

Minimum Construction Standards

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM, NO CONSTRUCTION ON SUNDAYS AND RECOGNIZED HOLIDAYS. (CHAPTER 8.48, SCMC)

APPROVED PLANS SHALL BE AVAILABLE AT THE JOBSITE DURING INSPECTIONS. (CHAPTER 15.08, SCMC)

SANITARY FACILITY FOR CONSTRUCTION SITE MUST BE PROVIDED. (CHAPTER 15.04, SCMC)

FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMODELING, ADDITION OR TENANT IMPROVEMENT PROJECT. (CHAPTER 15.08, SCMC)

SPECIAL REQUIREMENT FOR INSPECTION: FOR MULTI-RESIDENTIAL AND COMMERCIAL BUILDINGS WITH 2 STORIES OR MORE: PLANNING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL, DUE TO SPECIAL AND UNUSUAL TOPOGRAPHICAL CONDITIONS AT THE SITE. A SURVEYOR'S CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOOR'S SLAB OR FINISH FLOOR SHALL BE REQUIRED. (SCBD POLICY)

RETAINING WALLS, WHICH ARE NOT PART OF THE STRUCTURE, INCLUDING MASONRY GARDEN WALLS, WILL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE. (CHAPTER 12-08, SCMC)

CURBS, GUTTERS AND SIDEWALKS ARE REQUIRED. (CHAPTER 12-08, SCMC)

ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAINPIPES TO THE STREET OR OTHER APPROVED LOCATION OR AN APPROVED NON-ERODIBLE SURFACE DRAIN. WATER SHALL NOT DRAIN OVER PUBLIC SIDEWALK. (CHAPTER 15-20, SCMC)

NO FERROUS WATER PIPING IS ALLOWED UNDERGROUND. COPPER WATER PIPING UNDER SLAB SHALL BE TYPE "K" PLACED IN SAND BED & PROTECTED WITH PLASTIC SLEEVE WHEN PENETRATING SLAB. (CHAPT 15.08.020.20, SCMC)

3/4" HOSE BIB REQUIRED IN FRONT AND BACK OF BUILDING. (CHAPTER 15-20, SCMC)

A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE JUNCTION BOX, ONE PAIR OF NO. 19 CONTROL WIRES SHALL BE INSTALLED FOR USE BY THE WATER DIVISION. (SCWD)

APPROVED BACK FLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NONRESIDENTIAL BUILDINGS OR ANY OTHER FACILITY AS REQUIRED BY CHAPTER 13-04, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949)366-1553.

NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL. (CHAPT 15-12, SCMC)

LOW FLUSH FIXTURES (1.6 GAL TOILETS, 1 GAL URINALS, & 2.5 GAL SHOWER HEADS) ARE REQUIRED. (STATE LAW)

TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT ENCR OACH ONTO PUBLIC SIDEWALKS AND STREETS. (CHAPTER 12.20, SCMC)

ADDRESS NUMBERS IN CONTRASTING COLOR TO THE STRUCTURE FOR RESIDENTIAL A MIN OF 4" HIGH; FOR NON RESIDENTIAL, A MIN OF 8" HIGH TO BE PLACED ON THE FRONT OF THE BUILDINGS. EACH UNIT SHALL BE IDENTIFIED WITH AN ALPHABETICAL LETTER AND THE RELATED GARAGE MUST BE SIMILARLY MARKED. (SECTION 10.208-UBF & CHAPTER 8-16, SCMC)

SUB DIVIDER SHALL NOT PAVE ANY STREET UNDER WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT ACTUAL NOTICE TO COX COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT. NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MGR, COX COMMUNICATIONS; 29947 AVE DE LA BANDERAS, RANCHO SANTA MARGARITA, 92688 (949) 546-2000.

ELECTRIC AND GAS METERS WILL NOT BE SET UNTIL ALL PHASES OF WORK ARE COMPLETED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. (SCBD POLICY)

NOTE: SCMC: SAN CLEMENTE MUNICIPAL CODE; SCBD SAN CLEMENTE BLDG DIV; SCWD: SAN CLEMENTE WATER DIVISION (REV 12-6-07)



The Valencia Building

1502 S. El Camino Real
San Clemente, CA

Michael
Luna
&
Associates

1531
North El Camino Real
Suite A,

San
Clemente,
California
92675

Phone: (949) 493-5200
Fax: (949) 493-5248

Architect
Project

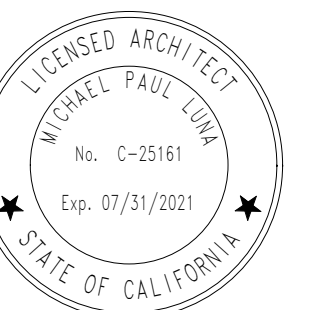
The Valencia
Building

1502 S. El Camino Real
San Clemente, CA

Sheet Title

Title Sheet

Stamp



Project No. 1910
Plot Date 11.17.20
B.D. Submittal
Bid Issue
Const. Issue
Revision
Revision
Revision
Revision

T.0

Sheet No.

SPECIAL INSPECTION



City of San Clemente
Phone: (949) 361-6100 Fax: (949) 361-8281
Building@San-Clemente.org

SPECIAL INSPECTION FORM PERMIT NO: _____

Project Address 1502 S. El Camino Real Plan Review Project No. B19-
Property Owner: - Architect: Michael Luna & Associates
Engineer: - Plans Examiner: -

Prior to issuance of building permit, the owner, or the architect or engineer of record acting on the behalf of the owner, shall appoint an approved special inspector registered by the City of San Clemente and shall sign and submit this form to the Building Division. Selection of the special inspector/agency cannot be changed once the building permit is issued, except with the specific permission of the Building Official.

Special Inspector: _____ Phone No: _____
Inspection Agency (Firm): _____ Phone No: _____
Owner / Architect or Engineer (Signature) _____ Phone No: _____

The above signed hereby certifies that the special inspector identified above has been engaged to perform the special inspections outlined below as required by Chapter 17 of the California Building Code.

GEOTECHNICAL / SOILS
 Prior to foundation inspection submit a field memo stamped and signed by licensed geotechnical engineer to certify foundation excavations are located in proper soils bearing material and to confirm required soils bearing capacity.
 Soil Bearing Confirmation 2,000 psf

FOUNDATION CONCRETE
 F'c = 4,500 psi concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates
 Type V cement required exposed to sulfates
 Special Inspection and concrete lab testing IS REQUIRED
 Special Inspection NOT required. Submit concrete batch mix trip ticket to building inspector.

PILE INSTALLATION
 Drilled Cast-in Place Caissons / Piles Precast Concrete Piles
 Foundation Underpinning Installation Steel Piles

REINFORCED CONCRETE
 High Strength Concrete (>2,500 psi) f'c = 4,500 psi Cast-in Place Concrete
 Grade Beams Cast-in Place Caissons / Piles Reinforcing Placement
 Concrete Frames Post-Tensioned (tendon placing / stressing and concrete placement)
 Shotcrete / Guniting

STRUCTURAL STEEL
 Field Welding
 Steel Erection High Strength Bolting Spray Applied Fire Proofing

STRUCTURAL MASONRY
 Retaining Walls Walls & Pilasters

MISCELLANEOUS
 STRUCTURAL OBSERVATION IS REQUIRED (See attached structural observation form)
 Epoxy Anchors / Bolts
 Shear Wall / Diaphragm Nailing WHERE NAILS 4" OR LESS
 Other SIMPSON STRONG WALL
 Other

Building Division, 910 Calle Negocio, Suite 100 San Clemente CA 92673

PROJECT DIRECTORY

Owner:

CAMINO VALENCIA, LLC
16715 YVETTE WAY
CERRITOS, CA 90703
962.537.4087
EMAIL: caminovalencia@gmail.com

Legal Description:

TRACT: 852
LOT: 1,2,3
BLOCK: 1
APN: 692-173-04

Job Address:

1502 S. EL CAMINO REAL
SAN CLEMENTE, CA, 92672

Architect:

MICHAEL LUNA & ASSOCIATES, INC.
MICHAEL LUNA, ARCHITECT
971 CALLE NEGOCIO, SUITE 200B
SAN CLEMENTE, CA 92672
TEL: (949) 493-5200 FAX: (949) 493-5248
email: michael@lunaarch.com

Civil:

MILANI CO. CONSULTING ENGINEERS
BABAK MILANI
25872 WHITE ALDER LANE
LAGUNA HILLS, CA, 92653
TEL: (714) 655-3463
email: bmilani@milanico.com

Landscape:

MICHAEL BUNGANICH; LANDSCAPE ARCHITECT
112 EAST AVENIDA SAN JUAN
SAN CLEMENTE, CA, 92672
TEL: 949.498.4548
email: mjblandarc@cox.net

SHEET INDEX

00 General	
T.0	Title Sheet
01 Civil (For Reference Only)	
1	Preliminary Grading Plan
02 Architectural	
A1.0	Site Plan
A2.0	Lower Level Floor Plan
A2.1	Main Level Floor Plan
A2.2	Upper Level Floor Plan
A2.3	Roof Plan
A3.0	Exterior Elevations
A3.1	Exterior Elevations
A3.2	Renderings
A4.0	Building Sections
AD.1	Architectural Details

PROJECT SUMMARY TABLES

Zoning Standards

Description	Allowed	Proposed	Conforms
Zone	-	NC2	Yes
Lot Area	-	10,731 SF	Yes
Lot Width	-	124.96'	Yes
Lot Depth	-	80.00'	Yes
Max. Building Height	33' T.O.R.	32.7'	Yes
Setbacks (Minimum)			
Front Setback to Primary Structure	0'	2'-10"	Yes
West Sideyard Setback	0'	6'-0"	Yes
East Sideyard	0'	48'-6"	Yes
Alley Setback	0'	14'-0"	Yes
Lot Coverage	50% MAX	45% (4,895 SF) (4,731 SF)	Yes
Floor Area Ratio	.50	.472 (5,072 SF)	Yes
Landscape Coverage	10% (470 SF)	17.5% (828 SF)	Yes

Project Data

Area	Proposed New Area
Lower Level (Parking)	5377 SF
Main Level (Restaurant)	2975 SF
Upper Level (Office)	2097 SF
Main Level Outdoor Area	
Entry Tower	454 SF
Courtyard	1358 SF
Total Outdoor Area	1763 SF
Upper Level Deck	
Common Area Deck	365 SF
Office Deck	233 SF
Total Deck Area	598 SF

Parking

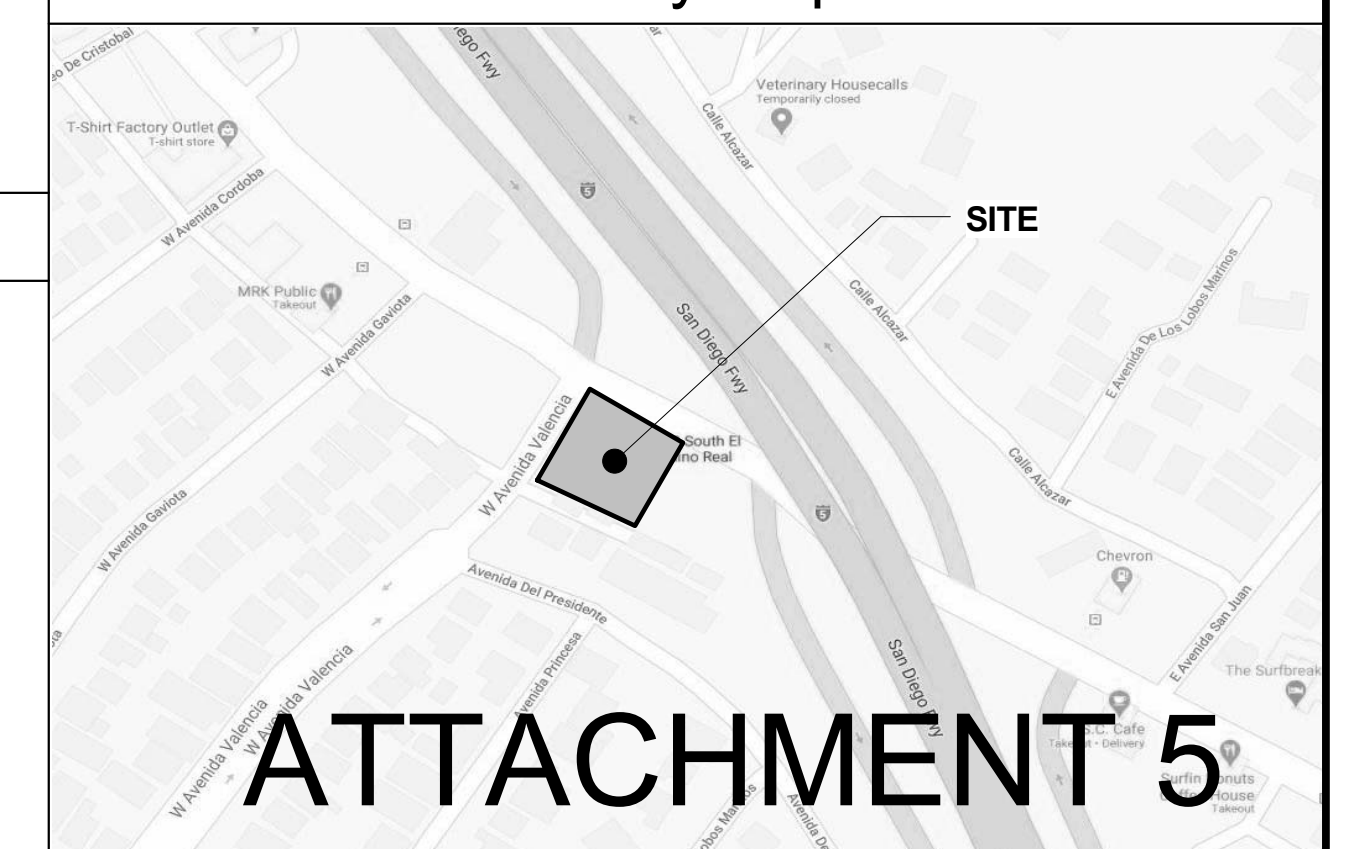
THE PROJECT UTILIZES A SHARED PARKING AGREEMENT PER THE SHARED PARKING ANALYSIS PREPARED BY LSA
20 EXECUTIVE PARK, SUITE 200, IRVINE, CA 92614

Total Spaces Required: 20 Spaces
Total Spaces Provided: 20 Spaces

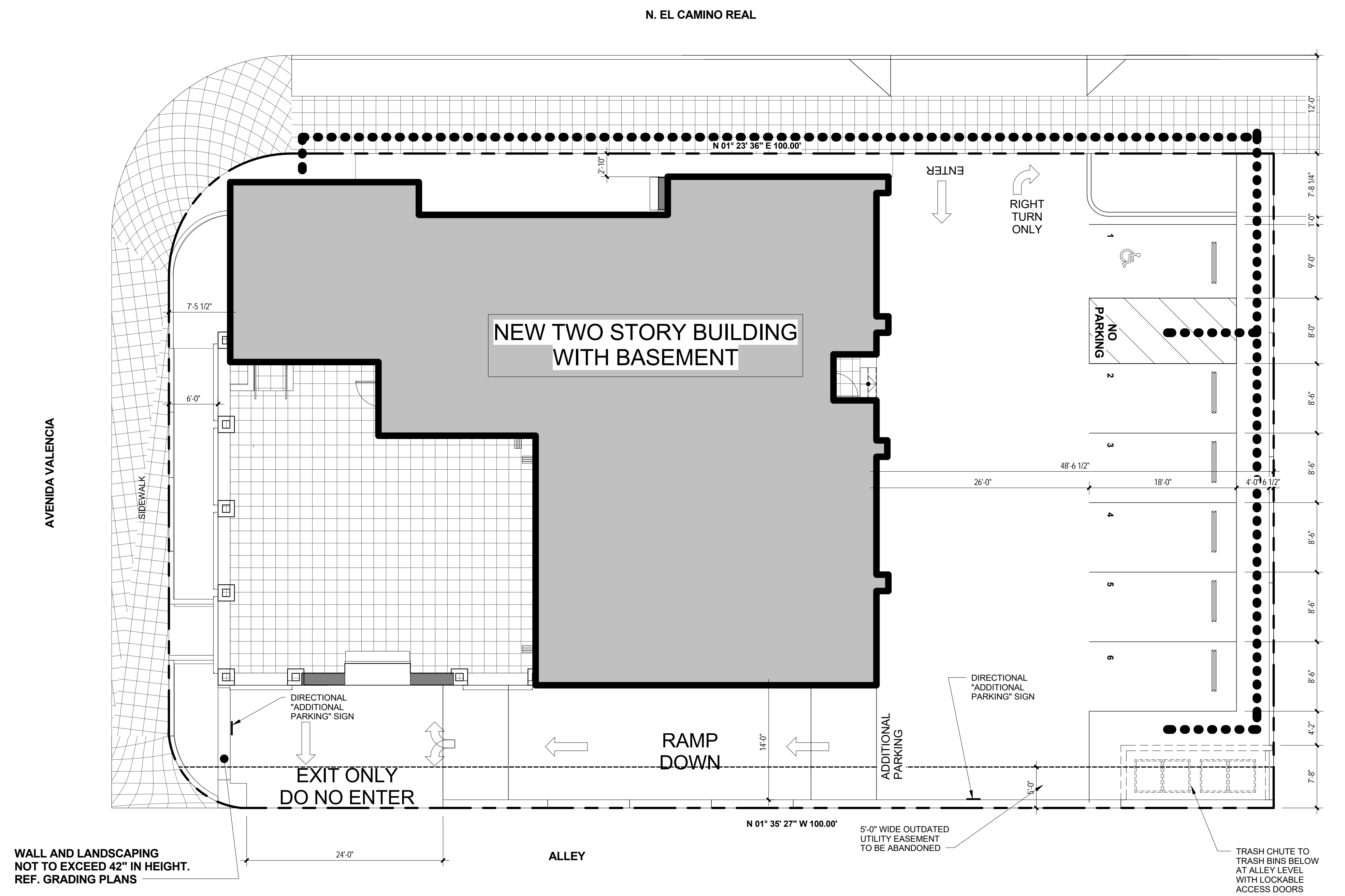
Scope of Work

CONSTRUCTION OF A NEW 2 STORY COMMERCIAL BUILDING WITH A BASEMENT BELOW FOR ADDITIONAL PARKING

Vicinity Map



ATTACHMENT 5



WALL AND LANDSCAPING NOT TO EXCEED 42" IN HEIGHT. REF. GRADING PLANS

Site Plan

SCALE: 1/8" = 1'-0"

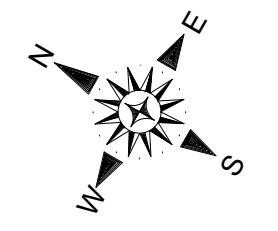
Site Notes

Keynotes

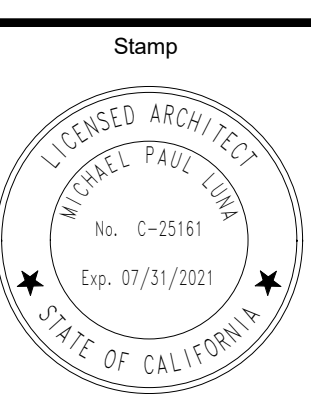
1. ALL CONTOURS SHOWN INDICATE EXISTING GRADES.
2. HOUSE ADDRESS IS TO BE LOCATED SO THAT THE NUMBER IS VISIBLE AND LEGIBLE FROM THE STREET.
3. FINISH FLOOR ELEVATIONS ARE FOR BUILDING DEPARTMENT REFERENCE ONLY. REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS.
4. FOOTING AT TREE LOCATIONS MUST BE BOARD FORMED TO ELIMINATE BOIL OVER AND ALL EXTRANEIOUS CONCRETE MUST BE REMOVED FROM THE SITE.
5. THESE PLANS AND THE OWNER SHALL COMPLY WITH ALL ORANGE COUNTY FIRE AUTHORITY COMMUNITY SAFETY AND EDUCATIO BUREAU GUIDELINES FOR FUEL MODIFICATION PLANS AND MAINTENANCE.
6. REFER TO THE LANDSCAPE DRAWING FOR ALL GATES, GUARDRAILS, AND HANDRAILS.
7. ALL DOWNSPOUT (D.S.) LOCATIONS TO BE VERIFIED WITH EXTERIOR ELEVATIONS. ELEVATIONS TAKE PRECEDENT.
8. ALL ROOF AND DECK DRAINS SHALL CONNECT TO UNDERGROUND STORM DRAIN SYSTEM.
9. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE CONTROLLED THAT ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER CONDITIONS.
10. FINISHED GRADE AROUND NEW STRUCTURE SHALL BE 11. SLOPED WAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN THE EASEMENTS.

