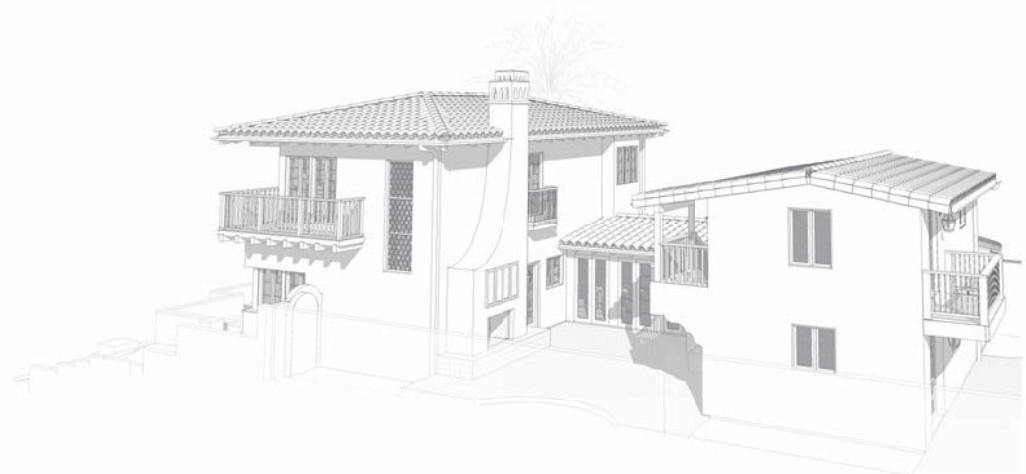
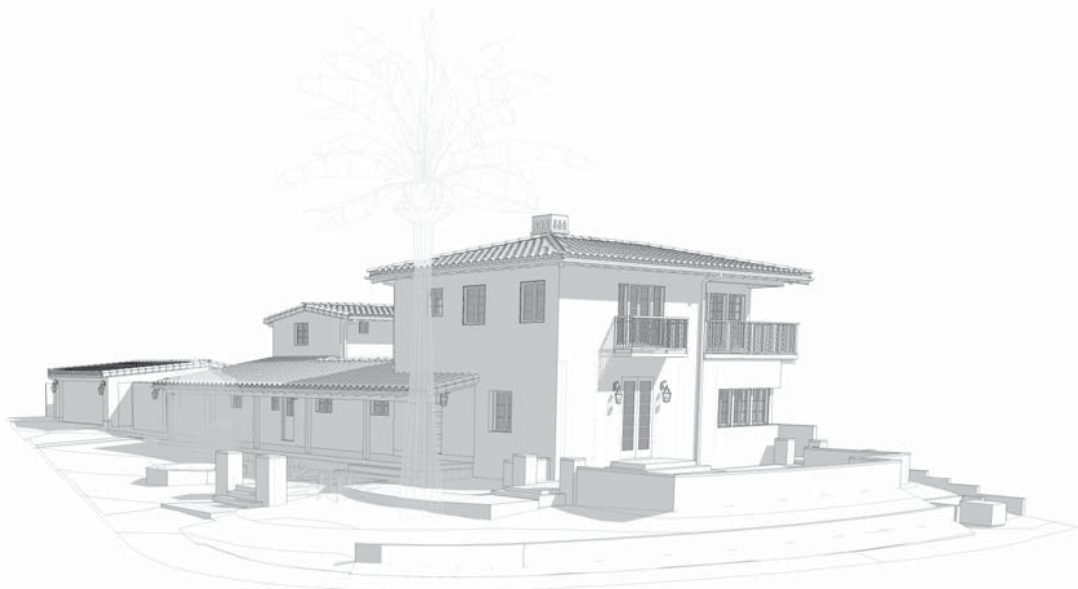
Regarding the courtyard fireplace and chimney, the Commissioners gave us the direction to first look at relocating the fireplace away from the building. If it was not possible to relocate the fireplace, we were asked to look at the chimney design, reduce the mass and if it must be visible, tie the new and existing chimneys together with a consistent design and massing. We have looked at alternate fireplace locations during the design process, and again after the Commissioner's request, and based on the client's needs this is really the only location that works. There was a recommendation to locate the fireplace as a stand-alone element at the neighbor's side facing the courtyard. This location does not meet the client's needs because the neighbor to the South has a second story deck that has a view into the courtyard, and we

are proposing planter and tree along the neighbor's side to obscure the view and provide some privacy. One of the original design decisions for locating the fireplace where it is, was that it is very protected from the elements with the prevailing weather coming in off the ocean and the proposed fireplace is behind the 2-story wall. Another recommendation was to stop the chimney part way up the wall, but we feel that although it is possible to vent the fireplace using a gas appliance, this was not an architecturally acceptable solution because everybody expects a fireplace to have a chimney that extends above the roof eave or wall it is attached to. Finally, we concluded that we would work on the chimney design to minimize the mass visible from the street, and tie the new and existing chimney style and size to a cohesive design. We engaged a roofing contractor to get up on the roof to measure and photograph the existing chimney which we hadn't done up to this time, and we found that the existing wood burning fireplace chimney was larger than we had drawn. We then contacted the fireplace distributor to determine the minimum size for that chimney to replace what was there with a more traditional Spanish Colonial Revival design. Based on the minimum size for the existing chimney, looking at the proportions of this 2-story chimney and working with Staff, we lowered the chimney height, and replaced the more ornate metal shroud with a simple 30" square stucco chimney with 3 arched openings on each face and a stucco band below the openings. The proposed chimney plan dimensions are about 4" less in either direction than we had previously drawn. In fine tuning the design, we also determined that the depth of the firebox was about 6" deeper than we had drawn which is why the chimney location is further into the courtyard as was previously shown, but not larger.

Overall, we were very pleased with the design and feel that the final project was significantly improved with the modifications to the landscaping, garden wall, stairs and chimneys which were requested by staff and the DRSC Commissioners. The proposed project will bring back the architectural integrity and attention to detail that was lost with the previous, poorly executed one and two story additions to this fine example of one of 3 Spanish Colonial Revival residences in San Clemente designed by the Architect Carl Lindbom.

Thank you for your help working through the issues in meeting the Secretary of The Interior's Historic Preservation and Mill's Act guidelines to come up with a beautiful design that is sensitive and respectful of this valuable historic resource.

Regards,  
Iain Buchan



**SHEET INDEX:**

TS	PROJECT DATA
A0.1	SITE PLAN/ ROOF PLAN
A1.1	FIRST FLOOR PLANS
A1.2	SECOND FLOOR PLAN
A2	DEMO PLANS/ AS-BUILT ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PHOTOS

**PROJECT DATA:**

**BUILDING AREAS:**

EXISTING FIRST FLOOR LIVING	1,727 SF
EXISTING SECOND FLOOR LIVING	1,140 SF
TOTAL EXISTING LIVING AREA	2,867 SF
EXISTING GARAGE/STORAGE AREA TO REMAIN	414 SF
EXISTING STORAGE AREA TO BE REMOVED	110 SF
PROPOSED POOL EQUIPMENT ROOM ADDITION	66 SF
EXISTING SECOND FLOOR DECKS TO REMAIN	169 SF
EXISTING SECOND FLOOR DECK TO BE REMOVED	23 SF
FIRST FLOOR REMODEL AREA	471 SF
SECOND FLOOR REMODEL AREA	213 SF
TOTAL REMODEL AREA	684 SF
FIRST FLOOR LIVING ADDITION	22 SF
SECOND FLOOR BALCONY ADDITION	22 SF
<b>PROPOSED TOTAL LIVING AREA</b>	<b>2,935 SF</b>
LOT AREA	7,826 SF
TOTAL PROPOSED LOT COVERAGE	2,705 SF
LOT COVERAGE RATIO	34.4 %
TOTAL PROPOSED LANDSCAPE COVERAGE	2,540 SF
LANDSCAPE COVERAGE RATIO	33.7 %

**BUILDING ADDRESS:**

1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA 92672

**OWNER:**

**OWNER:** RIC & LEANNE JONES  
**ADDRESS:** 1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA 92672  
**PH:** (949) 433 4755  
**EMAIL:** RIC@RICJONESLEGAL.COM

**BUILDING CODES:**

- RESIDENTIAL 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- FIRE 2019 CALIFORNIA FIRE CODE
- PLUMBING 2019 CALIFORNIA PLUMBING CODE (CPC)
- MECHANICAL 2019 CALIFORNIA MECHANICAL CODE (CMC)
- ELECTRICAL 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- ENERGY T24 - 2019 BUILDING ENERGY EFFICIENCY STANDARDS
- CALGREEN 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE STATE GOVERNING AGENCIES.

