AGENDA ITEM: 4-B



STAFF REPORT SAN CLEMENTE ZONING ADMINISTRATOR

Meeting Date: 3/5/2020

PLANNER: Erin Guy, Community Development Technician

SUBJECT: Staff Waiver of Minor Architectural Permit 19-409 and Minor

<u>Exception Permit 19-410, Carr Addition</u>, a request to consider approximately 250 square feet of single-story additions to a legal nonconforming single family home. The addition would continue an existing 3-foot side yard setback where 5 feet is required.

LOCATION: 112 East Escalones

ZONING/GENERAL

PLAN:

The residence is located in the Residential Medium Density Zone and the Residential Medium Low land use designation of the

General Plan.

PROJECT SUMMARY:

- The subject property is a 4,000 square foot lot. A one-story 926 square foot single-family residence with an attached 189 square foot garage was originally built on the lot in 1953. The residence is nonconforming with a side yard setback of 3 feet where 5 feet is required. Figure 1 on the following page illustrates the existing site conditions.
- The proposed project includes the addition of 248 square feet at the rear of the home to include a new master bathroom and walk in closet. The proposed additions continue the nonconforming side yard setback of 3 feet along the southwest property line. The project has a proposed height of 14 feet, where a 25 foot height maximum is permitted. The addition increases the gross floor area of the nonconforming structure by 27 percent. The additions and remodel modify the structural frame of less than 50 percent of the existing exterior walls. The proposed lot coverage is 38 percent where 55 percent is allowed.
- The project also includes the addition of a rooftop deck at the rear of the property, directly above the new addition space.
- The proposed project does not include any exterior changes to existing materials, and
 the new addition will match the architecture of the tan stucco siding and white trim of
 the existing structure. The existing stucco and white trim is compatible with other
 structures in the neighborhood, including the existing residences immediately
 adjacent to the subject site at 114 and 110 East Escalones, both of which utilize stucco
 siding with colored trim.

- Zoning Ordinance Section 17.16.090C requires Zoning Administrator approval for Minor Exception Permits (MEP) to allow the continuation of a legal nonconforming side yard setback up to within 30 inches of the property line.
- Per Section 17.16.110.C.e, the project is eligible for a Staff Waiver of a Minor Architectural Permit (MEP) because the addition does not exceed 500 square feet or increase the residence's height. The City Planner is designated to act on Staff Waivers; however, when multiple applications are reviewed, they are processed concurrently with a decision made by the highest review authority, per Section 17.12.090. For this project, the highest review authority is the Zoning Administrator for the MEP.



Figure 1 – Existing Site Conditions

- The Development Management Team (DMT) reviewed the project and recommends approval with the conditions provided in Exhibit A of Attachment 1.
- Staff believes the required findings can be made to approve the project, as set forth in the Findings of the attached Resolution, because:
 - The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home. The project is similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with General Plan residential land uses goals.
 - The architectural treatment of the project complies with the General Plan, Zoning Ordinance, and the City's Design Guidelines, since the addition is in character with the scale and massing of buildings in the neighborhood. The proposed addition

continues the one-story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences.

- The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones, which maintains a legal nonconforming side yard setback of 4 feet.
- The addition expands the floor space less than 50 percent, and modifies exterior walls less than 50 percent. Therefore, the project may maintain the existing nonconforming side yard setback.

RECOMMENDATIONS

Based on the information in the staff report and subject to the required findings and conditions of approval, staff recommends that the Zoning Administrator:

- 1. Determine the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1: Existing Facilities); and
- Adopt Resolution ZA 20-008, approving Staff Waiver of Minor Architectural Permit (MAP) 19-409 and Minor Exception Permit (MEP) 19-410, Carr Addition, subject to the conditions of approval.

Attachments:

- Resolution ZA 20-008
 Exhibit A Conditions of Approval
- 2. Location Map
- 3. Plans

ATTACHMENT 1

RESOLUTION NO. ZA 20-008

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING STAFF WAIVER OF MINOR ARCHITECTURAL PERMIT 19-409 AND MINOR EXCEPTION PERMIT 19-410, CARR ADDITION, A REQUEST TO EXPAND A LEGAL NONCONFORMING SINGLE-FAMILY RESIDENCE AT 112 EAST ESCALONES THAT REQUESTS TO CONTINUE A LEGAL NONCONFORMING INTERIOR SIDE YARD SETBACK OF 3 FEET WHERE 5 FEET IS REQUIRED

WHEREAS, on November 4, 2019, an application was submitted by applicant Chris Foerstel of 949 Calle Amanecer, Unit C, San Clemente, CA 92672, and deemed complete on January 30, 2020 for Staff Waiver of Minor Architectural Permit 19-409 and Minor Exception Permit 19-410, a request to expand a legal nonconforming single-family residence and continue a legal nonconforming side yard setback, located at 112 East Escalones. The subject site is in the Residential Medium Density zoning district of the General Plan. The site's legal description is Lot 29, Tract 793, Block 4 and Assessor's Parcel Number 057-156-10; and

