

NOTE: IF ANY ACCESSIBLE COMPONENT IS NOT IN COMPLIANCE PER FIELD VERIFICATION BY THE CITY BUILDING INSPECTOR THEN IT WILL BE REQUIRED TO BE BROUGHT INTO FULL COMPLIANCE WITH CURRENT ACCESSIBILITY STANDARDS. CBC 107.2.5.

PARKING STUDY:
 1409 S EL CAMINO REAL S.F. RATIO PARKING SPACES
1ST FLOOR DENTAL OFFICE 4014 S.F. 1/200 **20.1**
2ND FLOOR OFFICE 2291 S.F. 1/300 **7.6**
TOTAL 28 (30 PROVIDED)

LANDSCAPE COVERAGE: 6727 S.F.
GROSS LOT AREA: 24406 S.F. (PARCELS 1 & 2)
LANDSCAPE PROVIDED: 27.5%
MIN LANDSCAPE PERMITTED: 60%

GROSS FOOTPRINT OF NEW BLDG.: 4014 S.F.
AREA OF NEW PAVING: 13552 S.F.
TOTAL NEW IMPERVIOUS SURFACES: 17566 S.F. +/-

GROSS 1ST & 2ND FLOOR: 6305 S.F.
GROSS LOT AREA: 24406 S.F. (PARCELS 1 & 2)
FLOOR AREA RATIO: 0.26
MAX FAR PERMITTED: 0.50

GROSS FOOTPRINT OF NEW BLDG.: 4014 S.F.
GROSS LOT AREA: 24406 S.F. (PARCELS 1 & 2)
LOT COVERAGE PROVIDED: 16%
MAX LOT COVERAGE PERMITTED: 60%

SECURITY:
 EXTERIOR CAMERAS WILL BE PROVIDED TO COVER PARKING LOT & ALL SIDES OF BUILDING

BASE BLDG. CONSTRUCTION TYPE:
 NEW BUILDING TYPE V-B (SPRINKLERED)
 NEW BLDG. HT. APPROX. 32'-0"

FLOOR AREA:
 1ST FLOOR: 4014 S.F.
 2ND FLOOR: 2291 S.F.

OCCUPANCY:
 1ST FLOOR: B (DENTAL OFFICE)
 2ND FLOOR: B (OFFICE)

OCCUPANCY LOAD:
 1ST FLOOR (4014): 27 (150 GROSS)
 2ND FLOOR (2291): 15 (150 GROSS)

LEGAL DESCRIPTION:
 TRACT: 851
 BLOCK: 6
 LOT: 7

ASSESSORS PARCEL NUMBER: 692-131-07

GENERAL PLAN: NC2

ZONING: NC2-A-AH

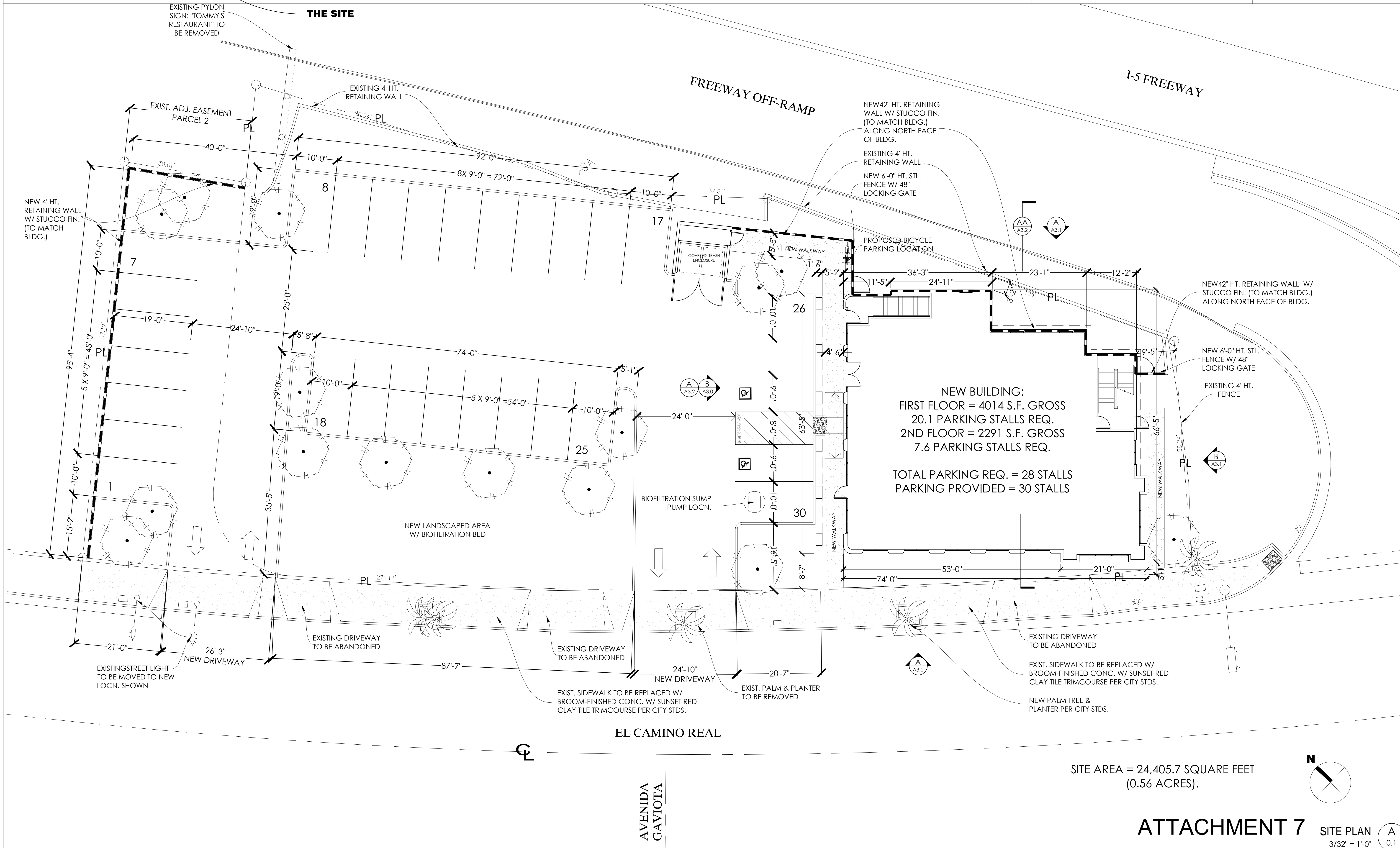
SHEET INDEX:

A-0.1	SITE PLAN
A-1.0	FIRST FLOOR PLAN
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C01	GRADING/DRAINAGE PLAN
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C03	PARKING LOT SECTIONS
1 OF 1	TOPOGRAPHIC SURVEY
1 OF 2	ALTA SURVEY NOTES
2 OF 2	ALTA TOPOGRAPHIC SURVEY

SWA
 Saunders + Wiant
 Architects, Inc.

REGISTERED ARCHITECT
 MALL F SAUNDERS
 C-28955
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 EX. DIR.

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 949.721.0767
 WWW.ARCHITECTSINC.COM

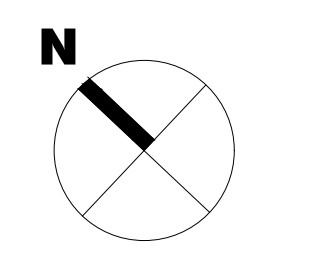


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 NEW DENTAL OFFICE BUILDING
 1409 S EL CAMINO REAL, SAN CLEMENTE, CA 92672

SITE PLAN

PROJECT NO. 1913
 DATE: 4/13/2020
 REVISIONS:

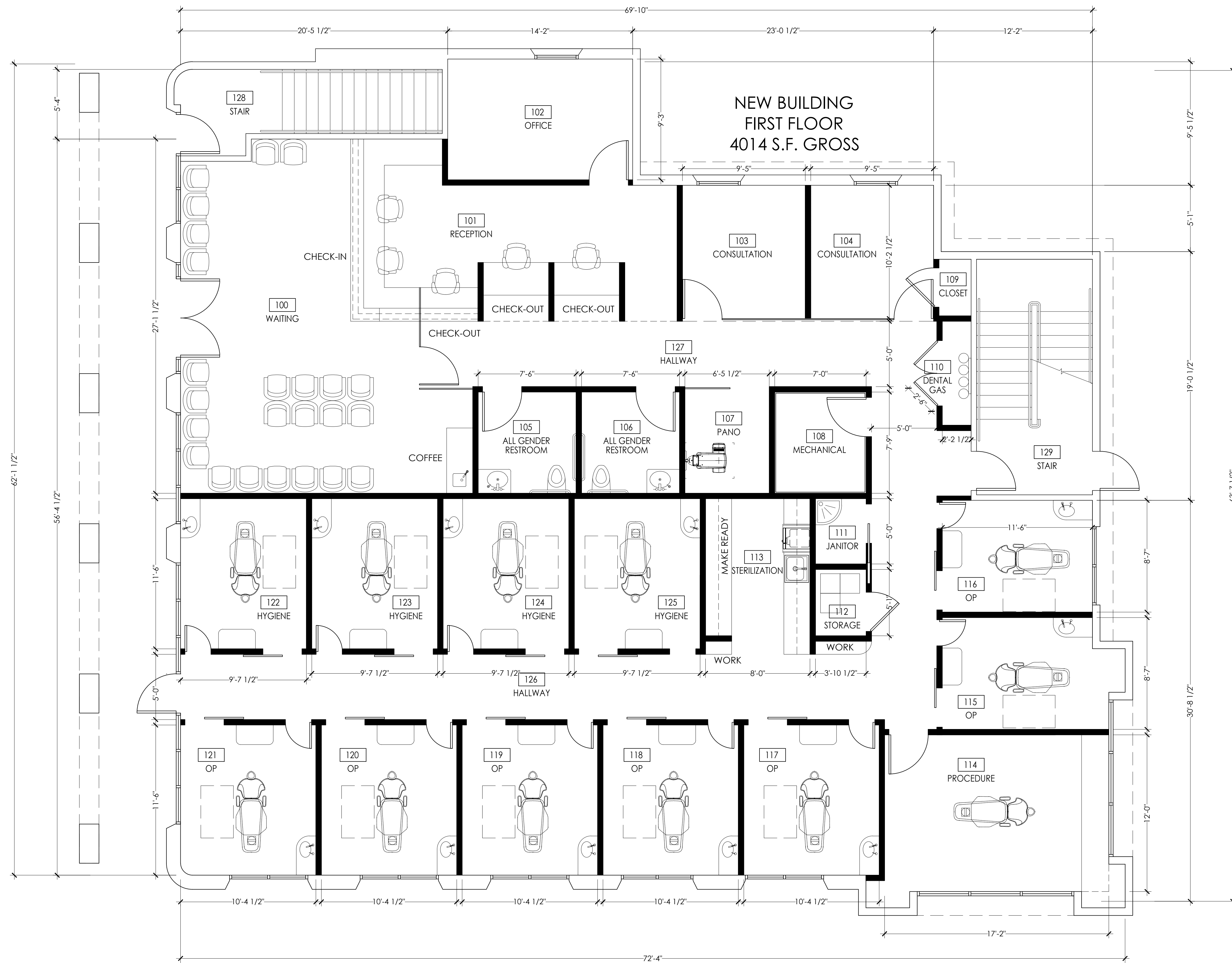
SITE AREA = 24,405.7 SQUARE FEET
 (0.56 ACRES).



ATTACHMENT 7 SITE PLAN
 3/32" = 1'-0"

SHEET NO.

A-0.1



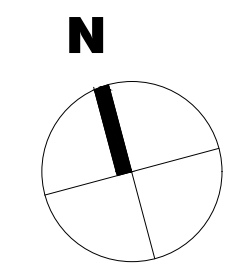
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FIRST FLOOR PLAN

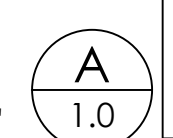
PROJECT NO. 1913
DATE: 4/13/2020
REVISIONS:

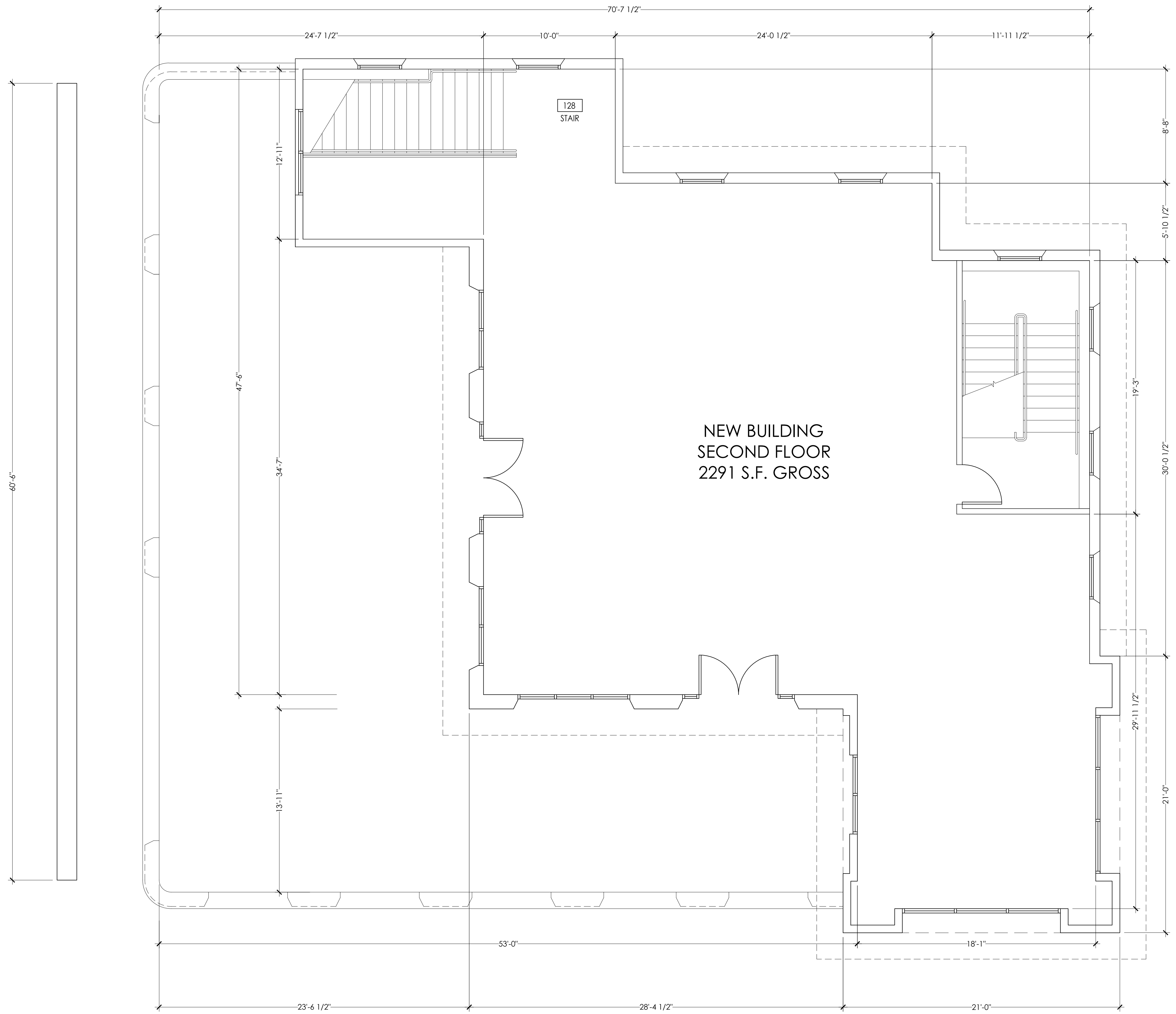
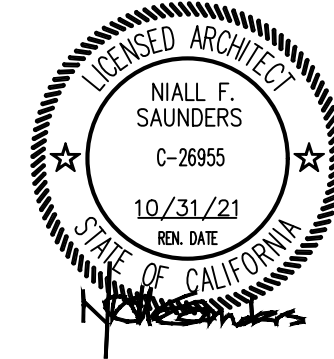
SHEET NO.

A-1.0



FIRST FLOOR PLAN
3/16" = 1'-0"





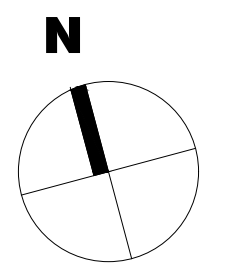
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SECOND FLOOR PLAN

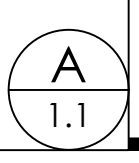
PROJECT NO. 1913
DATE: 4/13/2020
REVISIONS:

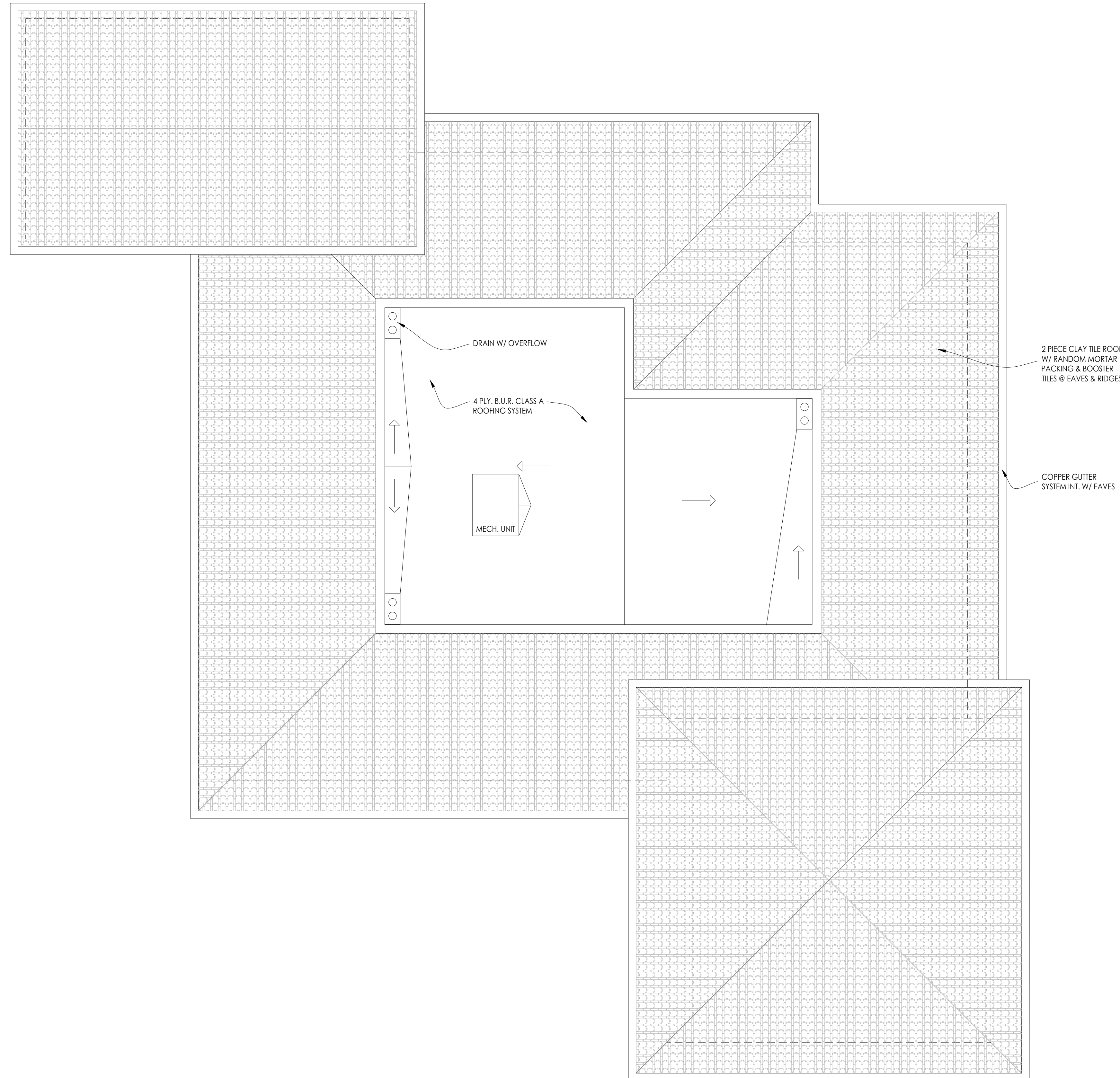
SHEET NO.

A-1.1



SECOND FLOOR PLAN
1/4" = 1'-0"





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ROOF PLAN

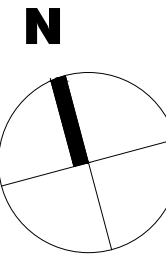
PROJECT NO. 1913

DATE: 4/13/2020

REVISIONS:

SHEET NO.

A-1.2



ROOF PLAN
1/4" = 1'-0"

A
1.2



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EXTERIOR ELEVATIONS

PROJECT NO. 1913

DATE: 4/13/2020

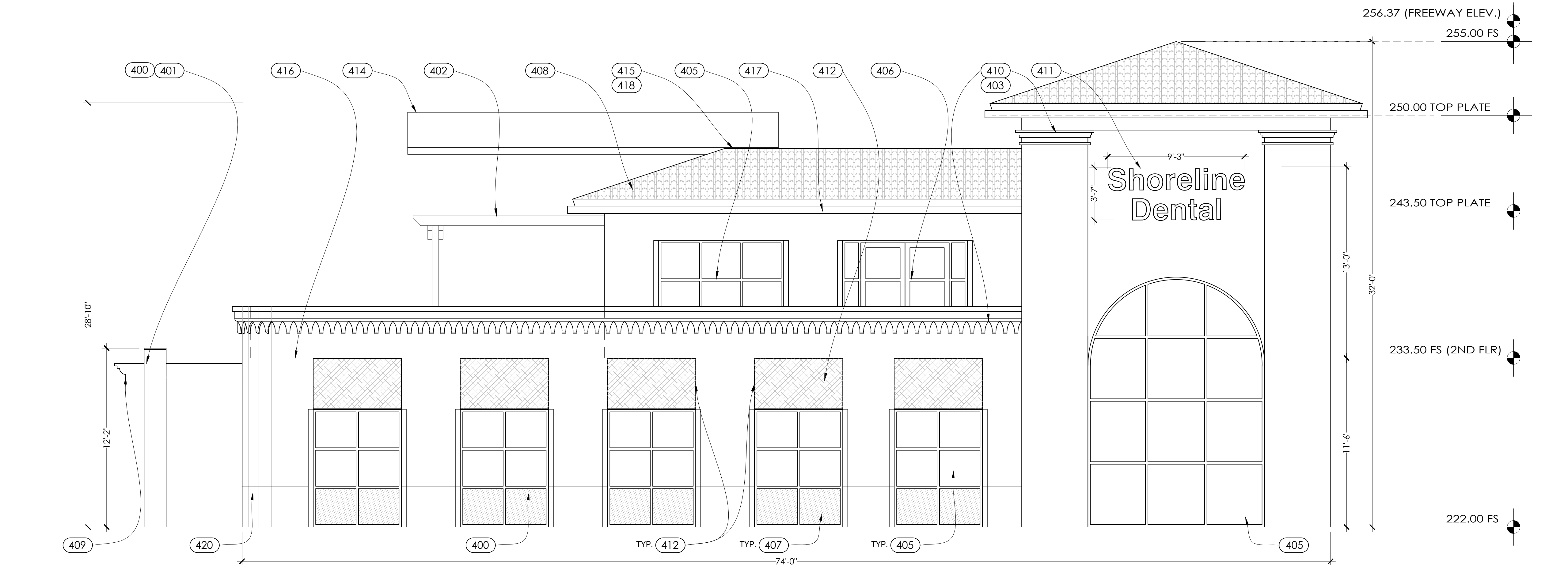
REVISIONS:

SHEET NO.