**SCOPE OF WORK:**

- ADDITION A REMODEL TO EXISTING 2 STORY RESIDENCE NEW ON GRADE PATIO IN FRONT YARD
- COURTYARD REMODEL - RAISE PATIO FINISH SURFACE, NEW EXTERIOR STAIRS AND OUTDOOR FIREPLACE.

**FOLLOWING IMPROVEMENTS TO BE COMPLETED PER EXHIBIT D OF HISTORIC PROPERTY PRESERVATION AGREEMENT:**

- ENGAGE THE SERVICES OF A STRUCTURAL ENGINEER WITH EXPERIENCE IN HISTORIC PRESERVATION TO ASSESS GARAGE FOUNDATION STRUCTURE AND PREPARE AND IMPLEMENTATION PLAN FOR RECOMMENDED WORK. WORK MAY ENTAIL THE REMOVAL OF LARGE TREE IN REAR COURTYARD.
- CAREFULLY REMOVE PEELING PAINT FROM ORIGINAL WOOD CASEMENT WINDOWS USING THE GENTLEST MEANS POSSIBLE. MAKE ANY NECESSARY REPAIRS AND REPAINT. INSPECT ANNUALLY FOR PROPER OPERATION. SEAL MAKE REPAIRS IN KIND AS NEEDED.
- CAREFULLY REMOVE PAINT FROM DOORS USING THE GENTLEST MEANS POSSIBLE AND REPAINT AS NEEDED. INSPECT ANNUALLY FOR PROPER OPERATION. SEAL MAKE REPAIRS IN KIND AS NEEDED.
- REPAIR OR REPLACE IN KIND INDIVIDUAL, DETERIORATED WOOD BOARD OF SOFFIT.
- REPAIR OR REPLACE IN KIND BROKEN CRAWLSPACE VENTS AROUND BASE OF HOUSE TO PREVENT DEBRIS AND RODENTS FROM ENTERING OR CAUSING DAMAGE TO BUILDING FOUNDATION.
- REPLACE INCOMPATIBLE, NON-ORIGINAL VINYL WINDOWS WITH NEW WINDOWS THAT ARE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING.
- PREP, PATCH, REPAIR AND REPAINT EXTERIOR STUCCO IN KIND.
- REPLACE INCOMPATIBLE, REPLACEMENT "S" TILES WITH APPROPRIATE CLAY TILES FOLLOWING THE SAN CLEMENTE DESIGN GUIDELINES.
- REFURBISH WROUGHT IRON LIGHT FIXTURES ON SITE.
- PLACE COMPATIBLE FIXTURES ON FRONT ELEVATION. MAKE NECESSARY UPGRADES TO ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS SO THAT IT RESULTS IN THE LEAST ALTERATION POSSIBLE TO THE HISTORIC BUILDING AND ITS CHARACTER DEFINING FEATURES.
- REPLACE INCOMPATIBLE, NON-ORIGINAL VINYL GARAGE DOOR WITH NEW DOOR THAT IS COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING.
- PREPARE A COMPREHENSIVE LANDSCAPE AND HARDSCAPE PLAN, DOCUMENTING EXISTING CONDITIONS, AND SUBMIT TO THE CITY WITH ALL PROPOSED WORK INCLUDING NEW COURTYARD WITH FOUNTAIN, BACKYARD POOL, ETC.
- PROVIDE A CLEAR TERMITE INSPECTION REPORT (ALSO KNOWN AS WDR REPORT).
- ENGAGE THE SERVICES OF AN ARCHITECTURAL HISTORIAN OR ARCHITECT-DESIGNER WITH EXPERIENCE IN HISTORIC PRESERVATION TO RESTORE ORIGINAL STAIRCASE BASED ON DOCUMENTARY EVIDENCE OR CREATE NEW DESIGN THAT IS COMPATIBLE WITH THE SIZE, SCALE, MATERIAL, AND COLOR OF THE HISTORIC BUILDING.

**PROJECT CODE DATA:**

TYPE OF CONSTRUCTION: V-B **SPRINKLERED**  
EXISTING OCCUPANCY CLASSIFICATION: R3/U  
ZONING CLASSIFICATION: RL2Z  
NUMBER OF STORES: TWO

**LEGAL DESCRIPTION:**

TRACT 852 BLOCK 16 LOT 7  
APN: 692-301-07

**CONSULTANTS:**

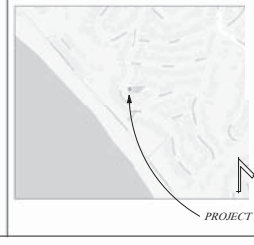
**BUILDING DESIGNER/ STRUCTURAL ENGINEER:**

B.E.S., INC.  
142 AVENIDA SANTA MARGARITA  
SAN CLEMENTE, CALIFORNIA 92672  
CONTACT: IAN BUCHAN  
TEL. 949-489-9786

**SURVEYOR:**

BOCHARD SURVEYING AND MAPPING, INC.  
818 CALLE PUENTE  
SAN CLEMENTE, CALIFORNIA 92672  
TEL. 949-439-4682

**VICINITY MAP:**



**REVISION SCHEDULE**

NO	DATE	DESCRIPTION



**LINDBOM RESIDENCE  
REMODEL/ADDITION**  
1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA

CHP 20-083

**ATTACHMENT 12**

Project No: 2018-06

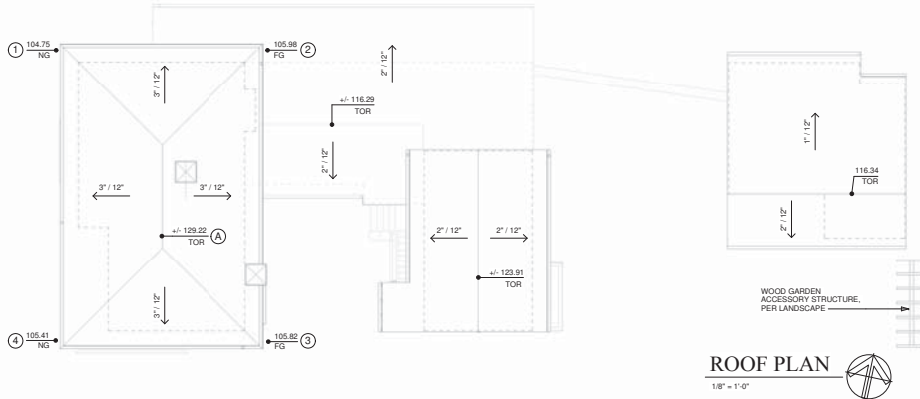
PROJECT INFO

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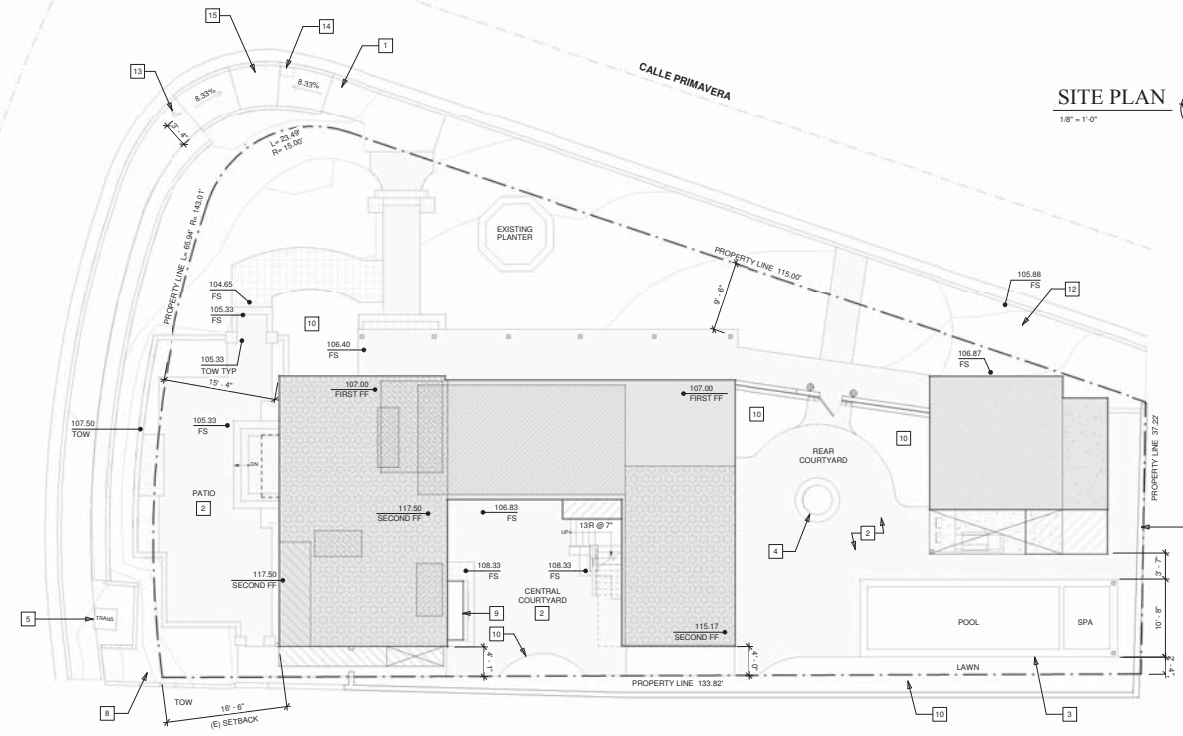
PROJECT SITE  
Sheet Date: 5/24/21

