



## STAFF REPORT

# SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: 3/5/2020

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**PLANNER:** Erin Guy, Community Development Technician

**SUBJECT:** **Staff Waiver of Minor Architectural Permit 19-409 and Minor Exception Permit 19-410, Carr Addition,** a request to consider approximately 250 square feet of single-story additions to a legal nonconforming single family home. The addition would continue an existing 3-foot side yard setback where 5 feet is required.

**LOCATION:** 112 East Escalones

**ZONING/GENERAL PLAN:** The residence is located in the Residential Medium Density Zone and the Residential Medium Low land use designation of the General Plan.

### **PROJECT SUMMARY:**

- The subject property is a 4,000 square foot lot. A one-story 926 square foot single-family residence with an attached 189 square foot garage was originally built on the lot in 1953. The residence is nonconforming with a side yard setback of 3 feet where 5 feet is required. Figure 1 on the following page illustrates the existing site conditions.
- The proposed project includes the addition of 248 square feet at the rear of the home to include a new master bathroom and walk in closet. The proposed additions continue the nonconforming side yard setback of 3 feet along the southwest property line. The project has a proposed height of 14 feet, where a 25 foot height maximum is permitted. The addition increases the gross floor area of the nonconforming structure by 27 percent. The additions and remodel modify the structural frame of less than 50 percent of the existing exterior walls. The proposed lot coverage is 38 percent where 55 percent is allowed.
- The project also includes the addition of a rooftop deck at the rear of the property, directly above the new addition space.
- The proposed project does not include any exterior changes to existing materials, and the new addition will match the architecture of the tan stucco siding and white trim of the existing structure. The existing stucco and white trim is compatible with other structures in the neighborhood, including the existing residences immediately adjacent to the subject site at 114 and 110 East Escalones, both of which utilize stucco siding with colored trim.

- Zoning Ordinance Section 17.16.090C requires Zoning Administrator approval for Minor Exception Permits (MEP) to allow the continuation of a legal nonconforming side yard setback up to within 30 inches of the property line.
- Per Section 17.16.110.C.e, the project is eligible for a Staff Waiver of a Minor Architectural Permit (MEP) because the addition does not exceed 500 square feet or increase the residence's height. The City Planner is designated to act on Staff Waivers; however, when multiple applications are reviewed, they are processed concurrently with a decision made by the highest review authority, per Section 17.12.090. For this project, the highest review authority is the Zoning Administrator for the MEP.

**Figure 1 – Existing Site Conditions**



- The Development Management Team (DMT) reviewed the project and recommends approval with the conditions provided in Exhibit A of Attachment 1.
- Staff believes the required findings can be made to approve the project, as set forth in the Findings of the attached Resolution, because:
  - The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home. The project is similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with General Plan residential land uses goals.
  - The architectural treatment of the project complies with the General Plan, Zoning Ordinance, and the City's Design Guidelines, since the addition is in character with the scale and massing of buildings in the neighborhood. The proposed addition

continues the one-story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences.

- The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones, which maintains a legal nonconforming side yard setback of 4 feet.
- The addition expands the floor space less than 50 percent, and modifies exterior walls less than 50 percent. Therefore, the project may maintain the existing nonconforming side yard setback.

### **RECOMMENDATIONS**

Based on the information in the staff report and subject to the required findings and conditions of approval, staff recommends that the Zoning Administrator:

1. Determine the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities); and
2. Adopt Resolution ZA 20-008, approving Staff Waiver of Minor Architectural Permit (MAP) 19-409 and Minor Exception Permit (MEP) 19-410, Carr Addition, subject to the conditions of approval.

### ***Attachments:***

1. Resolution ZA 20-008  
Exhibit A - Conditions of Approval
2. Location Map
3. Plans

# ATTACHMENT 1

## RESOLUTION NO. ZA 20-008

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING STAFF WAIVER OF MINOR ARCHITECTURAL PERMIT 19-409 AND MINOR EXCEPTION PERMIT 19-410, CARR ADDITION, A REQUEST TO EXPAND A LEGAL NONCONFORMING SINGLE-FAMILY RESIDENCE AT 112 EAST ESCALONES THAT REQUESTS TO CONTINUE A LEGAL NONCONFORMING INTERIOR SIDE YARD SETBACK OF 3 FEET WHERE 5 FEET IS REQUIRED