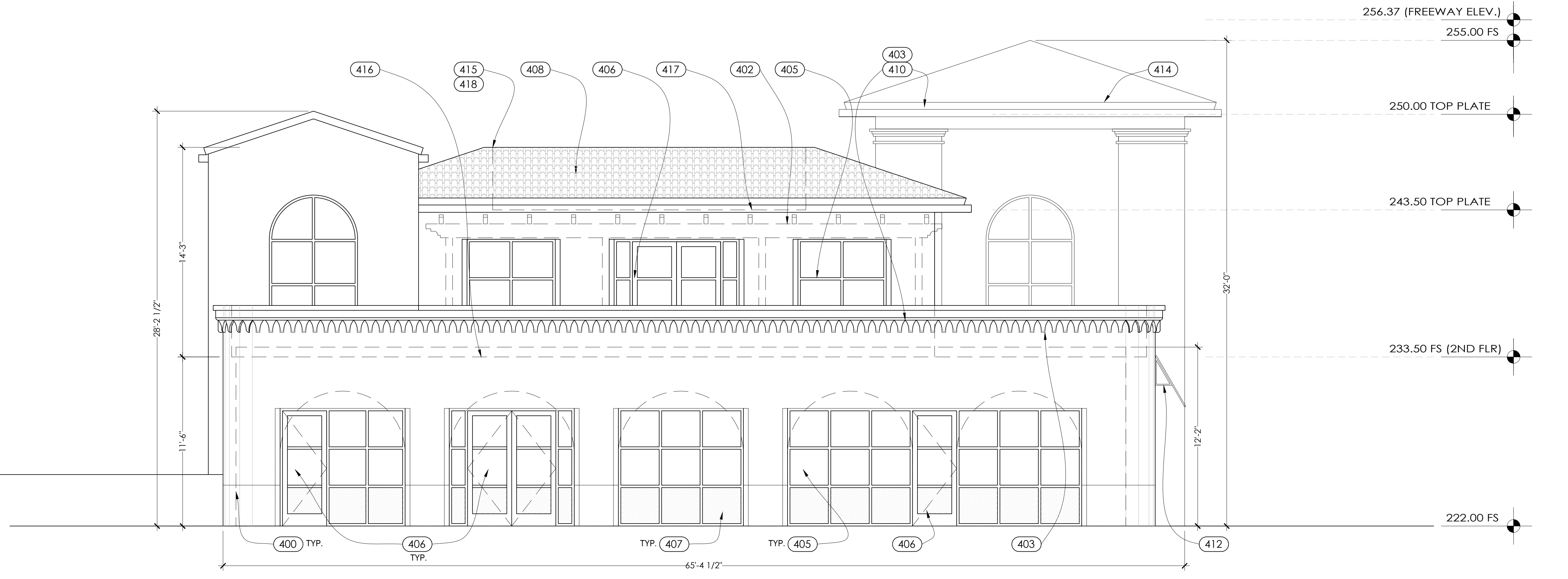
A-3.0

DRAWING KEYNOTES
NOTE: NOT ALL KEYNOTES PERTAIN TO THIS PLAN

- (400) PROVIDE THE FOLLOWING ITEMS:
DESCRIPTION
- 400 WD. STUD WALL/COLONNADE W/ SMOOTH STUCCO FIN. TYP.
- 401 6X12 HEAVY WOOD TRELLIS @ COLONNADE.
- 402 WOOD TRELLIS W/ HEAVY-BODY STAIN FINISH. TYP.
- 403 FOAM CORNICE DESIGN W/ STUCCO FIN. @ PARAPET. TYP.
- 404 STUCCO SCREED BEAD LINES. TYP.
- 405 STOREFRONT GLAZING SYSTEM. TYP.
- 406 GLAZED STOREFRONT ENTRY DOORS. TYP.
- 407 OPAQUE SPANDREL @ BOTTOM ROW STOREFRONT GLASS
- 408 2-PIECE CLAY TILE ROOF W/ RANDOM MORTAR PACKING & BOOSTER TILES @ EAVES & RIDGES.
- 409 6X12X24" WOOD RAFTER ENDS AT ARCHED COLONNADE.
- 410 FOAM FASCIA PROFILE W/ STUCCO FINISH. TYP.
- 411 FUTURE PLASTIC-FACED ILLUMINATED SIGN (SEPARATE PERMITS)
- 412 48"X72" BLACK FABRIC AWNING W/ 1" ALUM. FRAME.
- 413 EXTERIOR WALL-MOUNTED LIGHTING
- 414 LINE OF "TOWER" BUILDING ELEMENT BEYOND
- 415 ROOF PERIMETER PARAPET MIN. 5 FT. HT.
- 416 DEX-O-TEX WEATHERWEAR DECKING SYSTEM.
- 417 4 PLY. BUILT UP ROOF W/ MINERAL-SURFACED CAP SHEET
- 418 APPROXIMATE LINE OF ROOF AND HVAC ROOFTOP UNITS
- 419 DECORATIVE WALL-SCONCE LIGHT
- 420 24" RADIUS ROUNDED CORNER - WRAP CORNICE
- 421 42" HT. RETAINING WALL @ BACK OF BLDG.
- 422 4X6 WD. SILL @ WINDOW - STAIN/SEAL TO MATCH



WEST ELEVATION **A**
1/4" = 1'-0" 3.0



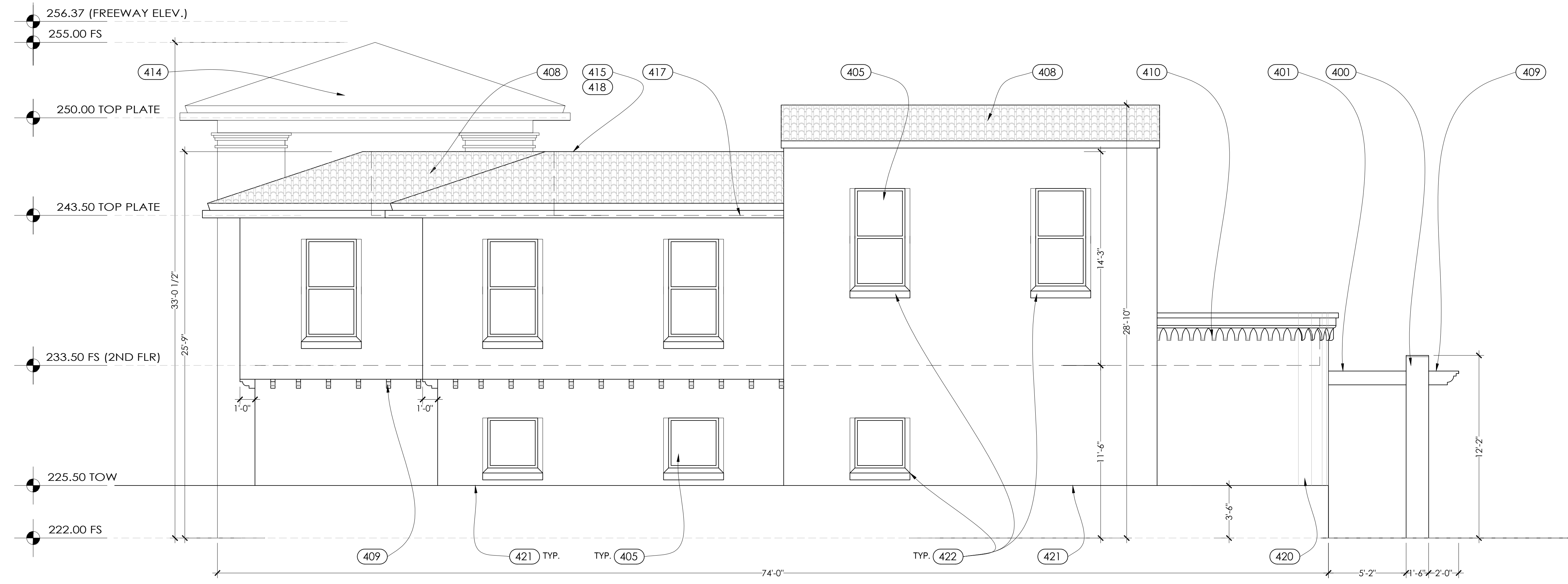
NORTH ELEVATION **B**
1/4" = 1'-0" 3.0



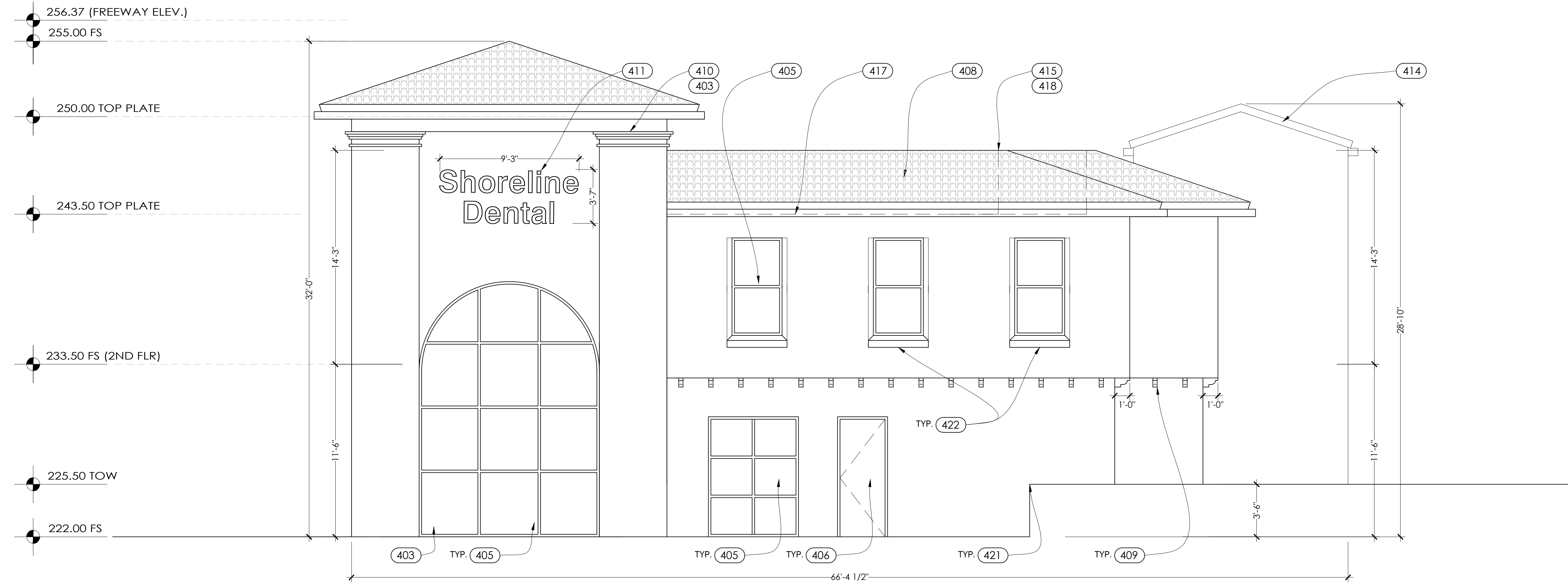
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SOUTH ELEVATION A
1/4" = 1'-0" 3.1



EAST ELEVATION B
1/4" = 1'-0" 3.1

EXTERIOR ELEVATIONS

PROJECT NO. 1913
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A-3.1



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EXTERIOR
ELEVATIONS/
SECTION

PROJECT NO. 1913

DATE: 4/13/2020

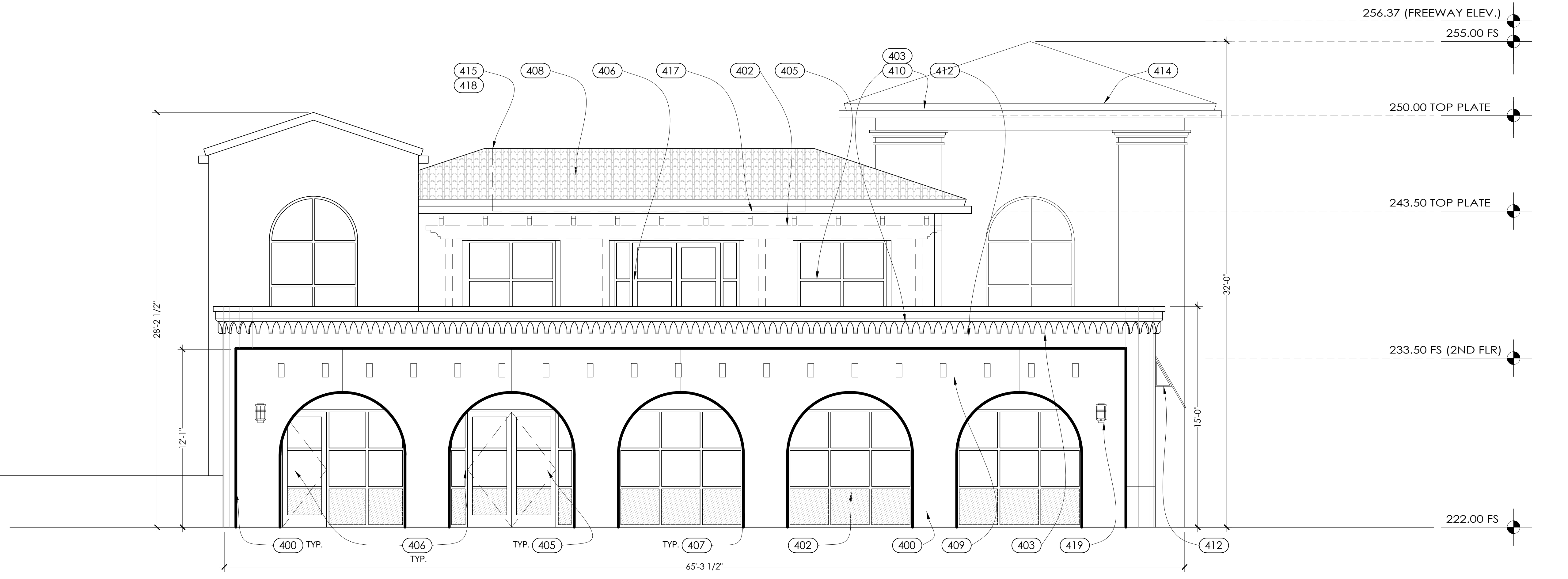
REVISIONS:

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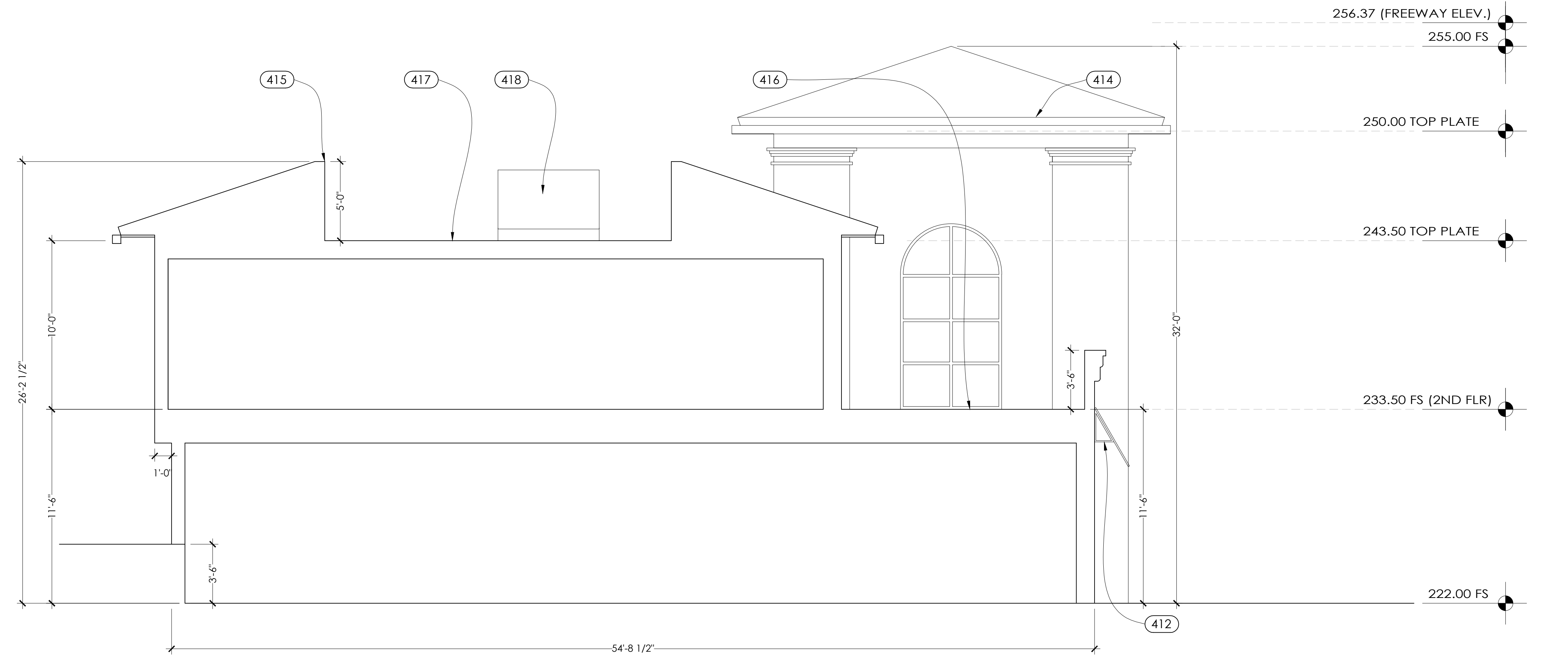
A-3.2

DRAWING KEYNOTES
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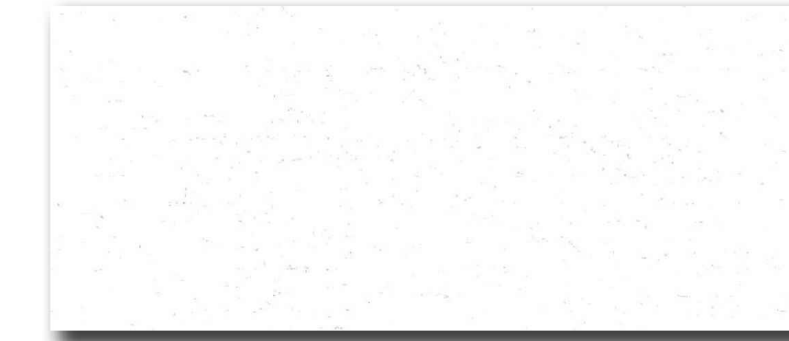
NORTH ELEVATION W/ COLONNADE **A**
1/4" = 1'-0" 3.2



SECTION AA **B**
1/4" = 1'-0" 3.2



COLOR/MATERIALS BOARD



STUCCO:
LA HABRA STUCCO
SANTA BARBARA FINISH
COLOR: X-50 CRYSTAL WHITE



WOOD BEAMS:
WOOD STAIN
COLOR: DARK WALNUT



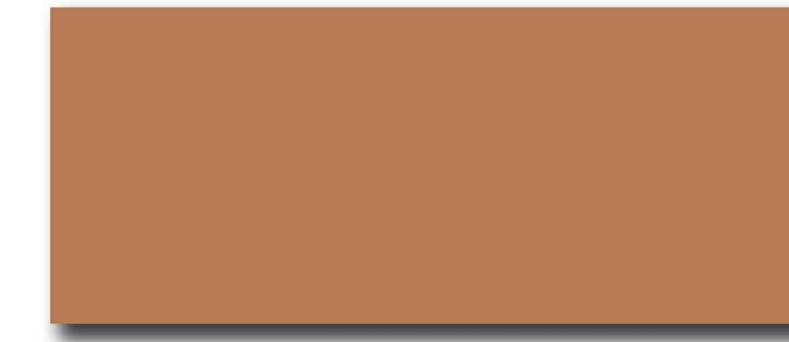
STOREFRONT:
KAWNEER TRIFAB VG400
COLOR: BLACK ANODIZED



FLATWORK:
SMOOTH FLOAT CONCRETE
COLOR: GREY



ROOFING:
2-PIECE CLAY TILE W/ RANDOM
MORTAR PACKING & BOOSTER
TILES @ EAVES & RIDGES



ACCENT COLOR:
PAINT ON STUCCO @ BASE OF
BLDG. PROVIDE STUCCO SCREED
LINE AT SEPARATION.

ALL STOREFRONT WINDOWS TO HAVE 8" DEEP W/ 4" FLARE
STUCCO JAMB/HEADER & 4X6 WOOD SILL (WHERE APPLICA-
BLE). ALL STUCCO TREATMENTS TO FOLLOW SAN CLEMENTE
STANDARDS.

SWA

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COLORS &
MATERIALS
BOARD &
RENDERING

PROJECT NO. 1913

DATE: 4/13/2020

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SHEET NO.

A-3.3

RENDERINGS & COLORBOARD
N.T.S.