**ROOF HEIGHT**

ROOF A:	EXISTING HP ROOF OVER MASTER BEDROOM			
	ROOF RIDGE HT = TOR + 4" (ROOF T/E)			
ROOF KEY NO.	1	2	3	4
ROOF RIDGE HT. EL.	129.72	129.72	129.72	129.72
(E) GRADE EL.	154.75	155.86	155.82	156.41
	24.97	23.74	23.90	24.31
				= 96.92 / 4
				= 24.23'
				<b>AVG ROOF HT</b>



**ROOF PLAN**  
1/8" = 1'-0"



**SITE PLAN**  
1/8" = 1'-0"

**SITE PLAN**

- EXISTING FIRST LEVEL LIVING
- EXISTING GARAGE
- EXISTING STORAGE
- EXISTING STORAGE AREA REMOVED
- POOL EQUIPMENT ROOM ADDITION
- FIRST FLOOR LIVING ADDITION
- FIRST FLOOR REMODEL AREA
- EXISTING SECOND FLOOR LIVING
- SECOND FLOOR REMODEL AREA
- EXISTING SECOND FLOOR DECK
- PORTION OF EXISTING SECOND FLOOR DECK TO BE REMOVED
- LANDSCAPE AREA, REFER TO A0.2

**SITE KEYNOTES**

- 1 PROPOSED CONCRETE SIDEWALK PER SC ENGINEERING STANDARD ST-3
- 2 USED BRICK PAVING, SET OVER 4" THICK CONCRETE BASE, PER LANDSCAPE
- 3 POOL COPING, 14" WIDE, USED BRICK, 1/2" MASTIC JOINT @ PERIMETER
- 4 CUSTOM FOUNTAIN, PLUMBING BY POOL CONTRACTOR, REFER TO LANDSCAPE PLANS
- 5 EXISTING SDG&E VAULT TO REMAIN
- 6 EXISTING STUCCO'D CMU WALL ON ADJACENT PROPERTY TO REMAIN
- 7 EXISTING WALL & FENCE TO REMAIN
- 8 EXISTING ON-GRADE CONCRETE STEPS TO BE REMOVED
- 9 PROPOSED OUTDOOR GAS FIREPLACE w/ DECORATIVE COPPER CHIMNEY CAP
- 10 PROPOSED AT-GRADE PLANTER 2' BELOW HARDSCAPE SURFACE
- 11 NOT USED
- 12 EXISTING PAVER DRIVE APPROACH TO REMAIN
- 13 EXISTING FIRE HYDRANT
- 14 EXISTING WATER METER
- 15 PROPOSED CORNER ADA ACCESS RAMP PER CITY STANDARD ST2