WHEREAS, the Planning Division completed an initial environmental assessment of the above matter in accordance with California Environmental Quality Act (CEQA) and recommends that the Zoning Administrator determine this project is categorically exempt from CEQA as a Class 1 exemption pursuant to CEQA Guidelines Section 15301(e) because the project proposes an addition to a single-family home in an urban area that involves a negligible expansion of an existing use; and

WHEREAS, on November 27, 2019, and January 30, 2020, the City's Development Management Team reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable requirements; and

WHEREAS, in accordance with City and State requirements, notice of the public hearing was published in the *San Clemente Times* newspaper on February 20, 2020, posted at the project site, and mailed to all property owners within 300 feet of the subject parcel; and

WHEREAS, on March 5, 2020, the Zoning Administrator of the City of San Clemente held a duly noticed public hearing on the subject application, considered written and oral comments, and facts and evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, the Zoning Administrator of the City of San Clemente hereby resolves as follows:

<u>Section 1.</u> Incorporation of Recitals.

The Zoning Administrator hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Zoning Administrator as fully set forth in this resolution.

Section 2. CEQA Findings.

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Zoning Administrator, and the facts outlined below, the Zoning Administrator hereby finds and determines that the proposed project is Categorically Exempt from CEQA pursuant to State CEQA Guidelines Section 15301 (Class 1: Existing Facilities). This exemption covers, but is not limited to, interior or exterior alterations, additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. Here, the proposed project involves the expansion of living space by 248 square feet to an existing nonconforming single-family residence. The overall project is a 27 percent (248 sq. ft. of 926 sq.ft.) expansion of the existing single-family residence's gross floor area, and will not increase the floor area of the structure by more than 50 percent of the existing floor area, or more than 2,500 square feet. The project does not change the existing use of the site. Thus, the project qualifies for the Class 1 exemption.

Furthermore, none of the exceptions to the use of the Class 1 categorical exemption identified in State CEQA Guidelines Section 15300.2 apply. The project will not result in a cumulative impact from successive projects of the same type in the same place, over time, given the proposed use is consistent with General Plan policies and Zoning regulations, which were studied and addressed in the General Plan EIR. Development of the site is limited by standards for density, setbacks, lot coverage, parking, height, etc. There are no unusual circumstances surrounding the project that result in a reasonably possibility of a significant effect on the environment. The project will not damage scenic resources, including trees, historic buildings, rock outcroppings, or similar resources. Thus, the Class 1 exemption applies, and no further environmental review is required.

Section 3. Staff Waiver of a Minor Architectural Permit Findings

With respect to Staff Waiver of a Minor Architectural Permit (MAP) 19-409, the Zoning Administrator finds as follows:

- A. The architectural treatment of the project complies with the San Clemente General Plan, in that:
 - 1. The General Plan Land Use Element encourages "a mix of residential neighborhoods and housing types that meets the diverse economic and physical needs of residents, that is compatible with existing neighborhoods and the surrounding environmental setting, and that reflects community expectations for high quality." The project's size, scale, architecture,

setbacks, and materials are consistent with development standards and design guidelines, aside from the requested exception to continue the existing legal nonconforming side yard setback along the south west property line. The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with General Plan residential land uses goals.

- 2. Land Use Element Policy LU-1.06, Residential Infill, states: "We require that new residential development be compatible with adjacent structures and land uses and we require: ... b) use of complementary building materials, colors, and forms, while allowing flexibility for distinguished design solutions." The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences. Therefore, the project is consistent with Policy LU-1.06.
- B. The architectural treatment of the project complies with the Zoning Code in areas including, but not limited to height, setback, color, etc., in that:
 - 1. General Plan Urban Design Policy UD-5.10 encourages "the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan, and or area plan." The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones. Therefore, the project is consistent with Policy UD-5.10.
 - 2. The building's scale and massing are in character with and compatible with adjacent properties in that the project will maintain a similar massing as seen from the public right of way as the property immediately adjacent at 110 East Escalones. The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines in that:
 - 1. The project demonstrates "sensitivity to the contextual influences of adjacent properties and the neighborhood" per the requirements of General Design Guidelines II.B and II.B.3. The project is consistent with this policy because it is in character with the scale and size of one-and two-story

houses in the neighborhood. The proposed addition continues the one story roofline of the existing structure, and the addition of the rooftop deck is at the rear half of the property in a zone that allows for two stories and a maximum height of 25 feet. The property is immediately adjacent to two-story and one-story residences. Therefore, the project is consistent with the City of San Clemente Design Guidelines.

- D. The general appearance of the proposal is in keeping with the character of the neighborhood in that:
 - 1. The proposed project includes matching the architectural treatment of the new addition to the existing tan stucco siding of the home, similar to the existing stucco siding on both properties immediately adjacent to the subject property at 114 East Escalones and 110 East Escalones.
 - 2. The building's scale, massing, and setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.
- E. The proposal is not detrimental to the orderly and harmonious development of the City in that:
 - 1. The proposal involves the expansion of an existing home on a developed site in an urban area. The proposed project complies with all applicable development standards, with the exception of the existing legal nonconforming side yard setbacks along both property lines, and the proposed continuation of the legal nonconforming setback along the south west property line, and is in keeping with the architectural style of the neighborhood and the City's design guidelines.