A
3.3



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RENDERINGS

PROJECT NO. 1913

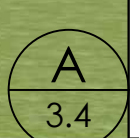
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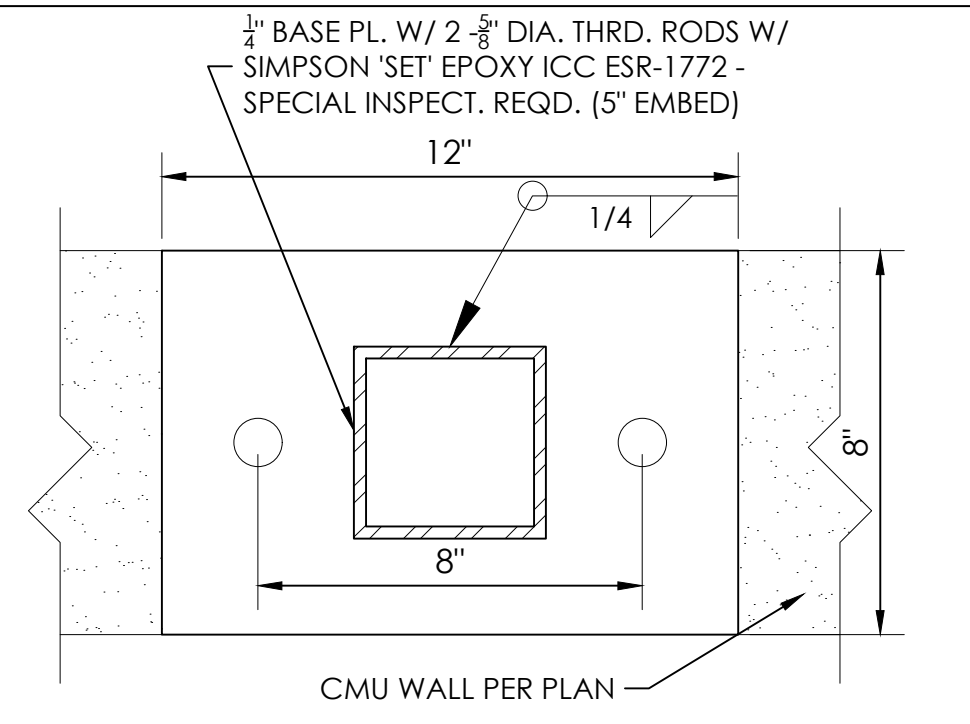
REVISIONS:

SHEET NO.

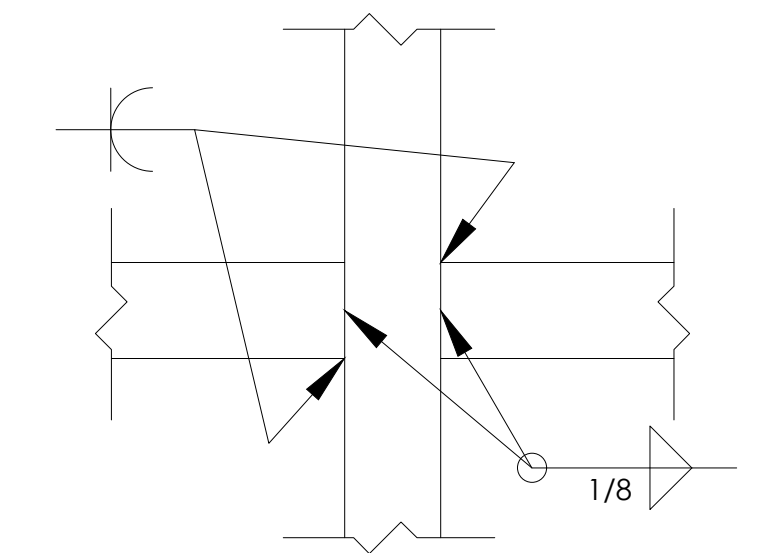
A-3.4

RENDERINGS
N.T.S.

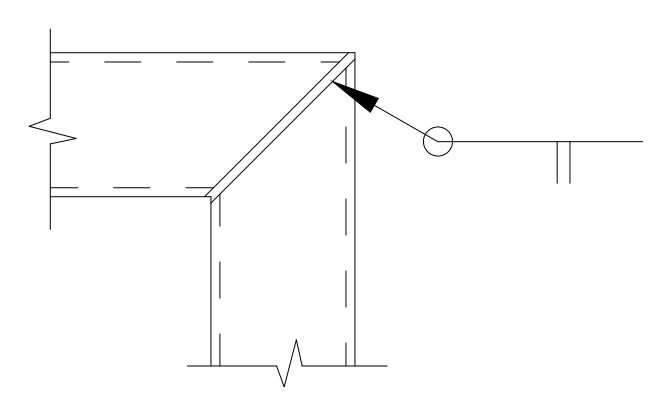




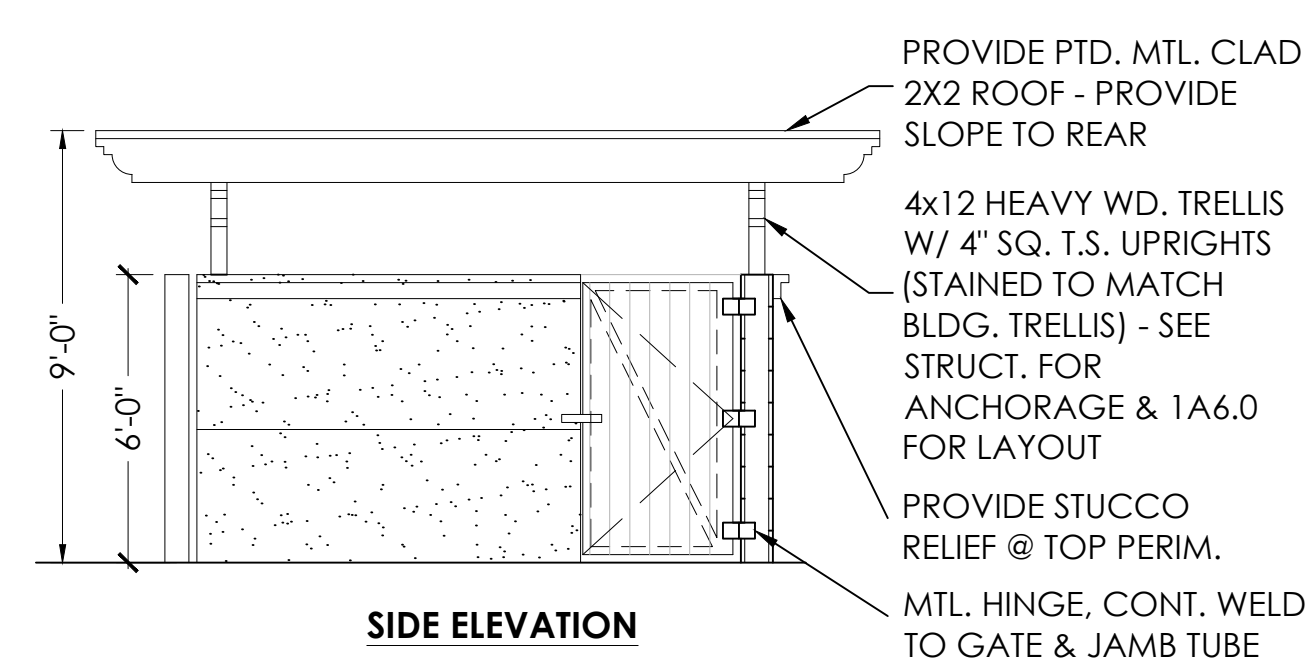
TRELLIS BASE DETAIL 15
SCALE: 3"=1'-0" A6.0



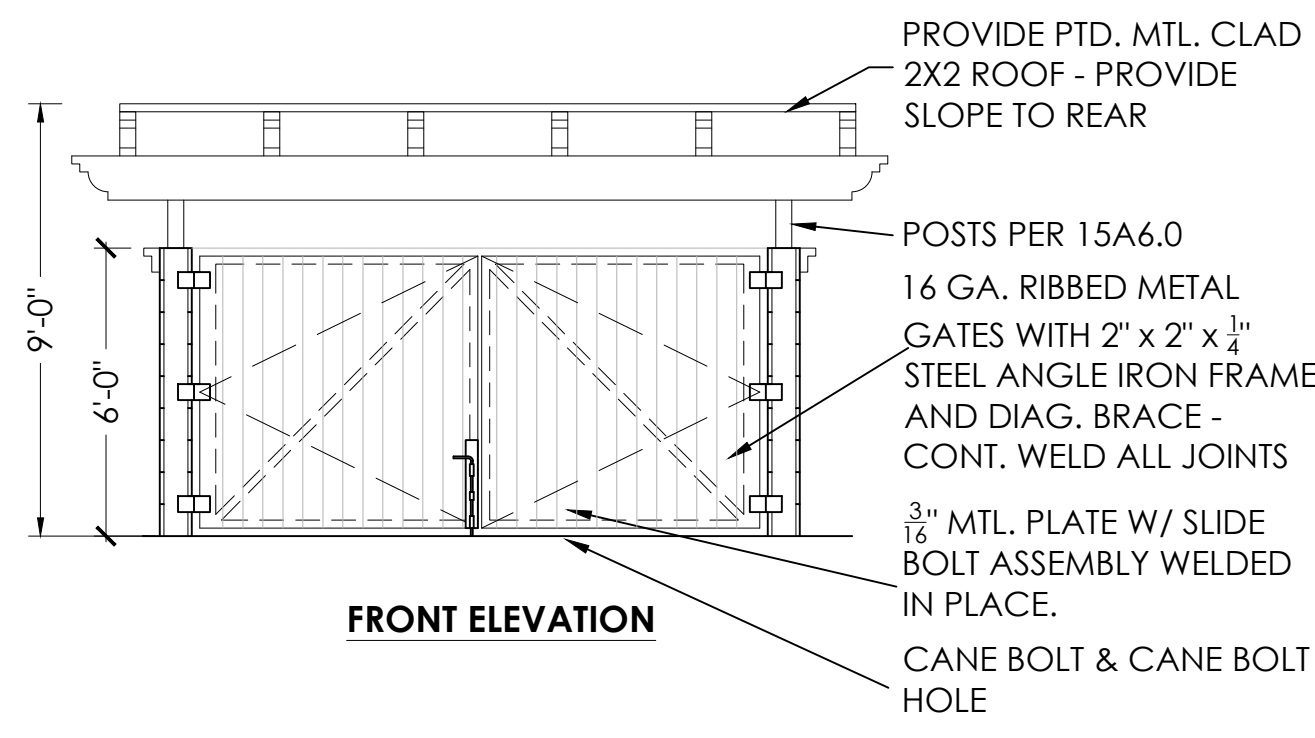
TRELLIS ROOF DETAIL 13
SCALE: 3"=1'-0" A6.0



TRELLIS ROOF DETAIL 14
SCALE: 3"=1'-0" A6.0

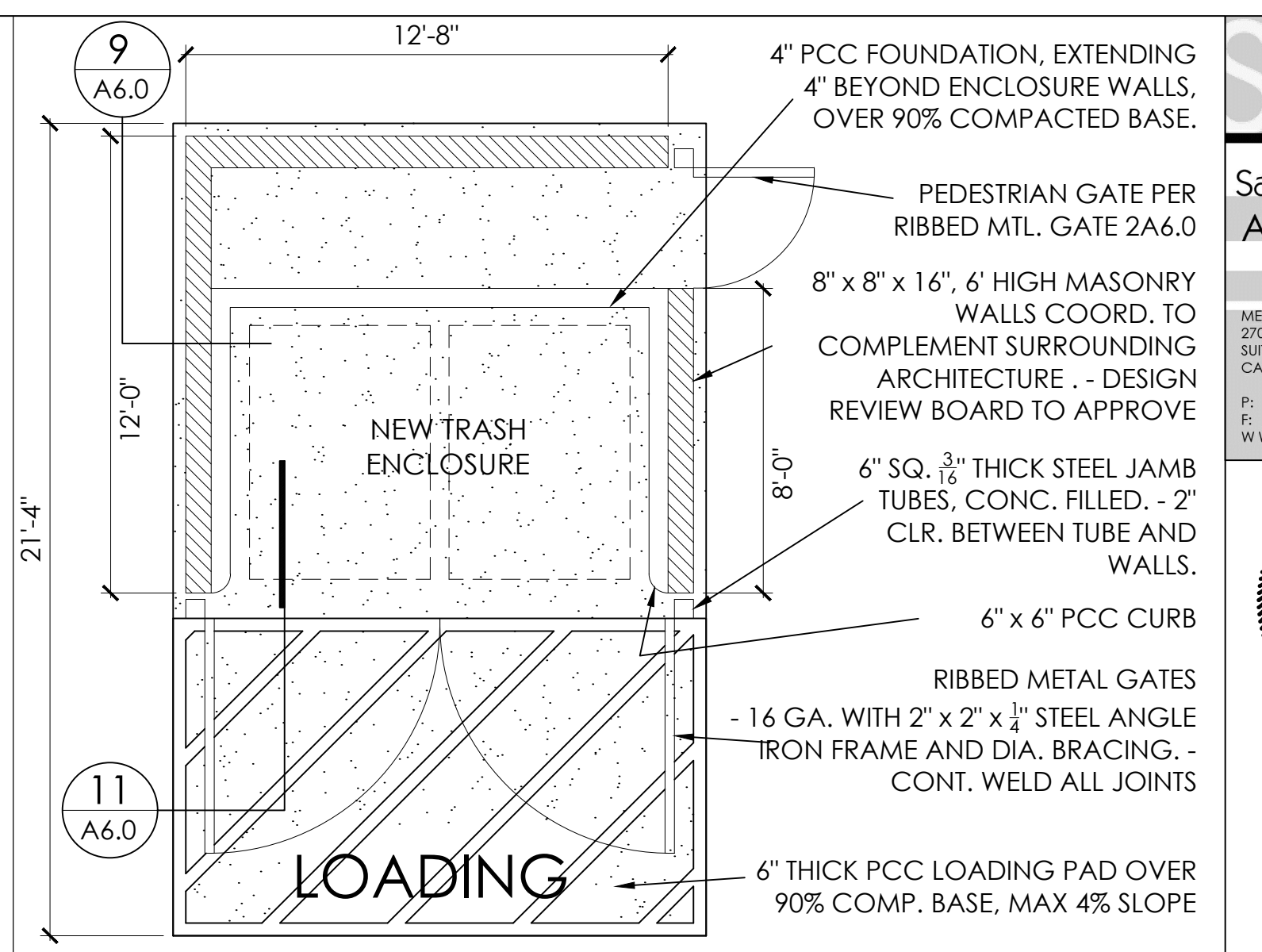


SIDE ELEVATION

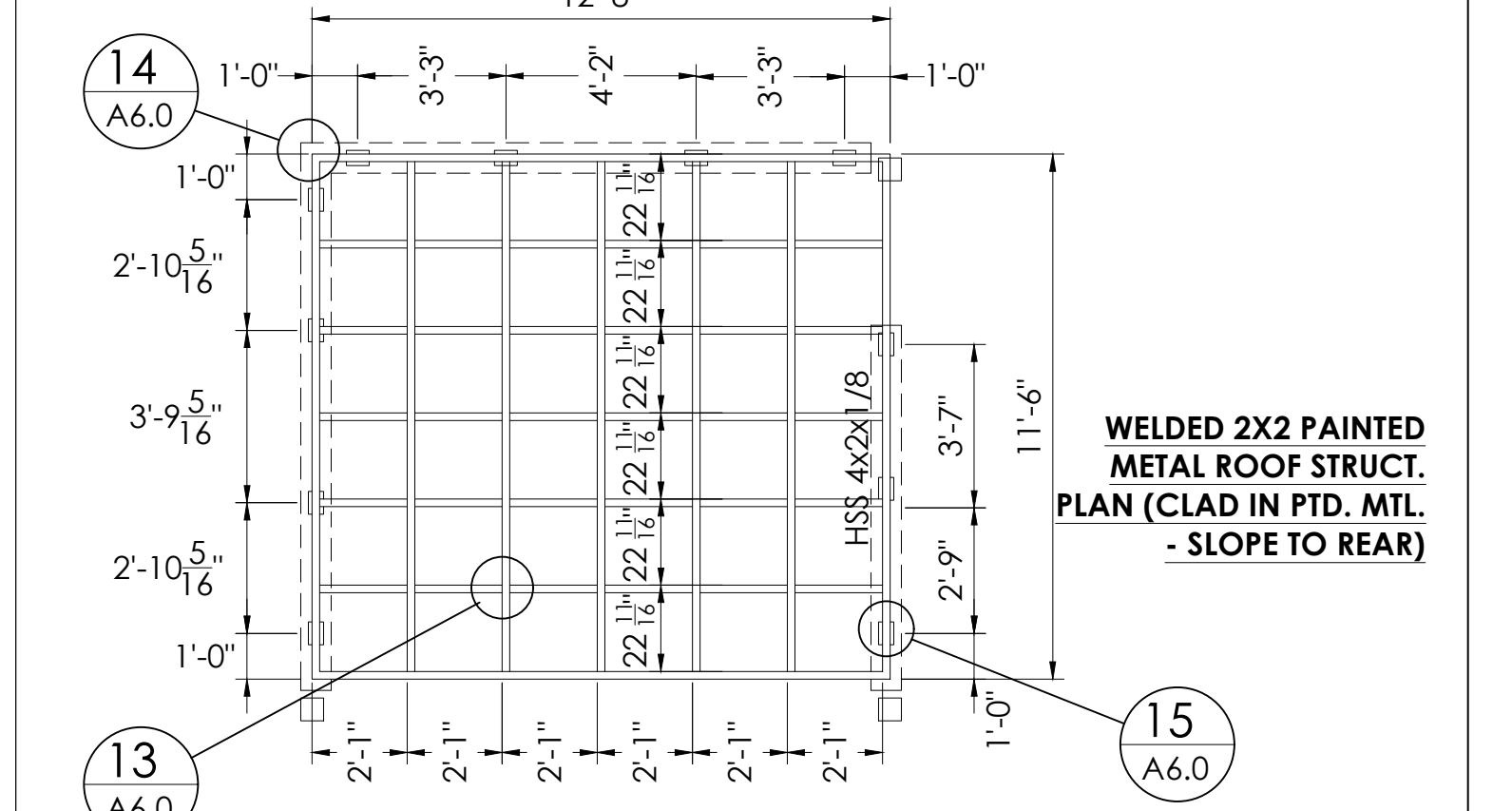


FRONT ELEVATION

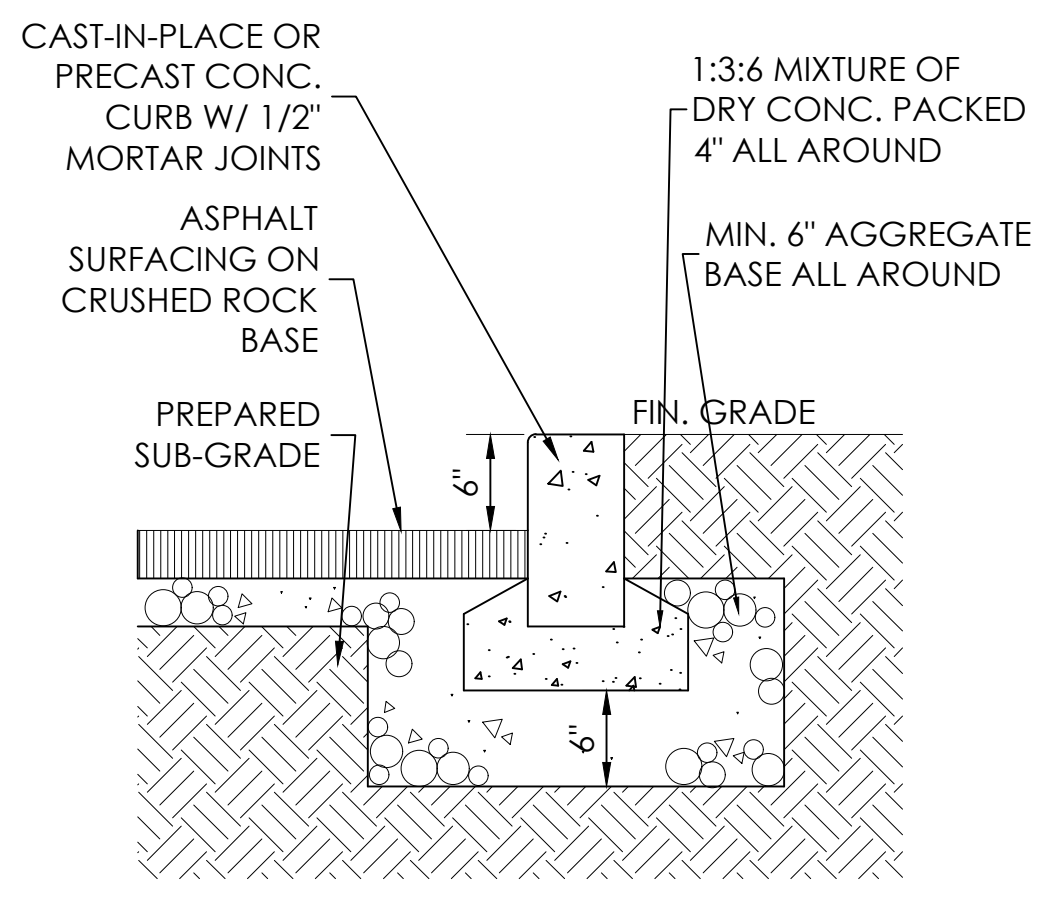
TRASH ENCLOSURE ELEV. 2
SCALE: 1/4"=1'-0" A6.0