WHEREAS, on November 4, 2019, an application was submitted by applicant Chris Foerstel of 949 Calle Amanecer, Unit C, San Clemente, CA 92672, and deemed complete on January 30, 2020 for Staff Waiver of Minor Architectural Permit 19-409 and Minor Exception Permit 19-410, a request to expand a legal nonconforming single-family residence and continue a legal nonconforming side yard setback, located at 112 East Escalones. The subject site is in the Residential Medium Density zoning district of the General Plan. The site's legal description is Lot 29, Tract 793, Block 4 and Assessor's Parcel Number 057-156-10; and

WHEREAS, the Planning Division completed an initial environmental assessment of the above matter in accordance with California Environmental Quality Act (CEQA) and recommends that the Zoning Administrator determine this project is categorically exempt from CEQA as a Class 1 exemption pursuant to CEQA Guidelines Section 15301(e) because the project proposes an addition to a single-family home in an urban area that involves a negligible expansion of an existing use; and

WHEREAS, on November 27, 2019, and January 30, 2020, the City's Development Management Team reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable requirements; and

WHEREAS, in accordance with City and State requirements, notice of the public hearing was published in the *San Clemente Times* newspaper on February 20, 2020, posted at the project site, and mailed to all property owners within 300 feet of the subject parcel; and

WHEREAS, on March 5, 2020, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, the Zoning Administrator of the City of San Clemente hereby resolves as follows:

Section 1. Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities). This exemption covers, but is not limited to, interior or exterior alterations, additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. Here, the proposed project involves the expansion of living space by 248 square feet to an existing nonconforming single-family residence. The overall project is a 27 percent (248 sq. ft. of 926 sq.ft.) expansion of the existing single-family residence's gross floor area, and will not increase the floor area of the structure by more than 50 percent of the existing floor area, or more than 2,500 square feet. The project does not change the existing use of the site. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines Section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time, given the proposed use is consistent with General Plan policies and Zoning regulations, which were studied and addressed in the General Plan EIR. Development of the site is limited by standards for density, setbacks, lot coverage, parking, height, etc. There are no unusual circumstances surrounding the project that result in a reasonable possibility of a significant effect on the environment. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. Thus, the Class 1 exemption applies, and no further environmental review is required.

Section 3. Staff Waiver of a Minor Architectural Permit Findings

With respect to Staff Waiver of a Minor Architectural Permit (MAP) 19-409, the Zoning Administrator finds as follows:

- A. The architectural treatment of the project complies with the San Clemente General Plan, in that:
  1. The General Plan Land Use Element encourages *“a mix of residential neighborhoods and housing types that meets the diverse economic and physical needs of residents, that is compatible with existing neighborhoods and the surrounding environmental setting, and that reflects community expectations for high quality.”* The project's size, scale, architecture,

setbacks, and materials are consistent with development standards and design guidelines, aside from the requested exception to continue the existing legal nonconforming side yard setback along the south west property line. The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with General Plan residential land uses goals.

2. Land Use Element Policy LU-1.06, Residential Infill, states: *“We require that new residential development be compatible with adjacent structures and land uses and we require: ... b) use of complementary building materials, colors, and forms, while allowing flexibility for distinguished design solutions.”* The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences. Therefore, the project is consistent with Policy LU-1.06.
- B. The architectural treatment of the project complies with the Zoning Code in areas including, but not limited to height, setback, color, etc., in that:
1. General Plan Urban Design Policy UD-5.10 encourages *“the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan, and or area plan.”* The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with Policy UD-5.10.
  2. The building’s scale and massing are in character with and compatible with adjacent properties in that the project will maintain a similar massing as seen from the public right of way as the property immediately adjacent at 110 East Escalones. The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences.
- C. The architectural treatment of the project complies with the architectural guidelines in the City’s Design Guidelines in that:
1. The project demonstrates *“sensitivity to the contextual influences of adjacent properties and the neighborhood”* per the requirements of General Design Guidelines II.B and II.B.3. The project is consistent with this policy because it is in character with the scale and size of one-and two-story

houses in the neighborhood. The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences. Therefore, the project is consistent with the City of San Clemente Design Guidelines.