SIGNATURE OF OWNER OR AUTHORIZED AGENT



	BUILDING FOOTPRINT
	AREA OF UPPER SECOND STORY
	ACCESSIBLE PATH OF TRAVEL (5% MAX. RUNNING SLOPE, 2% MAX. CROSS SLOPE)
	LINE OF ROOF OVERHANG
	PROPERTY LINE



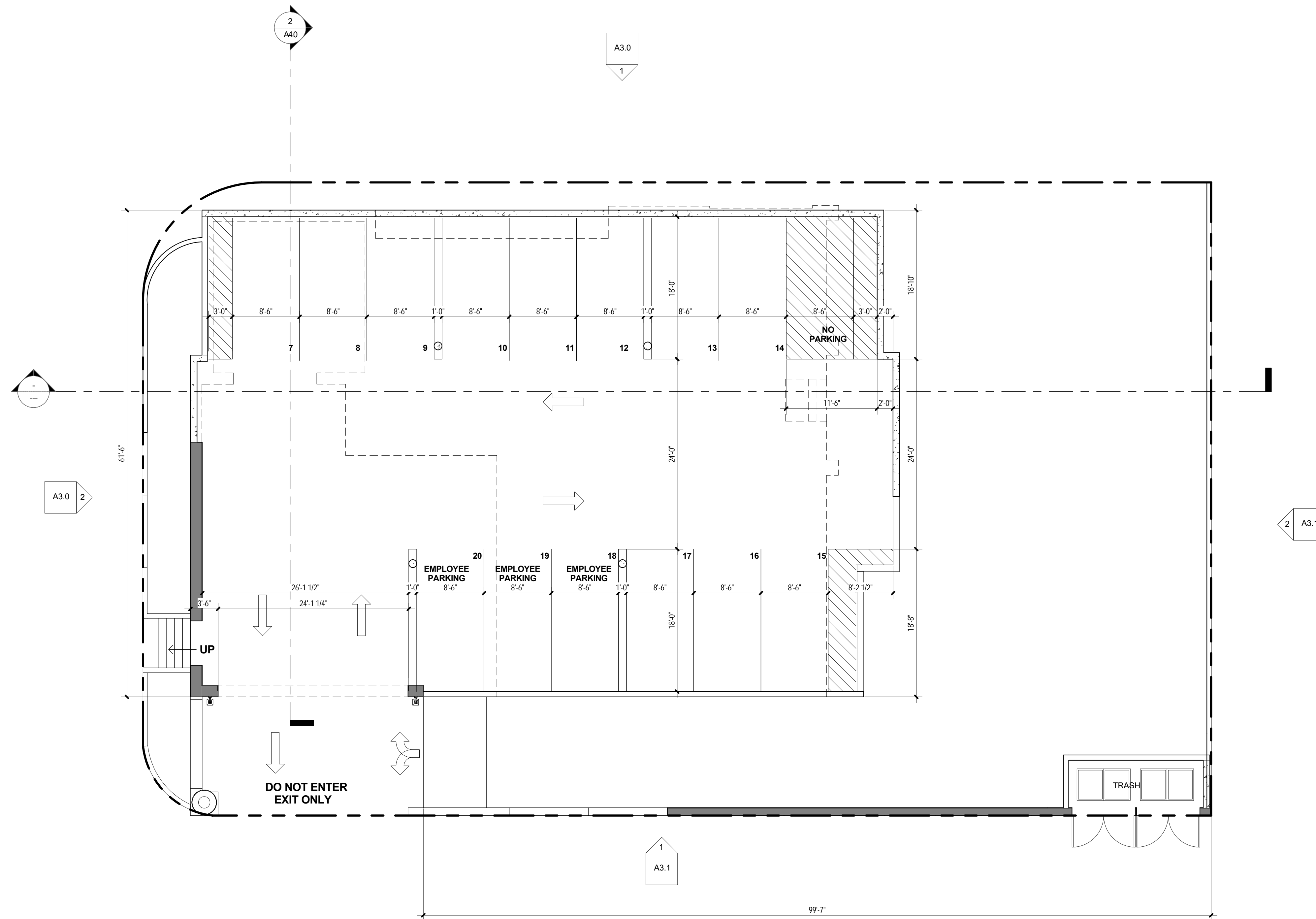
Project No.	1910
Plot Date	11.17.20
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	
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A1.0

Sheet No.

Code Data

Legend & Notes



Lower Level Floor Plan

SCALE: 1/8" = 1'-0"

- ▲ INDICATES TEMPERED GLASS, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS
- ◐ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
- ▬ NEW WALL TO BE CONSTRUCTED
- ▨ NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- ▩ NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED
- ▧ NEW CMU RETAINING WALL TO BE CONSTRUCTED

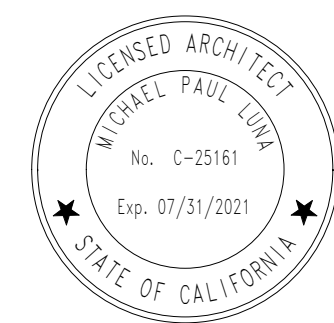
1. ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER INTERIOR WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE.
2. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS
3. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS W/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.
4. SEE DETAIL SHEET AD.3 FOR STANDARD / TYPICAL STAIR & FIRE RATED ASSEMBLY DETAILS.
5. SEE DETAIL SHEET AD.5 FOR PLUMBING & UTILITY DETAILS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

Keynotes

Wall Legend & Notes

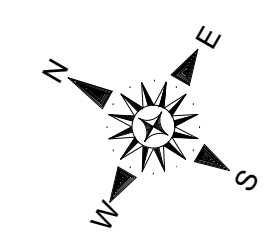
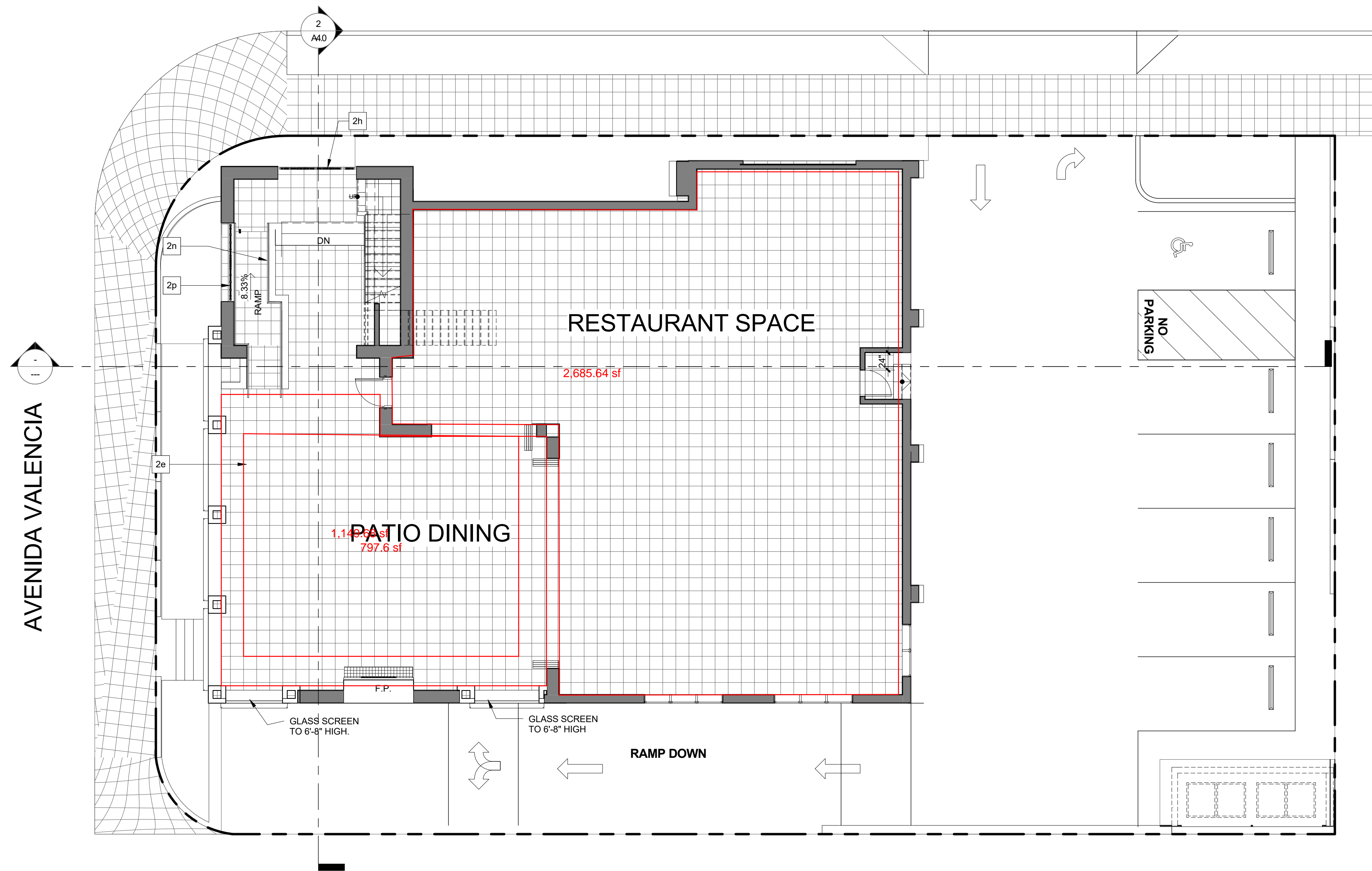
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Plot Date	11.17.20
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SOUTH EL CAMINO REAL



Main Level Floor Plan

SCALE: 1/8" = 1'-0"

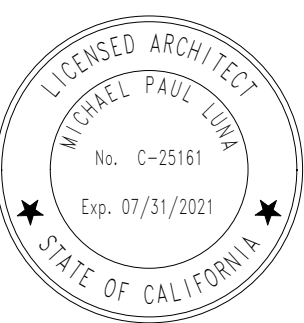
2e	18" SQ. TERRA COTTA TILE PAVERS MUDSET w/ CONC. SLAB - SLOPE AWAY FROM BUILDING @ MIN. 1/8" PER FOOT
2h	DECORATIVE WROUGHT-IRON GATE (PAINTED BLACK)
2n	2" DIAM. METAL HANDRAIL 34" TO 38" ABV. RAMP SURFACE - RETURN HANDRAIL TO POST
2p	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)

- ▲ INDICATES TEMPERED GLASS, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS
- ⊙ INDICATES EMERGENCY EGRESS WINDOW/ DOOR
- ▬ NEW WALL TO BE CONSTRUCTED
- ▨ NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- ▩ NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED
- ▧ NEW CMU RETAINING WALL TO BE CONSTRUCTED

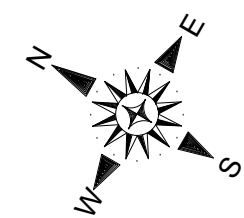
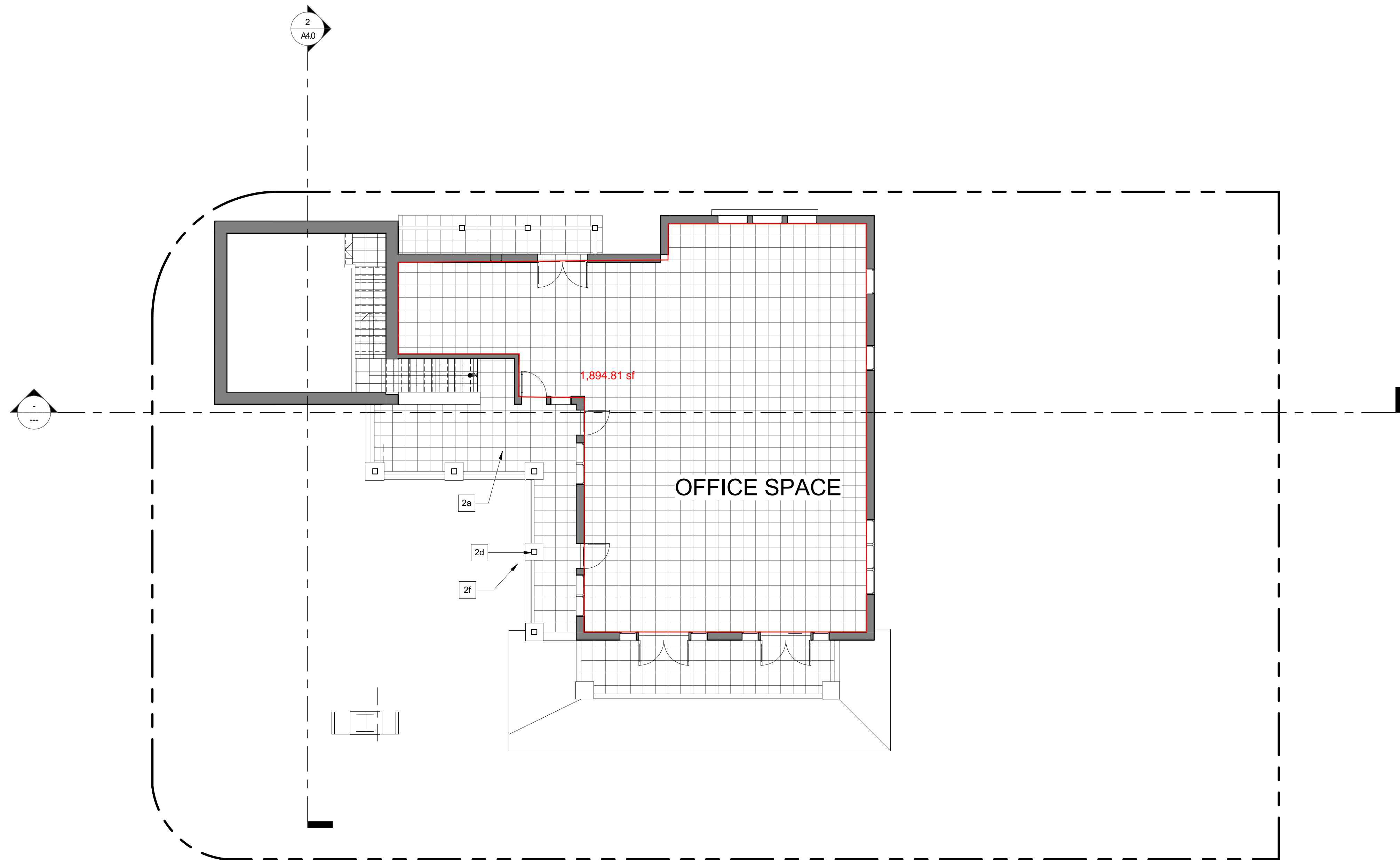
1. ALL PLUMBING WALLS ARE 2x6 FRAMING, ALL OTHER INTERIOR WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE
2. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS
3. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS
4. SEE DETAIL SHEET AD.3 FOR STANDARD / TYPICAL STAIR & FIRE RATED ASSEMBLY DETAILS.
5. SEE DETAIL SHEET AD.5 FOR PLUMBING & UTILITY DETAILS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

Keynotes

Wall Legend & Notes



Project No.	1910
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Revision	▲
Revision	▲



Upper Level Floor Plan

SCALE: 1/8" = 1'-0"