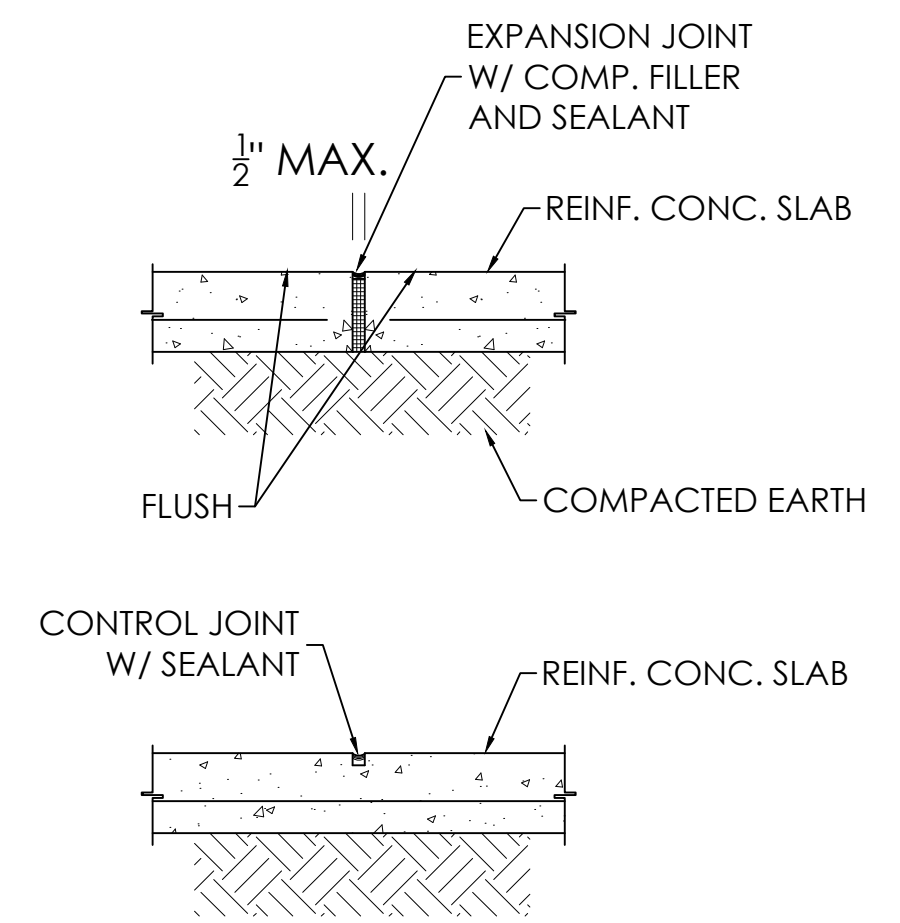
TRASH ENCLOSURE (PLAN) 1
SCALE: 1/4"=1'-0" A6.0



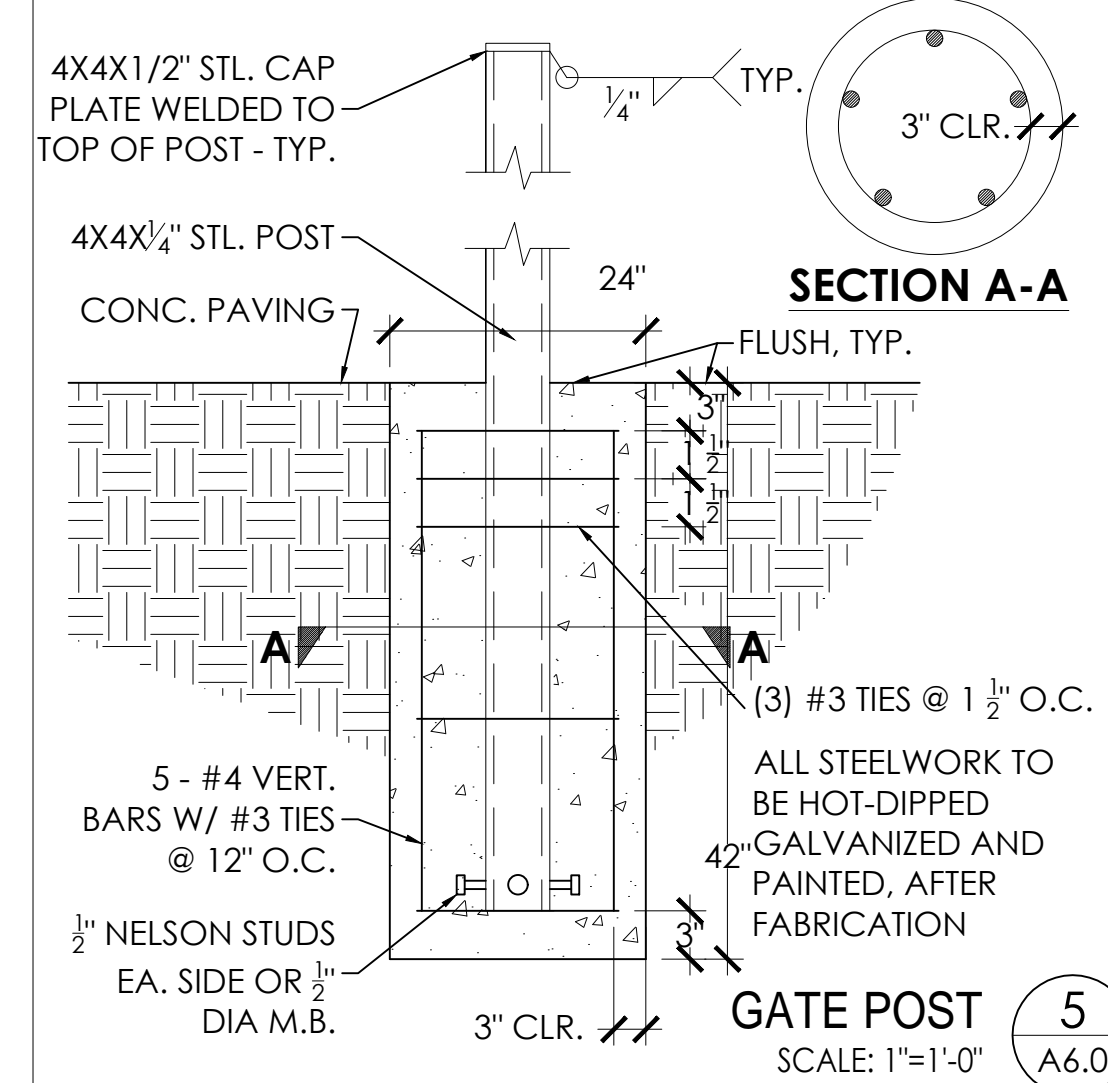
TRASH ENCLOSURE WALL DETAIL 9
SCALE: 1"=1'-0" A6.0



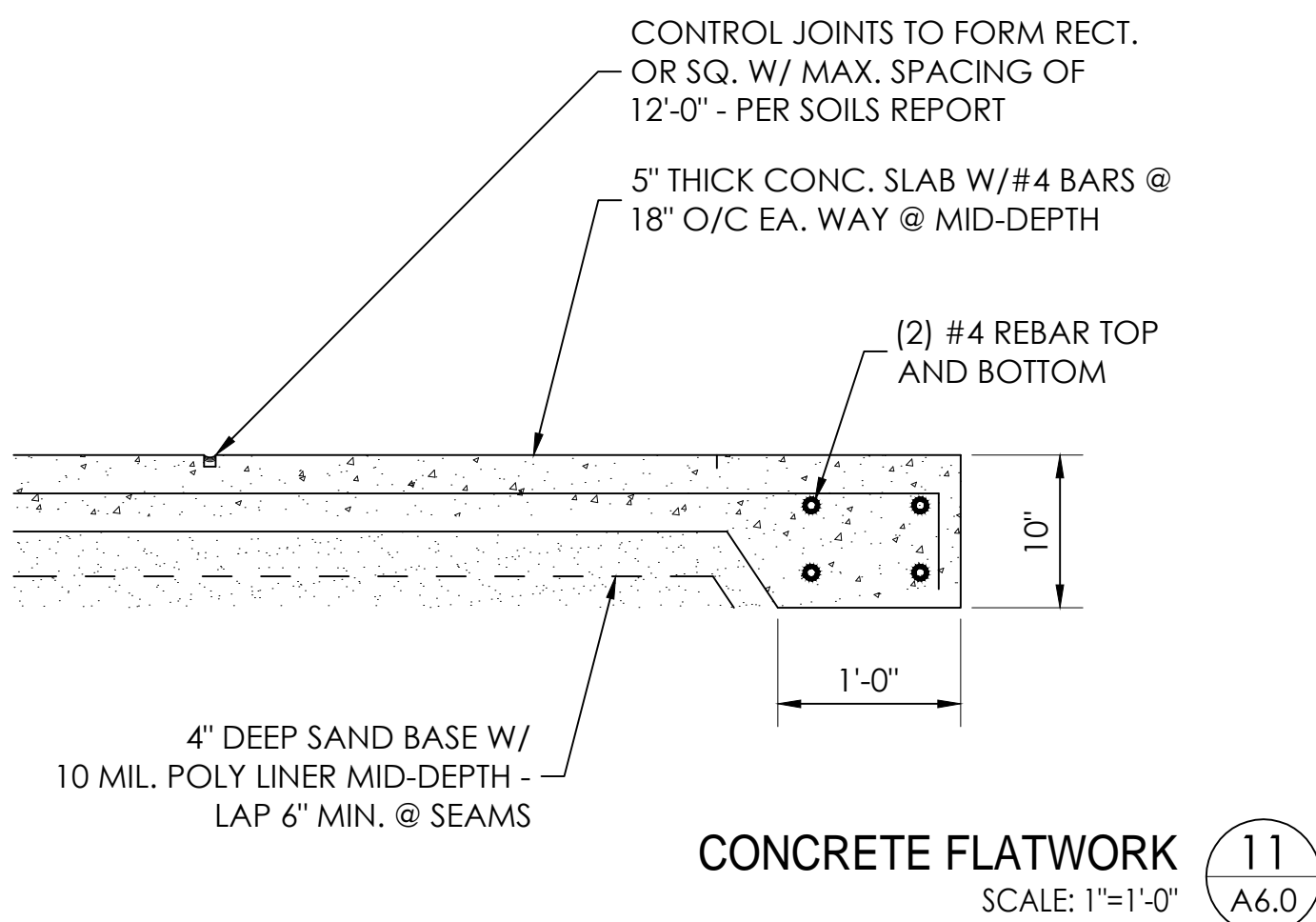
CONCRETE CURB DETAIL 4
SCALE: 1"=1'-0" A6.0



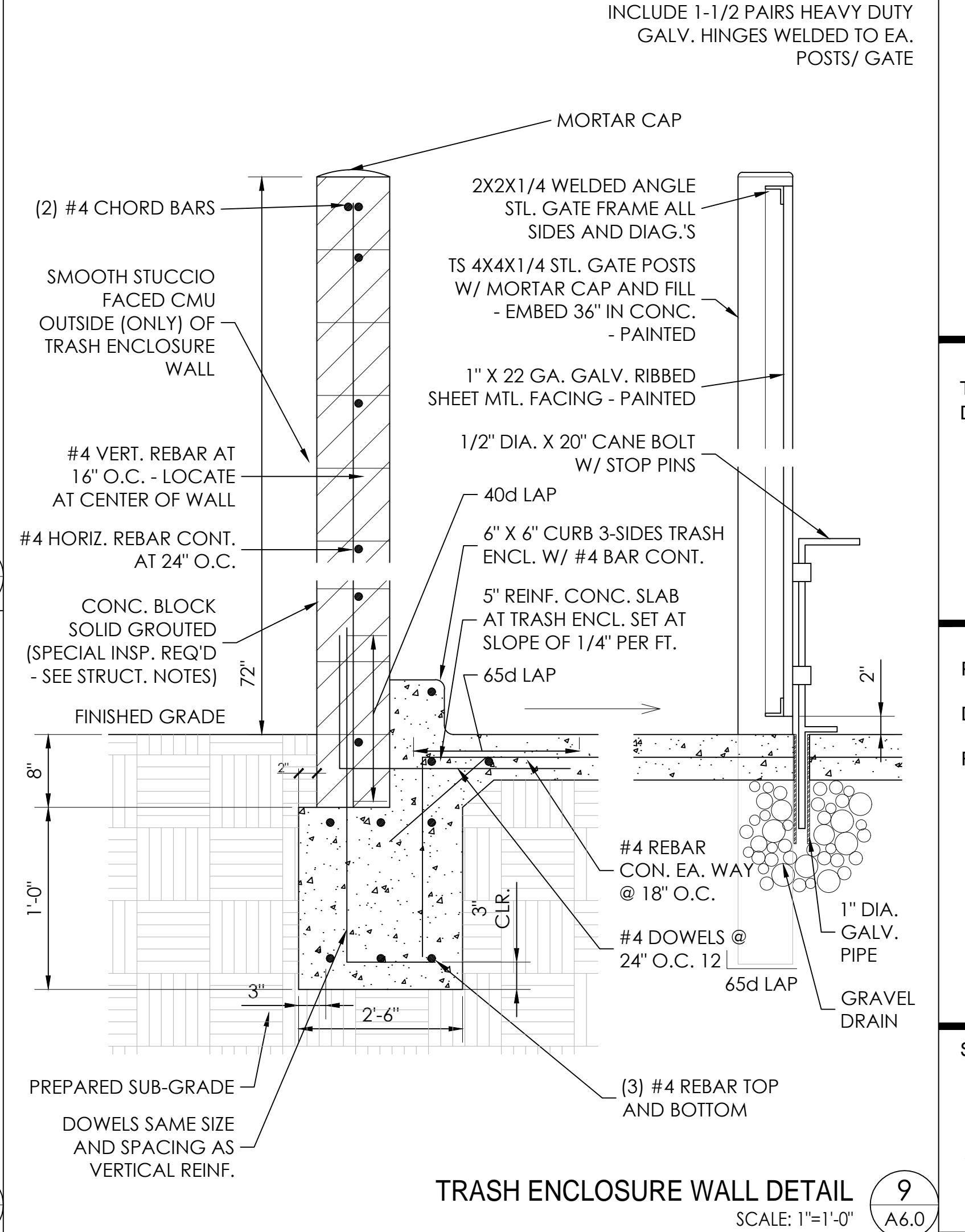
EXPANSION JOINT / CONTROL JOINT (TYP.) 10
SCALE: 1"=1'-0" A6.0



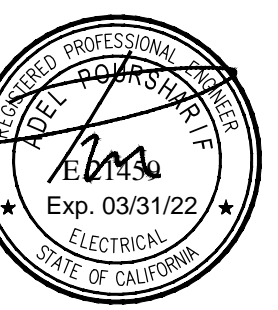
GATE POST 5
SCALE: 1"=1'-0" A6.0



CONCRETE FLATWORK 11
SCALE: 1"=1'-0" A6.0



TRASH ENCLOSURE WALL DETAIL 9
SCALE: 1"=1'-0" A6.0



PROJECT NO. 1913

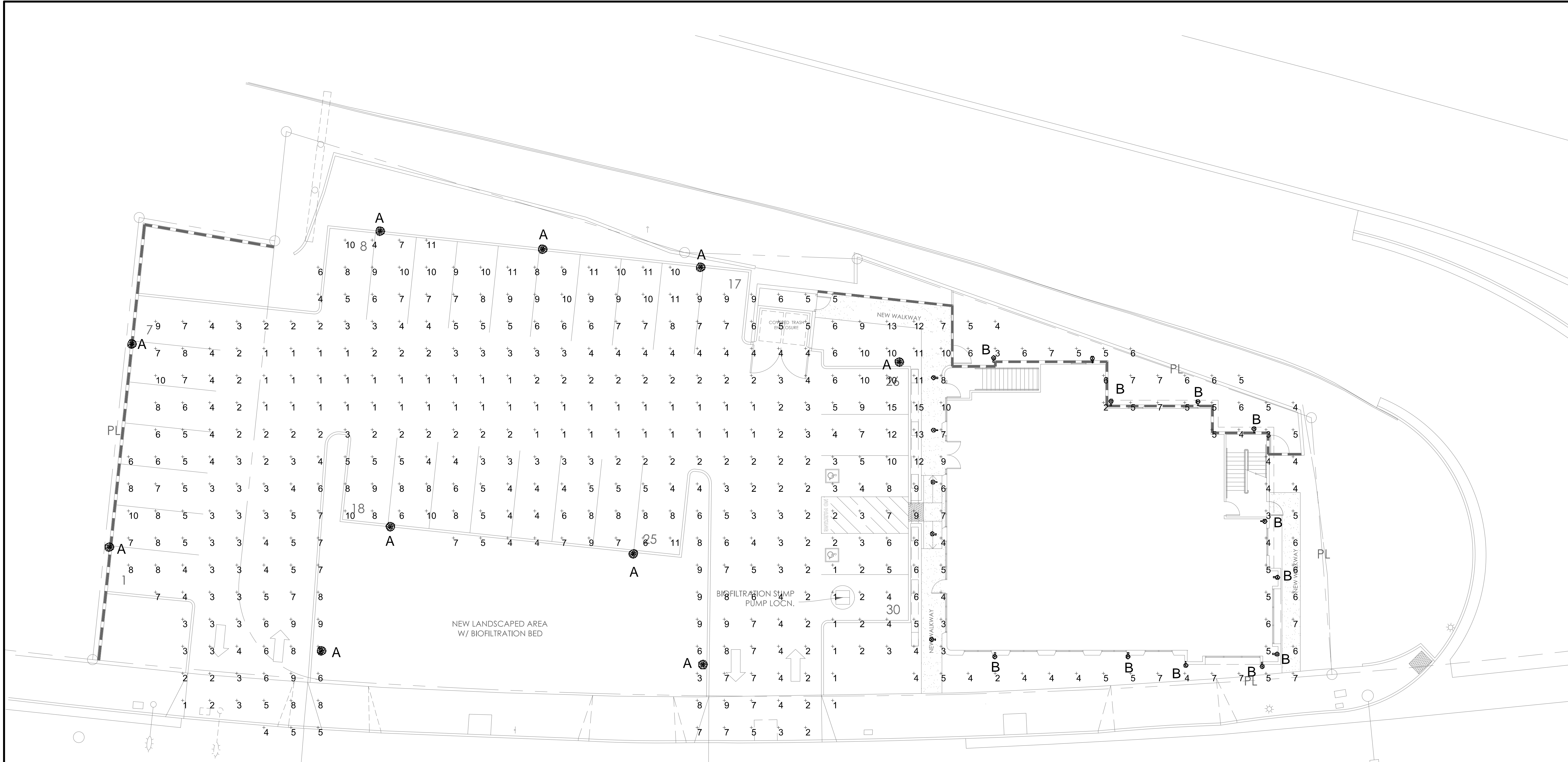
DATE: 4/13/2020

REVISIONS:

PHOTOMETRIC
SITE PLAN

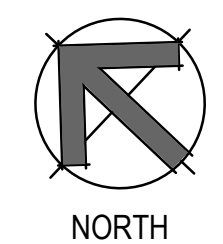
SHEET NO.

E1.0



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	10	ANP LIGHTING	LA443-1-CL-P117LD4NT3 35K @ 12 FT POLE MOUNT	POST TOP WITH CUT OFF REFLECTOR	117 W LED	1	LA4431CLP117LD4NT340K.IES	11208	0.95	116.38
	B	17	ANP LIGHTING, INC.	LA4413 P032 LD4 N/D T3 35K @ 10 FT WALL MOUNT	DECORATIVE WALL MOUNT - CUT OFF REFLECTOR	32 W LED	1	LA4411P046LD4NT235K.IES	3146	0.7	32

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	5 fc	15 fc	1 fc	15.0:1	5.0:1





LA440 LED

Weight: 7.7 lbs
EPA: 0.95

Project: _____
Fixture Type: _____
Customer: _____

Specifications

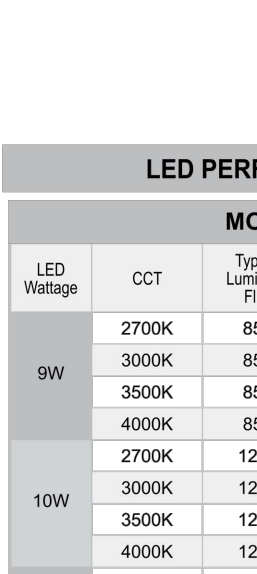
Material: All parts are durable 356 cast aluminum. All hardware provided shall be stainless steel or zinc plated steel.
Lens: Choice of acrylic lens or no lens
Finish: 5 polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glossy surface.
Modifications: Consult factory for custom or modified designs.

LA440 - 1 CL M016LD D W 40K PC PA5651 72

Table with 9 columns for fixture orientation, color temperature, mounting source, dimming, optics, CCT, accessories, mounting source, and finish.

1 FIXTURE ORIENTATION, 2 LENS, 3 LIGHT SOURCE & WATTAGES, 4 DIMMING, 5 OPTICS, 6 COLOR TEMPERATURE (CCT), 7 ACCESSORIES, 8 MOUNTING SOURCE, 9 FINISHES

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LA440 LED

Weight: 7.7 lbs
EPA: 0.95

Project: _____
Fixture Type: _____
Customer: _____

Specifications

Material: All parts are durable 356 cast aluminum. All hardware provided shall be stainless steel or zinc plated steel.
Lens: Choice of acrylic lens or no lens
Finish: 5 polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glossy surface.
Modifications: Consult factory for custom or modified designs.

LA440 - 1 CL M016LD D W 40K PC PA5651 72

Table with 9 columns for fixture orientation, color temperature, mounting source, dimming, optics, CCT, accessories, mounting source, and finish.

1 FIXTURE ORIENTATION, 2 LENS, 3 LIGHT SOURCE & WATTAGES, 4 DIMMING, 5 OPTICS, 6 COLOR TEMPERATURE (CCT), 7 ACCESSORIES, 8 MOUNTING SOURCE, 9 FINISHES

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LA440 LED

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LA443 LED

Weight: 32.6 lbs
EPA: 2.6
BUG: *See Table Below

Project: _____
Fixture Type: _____
Customer: _____

Specifications

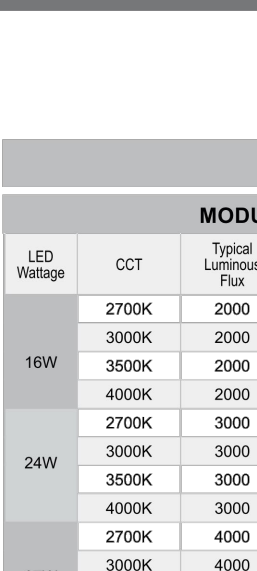
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Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glossy surface.
Modifications: Consult factory for custom or modified designs.

LA443 - 1 CL P117LD4 D T5 40K PC PA6211 72

Table with 9 columns for fixture orientation, color temperature, mounting source, dimming, optics, CCT, accessories, mounting source, and finish.