Section 4. Minor Exception Permit Findings

With respect to Minor Exception Permit (MEP) 19-410, the Zoning Administrator finds as follows:

- A. The approval of the Minor Exception Permit will not interfere with the purpose of the zone or the standards of the zone, in that:
 - Aside from the existing legal nonconforming side yard seatbacks along both property lines and the minor exception requested to continue the legal nonconforming setback along the south west property line, the project meets all applicable development standards for the zone, including maximum lot coverage and maximum allowed height.
 - 2. The building's scale, massing, and setbacks are in character with and compatible with adjacent properties, including the property immediately

adjacent at 110 East Escalones which incorporates similar elements like tan stucco siding. There are one-and two-story houses in the area, with a two-story structure immediately adjacent to the site.

- B. The neighboring properties will not be adversely affected as a result of the approval of the Minor Exception Permit, in that:
 - 1. The scale and massing of the proposed project are in character with the surrounding one-and two-story developments in the neighborhood.
 - 2. The continuation of the nonconforming setback is for an addition that is in the rear of the property.
 - 3. The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.
- A. The approval of the minor exception will not be detrimental to the health, safety or welfare of the general public in that:
 - The scale and massing of the proposed project are in character with development in the neighborhood. The project maintains the density of the property as a single family residence in an area that allows for multi-unit developments.
 - 2. The building's setbacks are in character with and compatible with other properties in the neighborhood, including the property immediately adjacent at 110 East Escalones which maintains a legal nonconforming side yard setback of 4 feet.

Section 5. Zoning Administrator Approval.

Based on the foregoing recitals and findings, and the written and oral comments, facts, and evidence presented, the City of San Clemente Zoning Administrator approves Staff Waiver of Minor Architectural Permit 19-409 and Minor Exception Permit 19-410, Carr Addition, subject to the Conditions of Approval set forth in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the City of San	Clemente Zoning
Administrator on March 5, 2020.	

Cecilia	Gallardo-Daly,	Zoning	Administrator

Resolution No. ZA 20-008 EXHIBIT A

CONDITIONS OF APPROVAL STAFF WAIVER OF MINOR ARCHITECTURAL PERMIT 19-409 AND MINOR EXCEPTION PERMIT 19-410, CARR ADDIITON

1.0 GENERAL CONDITIONS OF APPROVAL

1.1 Within 30 days of receipt of the signed conditions of approval, the applicant shall submit to the City Planner a signed acknowledgement concurring with all conditions of approval on a form to be provided by the City, unless an extension is granted by the City Planner.

Planning

1.2 The applicant shall defend, indemnify, and hold harmless the City of San Clemente and its officers, employees, and agents from and against any claim, action, proceeding, fines, damages, expenses, and attorneys' fees, against the City, its officers, employees, or agents to attack, set aside, void, or annul any approval or condition of approval of the City concerning this project, including but not limited to any approval or condition of approval of the City Council, Planning Commission, or City Planner. Applicant shall pay all costs, The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter. If the applicant fails to so defend the matter, the City shall have the right, at its own option, to do so and, if it does, the applicant shall promptly pay the City's full cost of the defense.

Planning

1.3 Use and development of this property shall be in substantial conformance with the approved plans, material boards and other applicable information submitted with this application, and with these conditions of approval. Any modifications to the project shall be reviewed by the City Planner in accordance with Zoning Ordinance Section 17.12.180.

Planning

1.4 The applicant shall comply with all applicable current and future provisions of the San Clemente Municipal Code, adopted ordinances, and state laws.

ΑII

1.5 SWMAP 19-409 and MEP 19-410 shall be deemed to have expired if within three years of approval the project is not commenced, or the project permitted by the approved application has lapsed, as defined by Zoning Ordinance Section 17.12.150.

Planning

1.6 A Building Permit is required. Plans to construct new building, add or alter the existing building configuration, change in use, add or alter structural, mechanical, electrical or plumbing features of the Building**

project must be reviewed and approved through the building plan check / permit process. S.C.M.C Title 15 Building Construction - Chapters and codes applicable to this project

1.7 Prior to issuance of building permits, applicant shall secure all utility agencies approvals for the proposed project.

Building**

1.8 Prior to the issuance of building permits, the owner or designee shall pay all applicable development fees in effect at the time, which may include, but are not limited to, Regional Circulation Financing and Phasing Program (RCFPP), park acquisition and development, water and sewer connection, drainage, Public Facility Construction, transportation corridor, Avenida La Pata Supplemental Road Fee and school fees, etc.

Building**

4.0 PRIOR TO ISSUANCE OF BUILDING PERMITS

4.1 The working drawings shall include within the first four pages a list of all conditions of approval included in this resolution.