- D. The general appearance of the proposal is in keeping with the character of the neighborhood in that:
1. The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones.
  2. The building's scale, massing, and setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.
- E. The proposal is not detrimental to the orderly and harmonious development of the City in that:
1. The proposal involves the expansion of an existing home on a developed site in an urban area. The proposed project complies with all applicable development standards, with the exception of the existing legal nonconforming side yard setbacks along both property lines, and the proposed continuation of the legal nonconforming setback along the south west property line, and is in keeping with the architectural style of the neighborhood and the City's design guidelines.

#### Section 4. Minor Exception Permit Findings

With respect to Minor Exception Permit (MEP) 19-410, the Zoning Administrator finds as follows:

- A. The approval of the Minor Exception Permit will not interfere with the purpose of the zone or the standards of the zone, in that:
1. Aside from the existing legal nonconforming side yard setbacks along both property lines and the minor exception requested to continue the legal nonconforming setback along the south west property line, the project meets all applicable development standards for the zone, including maximum lot coverage and maximum allowed height.
  2. The building's scale, massing, and setbacks are in character with and compatible with adjacent properties, including the property immediately

adjacent at 110 East Escalones which incorporates similar elements like tan stucco siding. There are one-and two-story houses in the area, with a two-story structure immediately adjacent to the site.

- B. The neighboring properties will not be adversely affected as a result of the approval of the Minor Exception Permit, in that:
1. The scale and massing of the proposed project are in character with the surrounding one-and two-story developments in the neighborhood.
  2. The continuation of the nonconforming setback is for an addition that is in the rear of the property.
  3. The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.
- A. The approval of the minor exception will not be detrimental to the health, safety or welfare of the general public in that:
1. The scale and massing of the proposed project are in character with development in the neighborhood. The project maintains the density of the property as a single family residence in an area that allows for multi-unit developments.
  2. The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.

Section 5. Zoning Administrator Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Staff Waiver of Minor Architectural Permit 19-409 and Minor Exception Permit 19-410, Carr Addition, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San Clemente Zoning Administrator on March 5, 2020.

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Cecilia Gallardo-Daly, Zoning Administrator



CONDITIONS OF APPROVAL  
 STAFF WAIVER OF MINOR ARCHITECTURAL PERMIT 19-409 AND  
 MINOR EXCEPTION PERMIT 19-410, CARR ADDIITON

**1.0 GENERAL CONDITIONS OF APPROVAL**

- |     |   |            |
|-----|---|------------|
| 1.1 | Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner.  | Planning   |
| 1.2 | The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs, The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense. | Planning   |
| 1.3 | Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180.  | Planning   |
| 1.4 | The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws.  | All        |
| 1.5 | SWMAP 19-409 and MEP 19-410 shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150.  | Planning   |
| 1.6 | A Building Permit is required. Plans to construct new building, add or alter the existing building configuration, change in use, add or alter structural, mechanical, electrical or plumbing features of the  | Building** |

project must be reviewed and approved through the building plan check / permit process. *S.C.M.C Title 15 Building Construction - Chapters and codes applicable to this project*

- 1.7 Prior to issuance of building permits, applicant shall secure all utility agencies approvals for the proposed project. Building\*\*
- 1.8 Prior to the issuance of building permits, the owner or designee shall pay all applicable development fees in effect at the time, which may include, but are not limited to, Regional Circulation Financing and Phasing Program (RCFPP), park acquisition and development, water and sewer connection, drainage, Public Facility Construction, transportation corridor, Avenida La Pata Supplemental Road Fee and school fees, etc. Building\*\*

**4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS**

- 4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution. Planning

**Improvements**

- 4.13 In the event the project Building Permit valuations are \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following: Public Works\*\*
  - A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach to meet current City standards (2% cross fall) when adequate right-of-way exists. Since the street right-of-way is approximately 10 feet behind the curbface, a sidewalk easement is not anticipated to be required to be granted to the City.
  - B. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector.

(SCMC Chapter 15.36 and Sections 12.08.010, and 12.24.050)

- 4.14 All waste bins must be substantially hidden from view from any public street. Public Works \*\*