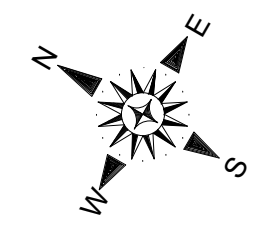
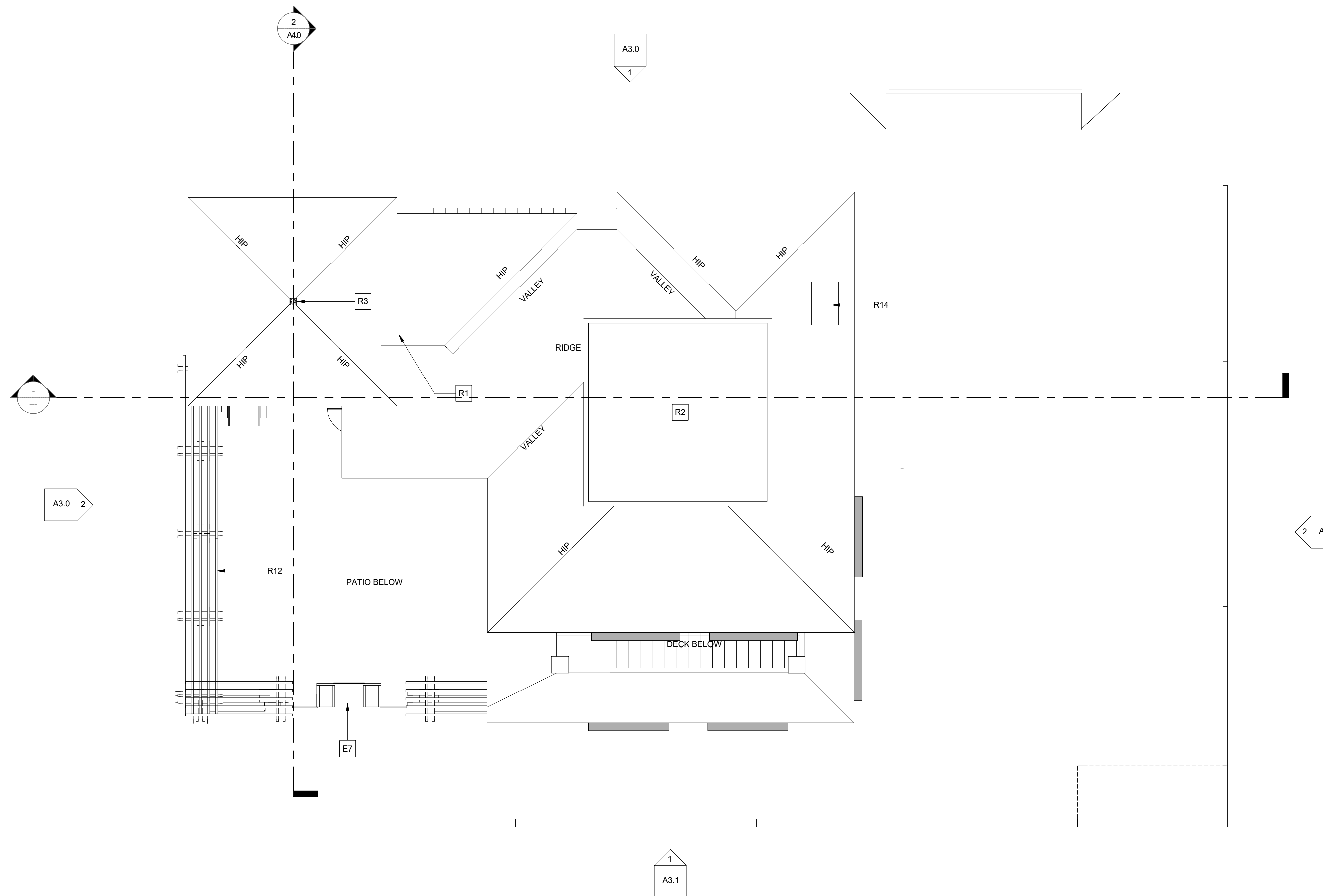
2a	18" SQ. TERRA COTTA TILE PAVERS MUDSET @ "DEX-O-TEX" KUKU WEATHERWEAR WATERPROOF DECK SYSTEM (ESR-1757) - SLOPE TO DRAIN, SCUPPER, OR AWAY FROM BUILDING @ MIN. 1/4" PER FOOT
2d	8x8 WOOD POST, PAINTED SW 6471 - HAZEL LRV 48%
2f	2" THICK, TERRA COTTA, TILE PAVER WALL / PILASTER CAP

- ▲ INDICATES TEMPERED GLASS. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS
- INDICATES EMERGENCY EGRESS WINDOW/ DOOR
- ▬ NEW WALL TO BE CONSTRUCTED
- ▨ NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- ▩ NEW 1-HOUR RATED PARTY WALL TO BE CONSTRUCTED
- ▧ NEW CMU RETAINING WALL TO BE CONSTRUCTED

1. ALL PLUMBING WALLS ARE 2x6 FRAMING. ALL OTHER INTERIOR WALLS ARE 2x4 FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ALL BEARING AND SHEAR WALLS.
2. ANY PLUMBING DRAINPIPE OR VENT CUT THROUGH STUD WALL SHALL BE 2x6 STUD WALLS OR TWO 2x4 WALLS w/ PLYWOOD SHEAR PANEL ON NON-PLUMBING WALLS.
3. SEE DETAIL SHEET AD.3 FOR STANDARD / TYPICAL STAIR & FIRE RATED ASSEMBLY DETAILS.
4. SEE DETAIL SHEET AD.5 FOR PLUMBING & UTILITY DETAILS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

Keynotes

Wall Legend & Notes



SCALE: 1/8" = 1'-0"

Roof Plan

AREA #1:	474 S.F.
REQUIRED:	474 S.F. X 1/150 X 144 SQ. IN. = 455 SQ. IN.
PROVIDED:	(5) CMI MODEL BH24 HALF-ROUND DORMER VENTS @ 100 SQ. IN. NFVA EACH TOTAL= 500 SQ. IN.
AREA #2:	194 S.F.
REQUIRED:	194 S.F. X 1/150 X 144 SQ. IN. = 186 SQ. IN.
PROVIDED:	(2) CMI MODEL BH24 HALF-ROUND DORMER VENTS @ 100 SQ. IN. NFVA EACH TOTAL= 200 SQ. IN.

- ATTIC AREA
- CMI MODEL BH24 HALF-ROUND DORMER VENT

PROPOSED F.F. = 167.50 MAX ROOF HGT: 33'-0"

- ROOF DECK AREA - SEE KEYNOTE 10
- FLAT ROOF AREA - SEE KEYNOTE 13
- VENTED ROOF AREA - SEE ROOF ATTIC VENTING CALCULATION
- SOLAR READY/ SOLAR ZONE AREA MIN. 15% OF TOTAL ROOF AREA
- O'HAGIN ROOF VENT
- 8'-0" MIN. DIM. TO ILLUSTRATE OVERFLOW DRAIN CAN BE FLUSHED W/ DECKING SURFACE IF SLOPED MIN. 2% - SEE DETAIL 13/AD.5

1. ALL RIDGES, HIPs AND VALLEYS SHALL BE FLASHED W/ 26 GA G.I. FLASHING (CONTINUOUS) UNDERNEATH TILE AND SHALL NOT BE VISIBLE. FLASHING SHALL EXTEND UP / DOWN ADJACENT SURFACES A MIN. OF 12" TYP. FLASHING SHALL BE LAID ON A CONTINUOUS STRIP (36" WIDE) OF 30" FELT PAPER, 2 LAYERS 15# FELT PAPER SHALL LAY IN CONTINUOUS STRIPS, OVERLAPS AND EDGES SHALL BE PER ROOFING TILE MANUFACTURER'S ("REDLANDS CLAY TILE") RECOMMENDATIONS. WHERE FLASHING MUST BE EXPOSED, FLASHING SHALL BE 26 GA CORROSION-RESISTANT METAL W/ PAINT FINISH AS DIRECTED BY THE ARCHITECT, TYP.
2. RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL CONTRACTOR TO CONSTRUCT ROOF FROM THE PLATE HEIGHTS AND THE ROOF SLOPE INDICATED ON THE ROOF PLAN.
3. ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ALL FASTENERS TO RESIST WIND LOAD OF NOT LESS THAN 25 MPH.
4. ALL ROOF PITCHES ARE 3.5:12 (UNO).
5. ALL CONTOURS SHOWN INDICATE EXISTING GRADES. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISH GRADES.
6. USE MORTAR AS A BIRD STOP AT EAVES SET BACK IN TILE A MINIMUM OF 2" TO HELP DIMINISH ITS APPEARANCE.
7. ALL ROOFS SHALL BE FIRE STOPPED AND ENCLOSED WITH MATERIAL AT THE EAVE ENDS TO PROCLUDE ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
8. ALL ROOF MORTAR TO HAVE GREY STANDARD MORTAR.
9. ROOF TILE IS TO OVERHANG THE EDGE OF THE ROOF BY ABOUT 1" TO 1 1/2" TYPICAL.
10. PROVIDE ATTIC VENTILATION EQUAL TO A MINIMUM OF 1/150 OF THE AREA TO BE VENTILATED.
11. PROTECTION OF OPENINGS INTO ATTICS, FLOORS OR OTHER ENCLOSED AREAS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH NOT LESS THAN 1/4" NOR MORE THAN 1/2" IN ANY DIMENSION - WITH CHIMNEYS HAVING A SPARK ARRESTORS OF A MAXIMUM OF 1/2" SQUARE SCREEN PAINT "ICI" FOREST BLACK TO CONCEAL ARRESTOR.
12. ALL PORTABLE EQUIPMENT SHALL NOT EXCEED 42" IN HEIGHT EXCEPTING SHADE STRUCTURES.
13. NO PART OF THIS BUILDING, INCLUDING EXTERIOR FINISH SHALL EXTEND OVER THE NORTH AND SOUTH PROPERTY LINES.

E7	CHIMNEY CAP W/ STUCCO FINISH
R1	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, ORRC ID# 0942-0129) SHALL BE USED W/ BOOSTER TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
R2	PLI-DEK B, SAND FINISH, WATERPROOF ROOF COVERING SYSTEM (ICC-ESR #2097), COLOR: TERRA COTTA - SLOPE TO DRAIN OR AWAY FROM BUILDING @ MIN. 1/4" PER FOOT
R3	PRECAST CONCRETE OR GFRC FINIAL
R12	WOOD TRELLIS BELOW - PAINTED
R14	CHIMNEY CAP W/ STUCCO FIN.

- NOTES:
1. CLAY ROOF TILE SHALL COMPLY WITH ASTM C1167 AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND TO RESIST WIND LOAD OF NOT LESS THAN 85 M.P.H. PER C.R.C.
 2. PROVIDE UNDERLAYMENT PER CRC 905.1.1 AND INSTALL 2 LAYERS OF 30# FELTS ALTERNATE SEAMS PER CRC
 3. MAXIMUM ROOF TILE WEIGHT - 11 PSF
 4. CLASS A FIRE RATING
 5. FOR FLAT ROOFS (ROOF DECKS) AND SLOPED ROOFS WHERE CEILING IS ATTACHED DIRECTLY TO THE BOTTOM OF JOISTS (CATHEDRAL CEILINGS) - PROVIDE FULL-DEPTH INSULATION AT ROOF JOISTS.

Roof Height Analysis

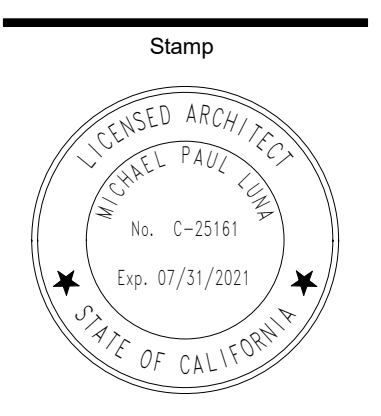
Attic Vent Calculations

Legend

Roof General Notes

Keynotes

Roof Notes



Project No.	1910
Plot Date	11.17.20
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	
Revision	
Revision	
Revision	

A2.3



Front Elevation (El Camino Real)

SCALE: 1/8" = 1'-0"

E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E3	DECORATIVE, SOLID WROUGHT IRON GUARDRAIL +42" ABOVE FINISH FLOOR
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS, PAINT COLOR: SAGE GREEN
E5	METAL CLAD FRENCH DOORS PER PLAN, PAINT COLOR: SAGE GREEN
E7	CHIMNEY CAP w/ STUCCO FINISH
E8	6x6 WOOD POST, PAINTED WEATHERED BROWN DEC756
E11	WOOD CORBEL - PAINTED WEATHERED BROWN DEC756
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E20	STUCCO RECESS - SEE DET. 10/AD1
E23	CANVAS AWNING w/ WROUGHT-IRON BRACKETS (PAINTED BLACK)
E24	WOOD BEAM - PAINTED WEATHERED BROWN DEC756
E29	METAL CLAD BI-FOLD FRENCH DOORS - COLOR: SAGE GREEN
E42	PRECAST CONC. OR GFRC SHAPED WINDOW TRIM
E43	PRECAST CONCRETE OR GFRC FINIAL
E45	8x8 WOOD POST, PAINTED WEATHERED BROWN DEC756
E58	DECORATIVE SOLID WROUGHT-IRON GATE, PAINTED BLACK
E59	WOOD TRELLIS - PAINTED WEATHERED BROWN DEC756
E60	SPIRE

Keynotes



Right Elevation (Valencia Ave)

SCALE: 1/8" = 1'-0"

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Architect
Project

The Valencia
Building

1502 S. El Camino Real
San Clemente, CA

Sheet Title

Exterior
Elevations

Stamp

Project No.	1910
Plot Date	11.17.20
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

A3.0

Sheet No.



STEEL TRASH
SLIDING BARN DOORS
PAINTED DARK WOOD
COLOR

Rear Elevation (Alley)

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"

E1	7/8" EXTERIOR PLASTER OR APPROVED METAL LATH, WHITE, APPLIED W/ STEEL, HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL/EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-1017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRRC ID# 0942-0129) SHALL BE USED W/ BOOSTER TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS, PAINT COLOR: SAGE GREEN
E7	CHIMNEY CAP W/ STUCCO FINISH
E8	6x6 WOOD POST, PAINTED WEATHERED BROWN DEC756
E23	CANVAS AWNING W/ WROUGHT-IRON BRACKETS (PAINTED BLACK)
E46	DECORATIVE SOLID WROUGHT-IRON BALCONETTE, PAINTED BLACK
E59	WOOD TRELLIS - PAINTED WEATHERED BROWN DEC756
E60	SPIRE

Keynotes



EL CAMINO REAL - PERSPECTIVE



EL CAMINO REAL - PERSPECTIVE



AVENIDA VALENCIA - PERSPECTIVE



AVENIDA VALENCIA - PERSPECTIVE

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Architect

Project

The Valencia
Building

1502 S. El Camino Real
San Clemente, CA

Sheet Title

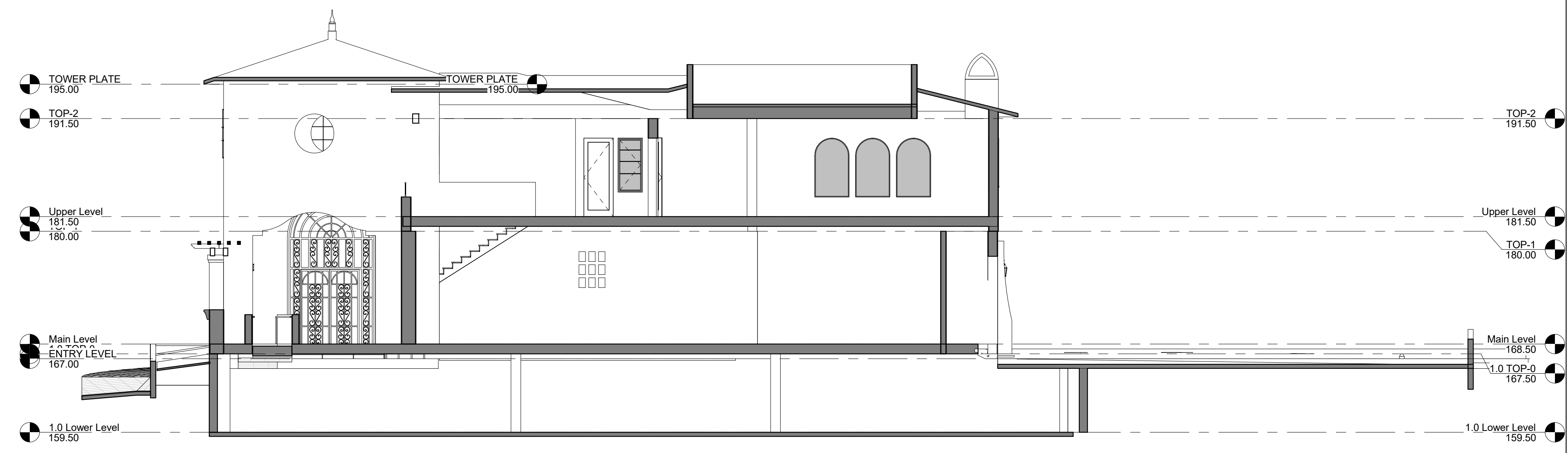
Renderings

Stamp

Project No.	1910
Plot Date	11.17.20
B.D. Submittal	_____
Bid Issue	_____
Const. Issue	_____
Revision	△ _____
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A3.2

Sheet No.