Planning

Improvements

4.13 In the event the project Building Permit valuations are \$50,000 or more per Municipal Code 12.08, the applicant shall be responsible for the construction of all required frontage improvements as approved by the City Engineer including but not limited to the following:

Public Works**

- A. Sidewalk, including construction of compliant sidewalk along the property frontage and around obstructions such as the drive approach to meet current City standards (2% cross fall) when adequate right-of-way exists. Since the street right-of-way is approximately 10 feet behind the curbface, a sidewalk easement is not anticipated to be required to be granted to the City.
- B. Contractor shall replace any damaged street improvements resulting from construction activities to the satisfaction of the City Inspector.

(SCMC Chapter 15.36 and Sections 12.08.010, and 12.24.050)

4.14 All waste bins must be substantially hidden from view from any public street.

Public Works **

7.0 OPERATIONAL CONDITIONS

7.17 The Applicant (including any property owners and managers, and their designees) shall use her/his best judgment and best management practices to ensure residential activities on the premises will be conducted in a manner that will not be disruptive

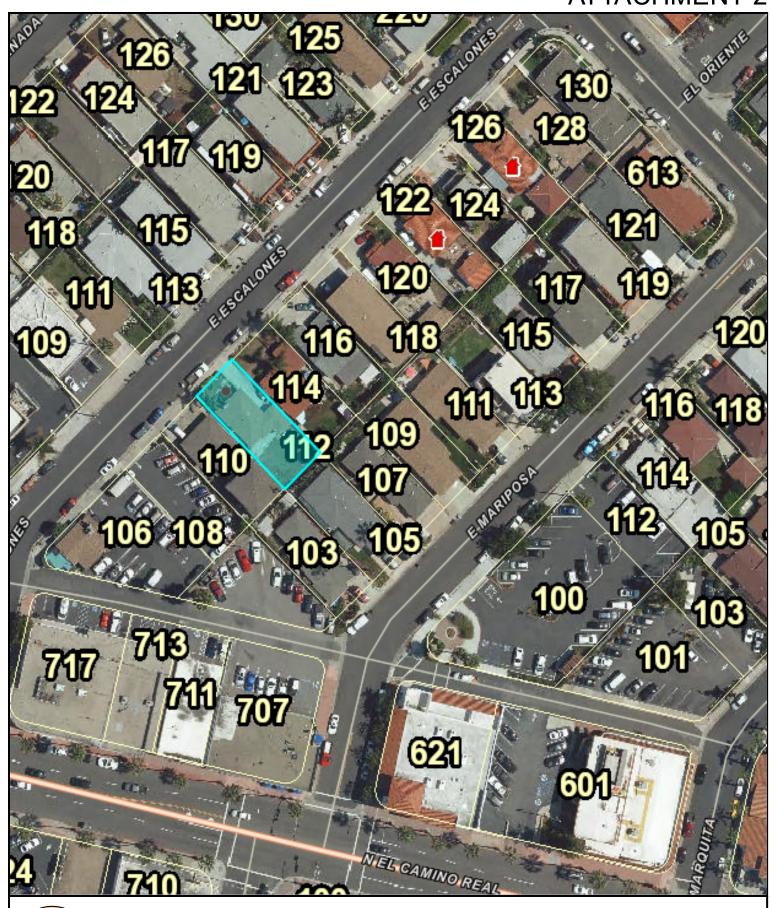
Code Comp ** to neighbors. The property owner shall be responsible for ensuring compliance with the San Clemente Municipal Code (SCMC), and all conditions of approval contained herein. The Applicant (including any property owners and managers, and their designees) hereby understands that noncompliance with regulations and conditions of approval, shall be immediate grounds for citation pursuant to SCMC Section 8.52.030(Y), which states, "It is declared a public nuisance for any person owning, leasing, occupying or having charge or possession of any premises in this City to maintain such premises in such manner that ... A structure, improvement, property, and/or land use is not in compliance with terms and/or conditions of any City of San Clemente issued permit or approval," and any subsequent revision of this section of the code. [Citation - Section 8.52.030(Y) of the SCMC]

7.18 The Applicant (including any property owners and managers, and their designees) shall ensure that discharge of washwater and other pollutants is prohibited from entering the storm drain system. Applicant must prevent pollutants (e.g. sediment, trash, food waste etc.) and any washwater used during cleanup from entering the storm drain system.