1 FIXTURE ORIENTATION, 2 LENS, 3 LIGHT SOURCE & WATTAGES, 4 DIMMING, 5 OPTICS, 6 COLOR TEMPERATURE (CCT), 7 ACCESSORIES, 8 MOUNTING SOURCE, 9 FINISHES

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LA443 LED

Weight: 32.6 lbs
EPA: 2.6
BUG: *See Table Below

Project: _____
Fixture Type: _____
Customer: _____

Specifications

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Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glossy surface.
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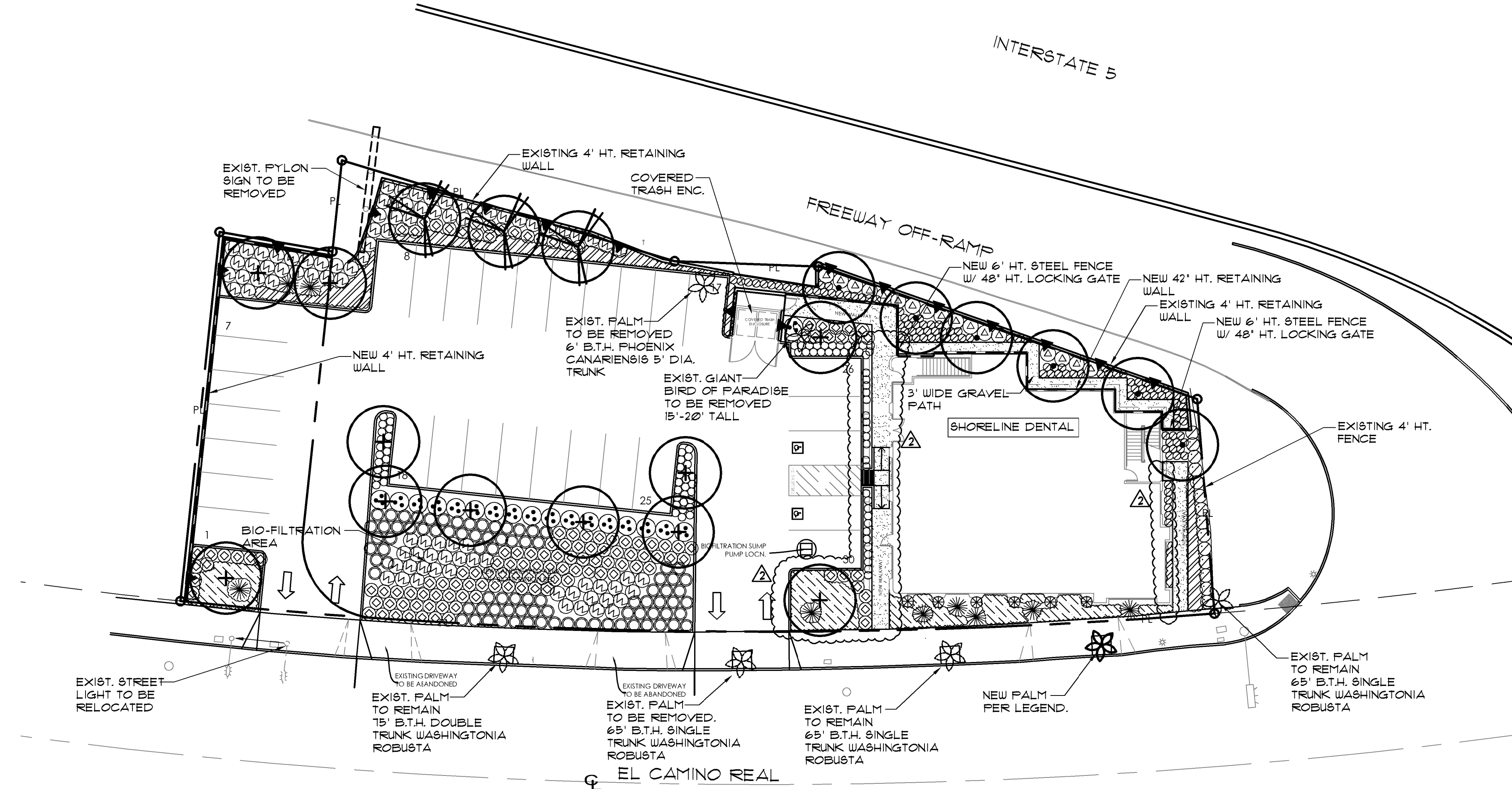
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Shoreline Dental NEW DENTAL OFFICE BUILDING 1409 S EL CAMINO REAL, SAN CLEMENTE, CA 92672

PROJECT NO. 1913 DATE: 4/13/2020 REVISIONS: LIGHTING SPEC'S

SHEET NO. E1.1 SCALE: NTS 1



I PRELIMINARY LANDSCAPE PLAN

1" = 20'-0"

PLANTING NOTES

- A. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- B. ALL TREES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF 'AMERICAN NURSERY AND LANDSCAPE ASSOCIATION'. WWW.ANLA.ORG & TO BE ALLOWED TO REACH THEIR MATURE SIZE & TRIMMED PER INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- C. LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- D. SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUYING REQUIREMENTS.
- E. FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- F. REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- G. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- H. ALL SHRUB AREAS TO BE TOP DRESSED WITH 3" LAYER OF FINE SHREDDED REDWOOD BARK. ALL TOP DRESSING TO BE INSTALLED TO TOP OF WALK (UNLESS OTHERWISE NOTED.)
- I. ALL TREES PLANTED WITHIN TEN (10) FEET OF ANY PAVING, WALLS, BUILDINGS, CURBS, ETC. SHALL BE INSTALLED WITH AN APPROVED 'DEEP ROOT BARRIER'.
- J. FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR GROUND COVER AREAS.
- K. ALL PARKWAY TREES AND THEIR ROOT SYSTEMS MUST BE PROTECTED IN PLACE FOLLOWING INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- L. CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS. DAMAGE IN THE PUBLIC RIGHT-OF-WAY TO BE REPLACED PER PUBLIC WORKS DIRECTOR AND THE DIRECTOR OF PARKS, RECREATION & COMMUNITY SERVICES PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- M. ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS.
- N. ALL PLANTED AREAS TO BE IRRIGATED UTILIZING DRIP EMITTERS OR BUBBLERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVES AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER. IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RAINBIRD OR EQUAL) TO CONSERVE WATER.
- O. PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS GENERATED BY THE PROJECT.
- P. ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF SAN CLEMENTE LANDSCAPE STANDARDS AND TO MEET ALL OTHER AGENCY REQUIREMENTS.

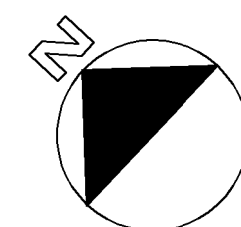
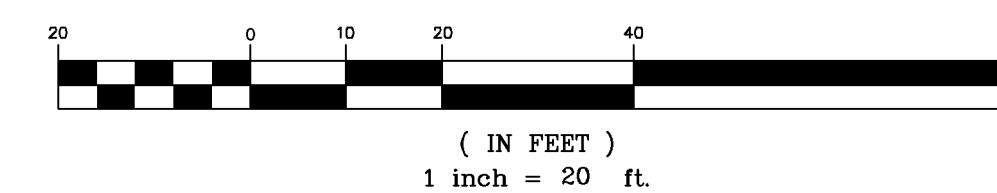
PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE WUCOLS V REGION 3
TREES					
•	ACACIA STENOPHYLLA SHOESTRING ACACIA	24" BOX	6	STANDARD DOUBLE STAKE	LOW
+	GEIJERA PARVIFLORA AUSTRALIAN WILLOW	36" BOX	11	STANDARD DOUBLE STAKE	LOW
⊕	AGONIS FLEXUOSA AUSTRALIAN WILLOW	36" BOX	3	STANDARD DOUBLE STAKE	LOW
⊙	OLEA EUROPAEA 'LITTLE OLLIE' DWARF OLIVE TREE	15 GAL.	18	SHRUB FORM	LOW
✿	WASHINGTONIA SP. FAN PALM (MATCH EXISTING)	20" B.T.H.	1	MATCH EXIST.	LOW
EXISTING PALM TO BE REMOVED - 2 TOTAL - SEE PLAN FOR LOCATION					
EXISTING PALMS TO REMAIN - 3 TOTAL - SEE PLAN FOR LOCATION					
SHRUBS					
☼	AGAVE AMERICANA VAR MEDIO-PICTA 'ALBA' WHITE-STRIPED CENTURY PLANT	5 GALLON	9	AS SHOWN	LOW
☼	CORDYLINE AUSTRALIS 'JIVE' TREE TYPE CORDYLINE	15 GALLON	6	AS SHOWN	LOW
○	DIANELLA CAERULEA 'CASSA BLUE' BLUE FLAX LILY	5 GALLON	90	2'-0" O.C.	MOD
○	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY	5 GALLON	108	2'-0" O.C.	MOD
⊕	MUHLENBERGIA CAPILLARIS PINK MUHLY	5 GALLON	89	4'-0" O.C.	LOW
⊕	EUCALYPTUS FORTUNEI 'SILVER QUEEN' SILVER QUEEN EUCALYPTUS	5 GALLON	17	4'-0" O.C.	MOD
⊕	PITOSPORUM TENUIFOLIUM 'SILVER SHEEN' KOHUHU	15 GALLON	14	3'-6" O.C.	MOD
⊕	LEYMUS 'CANYON PRINCE' WILD RYE	5 GALLON	131	3'-6" O.C.	LOW
⊕	LOMANDRA LONGIFOLIA DWARF MAT RUSH	5 GALLON	85	3'-6" O.C.	LOW
GROUNDCOVERS					
▨	ALOE 'GRASSY LASSIE' GRASSY LASSIE ALOE	1 GALLON	739 SF.	2'-0" O.C.	LOW
▨	SENECIO SERPENS BLUE CHALKSTICKS	1 GALLON	491 SF.	2'-0" O.C.	LOW
VINES					
▼	JASMINUM HUMILE ITALIAN JASMINE	15 GALLON	17	AS SHOWN	MED
HARDSCAPE					
▨	2' DEEP LAYER OF 3/4" DIA. CRUSHED TAN AGGREGATE PLACED OVER FILTER FABRIC		281 SF.		

LANDSCAPE CALCULATIONS

TOTAL LANDSCAPE AREA: 7,280 SF.
LOW TO MODERATE WATER USE

GRAPHIC SCALE



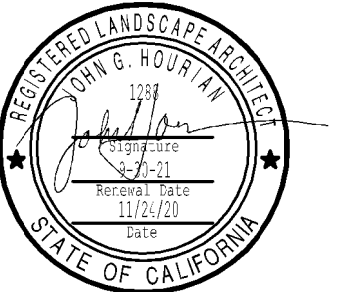
hourian associates, inc.
landscape architecture + design
san clemente • santa barbara, ca
p: 949.489.5623 e: 858.810.0335
e: team@hourianassociates.com



revisions:

△ CITY PLAN CHECK
11/24/20

- △
- △
- △
- △
- △



project
SHORELINE DENTAL
1430 S. EL CAMINO REAL, SAN CLEMENTE, CA 92672
NEW DENTAL OFFICE BUILDING

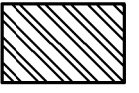

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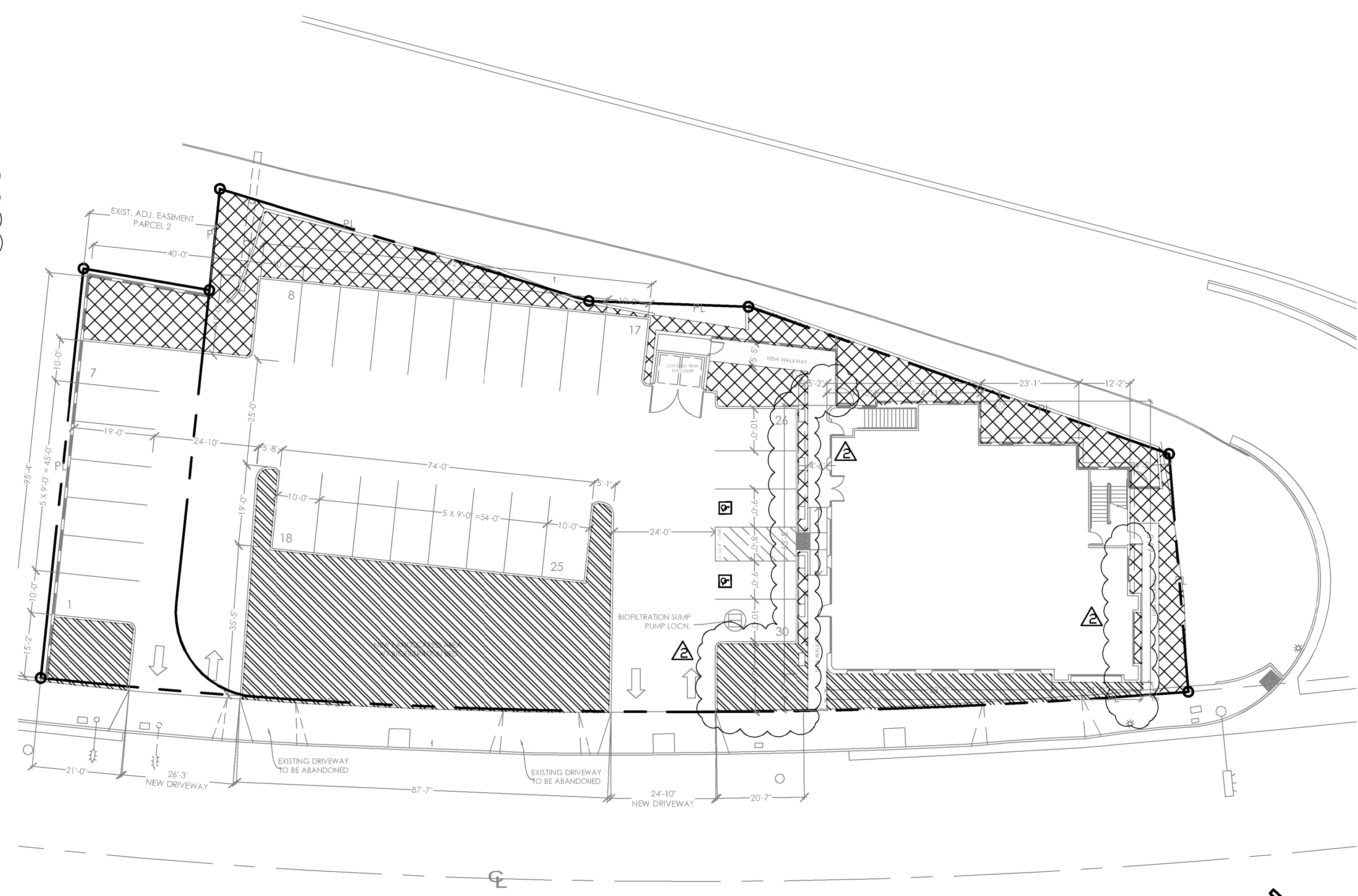
sheet name:
**PRELIMINARY
PLANTING PLAN**
1" = 20"

sheet no:

L-10

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HYDROZONE MAP		
SYM	DESCRIPTION	AREA
	LOW WATER USE SHRUBS & GROUNDCOVERS	4,136 S.F. 56.8%
	LOW/MODERATE WATER USE SHRUBS & GROUNDCOVERS	3,144 S.F. 43.2%
		TOTAL = 7,280 S.F.



I HYDROZONE MAP
1" = 20'-0"

Appendix B – Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) **46.4**

Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
LOW SHRUBS	0.30	DRIP	0.81	0.370	4,136	1,530	44,015
LOW/MOD PLT.	0.40	DRIP	0.81	0.49	3,144	1,541	44,331
					Totals	(A)	(B)
Special Landscape Areas							
					1	0	0
					1		
					1		
					Totals	(C)	(D)
						ETWU Total	88,346
						Maximum Allowed Water Allowance (MAWA) ^e	94,244

^aHydrozone #/Planting Description
E.g.
1) front lawn
2) low water use plantings
3) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + (1-ETAF) x SLA]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	(B)	3,071
Total Area	(A)	7,280
Average ETAF	B ÷ A	0.42

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	3,116
Total Area	(A+C)	7,369
Sitewide ETAF	(B+D) ÷ (A+C)	0.42

MAINTENANCE MANUAL

THIS MANUAL TO BE KEPT AT THE CONTROLLER LOCATION AT ALL TIMES.







IRRIGATION SYSTEMS:

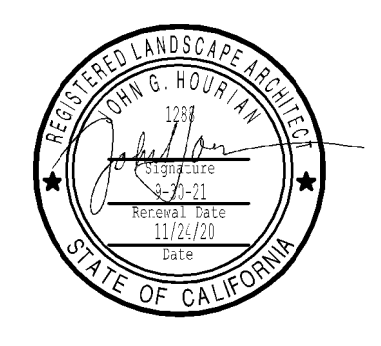
1. AUTOMATIC CONTROLLER TO BE CHECKED MONTHLY BY LANDSCAPE MAINTENANCE FOREMAN AND CHECKED WEEKLY BY MAINTENANCE CREW LEADER, TO PROVIDE OPTIMUM PLANT GROWTH AND WATER CONSERVATION. (IF SMART CONTROLLER IS IN USE, CHECK ELECTRICAL POWER ONLY).
 2. LANDSCAPE MAINTENANCE CONTRACTOR TO CHECK ALL SYSTEMS ONCE PER MONTH BY TURNING ON EACH SYSTEM MANUALLY.
 3. LANDSCAPE MAINTENANCE CONTRACTOR TO VISUALLY CHECK ALL SYSTEMS EVERY WEEK DURING MAINTENANCE OF LANDSCAPE.
 4. ALL IRRIGATION FILTERS AT THE WYE STRAINER (AT THE BACKFLOW DEVICE) AND ALL FILTERS AT THE DRIP IRRIGATION VALVES TO BE CLEANED MONTHLY OR AS NEEDED.
 5. CHECK RAIN SHUT OFF DEVICE AT THE BEGINNING OF THE RAINY SEASON AND RE-CALIBRATE AS NEEDED. MAKE SURE DEVICE IS CLEAN, FREE OF ANY DEBRIS, AND IN GOOD WORKING ORDER.
 6. BACKFLOW DEVICE TO BE VISUALLY CHECKED ON A MONTHLY BASIS. TEST AND RE-CERTIFY ANNUALLY AS PER ALL CODES AND ORDINANCES.
 7. SCHEDULE ALL SPRAY SYSTEMS TO RUN ONLY BETWEEN THE HOURS OF 2:00 AM AND 9:00 AM.
 8. ON A MONTHLY BASIS, FLUSH ALL DRIP SYSTEM LINES AND CHECK VALVE BOXES TO SEE THAT THEY DRAIN PROPERLY. CLEAN OUT ANY DEBRIS, MUD OR PLANT GROWTH ANNUALLY.
 9. TWICE A YEAR CHECK ALL QUICK COUPLERS AND MAKE ALL REPAIRS AS NECESSARY. REPLACE PEA GRAVEL IN VALVE BOXES AS NEEDED.
 10. COVER OR PROTECT ALL BACKFLOW DEVICES DURING FREEZING WEATHER.
- II. OWNER TO PROVIDE FOR A WATER AUDIT EVERY FIVE YEARS FROM OPENING OF STORE.

WATER CONSERVATION STATEMENT

WATER CONSERVATION IS ACHIEVED IN THIS LANDSCAPE CONSTRUCTION DOCUMENT AS DESCRIBED BELOW,

1. ALL PLANT MATERIALS SELECTED FOR THIS SITE ARE APPROPRIATE FOR THE GEOGRAPHICAL LOCATION AND LOCAL CLIMATE, AND THEIR ADAPTABILITY TO DROUGHT. DATA FROM WUCOLS III HAS BEEN USED FOR DETERMINING THE SPECIES' PLANT FACTOR FOR THE WATER USE CALCULATIONS.
2. PLANTS WITH SIMILAR WATER USE REQUIREMENTS ARE GROUPED TOGETHER.
3. THE MAJORITY OF LANDSCAPE AREAS ARE PLANTED WITH LOW WATER USE PLANTS, WITH THE BALANCE IN MODERATE WATER USE PLANTS. NO HIGH WATER USE PLANTS ARE USED.
4. IRRIGATION SECTIONS/HYDROZONES ARE SEPARATED BY CONSIDERING PLANT SPECIES FACTOR, PLANT DENSITY AND MICROCLIMATE. IF LOW WATER USE PLANTS ARE MIXED WITH MODERATE WATER USE PLANTS IN THE SAME HYDROZONE, THE MODERATE WATER USE FACTOR IS USED FOR WATER USE CALCULATIONS. SEE HYDROZONE EXHIBIT.
5. THE IRRIGATION SYSTEM UTILIZES A LOW-VOLUME DISTRIBUTION SYSTEM WITH A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLLERS WITH CYCLE PLUS SOAK AND WATER BUDGETING CAPABILITY, WEATHER STATION, AND RAIN SHUT-OFF.
6. THE USE OF TURF IS ELIMINATED. ALL TREE, SHRUB AND GROUND COVER AREAS WILL BE DRESSED WITH A 2" LAYER OF MULCH FOR MOISTURE RETENTION AND TO DISCOURAGE WEEDS.
7. THERE ARE NO SPECIAL LANDSCAPE AREAS IN THIS PROJECT.

revisions:
 CITY PLAN CHECK
 11/24/20







project:
SHORELINE DENTAL
1430 S. EL CAMINO REAL, SAN CLEMENTE, CA 92672
NEW DENTAL OFFICE BUILDING

project no:
date:

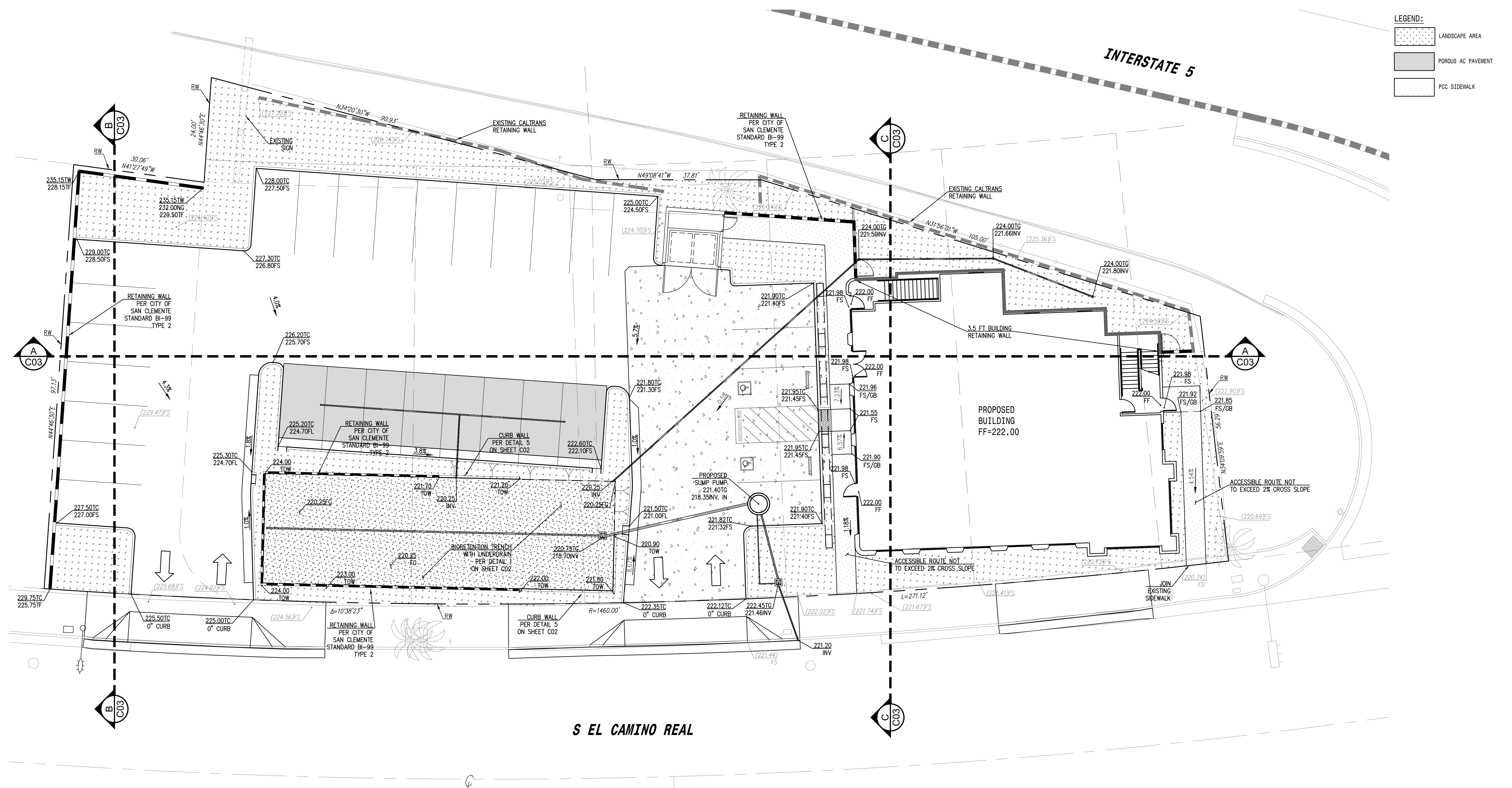
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PRELIM. HYDROZONE
MAP & CALCS.