**7.0 OPERATIONAL CONDITIONS**

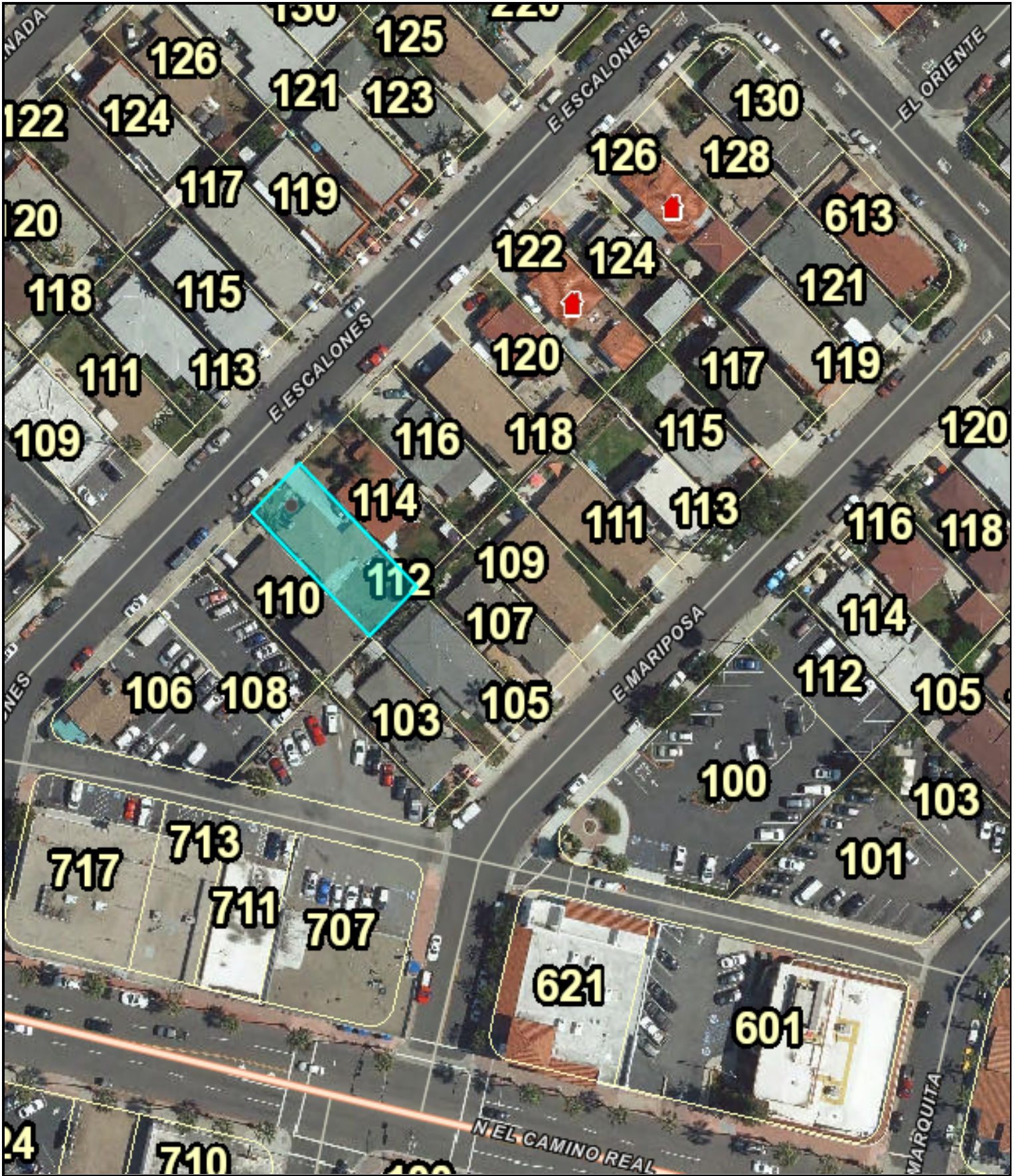
- 7.17 The Applicant (including any property owners and managers, and their designees) shall use her/his best judgment and best management practices to ensure residential activities on the premises will be conducted in a manner that will not be disruptive Code Comp \*\*

to neighbors. The property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, "It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval," and any subsequent revision of this section of the code. *[Citation - Section 8.52.030(Y) of the SCMC]*

- 7.18 The Applicant (including any property owners and managers, and their designees) shall ensure that discharge of washwater and other pollutants is prohibited from entering the storm drain system. Applicant must prevent pollutants (e.g. sediment, trash, food waste etc.) and any washwater used during cleanup from entering the storm drain system.