Code Comp WQ

- Denotes a modified Standard Condition of Approval
- ** Denotes a project-specific Condition of Approval

ATTACHMENT 2





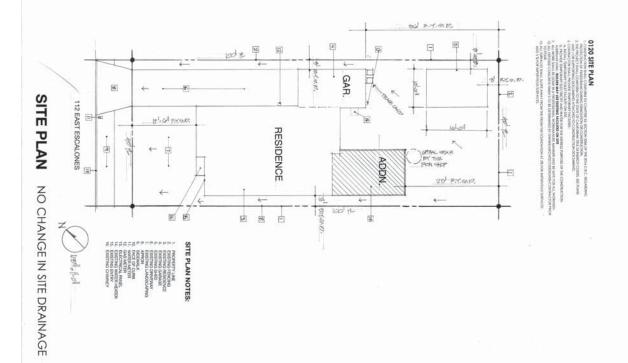
Project: SWMAP 19-409/MEP19-410

Address: 112 East Escalones





ATTACHMENT 3





SCOPE OF WORK:

(E) garage
(E) residence.....
ADDITION.....
ADD DECK.....
ADD DECK....
Habitable space...
Bidg. footprint...
Lot coverage

4,000 sq.ft...189 sq.ft...926 sq.ft...248 sq.ft...248 sq.ft....248 sq.ft...1,174 sq.ft...1,507 sq.ft...38 %

BUILDER: to be determined

TABULATION Site.....

TGC4886@yahoo.com

CODE DATA :

Carr addition
112 E. Escalones, San Clemente Ca. 92672

LEGAL DESCRIPTION: LOT [9]: 28 BLK: 4 TRACT: 793 A.P.N.: 657- 156 - 10 PROJECT ADDRESS: San Clemente Ca., 92672 PROJECT DESCRIPTION AND rick paquette , 949-291-3912 SPECIAL INSPECTIONS: jonsson and foerstel architects 946 CALLE AMANECER, unit C. SAN CLEMENTE, CA. 92673 949 - 228 - 4810

jonsson and foerstel



SCMC 15.28 - RESIDENTIAL BUILDING SECURITY

1528,000 FRAMESJAMBSSTRIKESHINGES

15.78.100 WINDOWS SLIDING GLASS DOORS

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Sec. 15.28.120 SPECIAL RESIDENTIAL BUILDING PROVISIONS

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BMPs: Easy Solutions for Keeping Our Ocean Waters Clean

ANITARY FACILITY for construction site must be provided. APPROVED PLANS shall be available at the jeb site during inspec

ELEVATION CERTIFICATES for multi-residential and commercial buildings with 1 stories or more surveyor's certification for the compliance of the first floor's slab or finish floor may be required.

ANNACE, all ned saier shall be drained by roof gatters and drain pipes to the street or other approved action by gatters and piping or by use of an approved assessmelide surface drain, water shall not drain or patile subvania. GHT OF WAY—construction debets containers, portable toilets, and construction equipment shall as croach onto public sidewalls and streets without prior approval from Public Works Dept.

ADDRESS: shall be installed on all buildings and sales in accordance with the building ELECTRIC AND GAS METER: releases will be made upon completion of the work.

sullding and fire code.

NMLE WATER BACCETOW DEVICES: shall be installed an commercial irrigation systems, tential robbings or any other facility as required by despect 13.04, SCMC Questions and imposts any by addressed to the stillty transper at (949) 366–1503. AINING WALLS and masonry fences that are not a part of the structure, will require a separ-it unless noted otherwise.

HYAL INSPECTIONS shall be performed and approved by all agencies required for approval the project. All required recents and reports required by the project will be completed submitted to the City.

Delivery and Storages

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Special Requirements and Minimum Construction Standards