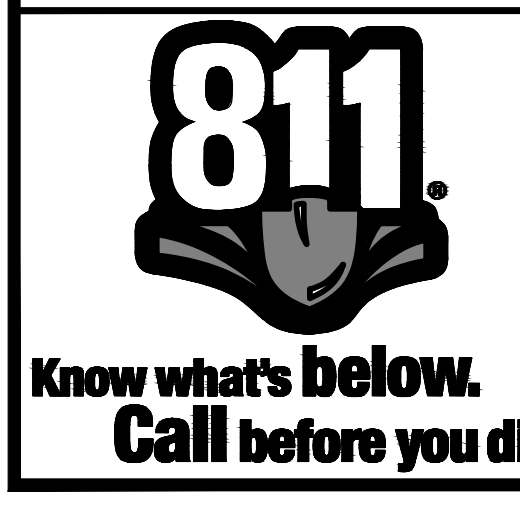
sheet no:
1" = 20'

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LEGEND:

- LANDSCAPE AREA
- POROUS AC PAVEMENT
- PCC SIDEWALK





BENCH MARK:
 DESIGNATION: 3B-114-05
 ELEVATION: 215.369'
 DATUM: NAVD 88
 DESCRIPTION: 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3B-114-05" IN THE SOUTHWESTERLY CORNER OF CATCH BASIN AT THE CROSSING OF THE I-5 FREEWAY AND EL CAMINO REAL, 33 FEET EASTERLY ALONG THE NORTHERLY CURB LINE OF EL CAMINO REAL FROM THE WESTERLY EDGE OF THE I-5 OVERCROSSING.


BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF EL CAMINO REAL, AS SHOWN ON THE MAP OF TRACT NO. 851 RECORDED IN BOOK 25, PAGES 40 AND 41, OF TRACT MAPS, BEING:
 NORTH 25°01'30" WEST

REVISIONS			
DATE	NO.	DESCRIPTION	BY/CHK/APP

DESIGN BY: TT
 DRAWN BY: AAJ/TNA
 CHECKED BY: TT
 DATE: 11-20-2020

PLUMP ENGINEERING INC.
 CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
 914 E. KATELLA AVENUE
 ANAHEIM, CALIFORNIA 92805
 (714) 385-1835, FAX (714) 385-1834

11-20-2020
DATE



SHORELINE DENTAL PARKING IMPROVEMENT

GRADING / DRAINAGE PLAN

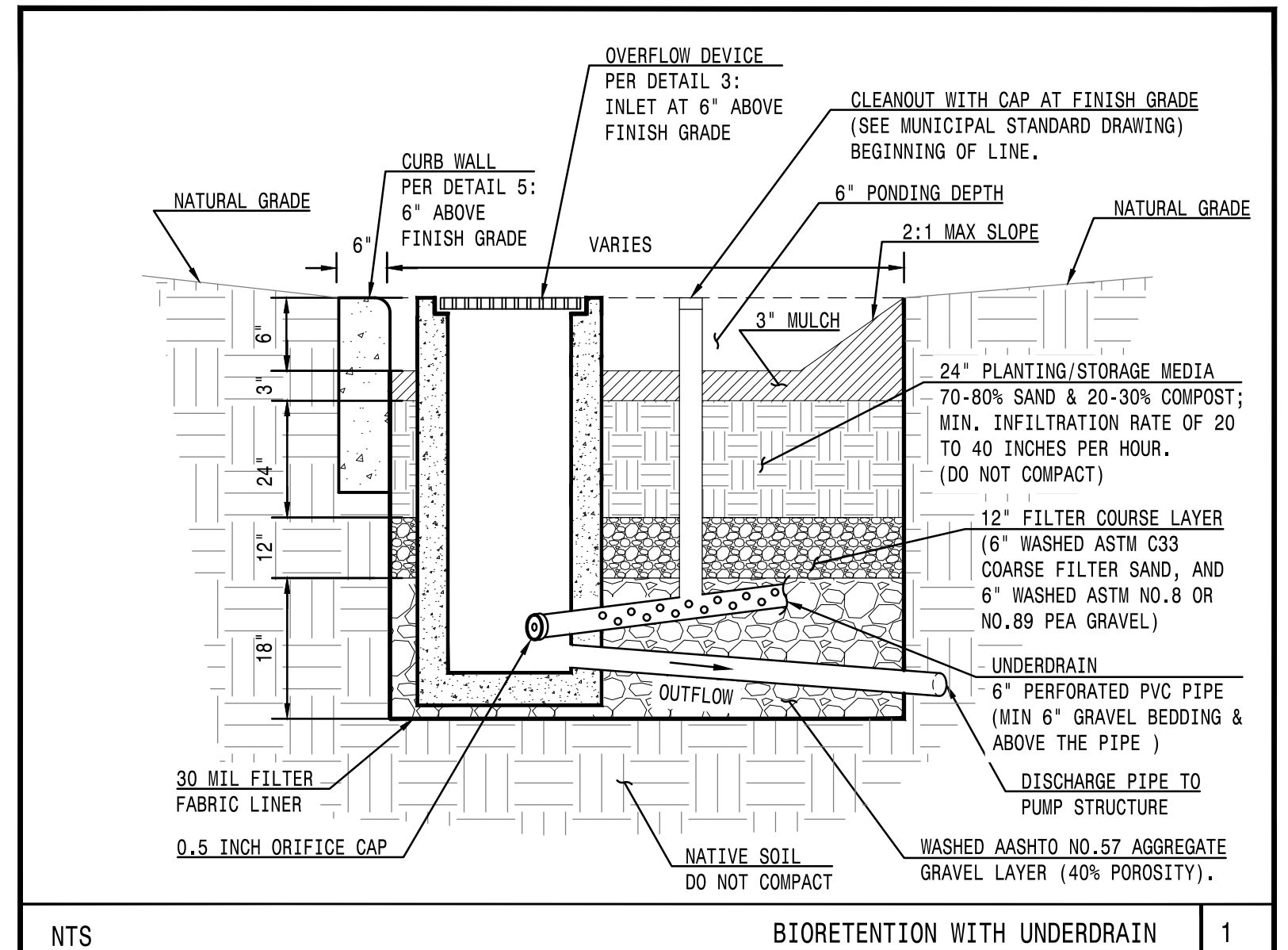
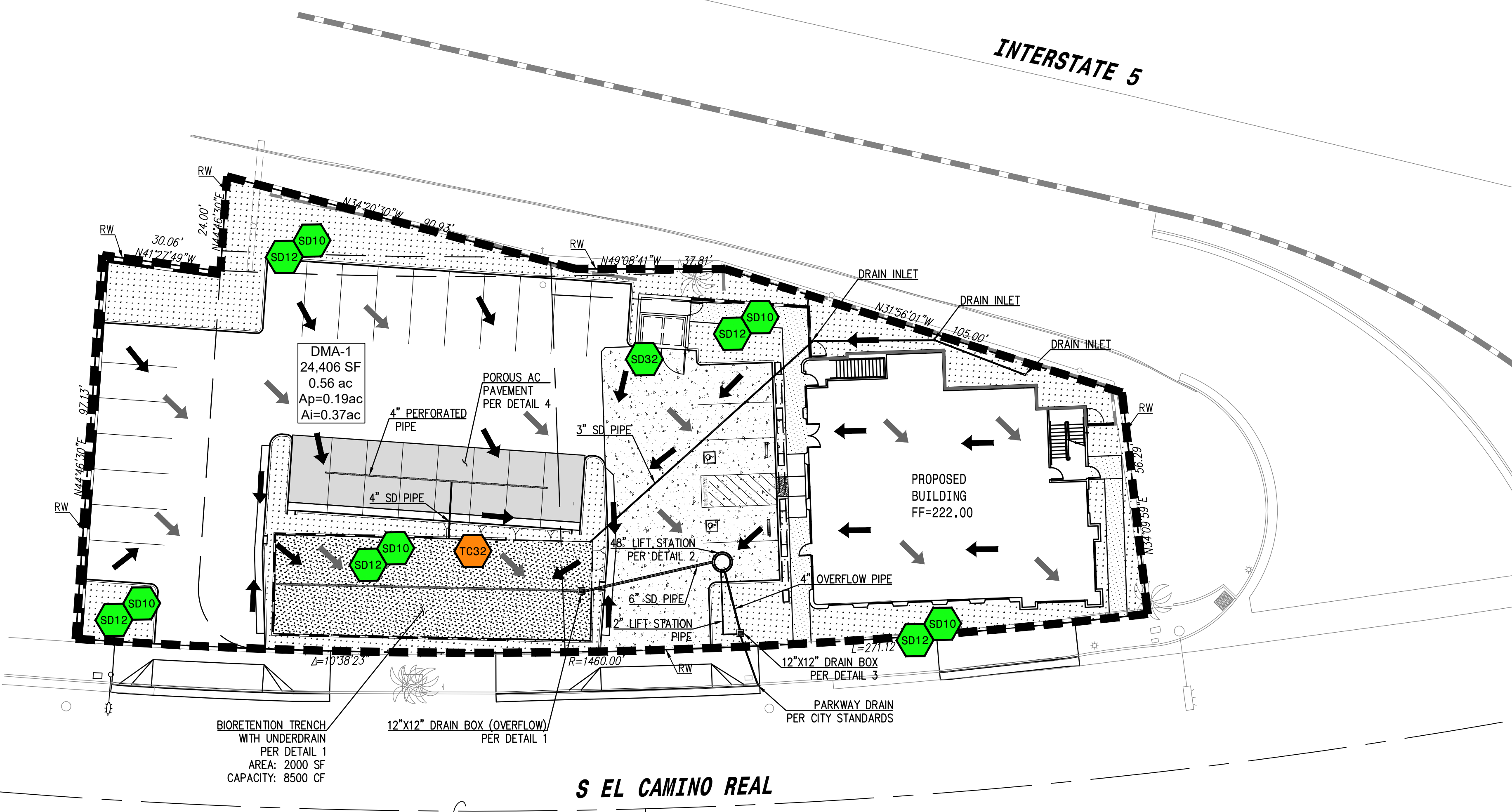
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 1409 S EL CAMINO REAL, SAN CLEMENTE, CA 92672

DRAWING NO.
C01

SHEET: 1 OF 3

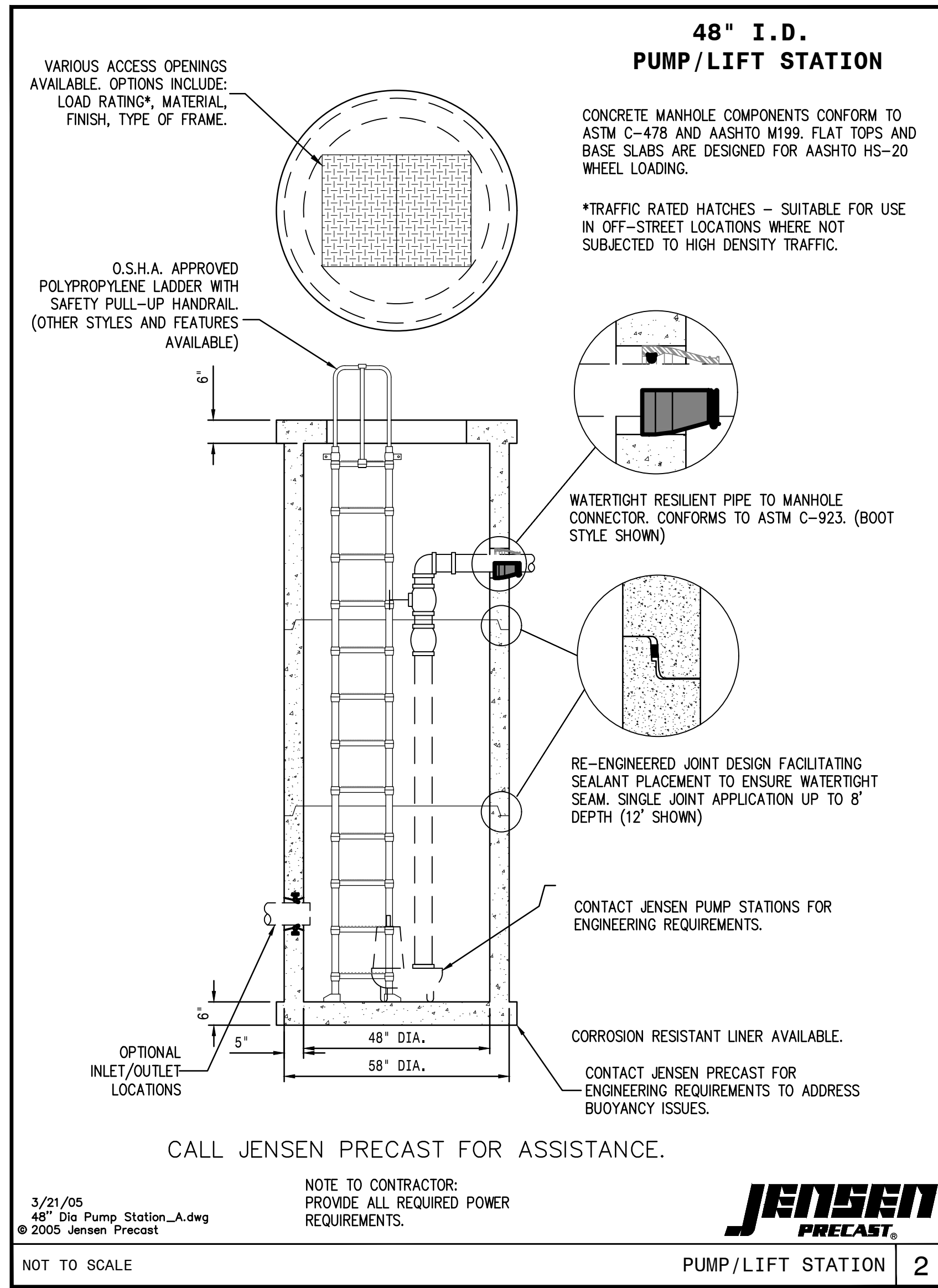
PROJECT NO.
2001025

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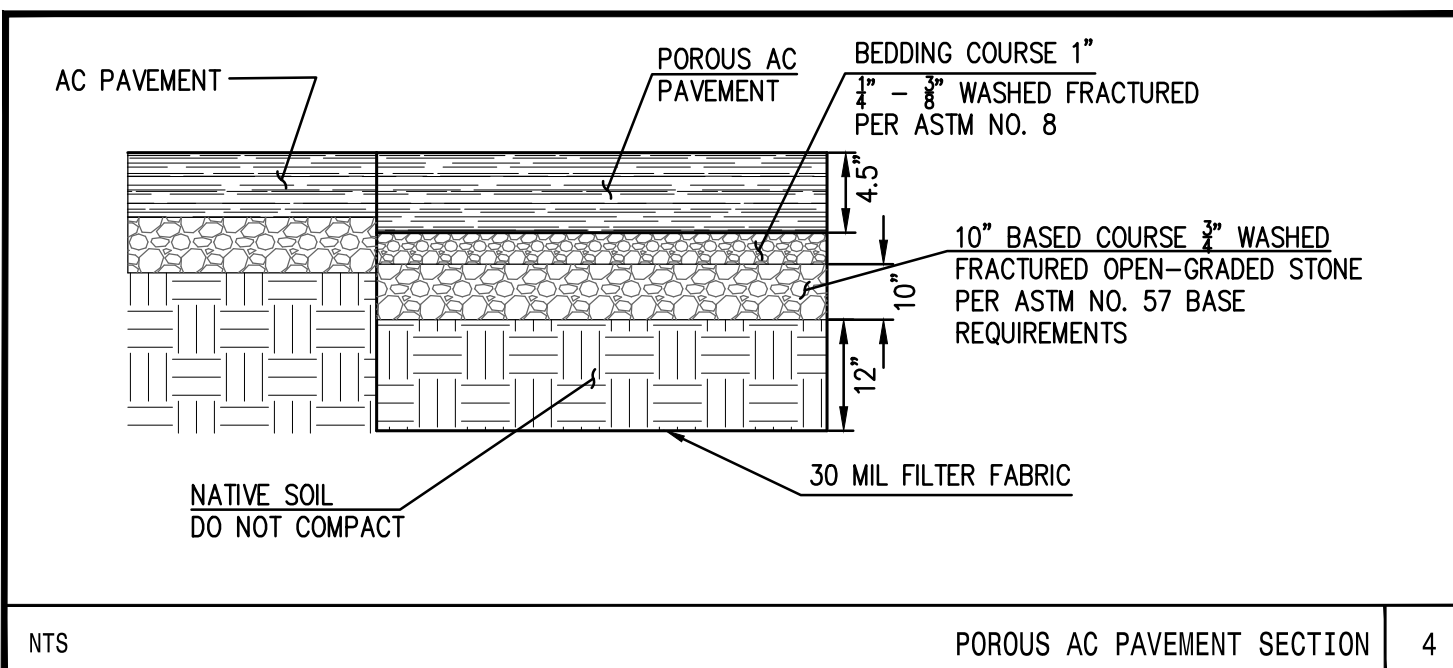
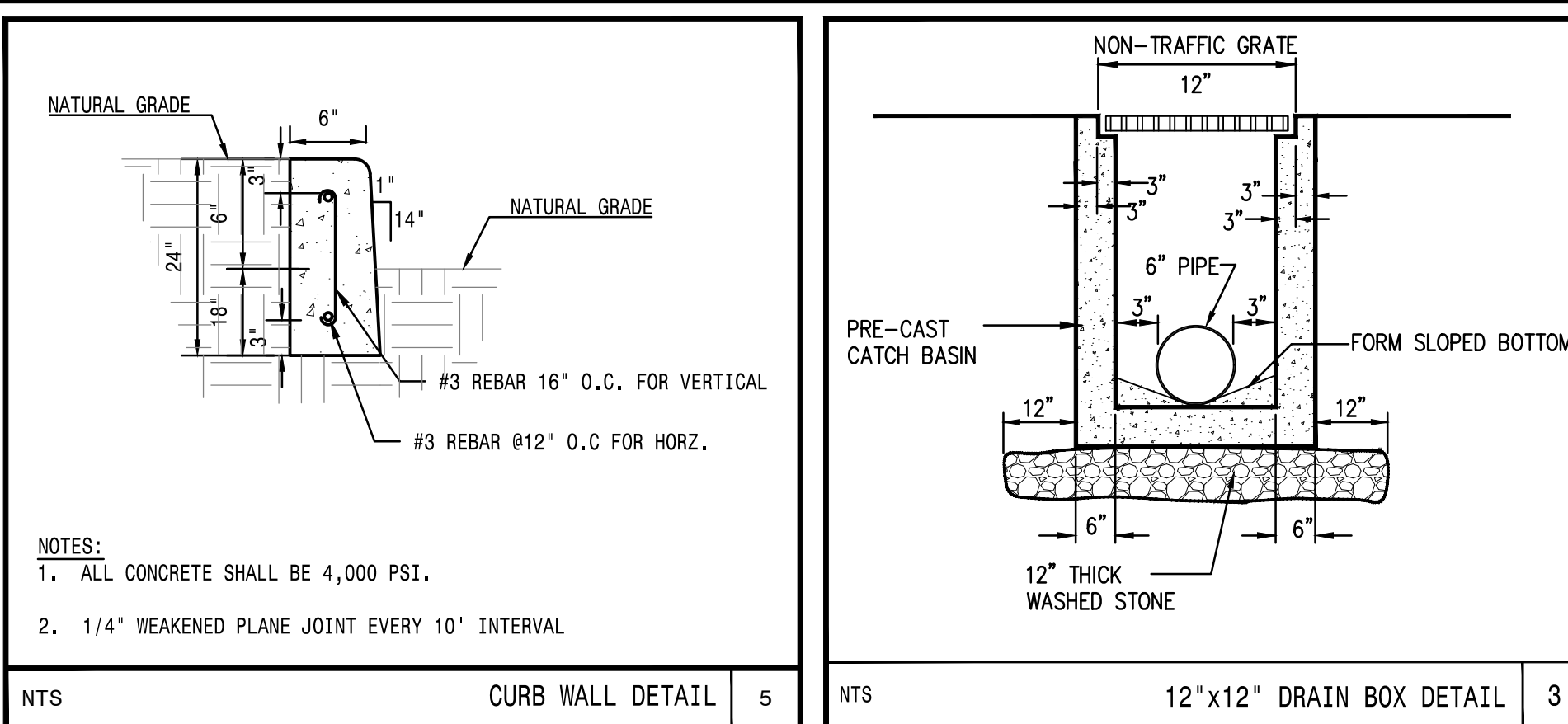


- LEGEND:**
- PROPOSED LANDSCAPE AREA
 - PROP. POROUS AC PAVEMENT
 - PROP. PCC SIDEWALK
 - EXISTING FLOW DIRECTION
 - PROPOSED FLOW DIRECTION
 - DMA BOUNDARY
 - DMA-X
X,XXX SF
XX.XX ac
 - DMA INFORMATION

- SOURCE CONTROL BMP'S:**
- SD10 - SITE DESIGN & LANDSCAPE PLANNING
 - SD12 - EFFICIENT IRRIGATION
 - SD21 - ALTERNATIVE BUILDING MATERIALS
 - SD32 - TRASH ENCLOSURES
- NON STRUCTURAL CONTROL BMP'S:**
- N4 - EDUCATION FOR PROPERTY OWNERS, TENANTS AND OCCUPANTS (ENTIRE SITE)
- TREATMENT CONTROL BMP'S:**
- TC32 - BIORETENTION WITH UNDERDRAIN



NOTE: LANDSCAPE ARCHITECT TO VERIFY RESTRICTIONS ON PLANT TYPES THAT CAN BE USED BASED ON PLANTS' WATER INTOLERANCE. REFER TO TC-32 FROM THE CALIFORNIA STORMWATER BMP HANDBOOK.