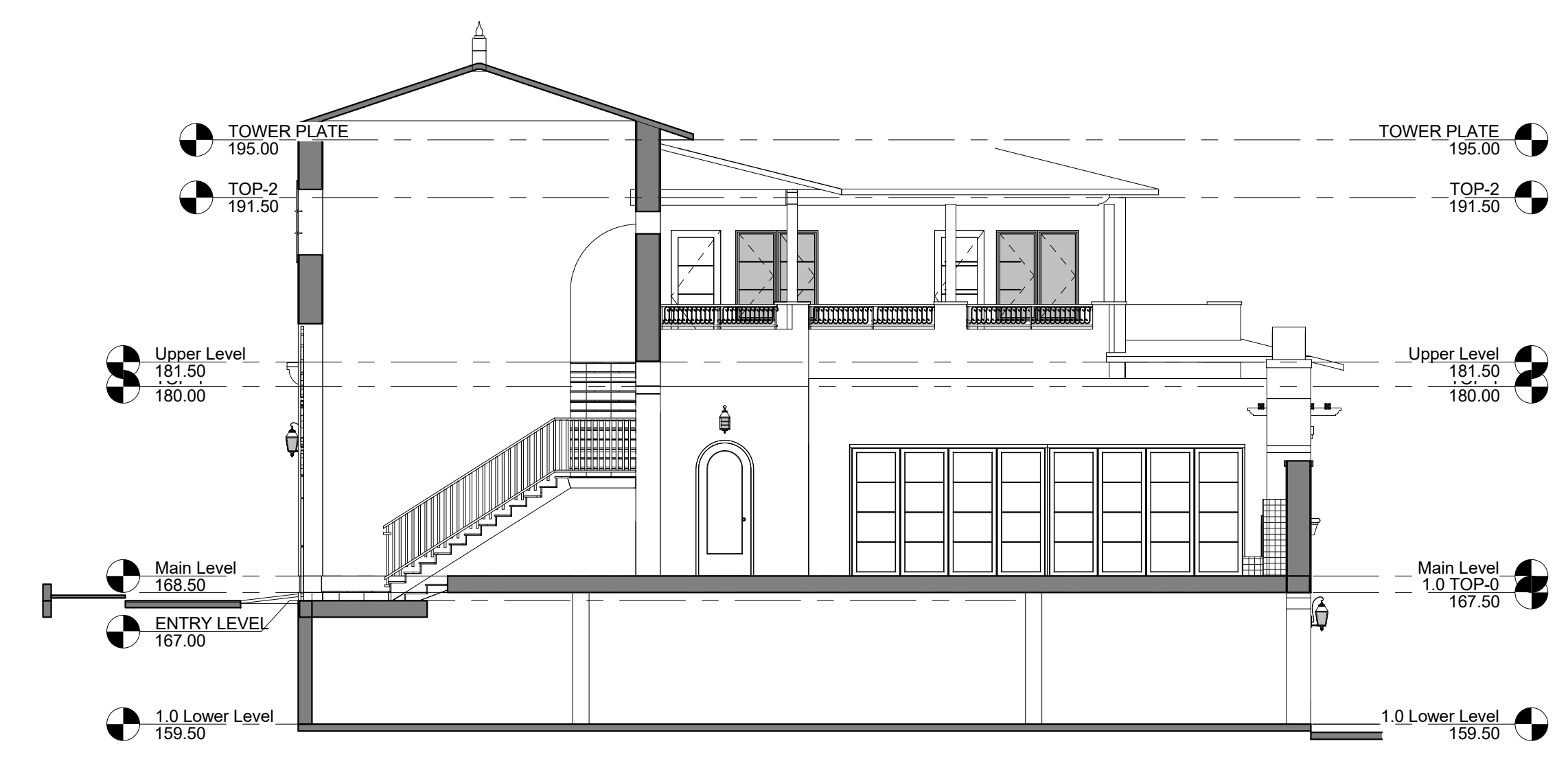


Building Section

SCALE: 1/8" = 1'-0"

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Keynotes



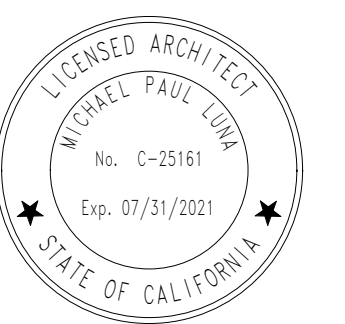
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Sheet Title

Building
Sections

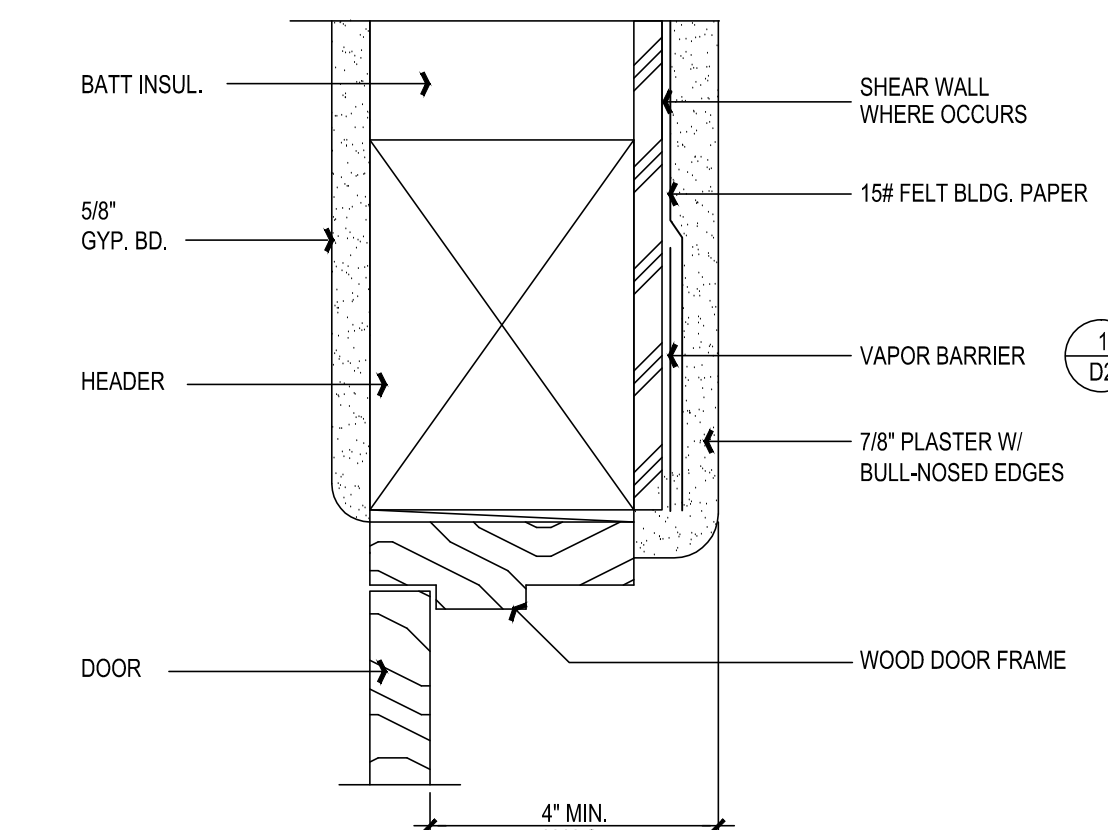
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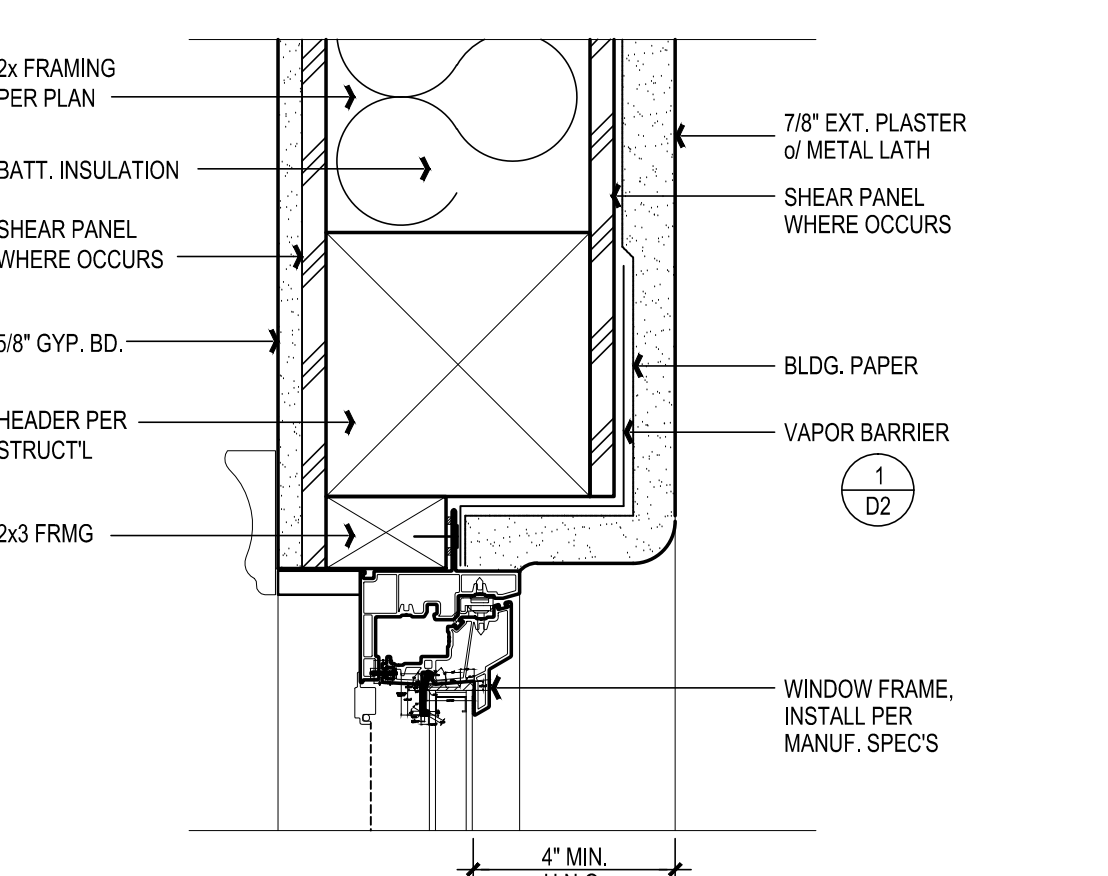
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Plot Date	11.17.20
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	▲
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Revision	▲

A4.0

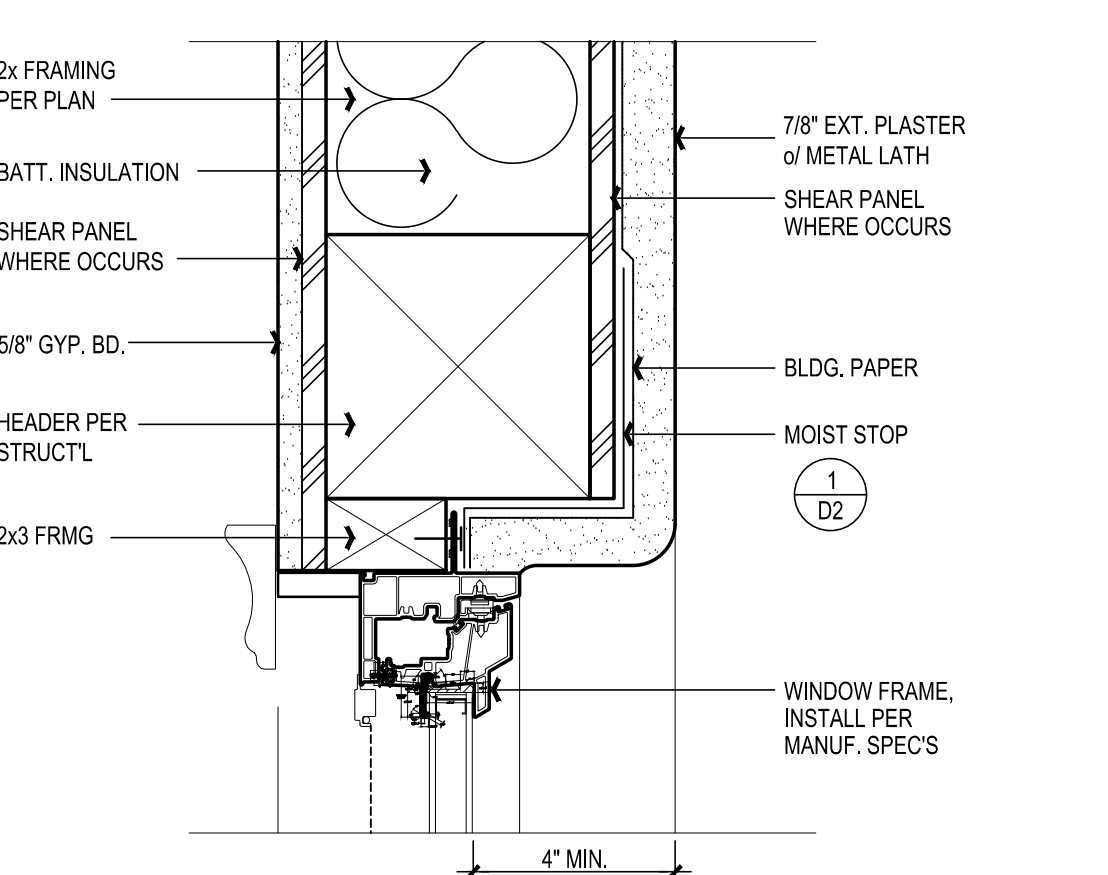
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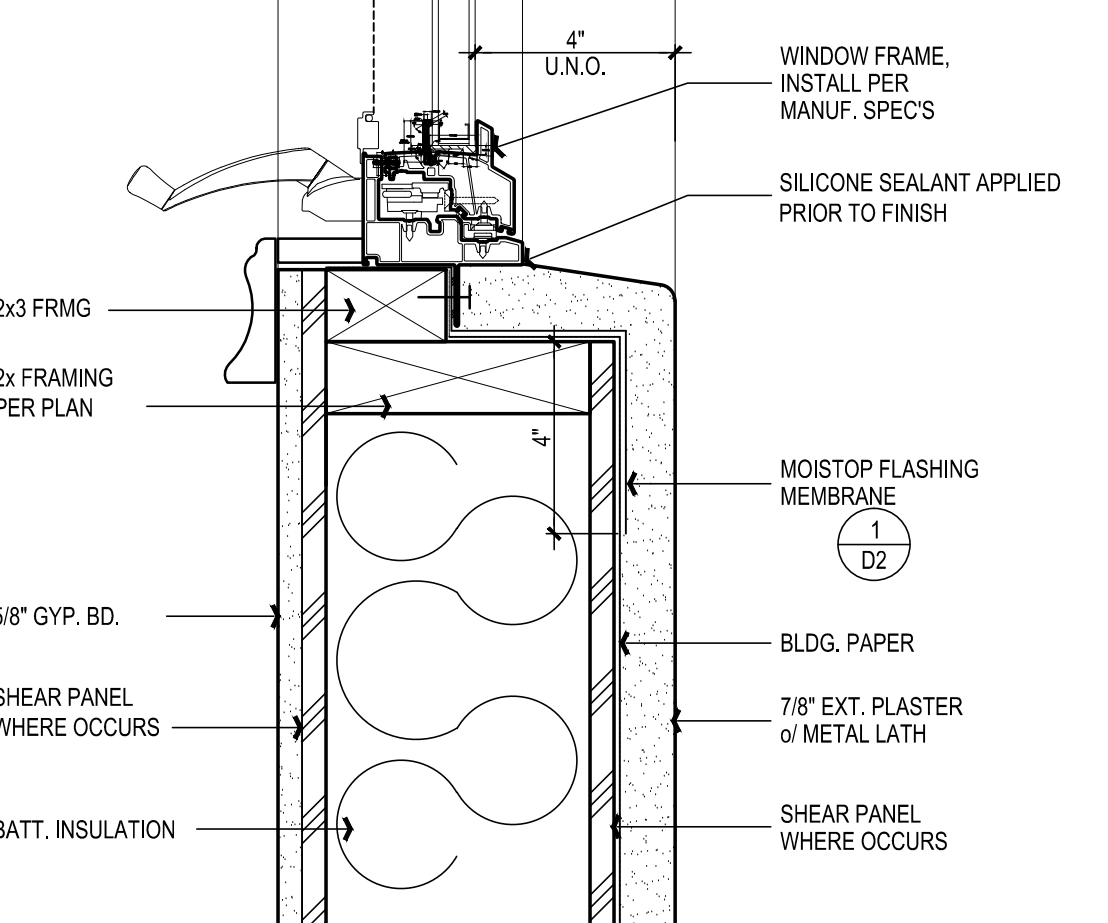
DOOR HEAD/JAMB @ EXT. 15
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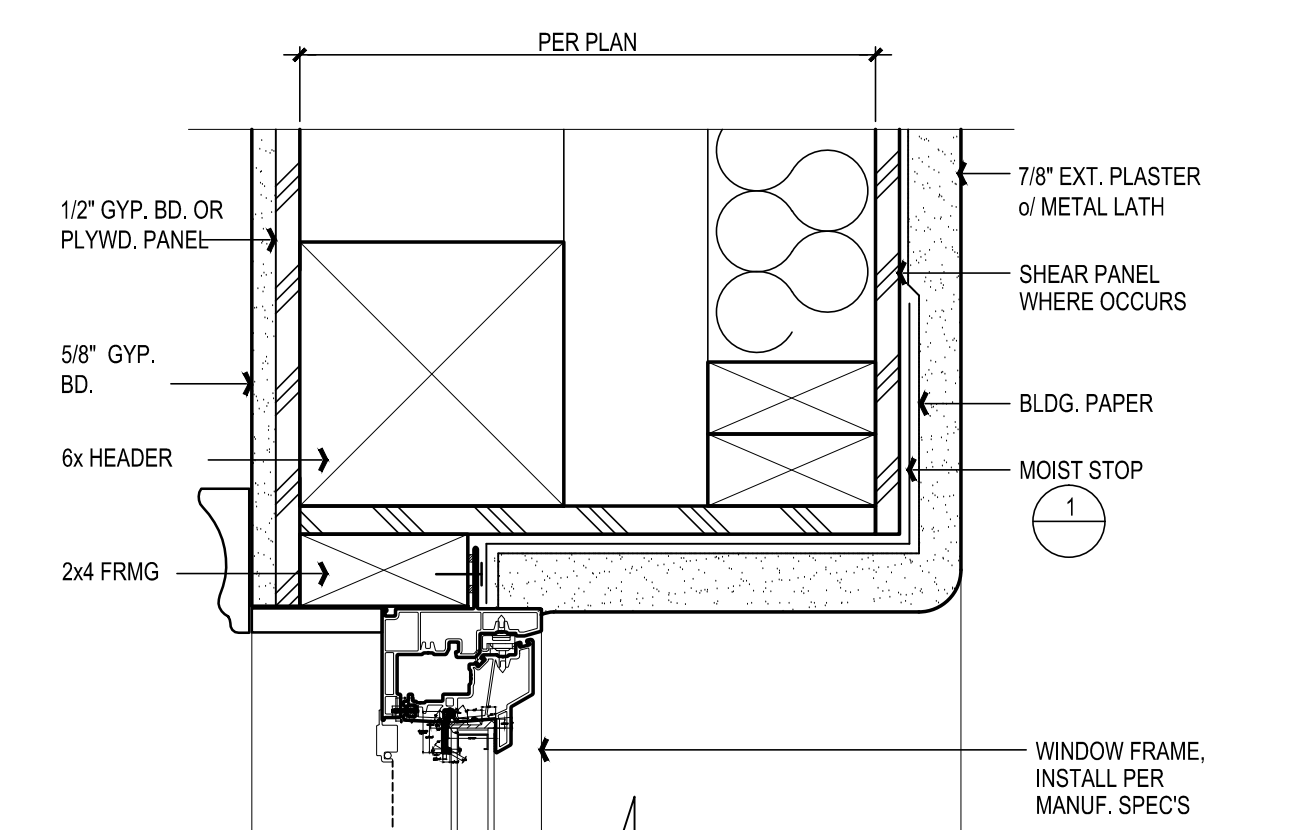
WINDOW HEAD 16
SCALE: 3" = 1'-0"



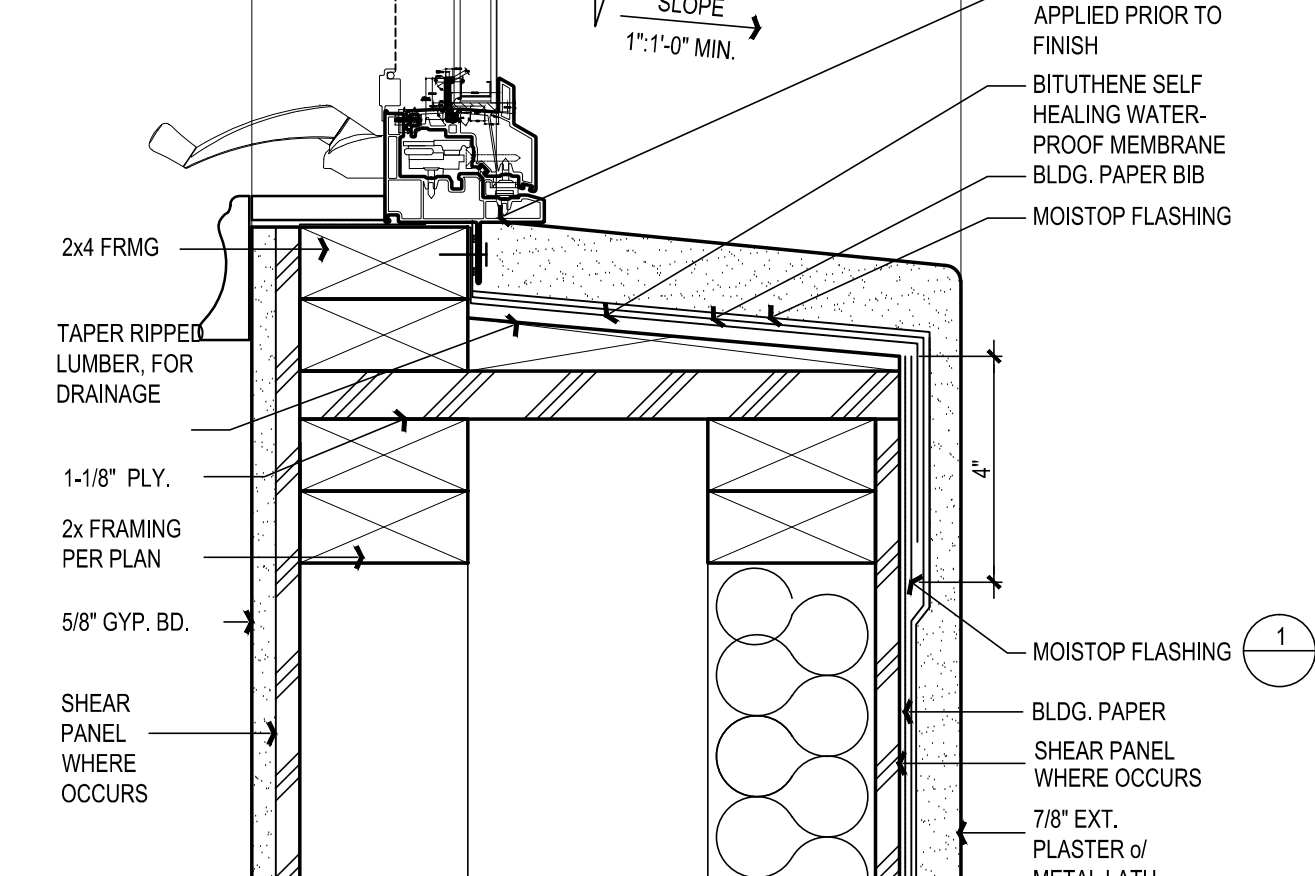
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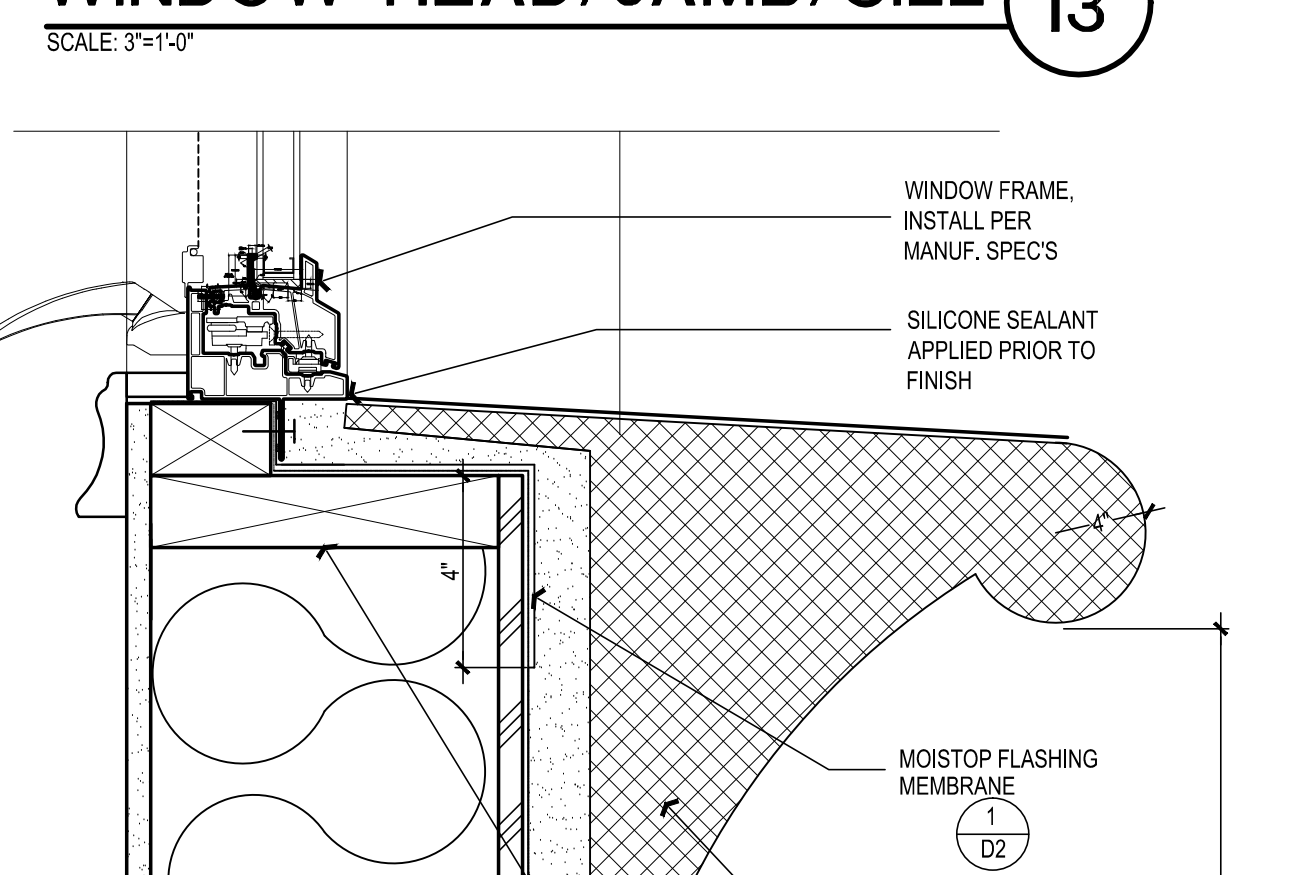
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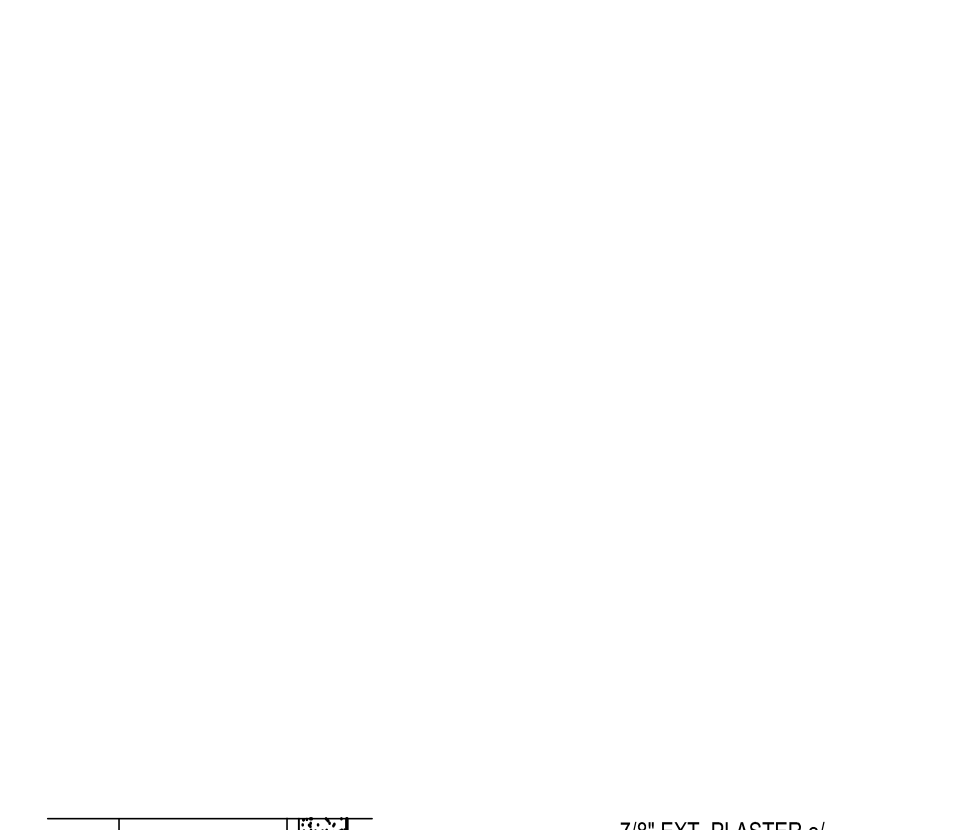
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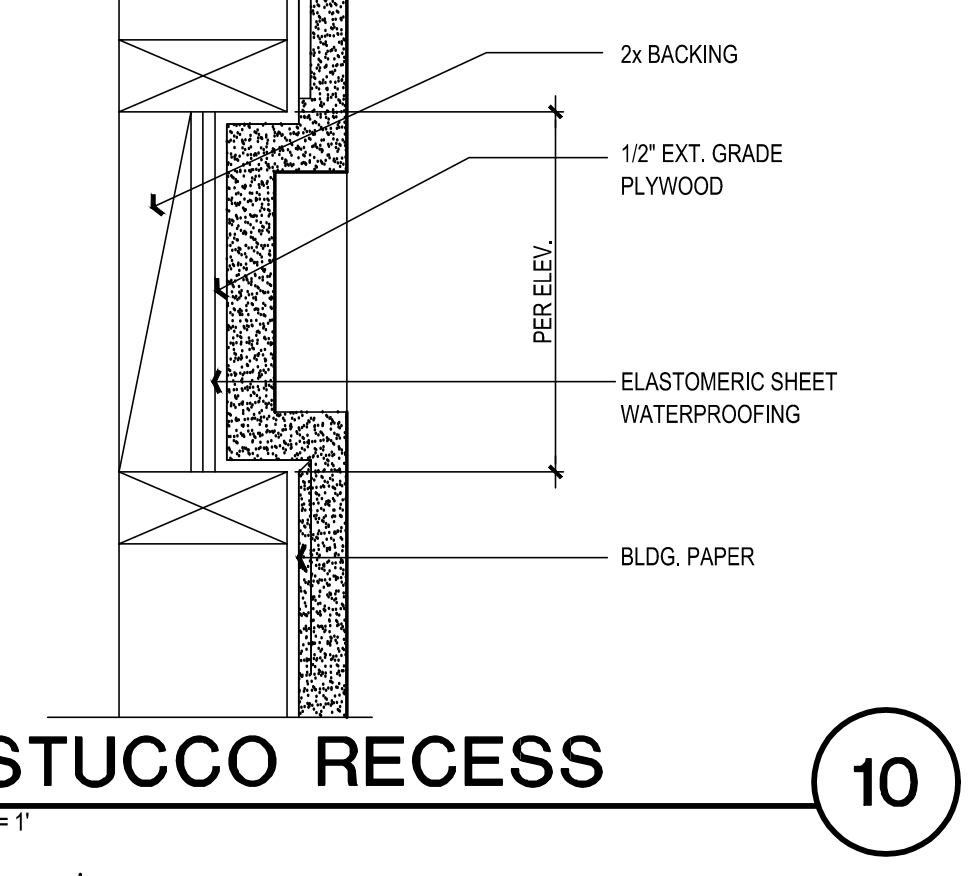
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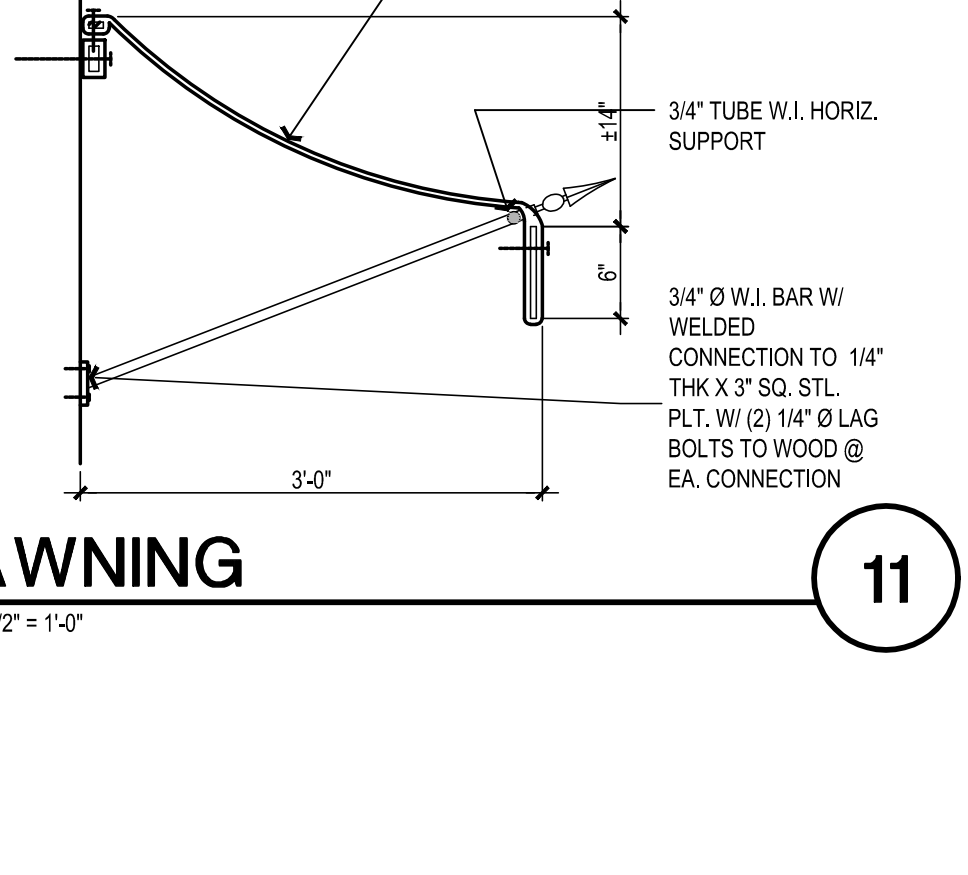
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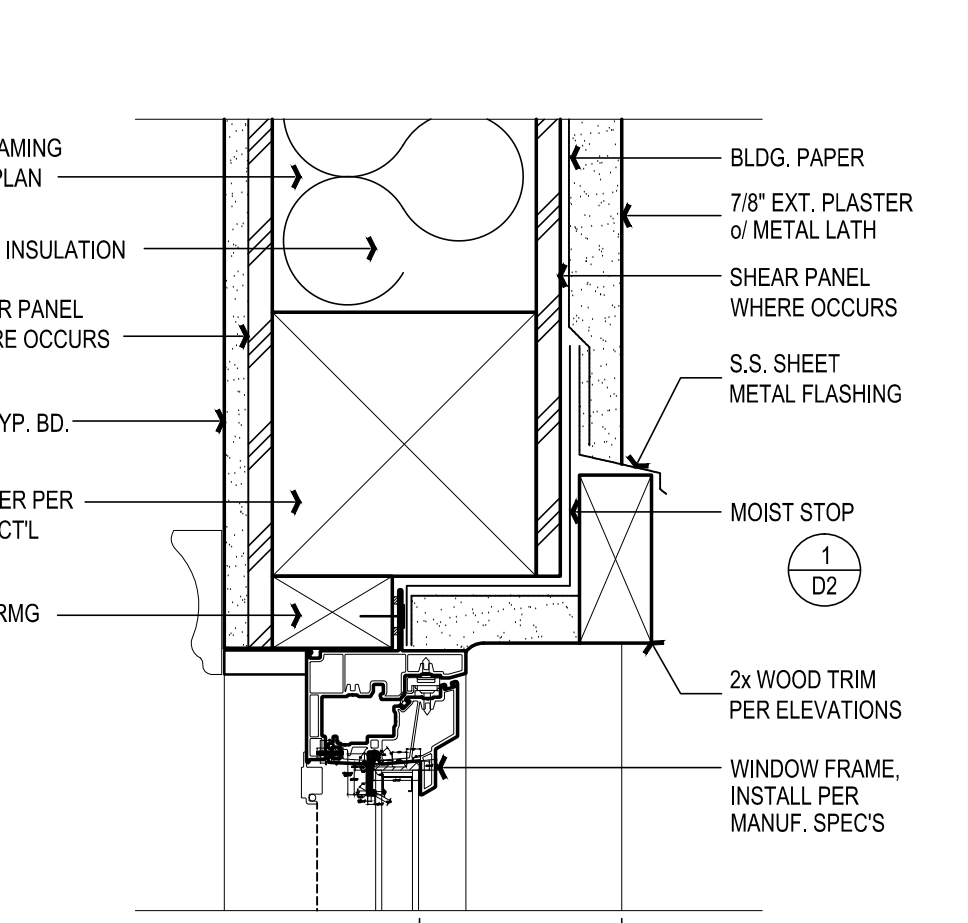
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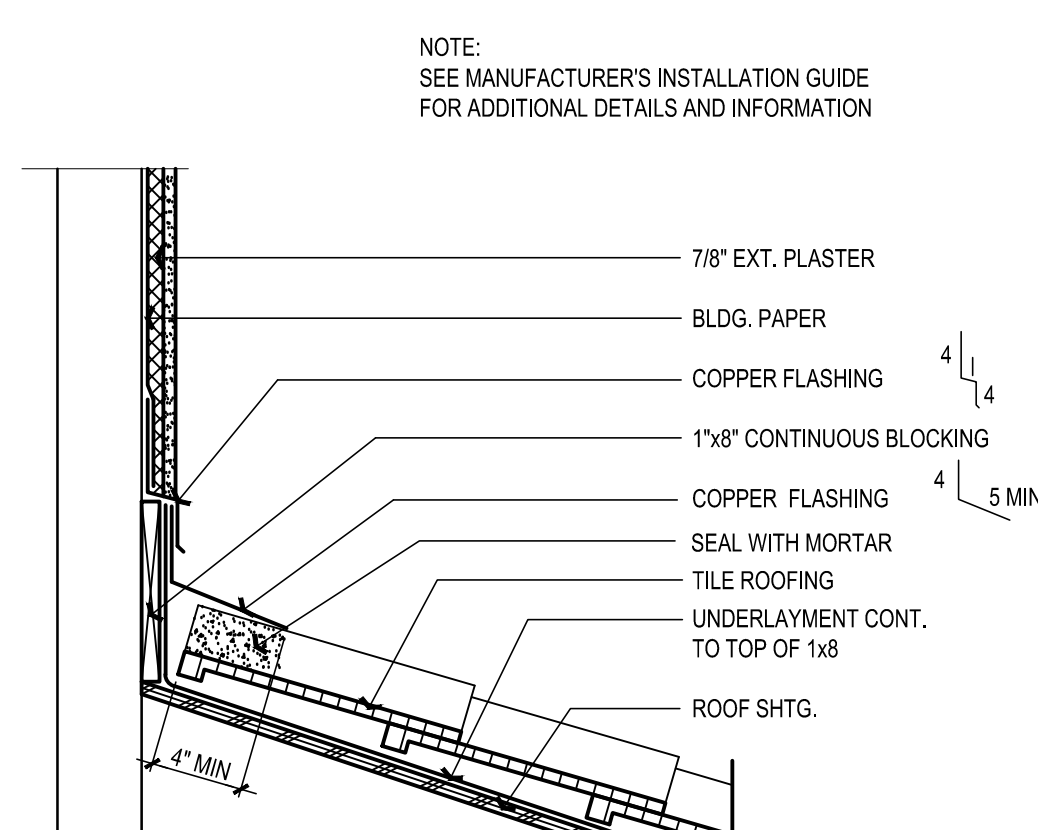