Code  
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WQ  
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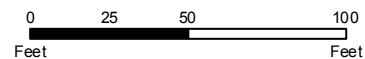
\* Denotes a modified Standard Condition of Approval  
 \*\* Denotes a project-specific Condition of Approval



**City of San Clemente**

Project: SWMAP 19-409/MEP19-410

Address: 112 East Escalones





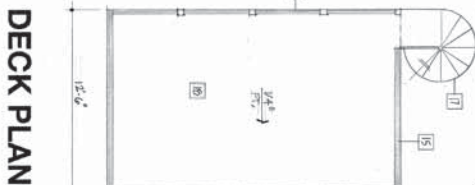




WINDOWS:  
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ELECTRICAL CONDUCTORS USED TO CARRY CURRENT SHALL BE COPPER

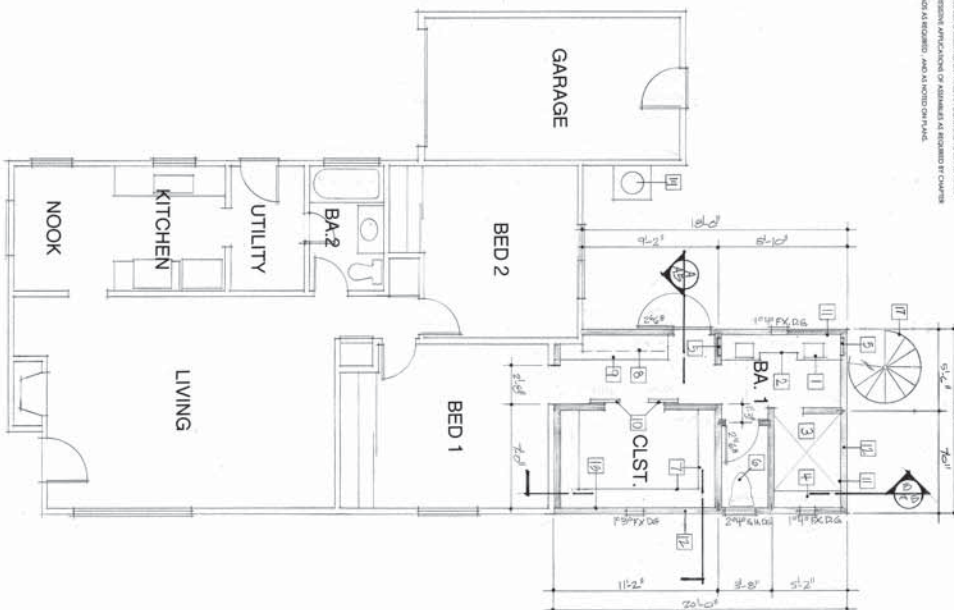
WESTCOAT WATERPROOF MEMBRANE WALKING DECK SURFACE  
ICC-ESR-2201



FLOOR PLAN NOTES:

- NOTE: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL APPLICABLE REGULATIONS. ALL FINISHES SHALL BE COMPATIBLE WITH THE SUBSTRATE AND MEET ALL APPLICABLE REGULATIONS. ALL FINISHES SHALL BE COMPATIBLE WITH THE SUBSTRATE AND MEET ALL APPLICABLE REGULATIONS. ALL FINISHES SHALL BE COMPATIBLE WITH THE SUBSTRATE AND MEET ALL APPLICABLE REGULATIONS.
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FLOOR PLAN



0730 CAULKING AND SEALANTS

1. CAULKING OF GLAZING, SPURRING, SILLING AND JAMB JOINTS SHALL BE TO MEET THE MANUFACTURER'S RECOMMENDATIONS.
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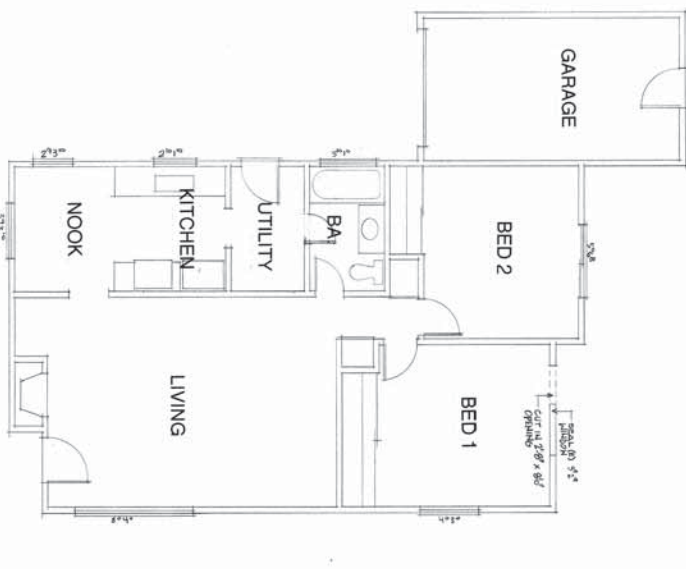
0730 TILE WORK