REVISIONS

DATE	NO.	DESCRIPTION	BY	CHK/APP

DESIGN BY: TT
 DRAWN BY: AAJ/TNA
 CHECKED BY: TT
 DATE: 11-20-2020

PLUMP ENGINEERING INC.
 CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
 914 E. KATELLA AVENUE
 ANAHEIM, CALIFORNIA 92805
 (714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONOPOULOS
 11-20-2020
 DATE



SHORELINE DENTAL PARKING IMPROVEMENT

BMP/SUSUMP PLAN

APPLICATION TYPE: 1409 S EL CAMINO REAL, SAN CLEMENTE, CA 92672

DRAWING NO. **C02**

SHEET: 2 OF 3

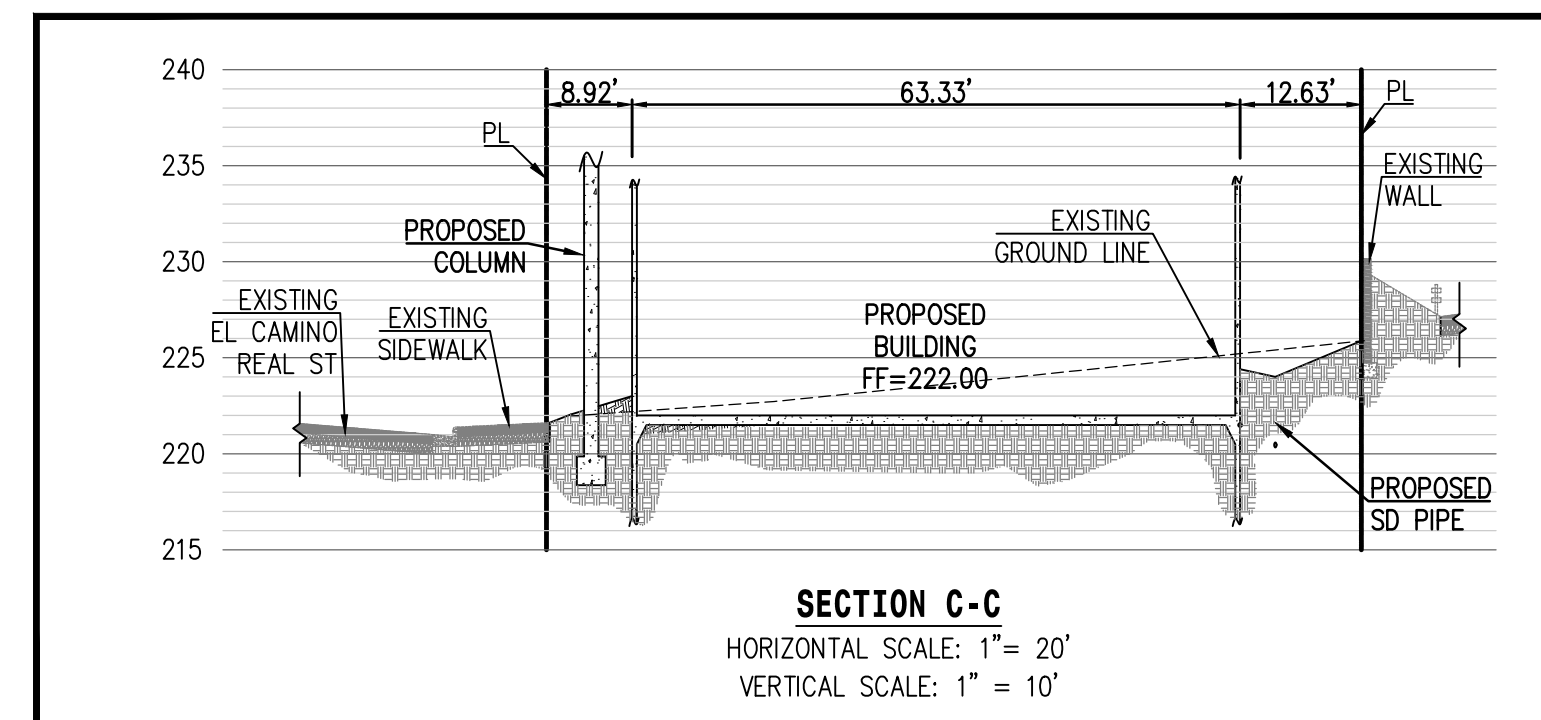
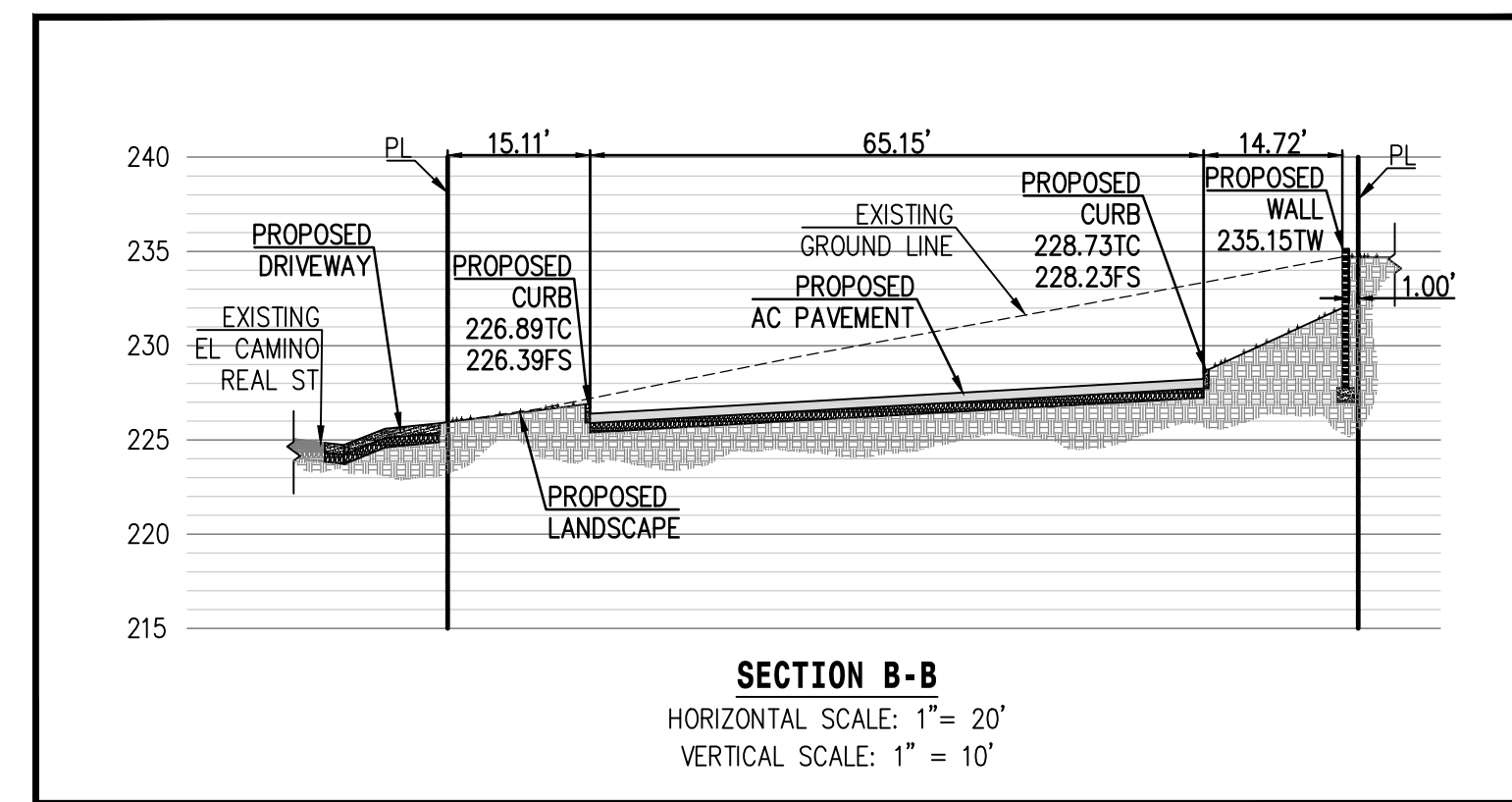
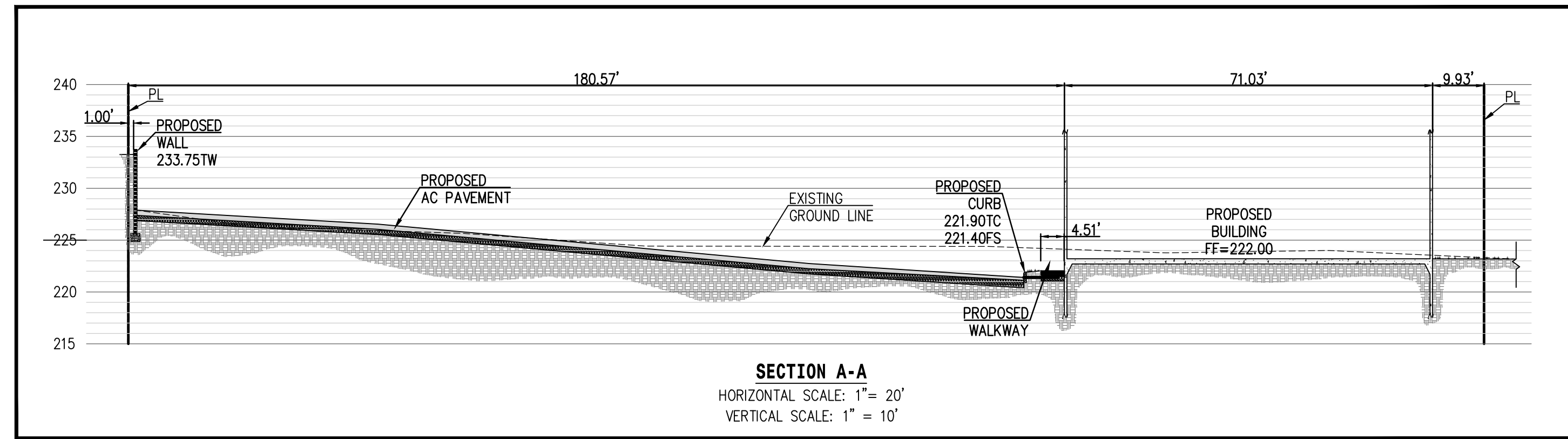
PROJECT NO. **2001025**

811
 Know what's below.
 Call before you dig.

BENCH MARK:
 DESIGNATION: 3B-114-05
 ELEVATION: 215.369'
 DATUM: NAVD 88
 DESCRIPTION: 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3B-114-05" IN THE SOUTHWESTERLY CORNER OF CATCH BASIN AT THE CROSSING OF THE I-5 FREEWAY AND EL CAMINO REAL, 33 FEET EASTERLY ALONG THE NORTHERLY CURB LINE OF EL CAMINO REAL FROM THE WESTERLY EDGE OF THE I-5 OVERCROSSING.

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF EL CAMINO REAL, AS SHOWN ON THE MAP OF TRACT NO. 851 RECORDED IN BOOK 25, PAGES 40 AND 41, OF TRACT MAPS, BEING:
 NORTH 25°01'30" WEST

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Know what's below.
Call before you dig.

BENCH MARK:
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 ELEVATION: 215.369'
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 NORTH 25°01'30" WEST

REVISIONS				
DATE	NO.	DESCRIPTION	BY	CHK/APP

DESIGN BY: TT
 DRAWN BY: AAJ/TNA
 CHECKED BY: TT
 DATE: 11-20-2020

PLUMP ENGINEERING INC.
 CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, ARCHITECTURAL
 914 E. KATELLA AVENUE
 ANAHEIM, CALIFORNIA 92805
 (714) 385-1835, FAX (714) 385-1834

Tryfon Tryfonopoulos
 TRYFON TRYFONOPOULOS
 11-20-2020
 DATE



SHORELINE DENTAL PARKING IMPROVEMENT

SECTIONS

APPLICATION TYPE:

1409 S EL CAMINO REAL, SAN CLEMENTE, CA 92672

DRAWING NO.

C03

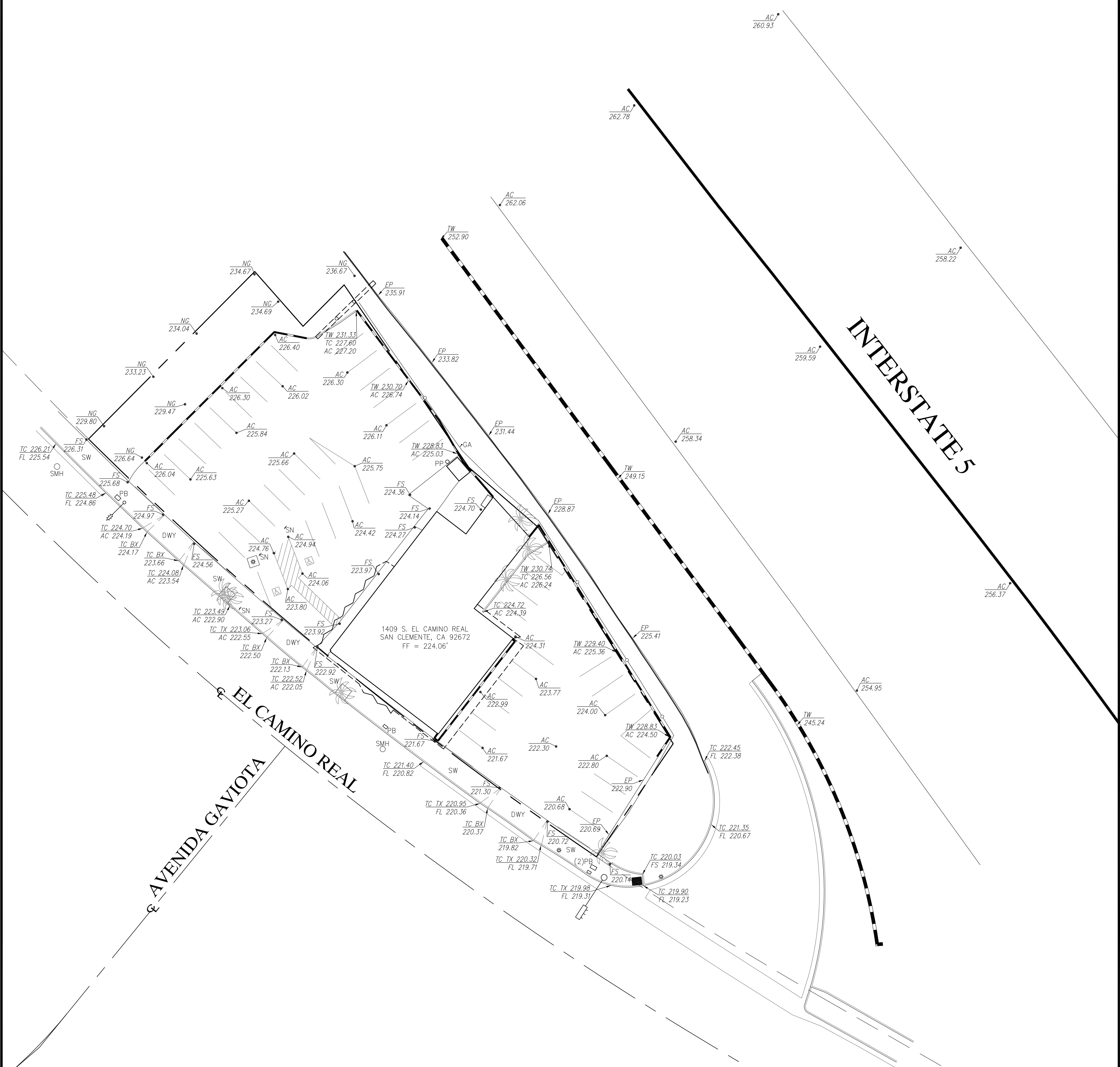
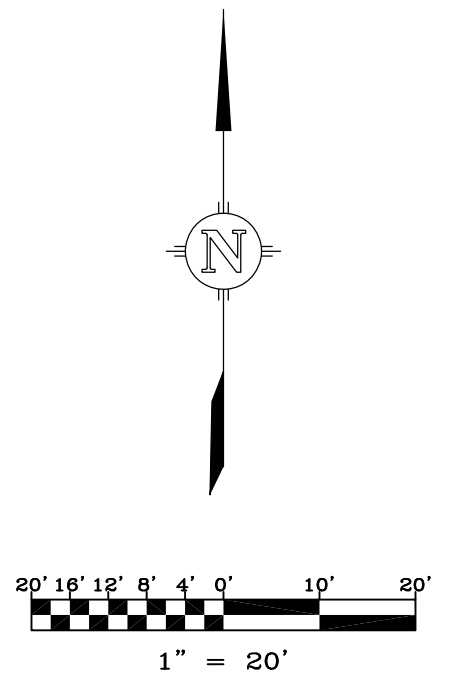
SHEET: 3 OF 3

PROJECT NO.
2001025

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TOPOGRAPHIC SURVEY

1409 S. EL CAMINO REAL, SAN CLEMENTE, CALIFORNIA 92672



1409 S. EL CAMINO REAL
SAN CLEMENTE, CA 92672
FF = 224.06'

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF EL CAMINO REAL, AS SHOWN ON THE MAP OF TRACT NO. 851 RECORDED IN BOOK 25, PAGES 40 AND 41, OF TRACT MAPS, BEING:

NORTH 25°01'30" WEST

BENCHMARK:

DESIGNATION: 3B-114-05
ELEVATION: 215.369'
DATUM: NAVD 88
DESCRIPTION:
3-3/4" OCS ALUMINUM BENCHMARK DISK
STAMPED "3B-114-05" IN THE SOUTHWESTERLY CORNER OF CATCH BASIN AT THE CROSSING OF THE I-5 FREEWAY AND EL CAMINO REAL, 33 FEET EASTERLY ALONG THE NORTHERLY CURB LINE OF EL CAMINO REAL FROM THE WESTERLY EDGE OF THE I-5 OVERCROSSING.

ABBREVIATIONS:

- AC - ASPHALT PAVEMENT
- DWY - DRIVEWAY
- EP - EDGE OF PAVEMENT
- FL - FLOW LINE
- FS - FINISHED SURFACE
- PB - PULLBOX
- PP - POWER POLE
- SMH - SEWER MANHOLE
- SN - SIGN
- SW - SIDEWALK
- TC - TOP OF CURB
- TW - TOP OF WALL

Ethan Remington
ETHAN Z. REMINGTON, L.S. 9220



DATE: APRIL 13, 2020

SHEET OF	1
SCALE:	1" = 20'
DATE:	04/13/2020
FILE NO.	1906015
DRAWN BY:	GSM
CHK'D. BY:	EZR

TOPOGRAPHIC SURVEY

1409 S. EL CAMINO REAL
SAN CLEMENTE, CALIFORNIA 92672

PREPARED FOR: CMM CONSTRUCTION, INC.



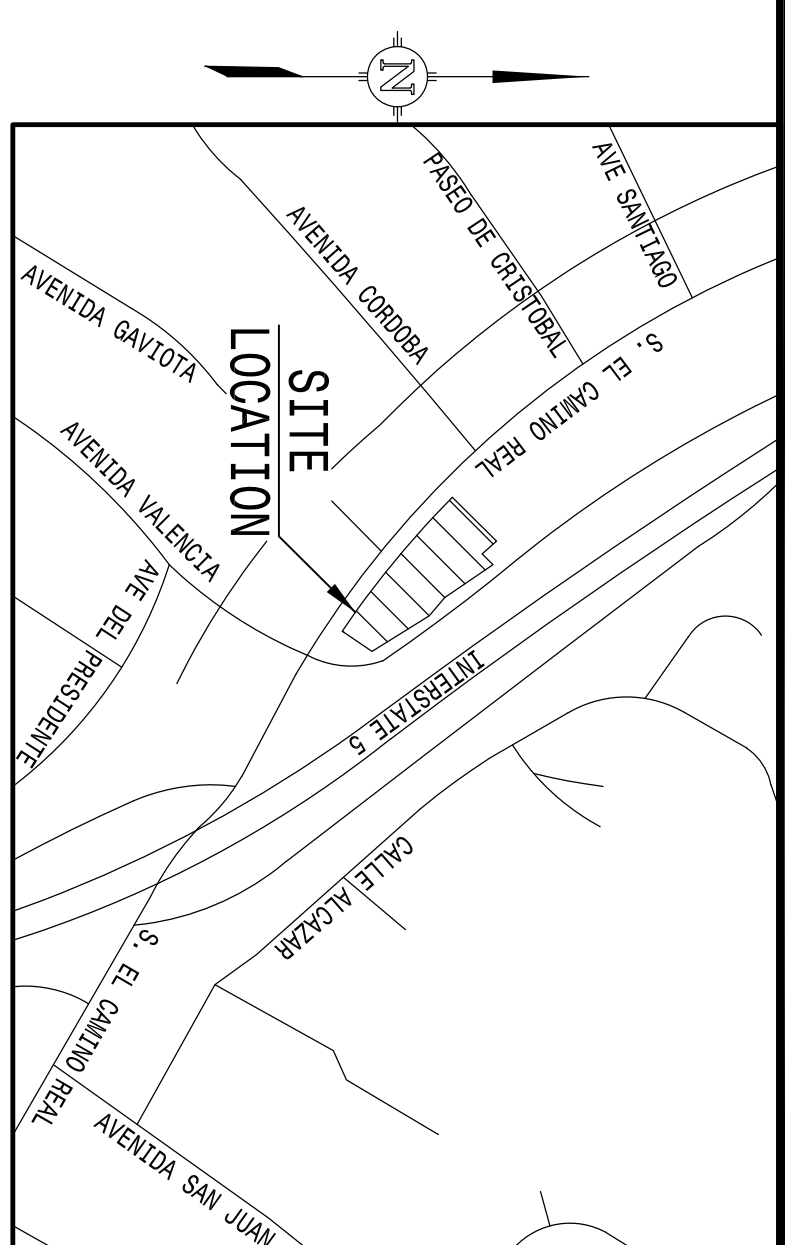
PLUMP ENGINEERING, INC.