**REVISION SCHEDULE**

NO	DATE	DESCRIPTION

**BES**  
BUCHAN ENGINEERING STRUCTURES INC.  
14 ANTONIA LAMARGARA, SAN CLEMENTE, CA  
(949) 395-0619  
www.besinc.com

**LINDBOM RESIDENCE  
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SAN CLEMENTE, CA

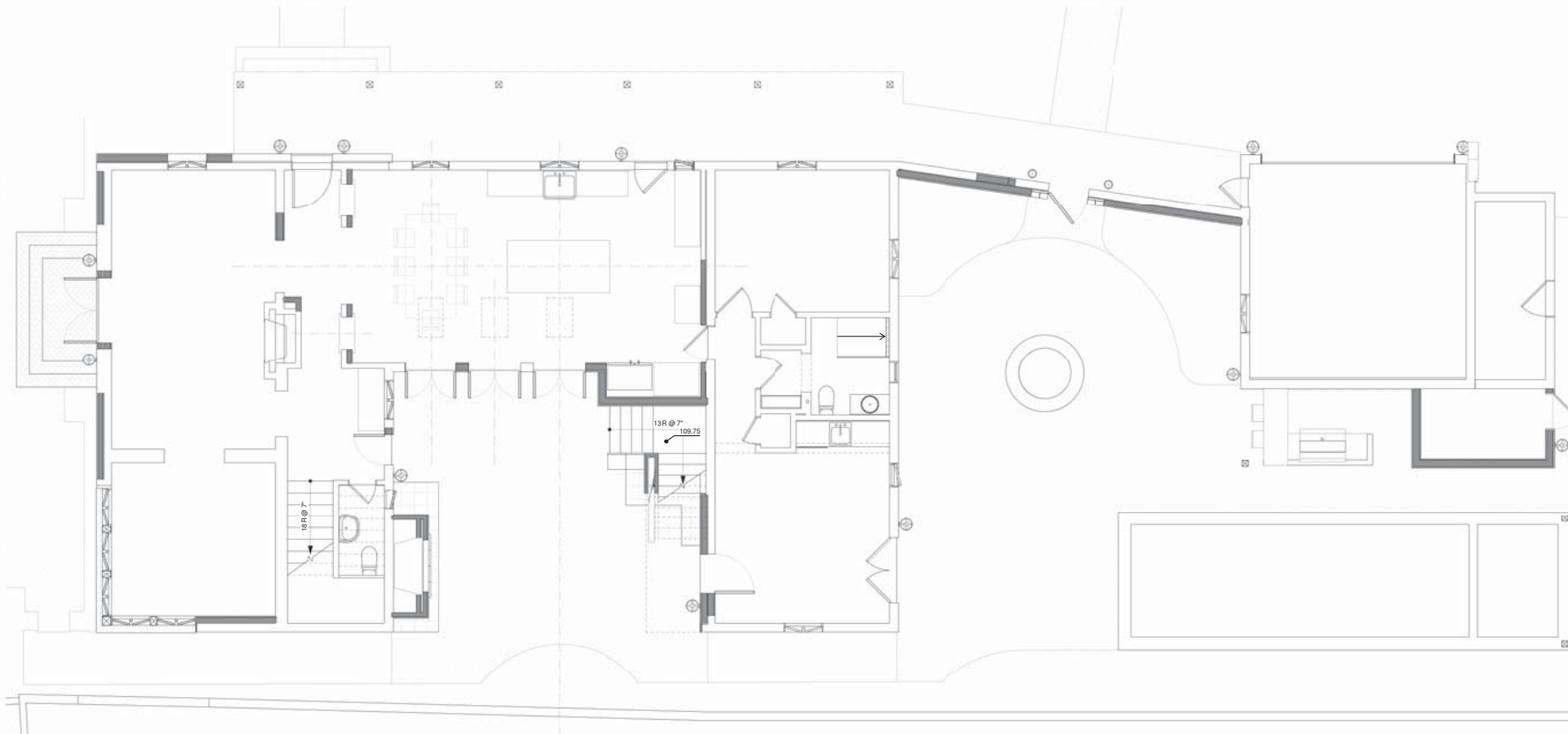
CHP 20-083

Project No.  
**2018-06**

Sheet Title:  
**SITE PLAN  
ROOF PLAN**

Sheet No.  
**A0.1**

Issued Date: 5/24/21



**FIRST FLOOR PLAN**  
 1/4" = 1'-0" 

**WALL TYPE LEGEND**  
 — NEW WALL  
 — EXISTING WALL TO REMAIN

REVISION SCHEDULE  
 NO | DATE | DESCRIPTION

NO	DATE	DESCRIPTION



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 SAN CLEMENTE, CA

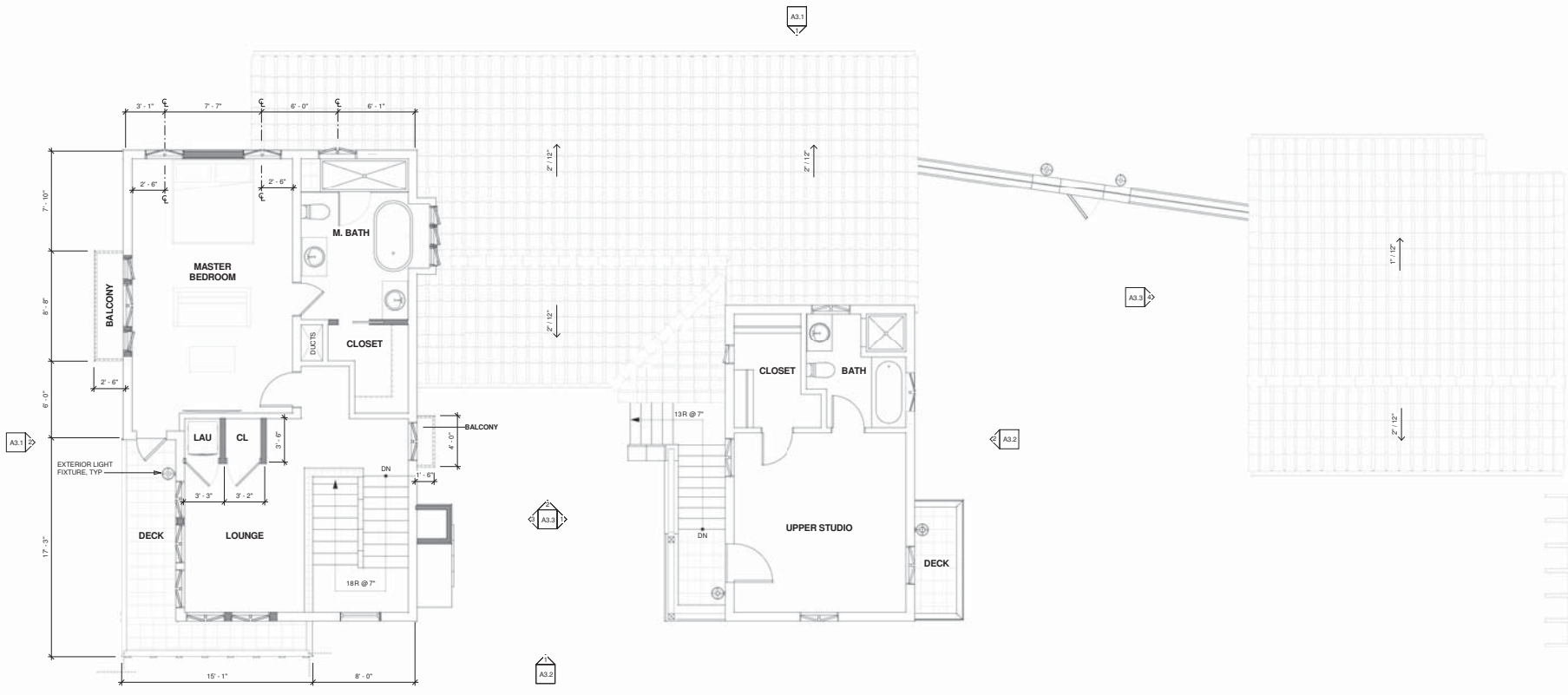
CHP 20-083

Project No.  
 2018-06

Sheet Title:  
 FIRST FLOOR  
 PLAN

Sheet No.  
**A1.1**

Issued Date: 5/24/21



**SECOND FLOOR PLAN**  
1/4" = 1'-0"

**WALL TYPE LEGEND**  
 — NEW WALL  
 --- EXISTING WALL TO REMAIN

REVISION SCHEDULE		
NO	DATE	DESCRIPTION



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**LINDBOM RESIDENCE  
 REMODEL/ADDITION**  
 1815 CALLE DE LOS ALAMOS  
 SAN CLEMENTE, CA

CHP 20-083

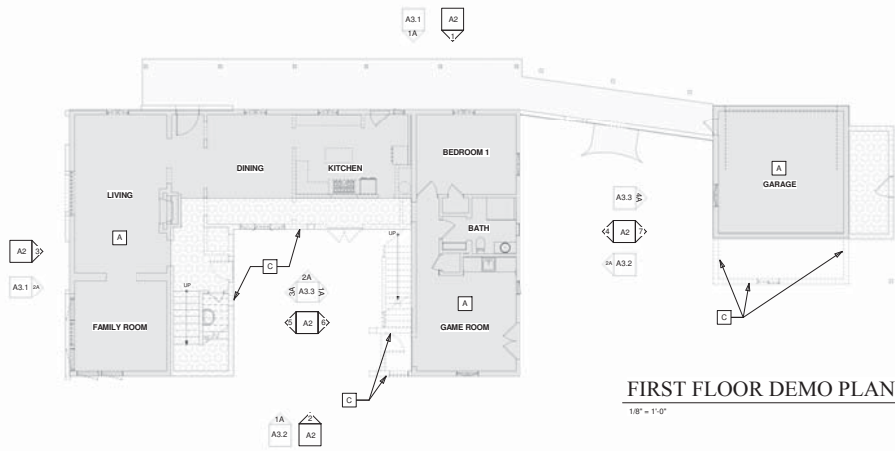
Project No.  
2018-06

Sheet Title:  
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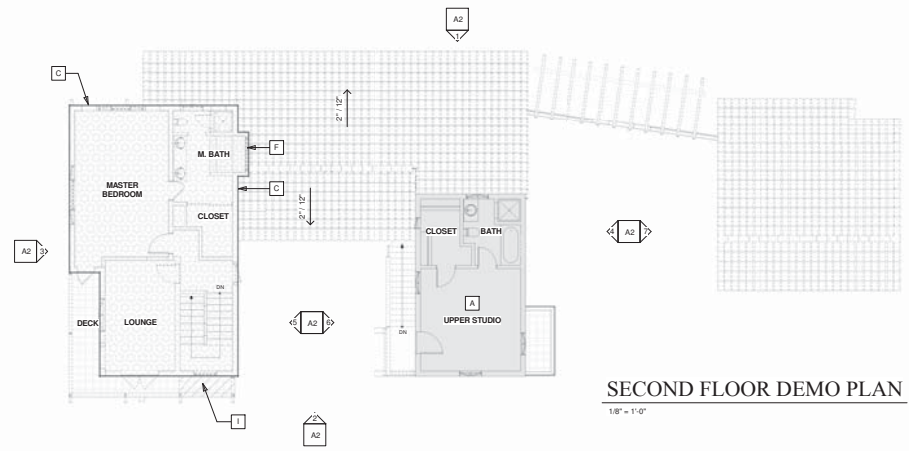
Sheet No.  
**A1.2**

Issued Date: 5/24/21

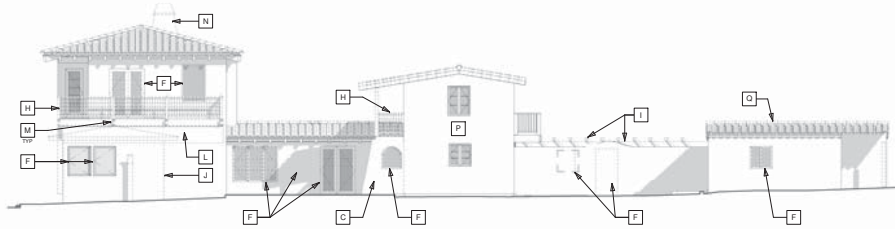




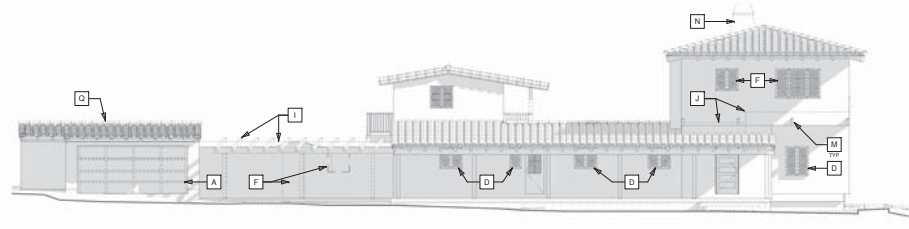
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1/8" = 1'-0"



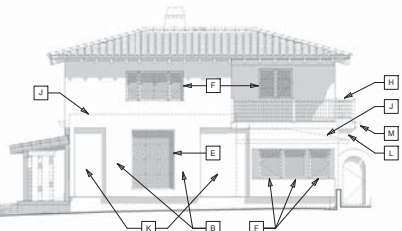
**SECOND FLOOR DEMO PLAN**  
1/8" = 1'-0"



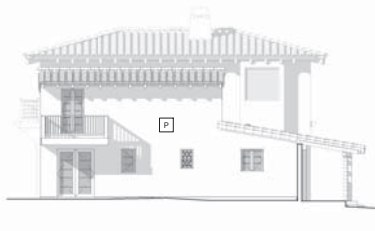
**2 SOUTH DEMO ELEVATION**  
1/8" = 1'-0"



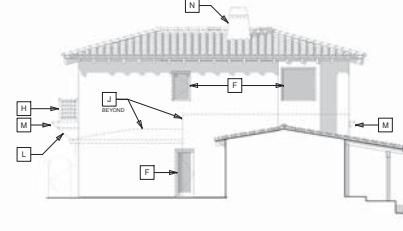
**1 NORTH DEMO ELEVATION**  
1/8" = 1'-0"



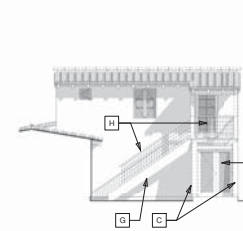
**3 WEST DEMO ELEVATION**  
1/8" = 1'-0"



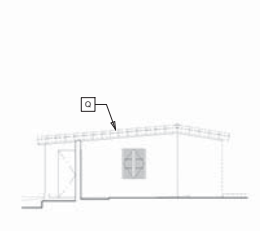
**4 EAST DEMO ELEVATION**  
1/8" = 1'-0"



**5 COURTYARD WEST DEMO**  
1/8" = 1'-0"



**6 COURTYARD EAST DEMO**  
1/8" = 1'-0"



**7 GARAGE WEST DEMO**  
1/8" = 1'-0"

**AS-BUILT/ DEMO LEGEND**

- A EXISTING NON-HISTORIC GARAGE DOOR TO BE REPLACED DARK BROWN WOOD GARAGE DOOR
- B EXISTING NON-HISTORIC FURRED WALLS, PREVIOUSLY CONSTRUCTED TO SUPPORT SECOND STORY ADDITION
- C EXISTING NON-HISTORIC EXTERIOR WALLS TO BE MODIFIED/ REMOVED
- D EXISTING HISTORIC WALL AND OPENINGS TO REMAIN, DAMAGED & ROTTEN WINDOWS TO BE REPLACED WITH WOOD FRAMED WINDOWS w TRUE DIVIDED LIGHTS, PAINTED GREEN TO MATCH EXISTING.
- E EXISTING NON-HISTORIC LARGE WINDOW TO BE REPLACED WITH WOOD FRAMED FRENCH DOORS w TRUE DIVIDED LIGHTS, PAINTED BROWN TO MATCH ENTRY DOOR

- F EXISTING NON-HISTORIC WINDOW/DOOR TO BE REMOVED
- G EXISTING NON-HISTORIC AND NON-CONFORMING STAIRS TO BE REMOVED AND REPLACED
- H EXISTING NON-HISTORIC GUARDRAIL TO BE REMOVED
- I EXISTING NON-HISTORIC BEAMS TO BE REMOVED AND TOP OF GARDEN WALL LOWERED
- J DASHED LINES DEMONSTRATE OUTLINE OF HISTORIC OLE HANSON STRUCTURE. SEE A1.1 & A1.2 DEMO PLANS FOR MORE CLARIFICATION ON HISTORIC VS. NON-HISTORIC ELEMENTS.
- K HISTORIC INNER FRAMED WALL WITH NON-HISTORIC STUCCO FINISH. ONLY VISIBLE IN EXISTING RECESSED PORTIONS

- L EXISTING NON-HISTORIC STUCCO/D DETAIL TO BE REMOVED
- M EXISTING NON-HISTORIC CORBEL END BEAMS TO BE REMOVED
- N EXISTING CHIMNEY TO REMAIN
- O EXISTING NON-HISTORIC WALL, WINDOW AND DOOR TO BE MODIFIED, APPEARS TO HAVE BEEN AN EXISTING COVERED PORCH THAT WAS FRAMED IN BY PREVIOUS OWNERS
- P EXISTING ELEVATION IN FOREGROUND TO REMAIN, NO MODIFICATION
- Q REMOVE AND RE-LOCATE EXISTING HISTORIC ROOF TILES TO MORE VISIBLY SIGNIFICANT LOCATIONS ON THE PROJECT INCLUDING PRIMAVERA EAVE, STREET SIDE GABLE RAKES AND RIDGES TO BE BLENDED WITH NEW BARREL TILES. THIS WILL BE COORDINATED WITH PLANNING PRIOR TO ROOFING INSTALLATION

- OUTLINE OF HISTORIC OLE HANSON RESIDENCE GARAGE
- OUTLINE OF NON-HISTORIC PREVIOUS ADDITION TO RESIDENCE
- PORTION OF EXISTING NON-HISTORIC DECK TO BE REMOVED

**REVISION SCHEDULE**

NO	DATE	DESCRIPTION

**BES**  
BUCHAN ENGINEERING STRUCTURES INC.  
145 AVENUE SAN MARINO, SAN CLEMENTE, CA  
(949) 395-0619  
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ALL WORK, SPECIFICATIONS, DETAILS, MATERIALS, AND APPROVALS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

**LINDBOM RESIDENCE  
REMODEL/ADDITION**  
1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA

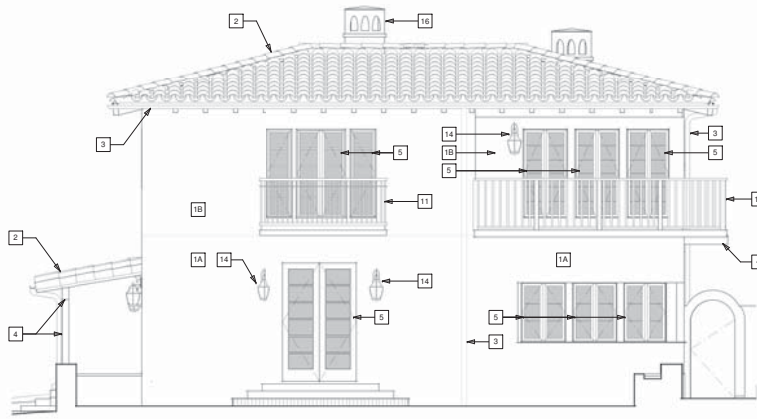
CHP 20-083

Project No. 2018-06

Sheet Title: DEMO PLANS/ EXTERIOR ELEVATIONS

Sheet No. **A2**

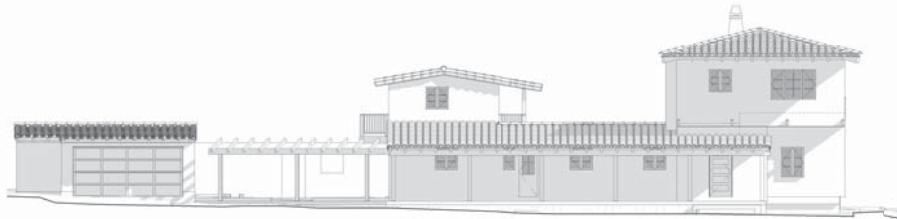
Issued Date: 5/24/21



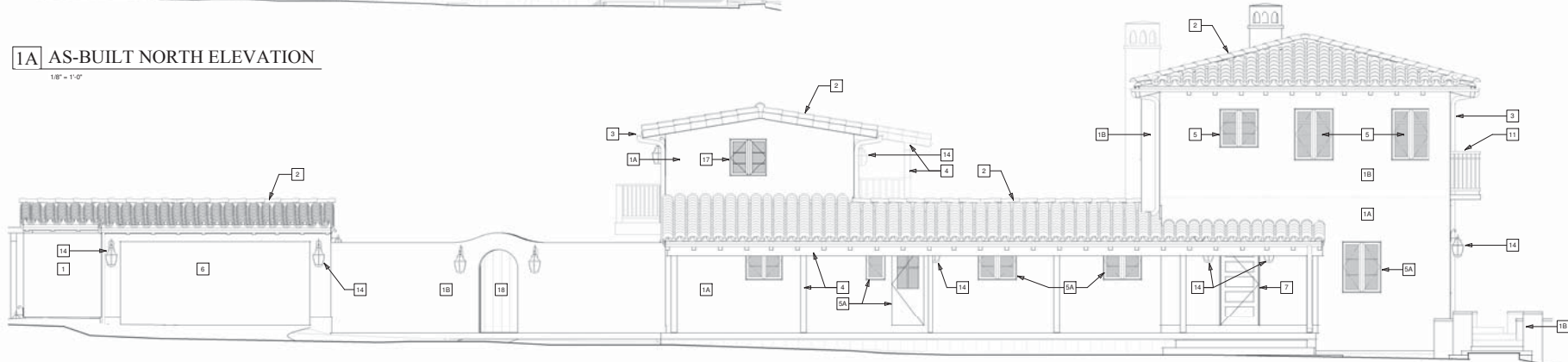
**2 WEST ELEVATION**  
1/4" = 1'-0"



**2A AS-BUILT WEST ELEVATION**  
1/8" = 1'-0"



**1A AS-BUILT NORTH ELEVATION**  
1/8" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

### ELEVATION KEYNOTES

- 1A NEW STUCCO WALL FINISH: STEEL, HAND TROWEL; SMOOTH MISSION FINISH w/ SLIGHT UNDULATIONS, BULLNOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL EXPANSION JOINTS.
- 1B NEW STUCCO WALL FINISH ON NEW EXTERIOR WALLS & EXISTING NON-HISTORIC WALLS: STEEL HAND TROWEL; LIGHT SAND FINISH w/ SLIGHT UNDULATIONS, BULLNOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL EXPANSION JOINTS.
- 2 NEW 2-Piece MISSION TILE WITH 25% MORTAR LIFT (100% LIFT @ RIDGE & HIP CLASS 'A' ROOF ASSEMBLY BY EAGLE ROOFING PRODUCTS PER ICC ESR-1900 (10 PSF MAX WEIGHT), INSTALL OVER 2-LAYERS OF 3/8" FELT OVER PL WOOD. PROVIDE MORTAR BIRD STOP. SEE A2/KEYNOTE 'Q' FOR EXISTING ROOF TILE RELOCATION.
- 3 4" D HALF ROUND COPPER GUTTER & DOWNSPOUT, CONNECT DOWNSPOUTS TO EXISTING SITE DRAINAGE.
- 4 PAINTED WOOD COLUMNS, BEAMS & RAFTER TAILS
- 5 NEW WINDOW/DOOR w/ GREEN PAINTED WOOD FRAME & DIVIDED LIGHTS, TO MATCH EXISTING
- 5A EXISTING HISTORIC WINDOW TO BE REPLACED IN-KIND w/ WOOD FRAMED WINDOWS w/ TRUE DIVIDED LIGHTS, PAINTED GREEN TO MATCH EXISTING
- 6 REPLACE EXISTING GARAGE DOOR WITH NEW NATURAL FINISH DOOR TO BE APPROVED BY THE PROJECT PLANNER PRIOR TO INSTALLATION.
- 7 EXISTING WOOD ENTRY DOOR TO REMAIN
- 8 NEW OUTDOOR FIREPLACE AND CHIMNEY w/ STUCCO FINISH 30" SQUARE CHIMNEY AND SHROUD WITH (3) ARCHED OPENINGS ON EACH FACE AND STUCCO BAND BELOW
- 9 BUILT-IN BENCH FIREPLACE HEARTH w/ SPANISH CLAY TILE FINISH
- 10 NATURAL FINISH WOOD RAILING WITH SPANISH COLONIAL BALLUSTERS
- 11 WROUGHT IRON JULIET BALCONY w/ SPANISH COLONIAL DETAILED RAILS
- 12 PROPOSED BAR AREA WITH BBQ AND UNDERCOUNTER FRIDGE
- 13 PAINTED GREEN WOOD CABINET DOORS w/ OUTDOOR TV BEHIND
- 14 REPLACE EXISTING/PROVIDE NEW EXTERIOR LIGHT FIXTURES, PER ATTACHED SPECIFICATION
- 15 NEW CUSTOM DECORATIVE BLUE COLORED GLASS WINDOW w/ METAL CIRCLE DESIGN
- 16 EXISTING CHIMNEY TO BE RECONSTRUCTED TO 30" SQ. STUCCO CHIMNEY AND SHROUD WITH (3) ARCHED OPENINGS ON EACH FACE, AND STUCCO BAND BELOW.
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- 18 NEW NATURAL FINISH WOOD GATE w/ THICKENED STUCCO RECESSED OPENINGS AS SHOWN
- 19 NEW STAIRS w/ DECORATIVE TILE RISERS & BRICK PAVER TREADS

### REVISION SCHEDULE

NO	DATE	DESCRIPTION



ALL WORK, SPECIFICATIONS, CONDITIONS, AND DIMENSIONS SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE AND ADJACENT PROPERTIES.

**LINDBOM RESIDENCE**  
REMODEL/ADDITION  
1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA

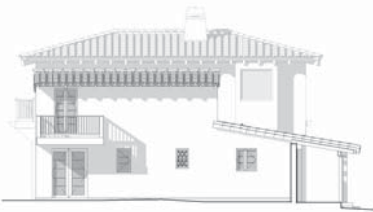
CHP 20-083

Project No.  
2018-06

Sheet Title:  
EXTERIOR ELEVATIONS

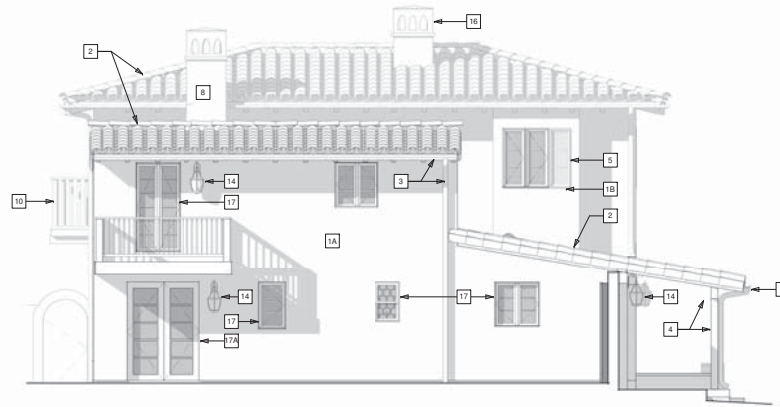
Sheet No.  
**A3.1**

Issued Date: 5/24/21



**2A AS-BUILT EAST ELEVATION**

1/8" = 1'-0"



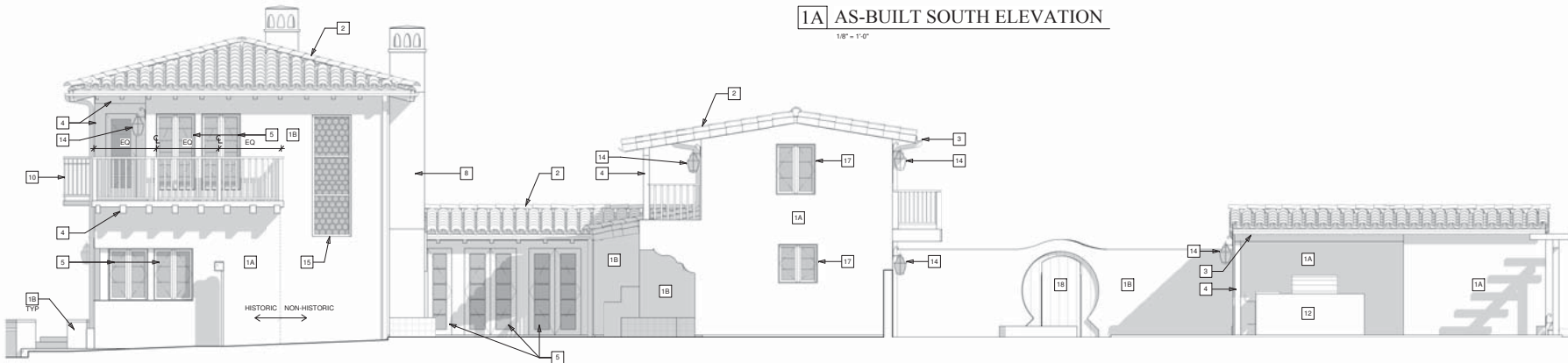
**2 EAST ELEVATION**

1/4" = 1'-0"



**1A AS-BUILT SOUTH ELEVATION**

1/8" = 1'-0"



**1 SOUTH ELEVATION**

1/4" = 1'-0"

**ELEVATION KEYNOTES**

- 14 NEW STUCCO WALL FINISH: STEEL HAND TROWEL; SMOOTH MISSION FINISH w/ SLIGHT UNDULATIONS, BULLNOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS.
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- 3 4" Ø HALF ROUND COPPER GUTTER & DOWNSPOUT. CONNECT DOWNSPOUTS TO EXISTING SITE DRAINAGE.
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**REVISION SCHEDULE**

NO	DATE	DESCRIPTION



**LINDBOM RESIDENCE  
REMODEL/ADDITION**  
1815 CALLE DE LOS ALAMOS  
SAN CLEMENTE, CA

CHP 20-083

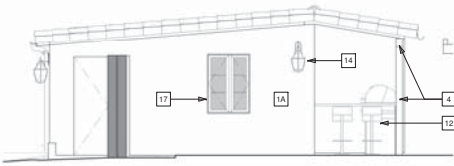
Project No.  
2018-06

Sheet Title:  
EXTERIOR ELEVATIONS

Sheet No.  
**A3.2**

Issued Date: 5/24/21





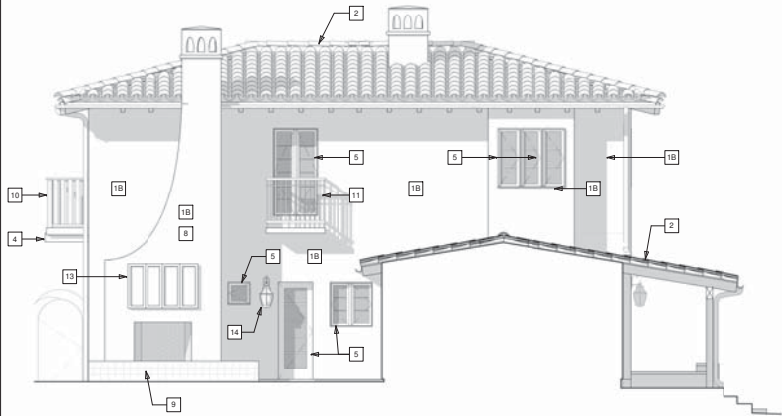
**4 GARAGE WEST ELEVATION**

1/4" = 1'-0"



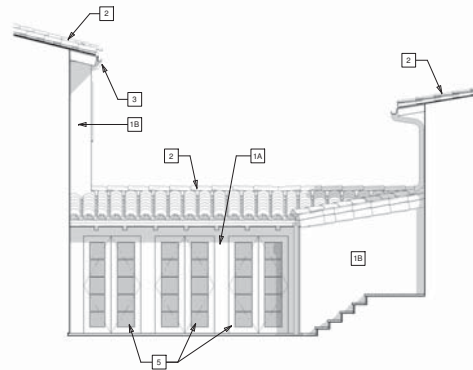
**4A AS-BUILT GARAGE WEST ELEVATION**

1/4" = 1'-0"



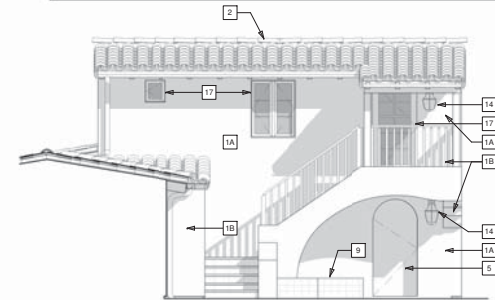
**3 COURTYARD ELEVATION WEST**

1/4" = 1'-0"



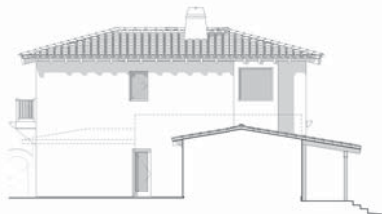
**2 COURTYARD ELEVATION NORTH**

1/4" = 1'-0"



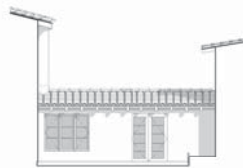
**1 COURTYARD ELEVATION EAST**

1/4" = 1'-0"



**3A AS-BUILT COURTYARD WEST**

1/8" = 1'-0"



**2A AS-BUILT COURTYARD NORTH**

1/8" = 1'-0"



**1A AS-BUILT COURTYARD EAST**

1/8" = 1'-0"

**ELEVATION KEYNOTES**

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**REVISION SCHEDULE**

NO	DATE	DESCRIPTION



ALL WORK, SPECIFICATIONS, SCHEDULES, AND AGREEMENTS SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE STANDARD CONTRACT DOCUMENTS, WHICH ARE AVAILABLE FOR REVIEW AND PURCHASE FROM THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

**LINDBOM RESIDENCE**  
**REMODEL/ADDITION**  
 1815 CALLE DE LOS ALAMOS  
 SAN CLEMENTE, CA

CHP 20-083

Project No. 2018-06

Sheet Title: EXTERIOR ELEVATIONS

Sheet No.

**A3.3**

Issued Date: 5/24/21

## PLANTING PALETTE

TREE LEGEND				
SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
●	OLEA EUROPAEA 'SWAN HILL' SWAN HILL OLIVE	36" BOX	L	5
●	CITRUS x LATIFOLIA 'DWARF BEARSS SEEDLESS' DWARF BEARSS SEEDLESS LIME	24" BOX	M	1
●	CITRUS LIMON 'IMPROVES MEYER LEMON' CITRUS LIMON 'MEYER IMPROVED'	24" BOX	M	1
●	CITRUS SINENSIS 'DWARF CAMPBELL' DWARF CAMPBELL VALENCIA ORANGE	24" BOX	M	1
●	FORTUNELLA MARGARITA 'NAGAMI' NAGAMI KUMQUAT	24" BOX	M	1
●	JUNIPERUS CHINENSIS 'BLUE POINT' TOPIARY SPIRAL BLUE POINT JUNIFER	24" BOX	M	2
●	LAGERSTROEMIA INDICA CRAPE MYRTLE	36" BOX	M	2
●	MAGNOLIA GRANDIFLORA 'LITTLE GEM' SOUTHERN MAGNOLIA	36" BOX	M	1
●	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE	24" BOX	L	1

SHRUB LEGEND				
SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
●	AGAVE SPP.	5 GAL	VL	4
●	ALOE 'BLUE ELF' BLUE ELF ALOE	5 GAL	L	27
●	CEANOTHUS GLORIOSUS 'HEART'S DESIRE' HEART'S DESIRE CEANOTHUS	5 GAL	L	5
●	CUPHEA IGNEA CIGAR PLANT	1 GAL	M	9
●	DUBLEYA RUBERULENTA CHALK DUBLEYA	1 GAL	L	20
●	HELIANTHEMUM NUMMULARIUM 'WISLEY PINK' WISLEY PINK ROSE	5 GAL	M	4
●	HEMEROCALLIS 'DWARF EVERGREEN MIXED COLORS' DAYLILY	5 GAL	M	35
●	HEUCHERA CORAL BELLS	1 GAL	M	31
●	HYDRANGEA MACROPHYLLA GARDEN HYDRANGEA	5 GAL	M	6
●	LAVANDULA ANGSTIFOLIA 'DWARF' ENGLISH LAVENDER	5 GAL	L	8
●	LIMONIUM PEREZII SEA LAVENDER	5 GAL	L	5
●	LONICERA JAPONICA 'HALLIANA' HALL'S HONEY SUCKLE	5 GAL	M	11
●	PHORMIUM 'DIET' DWARF VARIEGATED FLAX	5 GAL	L	10
●	RIBES 'VIBURNIFOLIUM' EVERGREEN CURRANT	5 GAL	VL	5
●	RHAPHOLEPS INDICA 'PINK LADY' INDIAN HAWTHORN	5 GAL	L	3
●	ROSE FLOWER CARPET RED GROUNDCOVER ROSE	5 GAL	M	12
●	SALVIA GREGGII AUTUMN SAGE	5 GAL	L	7
●	SALVIA LEUCANTHA 'SANTA BARBARA' SAGE	5 GAL	L	10
●	WHITE ROSE BUSH SPECIES BY OWNER	5 GAL	M	6