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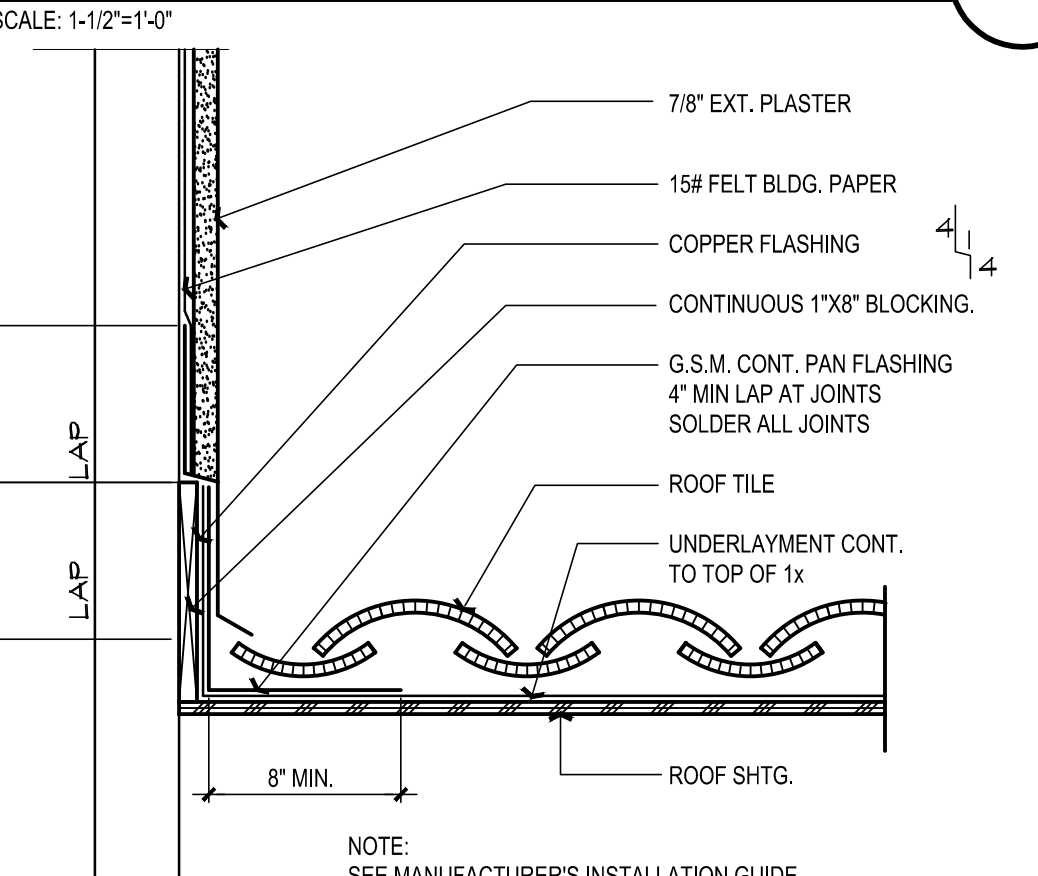
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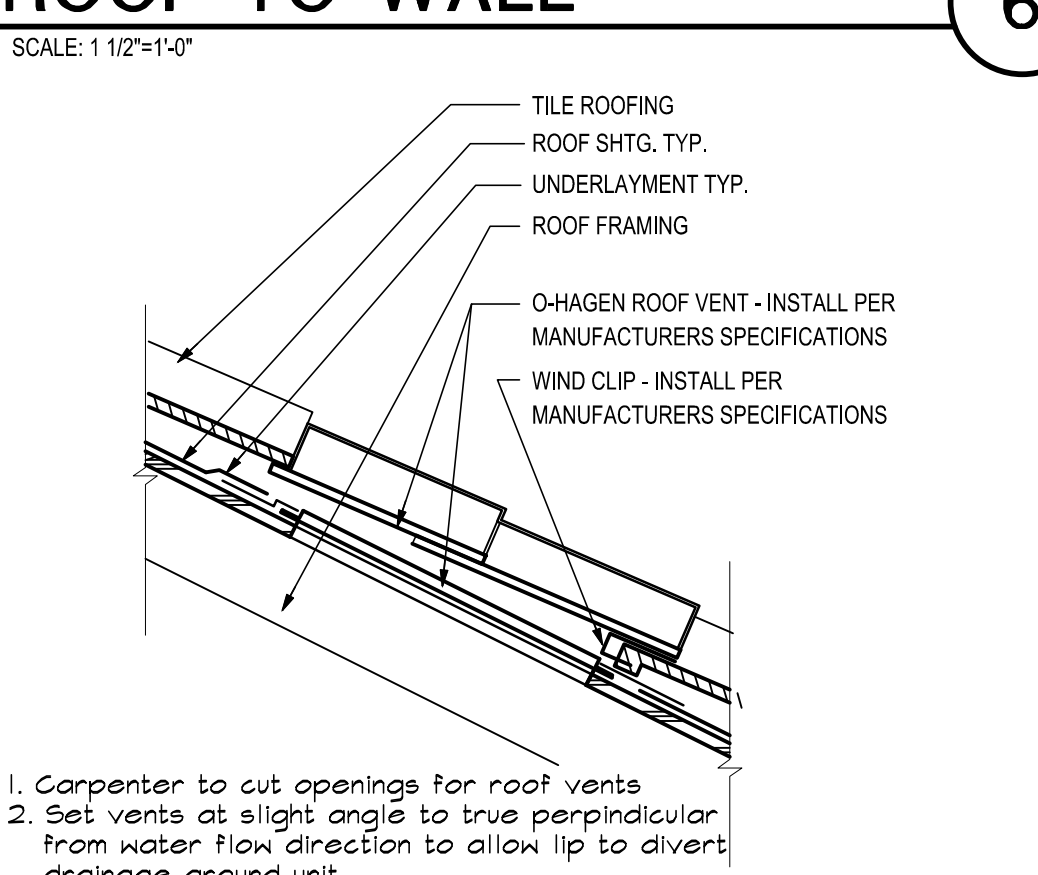
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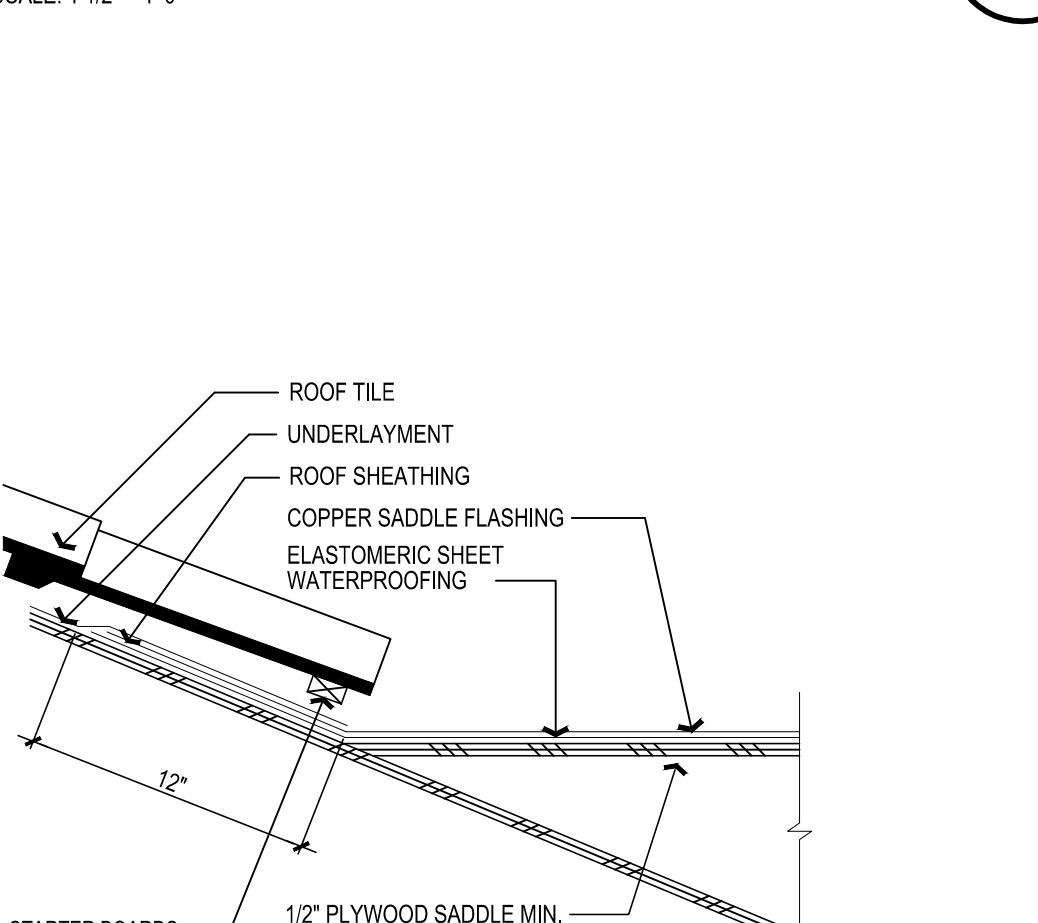
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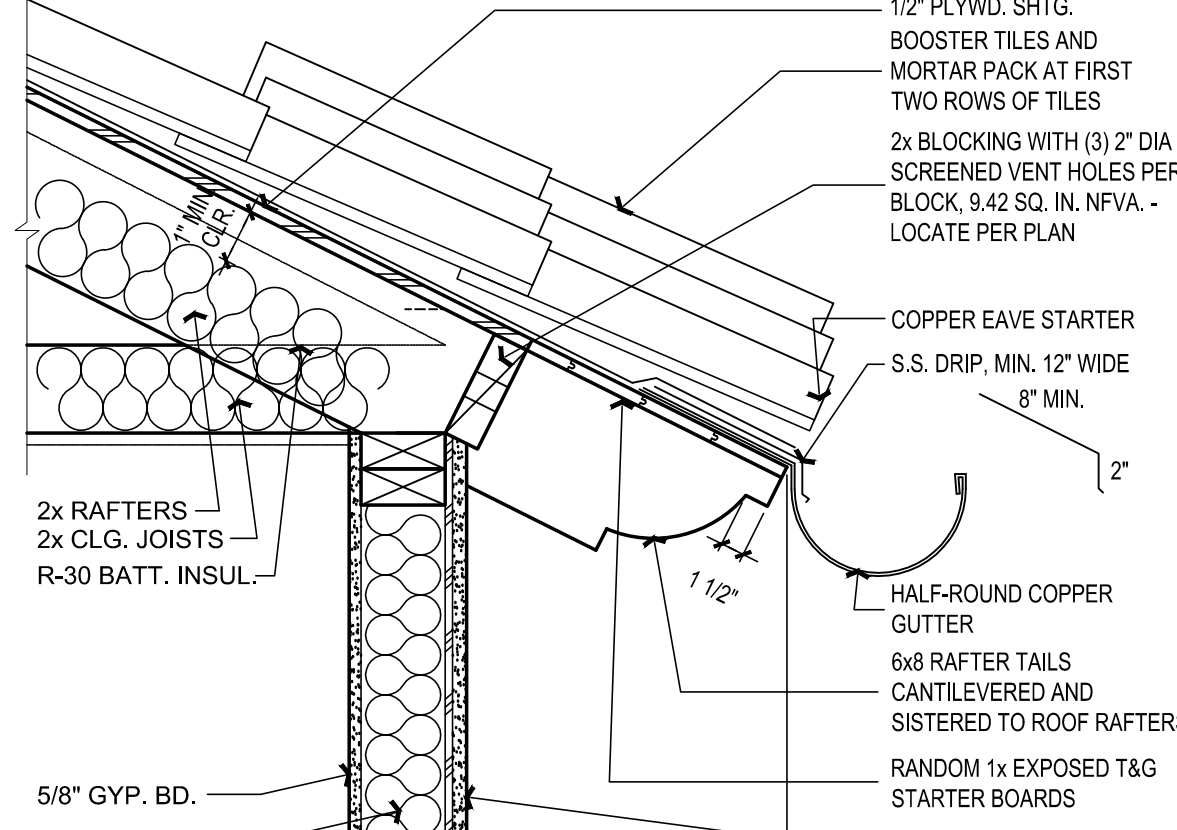
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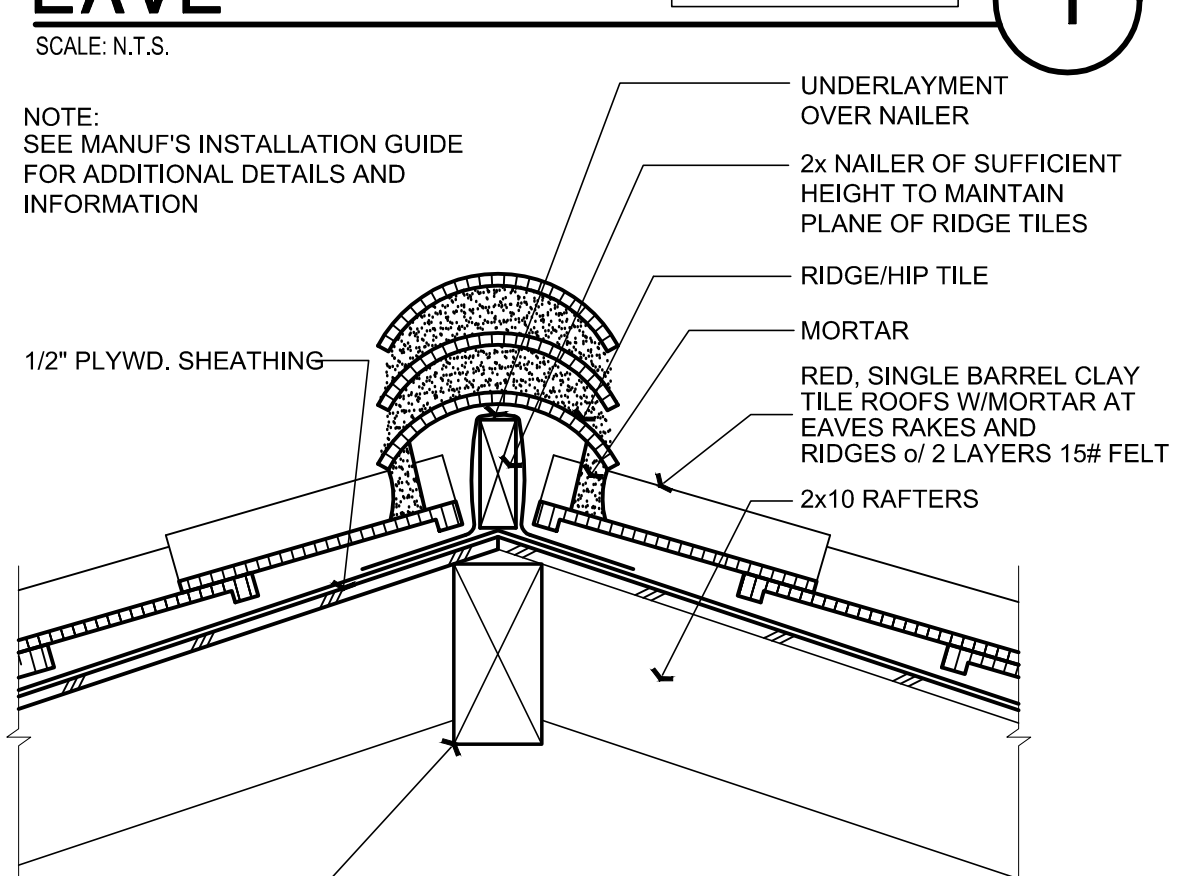
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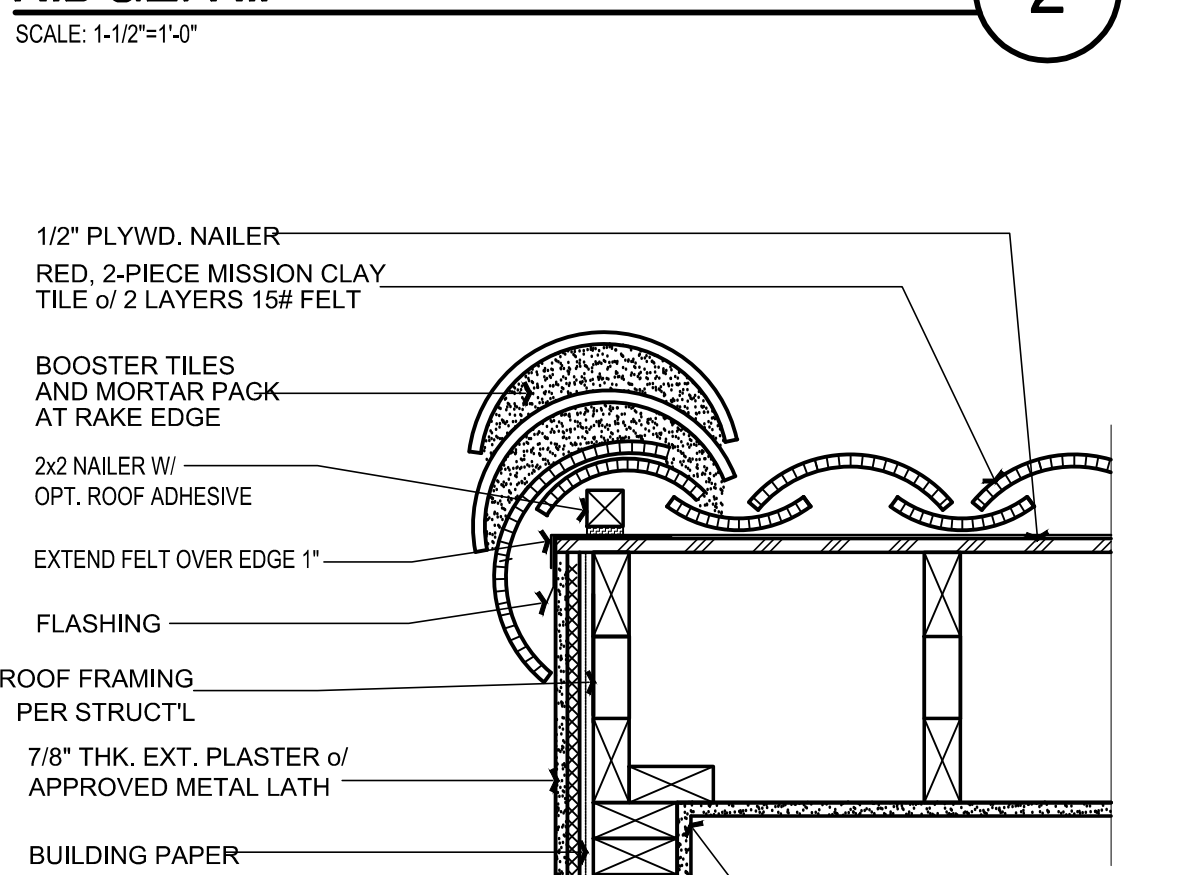
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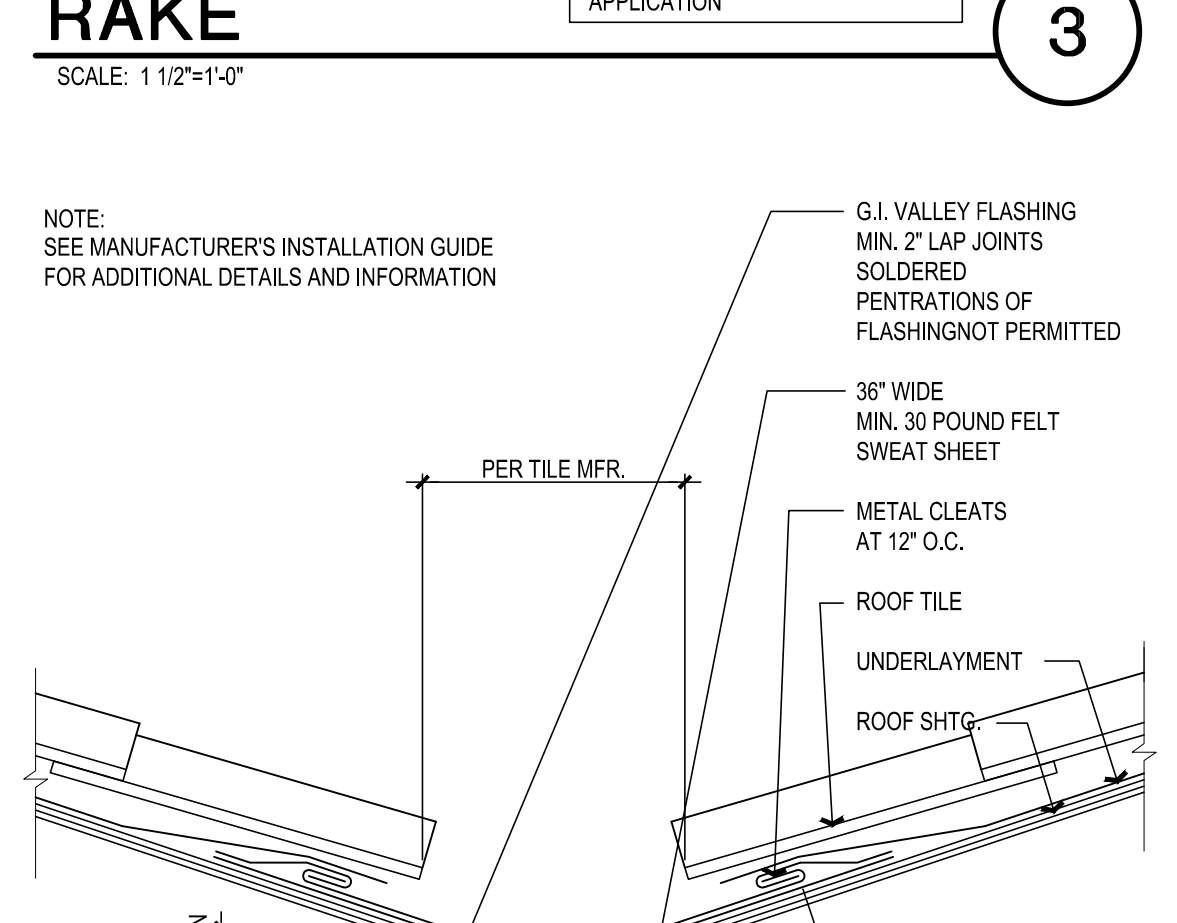
EAVE 1
SCALE: N.T.S.



RIDGE/HIP 2
SCALE: 1 1/2" = 1'-0"



RAKE 3
SCALE: 1 1/2" = 1'-0"



VALLEY 4
SCALE: 1 1/2" = 1'-0"

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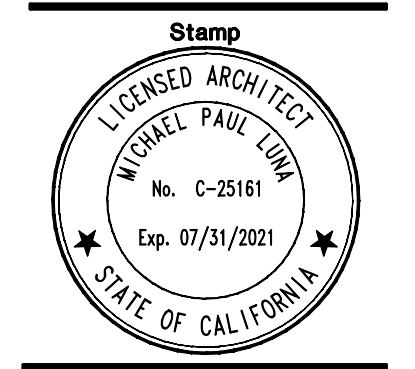
Architect
Project

The Valencia Building

1502 S. El Camino Real
San Clemente, CA

Sheet Title

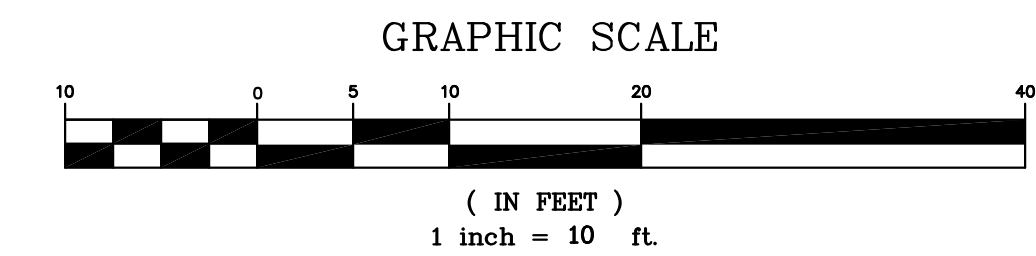
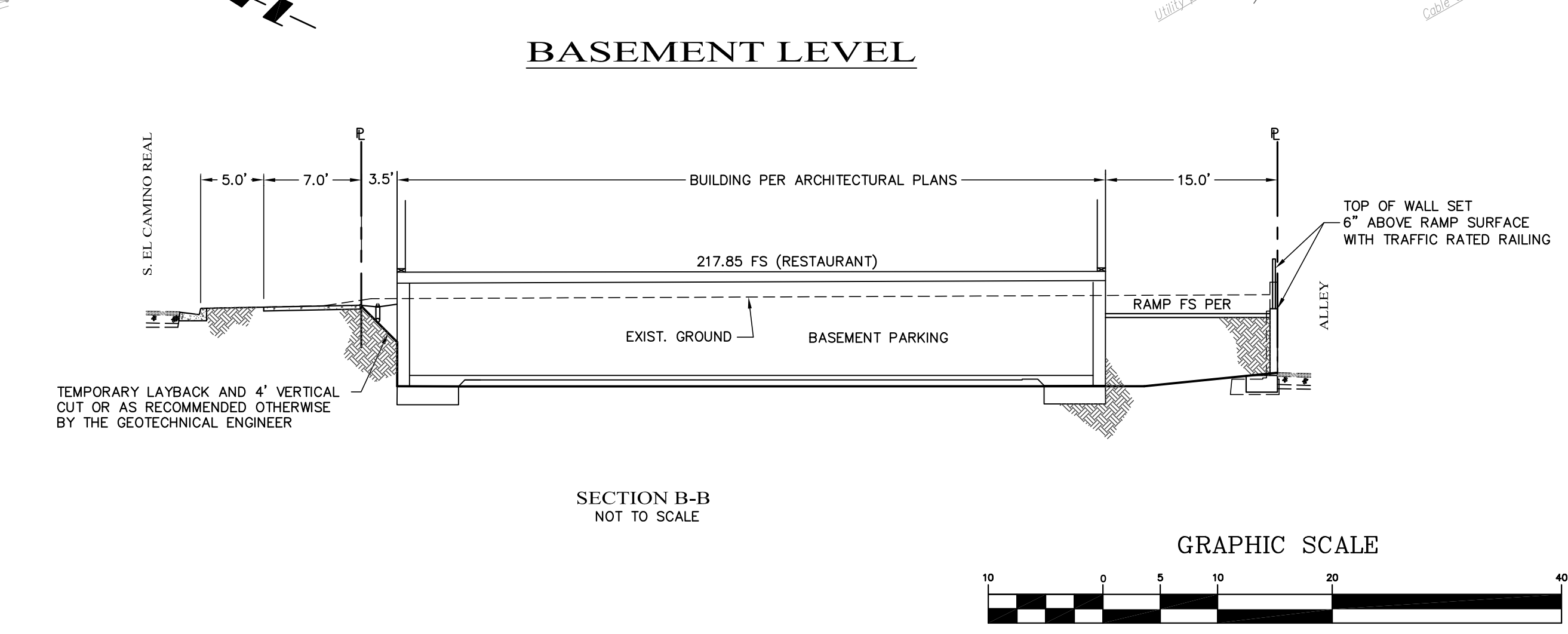
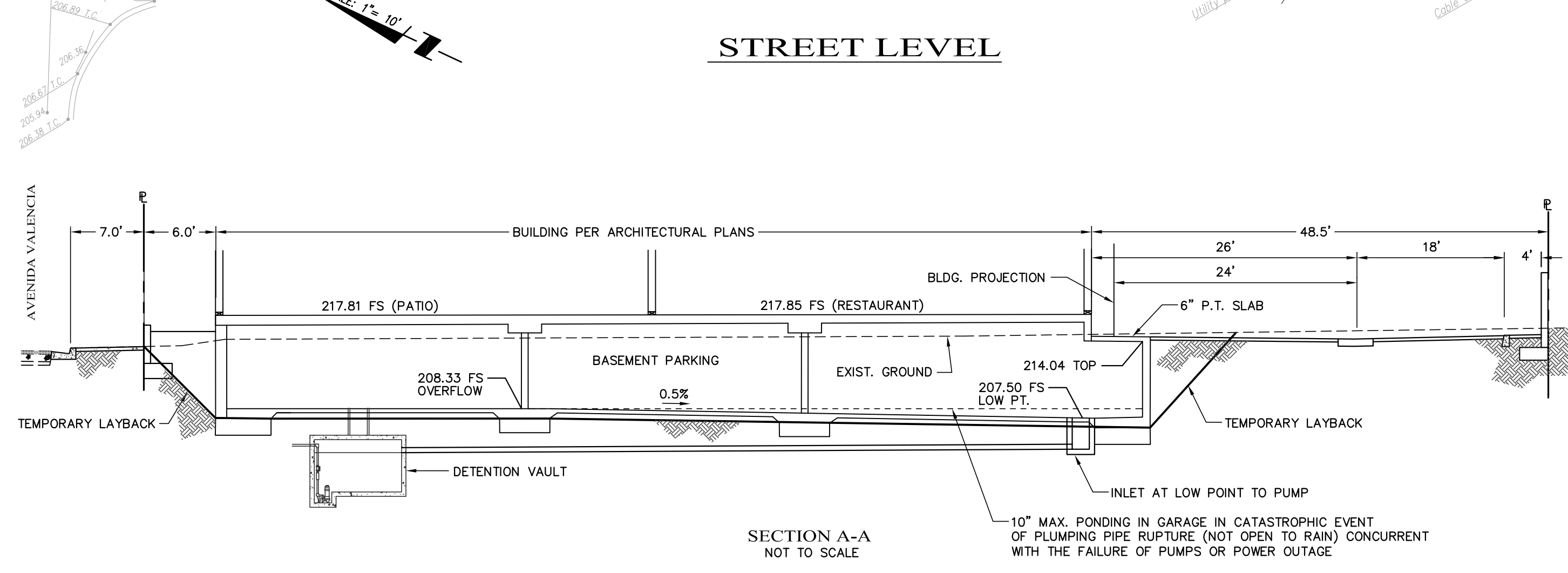
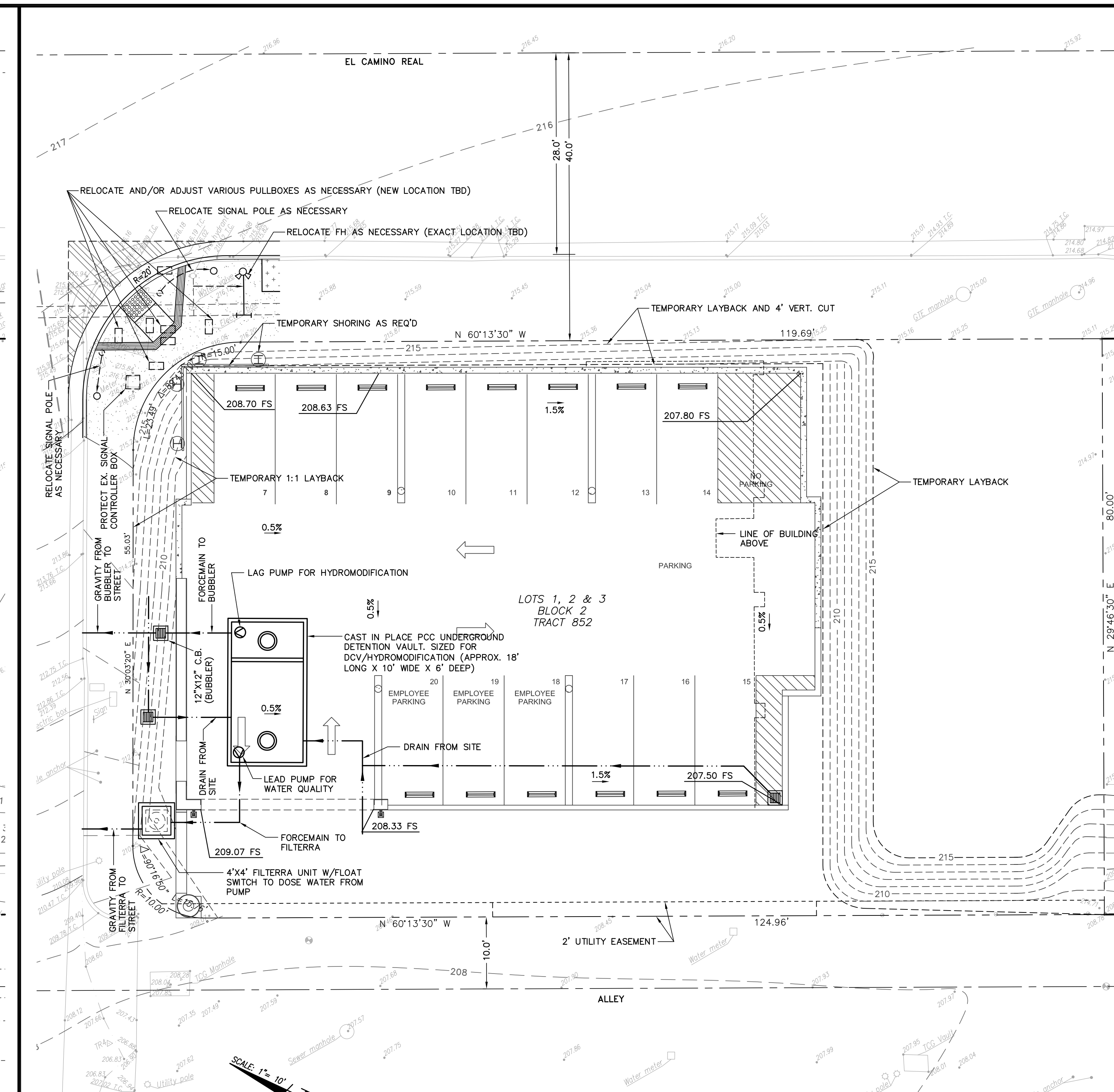
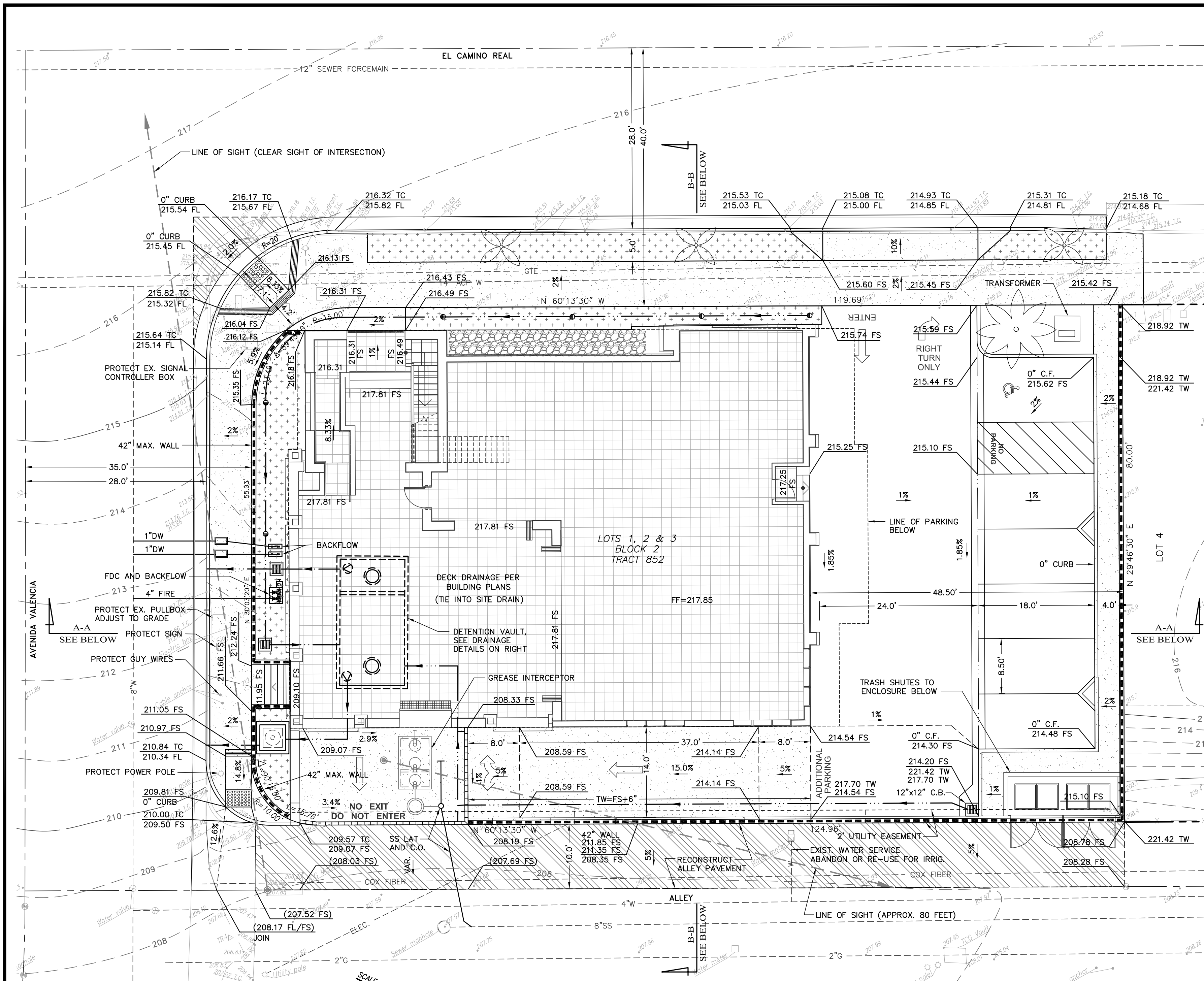
Details



Project No.	1910
Plot Date	05.14.20
B.D. Submittal	
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Const. Issue	
Revision	
Revision	
Revision	

Sheet

AD.1



DIGALERT
 DIAL TOLL FREE
 1-800-227-2600
 AT LEAST TWO DAYS
 BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

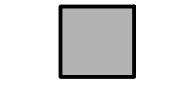
REVISIONS

PLANS PREPARED BY:
MILANI & CO
 CONSULTING ENGINEERS
 25872 WHITE ALDER LANE
 LAGUNA HILLS, CA. 92653
 714-655-3463 PH.

CIVIL

SCALE: AS NOTED	DESIGNED: BM	DRAWN: BM	CHECKED: BM
ACAD FILE NO.	DATE R.C.E. 65349 EXP. 9-30-21		
PROJECT NO.	BABAK S. MILANI ENGINEER OF WORK		

CITY OF SAN CLEMENTE
PRELIMINARY GRADING PLAN
 CAMINO VALENCIA
 1502 S. EL CAMINO REAL - SAN CLEMENTE, CA. 92672
 LOTS NO. 1-3, BLOCK 2, TRACT 852 (M.M. 26/17-21)
 (APN 692-173-04)



Project No.	1902
Plot Date	2020-10-21
B.D. Submittal	
Bid Issue	
Const. Issue	
Revision	△
Revision	△
Revision	△
Revision	△

PLANTING LEGEND
TREES

SYMBOL	BOTANICAL COMMON NAME	SIZE FORM	QTY.	WUCOLS
	ARCHONTOPHOENIX ALEXANDRA KING PALM	48" BOX MULTI-TRUNK	1	M
	ARCHONTOPHOENIX ALEXANDRA KING PALM	36" BOX SINGLE-TRUNK	1	M
	FEJOA SELLOWIANA PINEAPPLE GUAVA	24" BOX STD.	3	M
	PODOCARPUS M. 'MAKI' SHRUBBY YEW PINE	24" BOX	3	L
	TRISTAMIA LAURINA LITTLE LEAF MYRTLE	36" BOX	2	M
	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	10" BTH	3	L

SHRUBS

SYMBOL	BOTANICAL COMMON NAME	SIZE FORM	QTY.	WUCOLS
	CORDYLINE FESTIVAL GRASS FESTIVAL CORDYLINE	5 GAL	26	M
	DIANELLA TASMANICA TASMANIAN FLAX LILY	5 GAL	41	M
	PHORMIUM 'DARK DELIGHT' RED NEW ZEALAND FLAX	15 GAL	13	L
	SANSEVIERIA TRIFASCIATA SNAKE PLANT	5 GAL	24	L
	ROSMARINUS O. 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	5 GAL	29	M

GROUND COVER

SYMBOL	BOTANICAL COMMON NAME	SIZE FORM	QTY.	WUCOLS
	KURAPIA	SOD	384 SQ FT	L

VINES

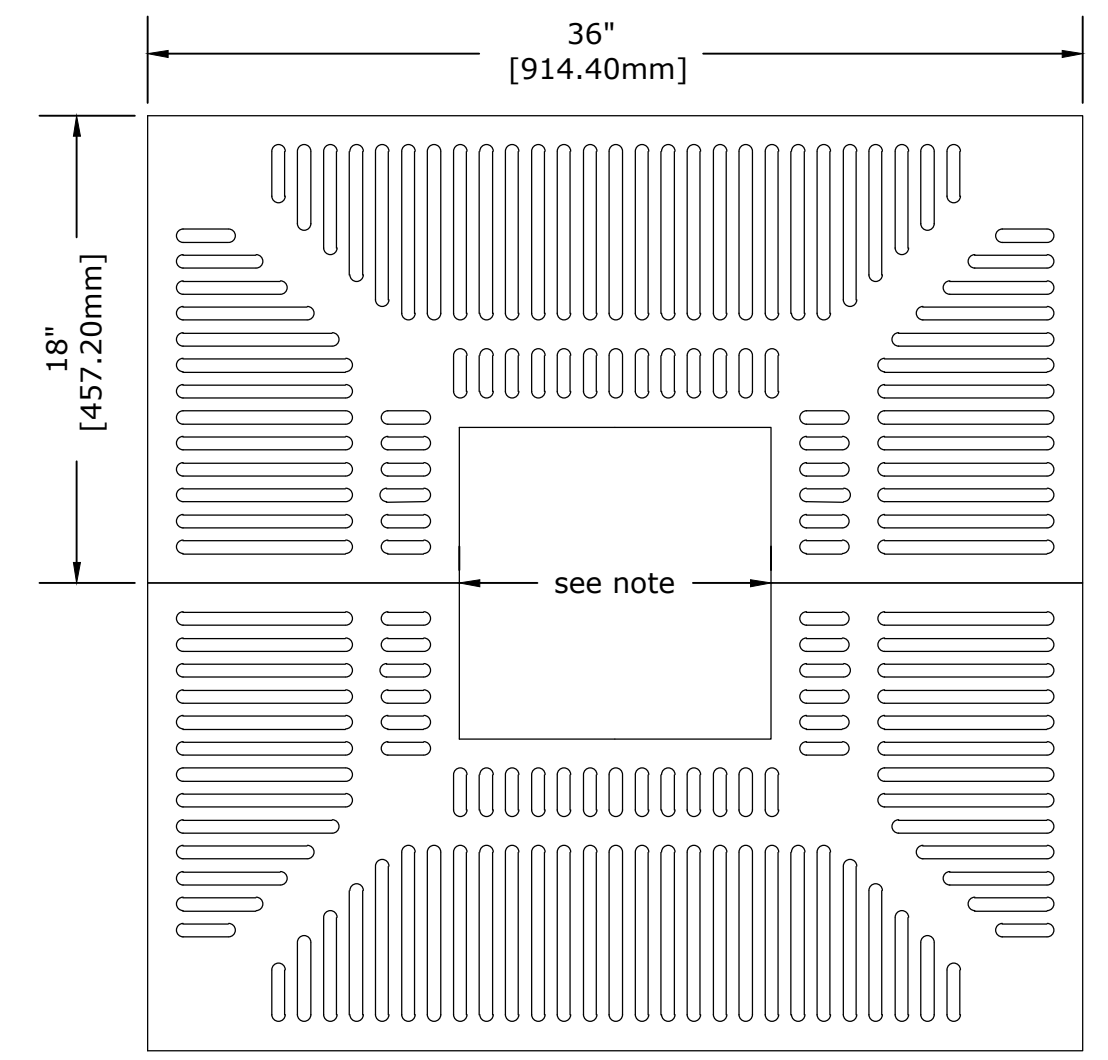
SYMBOL	BOTANICAL COMMON NAME	SIZE FORM	QTY.	WUCOLS
	PYRACANTHA F. 'GRABERII' FIRETHORN	24" BOX 1 ESPALIER	1	L

CONSTRUCTION LEGEND

- (3) POTS WITH CONCRETE PAD AND AGAVE PLANTING
- IPANEMA POTS (3) TOTAL
ITEM #: 6812-6603
COLOR: ANTICO TERRA COTTA
SIZE: 19.75" W X 18" H
PROVIDED BY: CAMPANIA INTERNATIONAL
SITE: <https://www.campaniainternational.com>
- CONCRETE PAD 24" SQ (3) TOTAL
NOTE: CONTRACTOR TO PROVIDE CONCRETE PAD
PLANT: AGAVE 'BLUE FLAME' SIZE: 15 GAL WUCOLS: L (3) TOTAL
BLUE FLAME AGAVE
- SONORA SHINE (2" DEPTH) WITH FILTER FABRIC BELOW
SIZE: 1/2" x 1"
PROVIDED BY: KRC ROCK
SITE: <http://www.krcrock.com>
- ADA TREE GRATE - CAST IRON (2) TOTAL
SIZE: 36" SQUARE, 1/2" MAX SLOT OPENING
REFERENCE: M-3622
PROVIDED BY: IRON SMITH
SITE: <http://www.ironsmith.co/TREE-GRATES-ADA.htm>

PLANTING NOTE:
ALL PLANTING IS CONCEPTUAL, THEREFORE TREE AND SHRUB SYMBOLS MAY INCLUDE MULTIPLE TYPES OF SPECIES.
TREE LAYOUT AND SPECIES SHALL ADHERE TO CITY OF SAN CLEMENTE LANDSCAPE GUIDELINES.
ALL TREE SPECIMENS SHALL BE INSPECTED BY THE PLANNING AND / OR PARK DIVISION STAFF PRIOR TO PLANTING.
24" BOX SPECIMEN TREES SHALL BE PROVIDED ON THE SITE BASE ON THE FOLLOWING FORMULA:
SHRUBS SHALL BE A MINIMUM FIVE (5) GALLON IN SIZE AND PLANTED A MINIMUM 3 FEET O.C.
ALL TREES SHALL BE DOUBLED STAKED. TREES WITH INVASIVE ROOT SYSTEMS SHALL PLANTED WITH A ROOT BARRIER.
THE FINAL LOCATION AND SPACING OF TREES SHALL BE DESIGNED IN CONJUNCTION WITH THE OVERALL LANDSCAPE PLANS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
ALL FLAT SHRUB AREAS IRRIGATED BY DRIP SYSTEMS TO RECEIVE 3" DEEP LAYER OF MULCH.

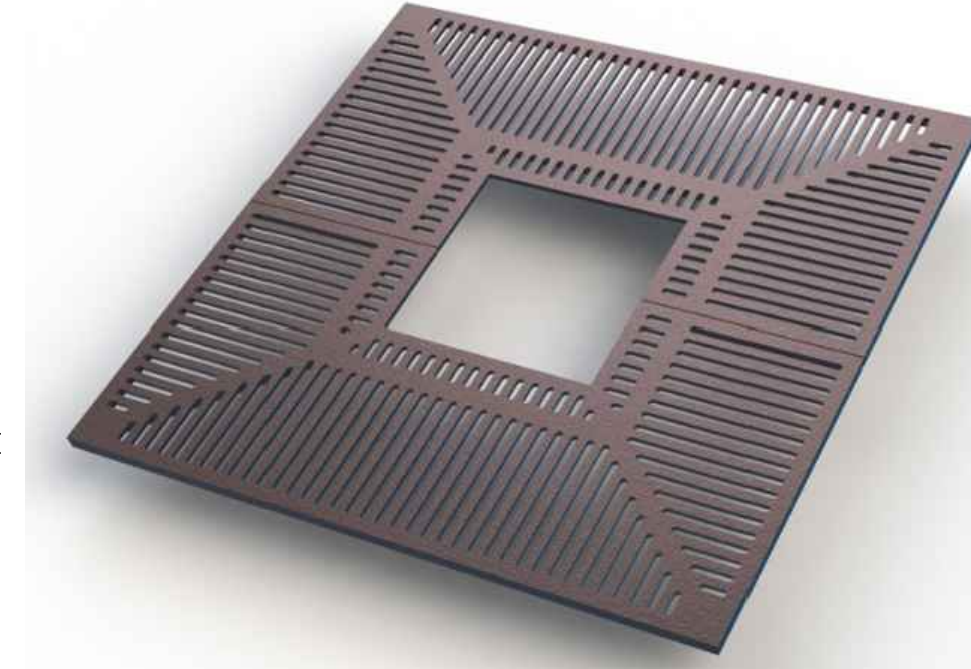
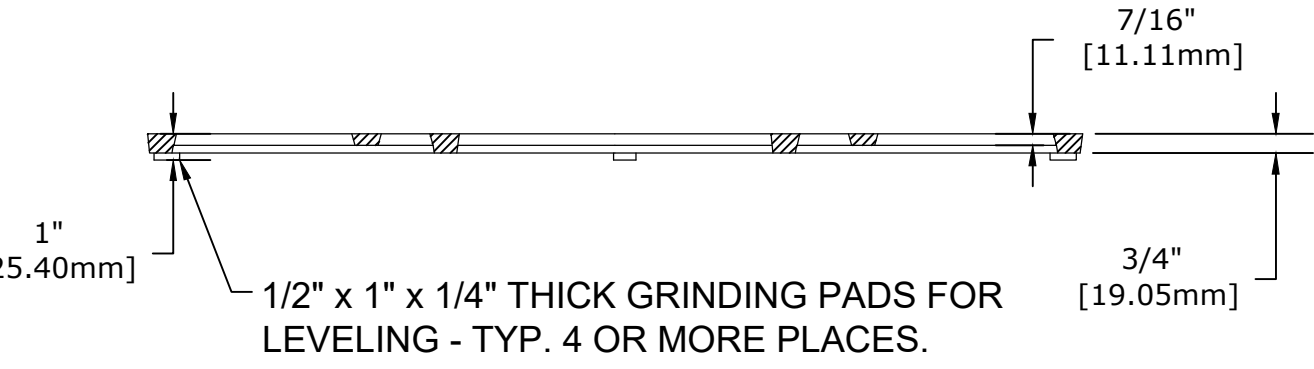
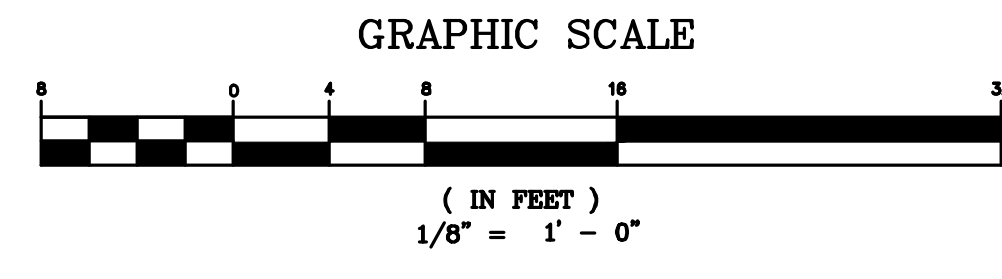
IRRIGATION NOTES
THE PLANT PALETTE AND IRRIGATION SYSTEMS FOR THE CAMINO VALENCIA HAVE BEEN DESIGNED TO ENSURE MAXIMUM WATER CONSERVATION. CONSIDERATIONS HAVE BEEN GIVEN TO SELECTING PLANT MATERIALS THAT ARE DROUGHT-TOLERANT WHILE MAINTAINING THE INTEGRITY OF THE OVERALL COMMUNITY. IRRIGATION PRACTICES EMPLOYING STATE-OF-THE-ART EQUIPMENT ENSURE THAT WATER IS BEING CONSUMED CONSERVATIVELY.
IRRIGATION SYSTEMS WILL BE SEPARATED FOR TURF AND SHRUB AREAS.
IRRIGATION SYSTEMS WILL HAVE 100% IRRIGATION COVERAGE.
WATER-SAVING EQUIPMENT SUCH AS FLOW SENSORS, MOISTURE SENSORS, AND IRRIGATION PROGRAM USING CIMIS (CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM) DATA WILL BE INCLUDED.



ANTICO TERRA COTTA POTS - CAMPANIA INTERNATIONAL



SONORA SHINE - KRC ROCK



ADA TREE GRATE - IRON SMITH

- CITY OF SAN CLEMENTE GENERAL NOTES
- PROVIDE A SITE SPECIFIC AGRONOMIC SOILS REPORT WITH RECOMMENDATIONS.
 - PROVIDE 15 GALLON SIZE SHRUBS AROUND ANY UTILITY ENCLOSURE, TRASH ENCLOSURE AND BACKFLOW PREVENTER FOR SCREENING.
 - FOLLOW CITY OF SAN CLEMENTE LANDSCAPE AND IRRIGATION SUBMITTAL REQUIREMENTS.
 - UTILIZE TREES AND SHRUBS THAT POSSESS DROUGHT TOLERANT QUALITIES: DRIP IRRIGATION AND LOW PRECIPITATION SYSTEMS ARE RECOMMENDED.
 - SHOW ALL ABOVE AND BELOW GROUND UTILITIES ON FINAL PLANTING PLANS.
 - NOTE MINIMUM FIELD OBSERVATION VISIT REQUIREMENT BY LANDSCAPE ARCHITECT ON PLAN.