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0740 PAINTING AND FINISHING

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17. ALL INTERIOR WALLS SHALL BE PAINTED WITH A QUALITY INTERIOR PAINT.
18. ALL INTERIOR WALLS SHALL BE PAINTED WITH A QUALITY INTERIOR PAINT.
19. ALL INTERIOR WALLS SHALL BE PAINTED WITH A QUALITY INTERIOR PAINT.
20. ALL INTERIOR WALLS SHALL BE PAINTED WITH A QUALITY INTERIOR PAINT.

EXISTING/DEMO PLAN





**0910 LATH AND PLASTER**

1. EXISTING LATH AND PLASTER TO REMAIN.
2. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
3. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
4. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
5. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
6. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
7. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
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9. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
10. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
11. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
12. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.
13. REMOVE AND REPAIR DAMAGED LATH AND PLASTER TO MATCH ADJACENT AREAS.

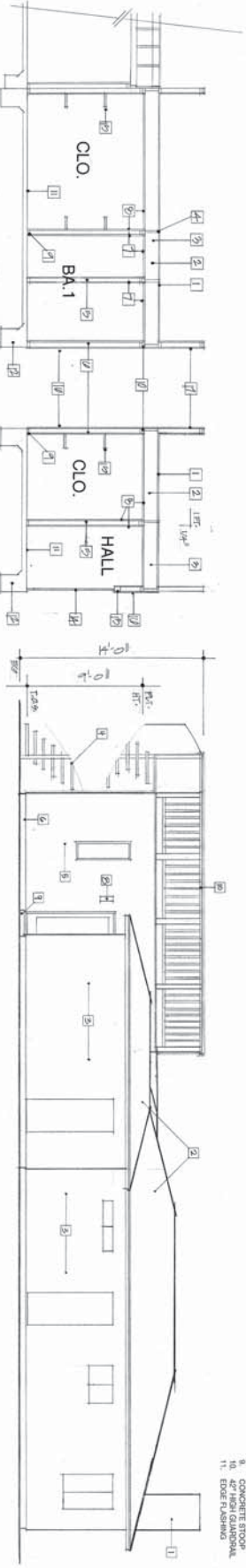
**0330 SHEET METAL AND MISCELLANEOUS METALS**

1. EXISTING SHEET METAL TO REMAIN.
2. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
3. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
4. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
5. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
6. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
7. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
8. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
9. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
10. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
11. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
12. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.
13. REMOVE AND REPAIR DAMAGED SHEET METAL TO MATCH ADJACENT AREAS.

**ELEVATION NOTES:**

NOTE:  
HOUSE NUMBER SHALL BE MOUNTED TO THE HOUSE AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRASTING COLOR, 4" TALL MIN.

1. EXISTING CHIMNEY
2. EXISTING ROOFING
3. EXISTING HOUSE
4. STUCCO TO MATCH EXISTING COLOR AND TEXTURE
5. CRACKER
6. LIGHT FIXTURE
7. LIGHT FIXTURE
8. 42" HIGH GLAZED
9. 42" HIGH GLAZED
10. 42" HIGH GLAZED
11. EDGE FLASHING



**SECTION B**

**SECTION A**

**EAST ELEVATION**

**SOUTH ELEVATION**

**WEST ELEVATION**

- SECTION DRAWING LEGEND:**
1. WEST COAST WATERPROOF
  2. DECKING ACC-ESR-2201
  3. R-30 IN ROOF/DECK
  4. SOLID BLOCKING
  5. 8" x 16" EXTERIOR WALLS
  6. 2" x 4" TYPE 2 GYP. BD
  7. 3/4" TYPE 2 GYP. BD
  8. SMOOTH FIN.
  9. 1/2" TYPE 2 GYP. BD
  10. DBL. TOP PLATE
  11. CONCRETE SLAB ON GRADE
  12. 1/2" TYPE 2 GYP. BD
  13. HEADER
  14. DOOR CAB POLE
  15. STUCCO EXTERIOR FINISH
  17. 42" HIGH GLAZED

1/4" = 1'-0"