GROUNDCOVER LEGEND				
SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
■	ANNUAL COLOR	FLATS	-	123 SF
●	BACCHARIS PILLULARIS 'TWIN PEAKS II' DWARF COYOTE BUSH	5 GAL	L	5
■	DYMONDIA MARGARETAE SILVER CARPET	FLATS	L	93 SF
●	FRAGARIA CALIFORNICA WOODLAND STRAWBERRY	QUARTS	M	191 (665 SF)
■	MARATHON II TURF	SOD	-	117 SF
■	PELARGONIUM PELTATUM 'BALCON IMPERIAL' IVY GERANIUM	4" POTS @ 24" O.C.	L	55 SF
■	ROSEMARINUS OFFICINALIS 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	4" POTS @ 16" O.C.	VL	24 SF

VINE LEGEND				
SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
●	BOUGAINVILLEA 'RASPBERRY ICE' RASPBERRY ICE BOUGAINVILLEA	15 GAL	L	2
●	GELSEMIUM SEMPERVIRENS CAROLINA JESSAMINE	5 GAL	L	6
●	JASMINUM MESNYI PRIMROSE JASMINE	5 GAL	L	3
●	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	5 GAL	M	4
●	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	5 GAL ESPALIER	M	2

LIGHTING LEGEND				
SYM	DESCRIPTION	QTY.		
▲	LOW VOLTAGE L.E.D. UP LIGHT	11		
■	LOW VOLTAGE L.E.D. PATHWAY LIGHT	9		

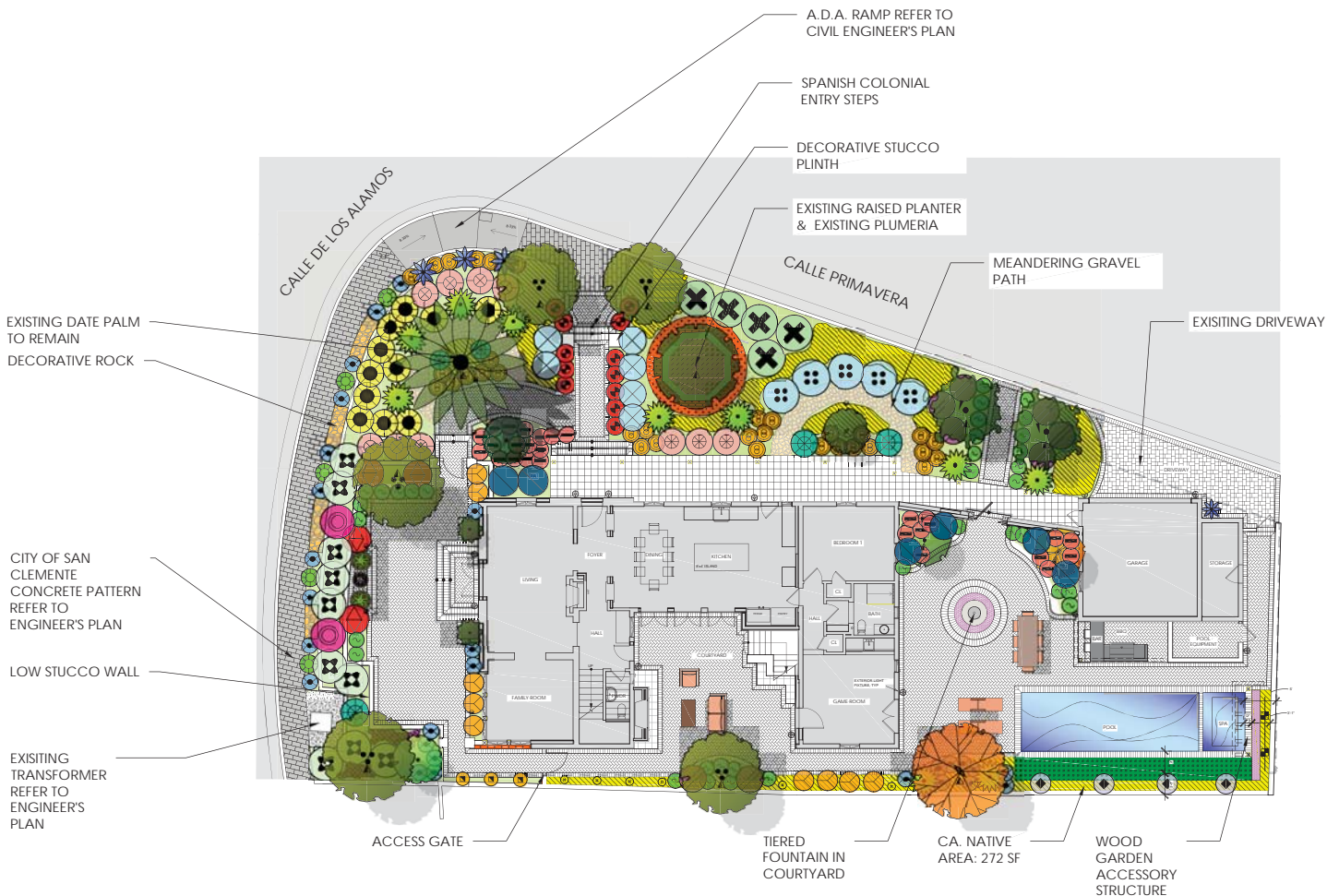
### ● CALIFORNIA NATIVE PLANT

**MICHAEL BUNGANICH**  
LANDSCAPE ARCHITECT

112 EAST AVENIDA SAN JUAN  
SAN CLEMENTE, CA 92672

cell phone: (949) 637-7799  
office fax: (949) 498-4548  
email: mjb@lindbom-bunganich.com

WWW.LINDBOMBUNGANICH.COM

**CALLE DE LOS ALAMOS  
FRONT YARD SET BACK AREA**  
TOTAL AREA: 1837 SF (100%)  
HARDSCAPE AREA: 633 SF (34%)  
LANDSCAPE AREA: 1204 SF (66%)

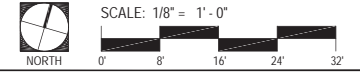
**CALLE PRIMAVERA  
SIDE YARD SET BACK AREA**  
TOTAL AREA: 2418 SF (100%)  
HARDSCAPE AREA: 825 SF (34%)  
LANDSCAPE AREA: 1593 SF (66%)

**NEW LANDSCAPE AREA**  
TOTAL LANDSCAPE AREA: 2797 SF  
REHABILITATED LANDSCAPE: CANARY DATE PALM ONLY  
NEW LANDSCAPE TOTAL AREA: 2797 SF (100%)

**CITY OF SAN CLEMENTE NATIVE PLANTING REQUIREMENTS**  
TOTAL PLANTS: 421  
NATIVE PLANTS REQUIRED: 253 (421 x 60%)  
NATIVE PLANTS PROVIDED: 254  
ORNAMENTALS PROVIDED: 167

# LINDBOM RESIDENCE | Preliminary Landscape Plan

1815 Calle De Los Alamos, San Clemente, CA | MAY 21, 2021







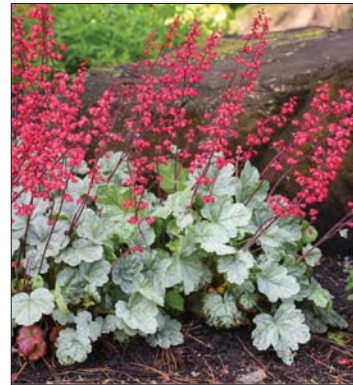
● BACCHARIS PILULARIS 'TWIN PEKS II'



● CEANOTHUS 'HEART'S DESIRE'



● DUDLEYA PULVERULENTA



● HEUCHERA 'CORAL BELLS'



● FRAGARIA CALIFORNICA



● RIBES VIBURNIFOLIUM



● SALVIA GREGGII



● SALVIA LEUCANTHA 'SANTA BARBARA'



TRACHELOSPERMUM JASMINOIDES



LAGERSTROEMIA INDICA



HERRINGBONE PAVING



SPANISH COLONIAL POOL



SPANISH COLONIAL ENTRY STEPS



TIERED FOUNTAIN IN COURTYARD



FIRE TABLE IN COURTYARD

● CALIFORNIA NATIVE PLANT

# JONES RESIDENCE | Preliminary Landscape Plan

1815 Calle De Los Alamos, San Clemente, CA | 03/30/2021



MICHAEL BUNGANICH  
LANDSCAPE ARCHITECT  
CALIFORNIA LICENSE 3541  
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