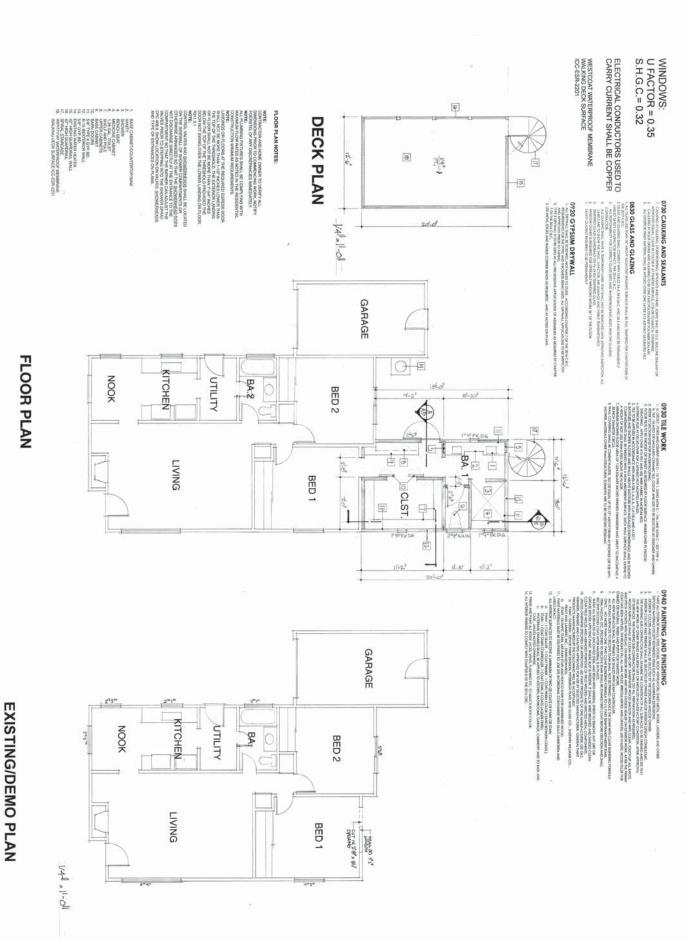
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	703.1	SECTION 702.2		702.1	GORE	CHAPTER 7	4,507.2		Division 4.5	4,300.1		Division 4.5	4.505.3		4.505.2.1	4.505.2	4.504.5.1 Division 4.5		4.594.5
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Saled hating and cooling explorent according to ANSI/ACCA 3 faturated 8: 2014 (Resident Explored Selection) or other explainted design afficient or mellotted. Européon: Use of intends design fatingunatures incessary to ensure the systems functions are accorplabelle. EUROPEAN EN EXPLORED SELECTION COLLEGION TO ENTRY TO ENTRY THE SELECTION COLLEGION TO COL		 The heat loss and heat gain a established according to AASI/ACCA 2 Manual J – The heat loss and heat gain a established according to AASI/ACCA 2 Manual J – 2011 (Read-dential Load Calculation), ASI/BAE handbooks or other equivalent design activates or methods: 	OWINIONASS GAVINGONNEW PAR QUALITY (GRAVINGONNEW YAR GOODGOUN) Healting and air conditioning systems abuilt to stand, designed, and equipment Healting and air conditioning systems abuilt to stand, designed, and equipment	a institute humbly range of less than 50% to a maximum of 50%. b) A humbly confirm lay be a spanish component to the extinuat fine and is not required to be integral or built-in. The CAL Gleen is "betternor" is a commercial built-in, althous, or labelling the commercial built-in, althous, or labelling the commercial built-in, althous, or labelling the commercial built-in section is explained in each built-incom.	Each bathroom shall be mechanisms with selection and all comply with the following: Final seals be BERGYC STAK complaint and be accorded to immediate about the selection of th	DIVISION 4.5 - ENVIRONMENTAL DUALITY (INDOOR AIR QUALITY & EXHAUST)	ministrate mater. Explanative intensity eventuation ministration and very less exponently in a certainty approxy and said statisty explanaments in Society 10 kB. 2. entiroling approxy and said statisty explanaments in Society 10 kB. 3. And offer explange to weeker, as a point 2 kB to the said certainty of the said certainty of the said to perform only and to the form and offer the said certainty and the said certainty approxy to exclude all the similar of approximation explanation in explanation to the said certainty approximation certainty and said to invalidation products which are visibly was or have a high measure contins shall be insplanted or selected only profit to exclude an wall-off the said to inspland or selected or ship profit to explanation in shall be followed for well-applied insulation products prior to exclusive.	Molature content of building materials Micro materials with visible signs of water damage part not be installed. Wall and floor framing shall not be enclosed when the farming members accosed 199 moisture content. Molature content shall be writted in compliance with the following. Molature content shall be determined with either a probe-type or a contact-type Molature content shall be determined with either a probe-type or a contact-type.	A copiling break shall be installed in compliance with a least 1 of the following: 1. A 4-fort field base of 172-fort or larger down agregate shall be provided with a use or retainer in control constant with concented and a coccurred most design when the address benefits, shriftwags and coaring shall be used. For additional information, see American Concentre Installa, ACJ 232-274-05, see American Concentre Installa, ACJ 232-274-05, A able deeping sponders Installa, and Casting proteinstants. 3. A side deeping sponders by a browness deeping proteinstant. 3. A side deeping sponders.	Concrete slab foundations or concrete slab foundations Concrete slab foundations or concrete slab-on-ground floors required to have a vapor relander by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.	4.594.3.1 Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.594.5.1. Inform 4.5.—ENVISORMENTAL COUNTY (INTERDER POSSURE SCONTROL)	hardwood plywood, particulationer, and medium density Rechopaut. "Composite wood products" for one include handboard, shockant glywood, shockant plantel, shockant composite tumber, oriented strand board, gland laminated timber, prellabolated wood i-juliani, or finger-joined fumber, all as specified in CCR, Title 17, Section 50/120, 119, bits.	
			4.504.5		4.504.4		4.504.3.2	4.504.3.1		4.504.3	4.504.2.3		4.504.2.2		4.504.2		4.504.1	Division 4.5	Division 4.5
			Composite wood products Hardwood plywood, particleboard and modum density floetboard composite wood products used on the interior or exterior of the building shall meet the requirements.	 Centinación Linear de resissent i Poor Covering Instituto (Per CI) i Podráccio program Medit Prior Carlos Inspirational of Duplic Heyalth, "Simuland Mehingdo fre the Telefog	Collaborative for High Performance Schoola (CHPS) High Performance Products Database 2. Products certified under UL. GREENGLARD Gold (formerly the Greenguard Children & Schools Program)	When mallest flooring is installed, at least 1978, 4 years in moniting realized flooring shall comply and non-or more of the flooring shall comply and some or more of the flooring shall comply and shall comply and shall be called in population of Public Health, "Shacked Melling of the Teller and Established Overhallin Complete Shall comply of the Shall complete Sh	Carpet adhesives shall meet the requirements of Table 4.504.1. Resilient from sections.	Carpet cushion installed in the building index shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.	Specification 01360) 3. NSFANS1 HAD at the Gold fevel 4. Scientific Certifications Systems indoor Advantage ** Gold 4. Scientific Certifications Systems indoor Advantage ** Gold	Carpet insulated in the building interior shall meet the testing and product requirements of 1 of the following. 11 Carpet and Ray Institute's Green Label Play Fronzam 2. California Department of Playle Health Standard Method for the Testing and Explaution of Volullia Carpet Chemical Emissions from Indicor Stources United Standard Method Standard	Seudon SASCA(A)(2) and offer requirements, including prohibitions on use of certain total compacts and control deplined subminuse. In Section SASCA(A)(1) and (3)(1) of this CCR, Title 17, commencing with Section SASCA), and in areas under the jurisdiction of the Bay Area Aut Chaulty Management Direct set all additionally comply with the percent VOC by weight of product and the Sascaladion 8, Raise 49.	Aerosol paints and coatings shall meet the Product-Weighaed MIR Limits for ROC in	Architectural paints and coasting a half coast point of Coasting in Table 1 of the Ar Resources Board Architectural Supplement Coastina Resources Board Architectural Supplement Coastina Apropherent	compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not created of more than 16 filed access) said comply with statements VOC standards and other requirements, including prohibitions on use of create in microcompounds, of the California Code of Regulations (CCR), Title 17, commensing with Section 94507.	Advances, administration formers, administration content, sealant primers, and causes said comply with pout or regional et positions control or sire quality management district niles where supplicable, or \$2,0,0,100 paid. Political 188 VCC limits, as shown in Tables 4,000,1 or 4,500,2 as applicable, such products shall also comply with Puls 1188 probablism on the used of entirsh took compounds comply with Puls 1188 probablism on the used of entirsh took compounds control or the second products are specified in Subsection 2 below. 2. Authorised Selections, out controller can state of definitions, and assistant or authority of the second products as expected in Subsection 2 below.	Adhesives, sealarts and caults and caults and caults and caults and caults are caults used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or sir quality measurement details a lace anchor.	At the time of rough installation, during strongs on the construction site and until final samp in the hearing, cooling and verificating equipment, all dout and other related air installat and distribution component openings shall be converted. Tape, plastic, and and castrolution component openings shall be converted. Tape, plastic, and extended or other methods exceptable to the enforcing agency to reduce the amount of water, cust and other exercising continuing supplies.	4-99-X Performance Stunderfer (NGPS) emission imms as opticione, and sine trave a permanent linkel including they are certified to meet the emission links. Woodstreet, peter stores and freelesse shall also comply with all applicable local ordinances. peter stores and freelesse shall also comply with all applicable local ordinances. DIVISION 4.5-4 RAVISONNERVAL CULTUTY POLICULTURAT COURTICUL.	DAMPORTAS - ENVIRONMENTAL CUALITY (FIREE LACES) Any installed up as freplace that he a direct-west analed-combustion type. Any installed concessors or print shows that loans of with VIII. EPA New Source installed was considered to the control of
4.410.2	BUILDING N	4.408.4.1	4.408.4	4,408.3	4.408.2	4,408.1 continued		SECTION	4.408.1	4.406.1 Division 4.4	Division 4.4 -	4.304.1	4.303.2 Division 4.3	4.303.1	SECTION DIVISION 48	5.201.1	4.201.1	SECTION	CALGreen.
Where 5 or more multilarnily desting all the econographs where 5 or more multilarnily desting units are constructed on building also, in easily accessible analysis that serves all buildings on the also and is identified of positions, scropps and collection of non-building scropps and file recognities, in the original position of mentional policy, corrupted contributed, plantice, opposite waste, and or mentional policy, corrupted contributed, plantice, opposite waste, and or mentional policy corrupted contributed contributed and policy and provided and policy and provided and policy and provided and policy and	Onesin A.F. MATERIAL CONSERVATION, RESOURCE EFFICIENCY BILLIONO AVAINTERANCE OF SECTION TO Operation and maintenance manual ALMO.1 Residence of final imposition, a manual, compact disc, web-based reference or model acceptable to the enforcing agency which covers 10 specific subject an explanation in the building.	 Projects that peneste a total combined weight of construction and demotis waste disposed in landfills, which do not exceed 2 pounds per equare foot building area, whall meet the minimum 65% construction wester reduction requirement in Section 4.408.1. 	 (LR) Projects that generate a total combined weight of construction and do waste disposed in landfills, which do not exceed 3.4 pounds per square for building area shall meet the minimum 65% construction waste reduction requirement in Section 4.456. 	Waste management company Ultice a waste management company, approved by the enforcing agency, whi provide verifiable documentation that therefor construction and dendifich was majorists meet the requirements in Section 4.408, 1. Waste stream reduction alternative	Construction waste management plan Submit a construction waste management plan meeting thems 1 through 5 in Section 4,408.2. Plans shall be purplated as necessary and shall be available examination during construction.	 Allemative wester induction mariooid developed by working with local eagunosis of developed nor recycle disclaims upside of configuration with this interference and extensive or recycle disclaims applied or development with the local potential and a second processing of the potential and the processing of the potential and the processing of the local potential and local in areas toporal the half boundations. 	 Documentation is required per Section 4.405.5. Exceptions: Excavated soil and land-dearing debris. 	4.408.3 or 4.408.4; OR meet a more stringent local construction and demoi waste management ordinance. REQUIREMENTS	Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction waste reduction of at least 65% Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.	Admidia spaces around pipes, electric cables, condults or other coentrigs in 4.406.1 soleholtem piless at existion was shall be closed with cerest incider, control miscory of a similar residuo discoplate to the endroling againty to prevent par crossins. Obstitut. Obstitut. Obstitut. Obstitut/NITON 8 RESOURCE EFFFCIENCY.	White Habourges Moose Water Embert Labourges outstands (WWILLA), 2 wildbeet in more stiffque, and	500 square feet shall comply with one of the scape ordinance or the current California De Mater Efficient I anderson Ordinance (MANE)	4.303.1.4.3 Intelligence 1.0.3 gainst got part 4.303.1.4.3 Intelligence 1.0.3 gainst part orgin 4.303.1.4.3 Intelligence 1.0.3 gainst part orgin 4.303.1.4.4 South of a stand default part given; interpolary forcesse to 2.2 5.0.3 part of the part o	by a single valve shall not exceed 2.0 gpm @ 90 pal, or only one carlet is to be in openition at a time 4.303.1.4.1 Residential Lendtony Faucetts. Maximum Flow Rate 5.1.2 gpm @ 4.303.1.4.2 Landtony Faucetts of Spm @ 30.0 gpm @ 4.300.1.4.2 Landtony Faucetts in Common and Public Use Areas of Resident	BECTION What East I Clay 2010 CONSTITUTION OF THE PROPERTY OF	 Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2016 California E- Code. 	Oxinion X-2 EXECV XEE/GICKY Scope Energy efficiency requirements for low-rise replanning (Section 4-201.1) and the residential indebtonial checkon 5-201.1) and nonresidential indebtonial Conference of CALCreen.	EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE REQUIREMENTS	een. FEB 2 0 MII

Inveloped by working with local enforcing is capable of compliance with this firm do produce to the jubilities. prions to the requirements of this section mass beyond the hauf boundaries of the mass beyond the hauf boundaries of the

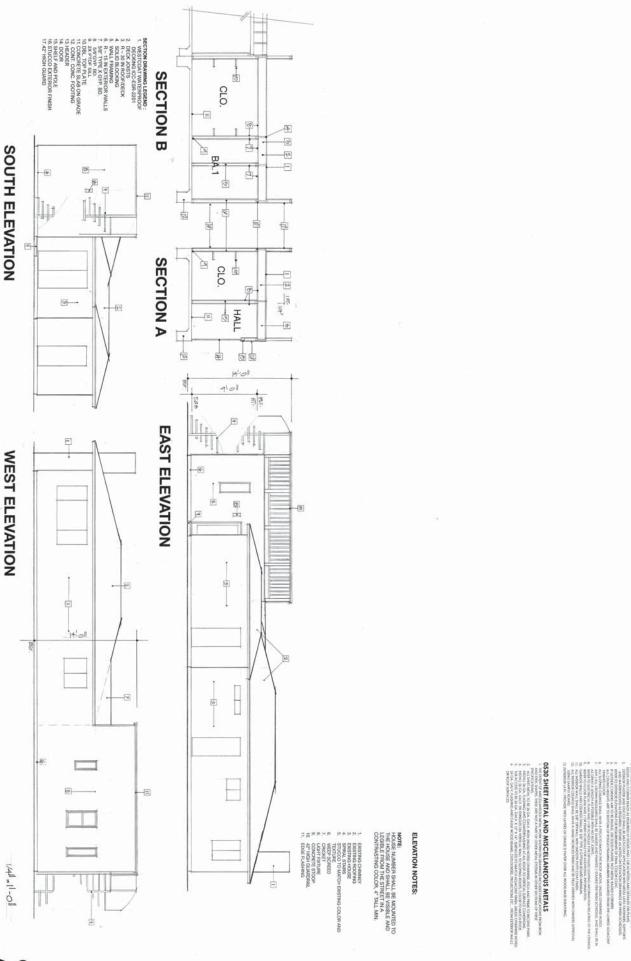
nagement plan eeting items 1 through 5 in ssary and shall be available for company
y the enforcing agency, which can
truction and demolition waste
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Carr addition
112 E. Escalones, San Clemente Ca. 92672

jonsson and foerstel



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