CONSULTING ENGINEERS IN CIVIL,
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STRUCTURAL ENGINEERING
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835 FAX (714) 385-1834

REVISIONS:	

ALTA/NSPS LAND TITLE SURVEY

1409 SOUTH EL CAMINO REAL, SAN CLEMENTE, CALIFORNIA 92672



OWNERSHIP:

REFERENCE IS MADE TO THE OWNER'S POLICY OF TITLE INSURANCE ORDER NO. 92011605-920-CMM-CMB PREPARED BY COMMONWEALTH LAND TITLE COMPANY, DATED JANUARY 17, 2020.

THE FORM OF POLICY OF TITLE INSURANCE CONTEMPLATED BY THIS REPORT IS:

CMA STANDARD COVERAGE POLICY OF TITLE INSURANCE (4-9-14)

THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A FEE AS TO PARCEL 1; EASEMENT MORE FULLY DESCRIBED BELOW AS TO PARCEL 2

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

MF LEGACY, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF SAN CLEMENTE, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 1, 2, 3, AND 20 IN BLOCK 6 OF TRACT NO. 851, SAN CLEMENTE, THE SPANISH VILLAGE, IN THE CITY OF SAN CLEMENTE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGES 40 AND 41 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THOSE PORTIONS OF SAID LOTS 3 AND 20 DESCRIBED AS A WHOLE AS FOLLOWS:

④ BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT 20; THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 20, SOUTH 44°25'42" EAST, 122.237 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 20; THENCE SOUTH 38°54'24" WEST, 44.78 FEET ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 20 AND 3; THENCE NORTH 37°08'55" WEST, 131.93 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 20; THENCE ALONG SAID NORTHWESTERLY LINE, NORTH 45°34'18" EAST, 14.06 FEET TO THE POINT OF BEGINNING, AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 20, 1954 IN BOOK 2830, PAGE 133 OF OFFICIAL RECORDS.

⑤ THOSE PORTIONS OF LOT 4 AND 5 IN BLOCK 6 OF TRACT NO. 851, AS SHOWN ON MAP RECORDED IN BOOK 25, PAGES 40 AND 41 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY INCLUDED WITHIN THE FOLLOWING DESCRIBED BOUNDARIES:

⑦ BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 4; THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 4, NORTH 36°54'13" EAST, 96.89 FEET; THENCE SOUTH 37°05'4" EAST, 224.33 FEET TO THE SOUTHWESTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF LOT 1, IN BLOCK 7 OF SAID TRACT; THENCE ALONG SAID PROLONGATION SOUTH 30°54'07" WEST, 512 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE ALONG SAID NORTHWESTERLY LINE OF SAID BLOCK 6, SAID SOUTHWESTERLY LINE BEING A CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1600.00 FEET; THENCE ALONG SAID CURVE FROM A TANGENT WHICH BEARS NORTH 59°35'53" WEST, THROUGH AN ANGLE OF 08°20'06", AN ARC DISTANCE OF 712.38 FEET TO THE POINT OF THE BEGINNING.

⑧ ALSO EXCEPTING FROM SAID LAND THOSE PORTIONS OF LOTS 2, 3, 4, 5, 6 AND 20 DESCRIBED AS FOLLOWS:

⑨ BEGINNING AT A POINT IN THE CENTERLINE OF EL CAMINO REAL, 80 FEET WIDE, SHOWN AS CALIFORNIA STATE HIGHWAY ON SAID MAP, WHICH POINT IS THE NORTHWESTERLY TERMINUS OF THAT CERTAIN CURVE IN SAID CENTERLINE SHOWN AS HAVING A BEARING OF SOUTH 60°13'30" EAST AND A LENGTH OF 1119.80 FEET ON SAID MAP FOR PURPOSES OF THIS DESCRIPTION SAID CERTAIN CURVE IS TAKEN AS HAVING A BEARING OF SOUTH 59°25'53" EAST; THENCE NORTHWESTERLY ALONG A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1500.00 FEET, THROUGH AN ANGLE OF 04°22'19", AN ARC DISTANCE OF 114.46 FEET; THENCE ALONG A RADIAL LINE OF SAID CURVE, NORTH 34°56'26" EAST, 40.00 FEET TO THE SOUTHWESTERLY LINE OF SAID LOT 6 AND THE TRUE POINT OF BEGINNING; THENCE NORTH 34°56'26" EAST, 56.44 FEET; THENCE NORTH 37°09'14" WEST, 105.00 FEET; THENCE NORTH 48°21'14" WEST, 37.82 FEET; THENCE NORTH 33°34'03" WEST, 90.33 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 20; THENCE ALONG SAID NORTHWESTERLY LINE, NORTH 45°32'37" EAST, 15.38 FEET TO THE MOST WESTERLY CORNER OF THE PARCEL OF LAND CONVEYED TO STATE OF CALIFORNIA BY DEED RECORDED IN BOOK 2830, PAGE 133 OF OFFICIAL RECORDS, IN SAID OFFICE; THENCE SOUTHWESTERLY, ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL OF LAND TO THE NORTHWESTERLY LINE OF SAID LOT 4; THENCE NORTHWESTERLY ALONG SAID NORTHWESTERLY LINE TO THE MOST NORTHERLY CORNER OF LAND DESCRIBED IN DEED FROM THE STATE OF CALIFORNIA RECORDED IN BOOK 5442, PAGE 523 OF SAID OFFICIAL RECORDS; THENCE SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF SAID LAST-MENTIONED PARCEL OF LAND, TO THE SOUTHWESTERLY LINE OF SAID LOT 6; THENCE SOUTHWESTERLY, WESTERLY, AND NORTHWESTERLY, ALONG THE SOUTHWESTERLY, SOUTHERLY, AND SOUTHWESTERLY LINES OF SAID LOT 6 TO THE TRUE POINT OF BEGINNING.

⑩ EXCEPTING AND RESERVING UNTO THE STATE OF CALIFORNIA ANY AND ALL LEGAL RIGHTS OF EGRESS TO OR EGRESS FROM THE LAND CONVEYED OVER AND ACROSS THE NORTHWESTERLY LINE THEREOF, IN DEED RECORDED FEBRUARY 27, 1991 IN BOOK 13962, PAGE 468 OF OFFICIAL RECORDS.

⑪ IT IS THE PURPOSE OF THE FOREGOING EXCEPTION AND RESERVATION TO PROVIDE THAT NO EASEMENT OF ACCESS SHALL ATTACH OR BE APPURTENANT TO THE PROPERTY HEREBY CONVEYED, BY REASON OF THE FACT THAT THE SAME ABUTS UPON A PUBLIC HWY AND UPON A STATE HIGHWAY, WITH ACCESS ONLY TO THE STATE HIGHWAY BEING RESTRICTED.

⑫ PARCEL 2:

AN EASEMENT FOR THE (S) PARKING SPACES, IN THE CITY OF SAN CLEMENTE, COUNTY OF ORANGE, STATE OF CALIFORNIA, BEING A PORTION OF LOT 5 IN BLOCK K, TRACT NO. 851, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGES 40 AND 41 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, ALSO KNOWN AS AVENIDA CORONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

⑭ BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 5, SAID POINT BEING IN A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 1600.00 FEET; A RADIAL LINE THROUGH SAID POINT BEARS SOUTH 42°39'25" WEST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°47'05" AN ARC LENGTH OF 43.48 FEET; THENCE NOK-NORTH TO SAID CURVE NORTH 44°46'30" EAST, 97.6 FEET; THENCE SOUTH 47°27'49" EAST, 30.06 FEET TO A POINT IN THE NORTHWESTERLY LINE OF LOT 1, BLOCK 6 OF SAID TRACT NO. 851; THENCE ALONG SAID NORTHWESTERLY LINE SOUTH 44°46'30" WEST, 79.49 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERNLY AND HAVING A RADIUS OF 15.00 FEET; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°47'05" AN ARC LENGTH OF 24.03 FEET TO THE POINT OF BEGINNING, AS GRANTED IN DEED RECORDED NOVEMBER 7, 1988 AS INSTRUMENT NO. 88-572865 OF OFFICIAL RECORDS.

⑮ APLV 692-131-07

TITLE POLICY EXCEPTIONS:

REFERENCE IS MADE TO THE OWNER'S POLICY OF TITLE INSURANCE ORDER NO. 92011605-920-CMM-CMB PREPARED BY COMMONWEALTH LAND TITLE COMPANY, DATED JANUARY 17, 2020.

⑦ DENOTES PLOTTED HEREON.

① WATER RIGHTS CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

② EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT:

RECORDING DATE: PLE LINES AND CONDUITS

RECORDING NO.: OCTOBER 26, 1928

AFFECTS: IN BOOK 289, PAGE 339 OF OFFICIAL RECORDS

③ COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT:

RECORDING DATE: A PORTION OF SAID LAND

RECORDING NO.: FEBRUARY 3, 1931

AFFECTS: IN BOOK 352, PAGE 281 OF OFFICIAL RECORDS

④ SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE TEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

⑤ SAID INSTRUMENT PROVIDES OR ESTABLISHES: AN EASEMENT FOR PUBLIC UTILITIES OVER THE REAR 5 FEET OF LOT 3

⑥ SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE TEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

⑦ SAID INSTRUMENT PROVIDES OR ESTABLISHES: AN EASEMENT FOR PUBLIC UTILITIES OVER THE REAR 5 FEET OF LOTS 1 AND 2

⑧ COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT:

RECORDING DATE: SEPTEMBER 3, 1946

AFFECTS: IN BOOK 1454, PAGE 61 OF OFFICIAL RECORDS

⑨ SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE TEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

⑩ SAID INSTRUMENT PROVIDES OR ESTABLISHES: AN EASEMENT FOR PUBLIC UTILITIES OVER THE REAR 5 FEET OF LOT 4

⑪ THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND.

⑫ SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT:

RECORDING DATE: SEPTEMBER 30, 1994

AFFECTS: IN BOOK 2830, PAGE 133 OF OFFICIAL RECORDS

⑬ COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT:

RECORDING DATE: SEPTEMBER 3, 1946

AFFECTS: IN BOOK 1454, PAGE 61 OF OFFICIAL RECORDS

⑭ SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE TEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

⑮ SAID INSTRUMENT PROVIDES OR ESTABLISHES: AN EASEMENT FOR PUBLIC UTILITIES OVER THE REAR 5 FEET OF LOT 4

⑯ THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHT OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND.

⑰ SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT:

RECORDING DATE: FEBRUARY 27, 1991

AFFECTS: IN BOOK 13962, PAGE 468 OF OFFICIAL RECORDS

⑱ SAID LAND, HOWEVER, ABUTS ON A PUBLIC THROUGHFARE, OTHER THAN THE ONE REFERRED TO ABOVE, OVER WHICH THE RIGHTS OF VEHICULAR ACCESS HAVE NOT BEEN RELINQUISHED.

⑲ PLEASE BE ADVISED THAT OUR RESEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.

⑳ ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS:

⑲ THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS FROM COVERAGE.

⑳ THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

㉑ DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA ENCLOSUREMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT KNOWN BY THE PUBLIC RECORDS:

⑲ ANY EASEMENT NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS OF AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.

⑲ MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

GENERAL NOTES:

ASSESSOR'S PARCEL NUMBER: 692-131-07

UNAUTHORIZED REUSE OF THIS ALTA SURVEY OR THE INFORMATION CONTAINED HEREON IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF PLUMP ENGINEERING, INC.

NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE POLICY OF TITLE INSURANCE USED FOR THIS SURVEY ARE ASSUMED BY THIS MAP OR THE SURVEYOR.

THE SITE IS CURRENTLY A RESTAURANT WITH PARKING ON LOT 30.

THIS MAP WAS COMPILED FROM A GROUND SURVEY COMPLETED ON DECEMBER 01, 2017.

LOCATIONS OF THE UTILITIES SHOWN ON THIS MAP ARE BASED ON VISIBLE ABOVE GROUND EVIDENCE.

THERE IS NO VISIBLE EVIDENCE THAT THE SITE HAS BEEN USED FOR A DUMP, LANDFILL OR SUMP.

THERE IS NO EVIDENCE OF RECENT EARTH MOVING, STREET AND SIDEWALK REPAIR AND BUILDING DEMOLITION WITHIN THE LAST YEAR.

THERE IS NO EVIDENCE THAT THE SITE IS LOCATED WITHIN A WETLANDS CONDITION.

ZONING INFORMATION:

INFORMATION GATHERED FROM CITY OF SAN CLEMENTE'S MUNICIPAL CODE TITLE 17 - ZONING, CHAPTER 17.26 - COMMERCIAL ZONES AND STANDARDS, TABLE 17.26.030 E - NCC DEVELOPMENT STANDARDS

ZONE NCC - NEIGHBORHOOD COMMERCIAL

SETBACKS:

FRONT: NONE

SIDE: NONE

REAR: NONE

HEIGHT LIMITATIONS:

1. 33 FEET TOP OF ROOF, 26 FEET PLATE, 2 STORIES, AND

2. FOR PROPERTIES ALONG SOUTH EL CAMINO REAL, PROJECTS SHALL BE AT THE SAME ELEVATION OR LOWER THAN THE INTERSTATE-5 HIGHWAY. THE INTERSTATE-5 HIGHWAY ELEVATIONS IS MEASURED WHERE THE CENTER OF SOUTHBOUND TRAVEL LINES INTERSECTS A STRAIGHT LINE DRAWN THROUGH THE MIDPOINT OF THE REAR PROPERTY LINE AND MIDPOINT OF THE FRONT PROPERTY LINE, WITH THE APPROVAL OF A CONDITIONAL USE PERMIT. PROJECTS MAY EXCEED THE INTERSTATE-5 ELEVATION, PROVIDED THE REVIEW AUTHORITY MEETS THE GENERAL FINDINGS FOR A CONDITIONAL USE PERMIT.

SURVEYOR'S CERTIFICATE:

CERTIFIED TO:

(A) CMM CONSTRUCTION, INC.

(B) MF LEGACY, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

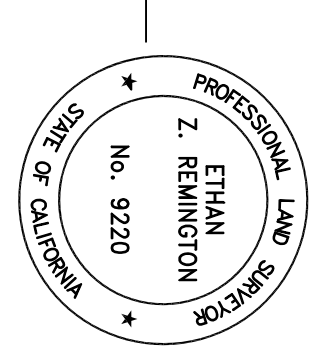
(C) COMMONWEALTH LAND TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS THE FIELDWORK WAS COMPLETED ON JUNE 27 2019.

Ethan Z. Remington

ETHAN Z. REMINGTON, L.S. 9220

DATE: APRIL 13, 2020



REVISIONS:

PLUMP ENGINEERING, INC.
CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, SURVEYING, AND ARCHITECTURAL.
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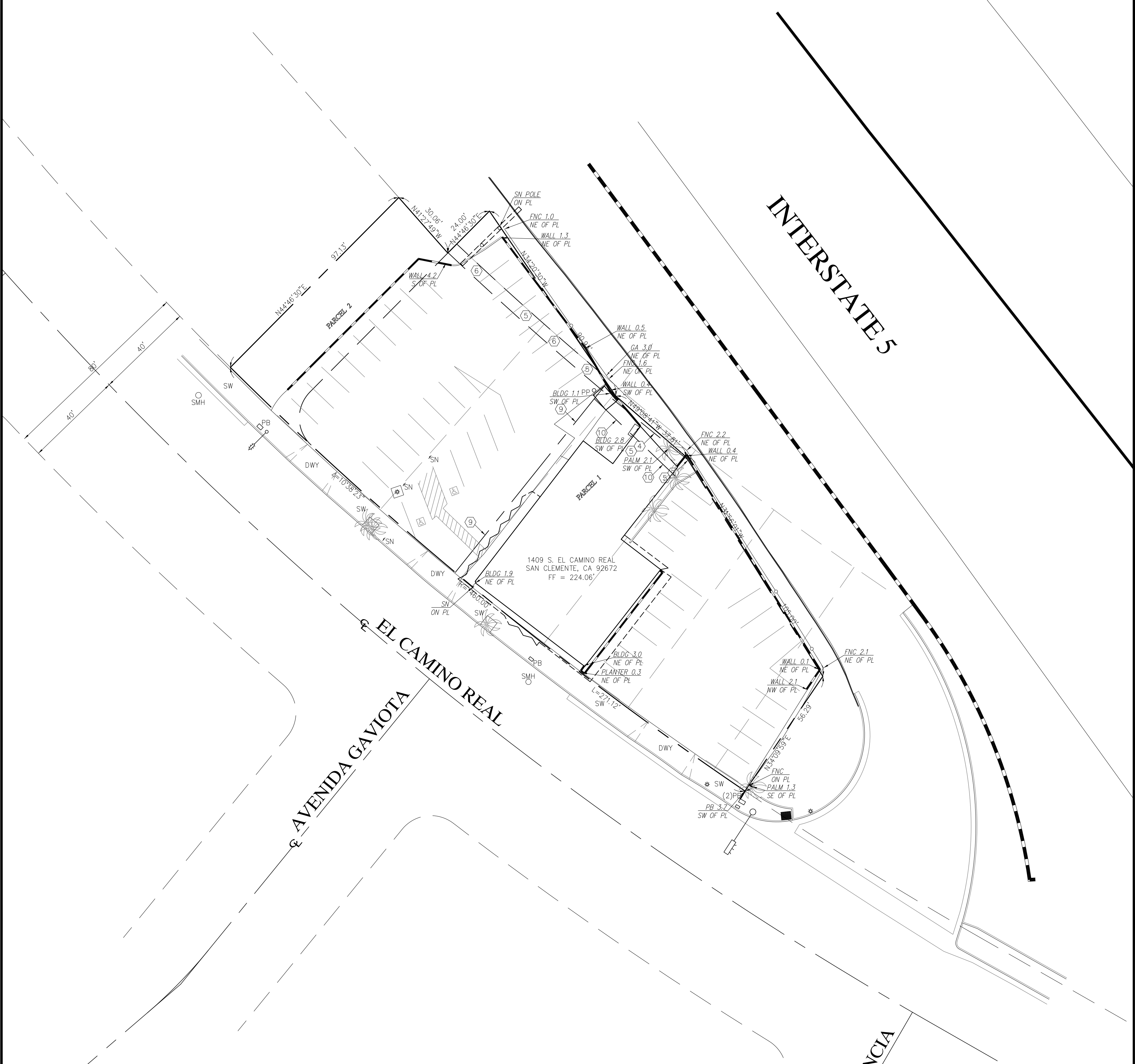
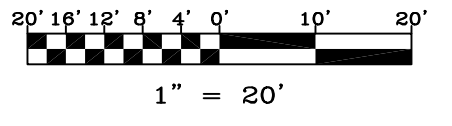
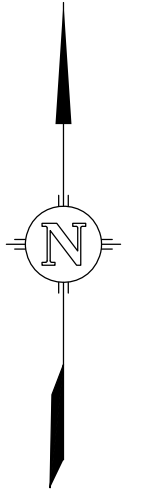
ALTA/NSPS LAND TITLE SURVEY
1409 SOUTH EL CAMINO REAL
SAN CLEMENTE, CALIFORNIA 92672

PREPARED FOR: CMM CONSTRUCTION, INC.

SHEET OF	SCALE:	N/A
	DATE:	04/13/2020
FILE NO.	DRAWN BY:	GSM
	CHK'D. BY:	EZR

ALTA/NSPS LAND TITLE SURVEY

1409 SOUTH EL CAMINO REAL, SAN CLEMENTE, CALIFORNIA 92672



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF EL CAMINO REAL, AS SHOWN ON THE MAP OF TRACT NO. 851 RECORDED IN BOOK 25, PAGES 40 AND 41, OF TRACT MAPS, BEING:

NORTH 25°01'30" WEST

BENCHMARK:

DESIGNATION: 38-114-05
 ELEVATION: 215.369'
 DATUM: NAVD 88
DESCRIPTION:
 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "38-114-05" IN THE SOUTHWESTERLY CORNER OF CATCH BASIN AT THE CROSSING OF THE I-5 FREEWAY AND EL CAMINO REAL, 33 FEET EASTERLY ALONG THE NORTHERLY CURB LINE OF EL CAMINO REAL FROM THE WESTERLY EDGE OF THE I-5 OVERCROSSING.

ABBREVIATIONS:

- AC - ASPHALT PAVEMENT
- DWY - DRIVEWAY
- FF - FINISHED FLOOR
- FNC - FENCE
- FS - FINISHED SURFACE
- GA - GUY ANCHOR
- PB - PULLBOX
- PP - POWER POLE
- SMH - SEWER MANHOLE
- SN - SIGN
- SW - SIDEWALK

SHEET OF	2	SCALE:	1" = 20'
FILE NO.	2001024	DATE:	04/13/2020
		DRAWN BY:	GSM
		CHK'D. BY:	EZR

ALTA/NSPS LAND TITLE SURVEY

1409 SOUTH EL CAMINO REAL
 SAN CLEMENTE, CALIFORNIA 92672

PREPARED FOR: CMM CONSTRUCTION, INC.



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REVISIONS: