



Design Review Subcommittee (DRSC)

Meeting Date: February 12, 2020

PLANNER: Jonathan Lightfoot, Associate Planner

SUBJECT: **Minor Cultural Heritage Permit (MCHP) 19-035 and Discretionary Sign Permit (DSP) 20-044, Beach Hut Deli Façade and Signage,** a request to remodel the façade of an existing commercial building and install more than 25 square feet of signage for a business at 1844 N. El Camino Real within the MU1-A-CB-CZ zone.

BACKGROUND:

On July 24, 2019, the Design Review Subcommittee (DRSC) reviewed the application for façade modifications for the proposed Beach Hut Deli. The staff report from that meeting is available as Attachment 2 and provides additional contextual information, such as site data and the entitlement history of the property. At the July 24th meeting, the City discussed the challenges of incorporating Spanish Colonial Revival (SCR) architecture into an existing commercial building initially used as a service station. However, DRSC concurred with staff's position that the proposed plans did not convey a high quality design that would accomplish the City's goal of incrementally moving existing buildings into a style that is compatible and reflective of SCR style within the Architectural Overlay. DRSC's comments and recommendations from the preliminary review are available as Attachment 3. Figure 1 below shows the building as it existed while occupied by the Kaylani Coffee business.

Figure 1 – Prior Site Conditions



Approval Authority:

In accordance with Zoning Ordinance Tables 17.16.100(A) and 17.16.100(B), major and minor remodels are reviewed under a Minor Cultural Heritage Permit or Minor Architectural Permit subject to Zoning Administrator approval. Projects typically do not require Planning

Commission approval unless it involves a new building or 2,000+ square foot addition. Although the Design Guidelines impose additional aesthetic standards for projects at gateway locations, the Zoning Ordinance does not require a higher level of review for gateway projects. However, Municipal Code Section 2.34.010 allows for flexibility in the review body as it states: “The Zoning Administrator may also refer applications to the Planning Commission for review and final action as appropriate.” At the prior DRSC meeting, the Subcommittee recommended that the City Planner and Zoning Administrator refer this project to the Planning Commission due to the high visibility of the project site at a gateway location, within a visitor-serving area, and adjacent to the beach and a regional transportation hub. This recommendation is reflected in the July 24, 2019, meeting minutes. Additionally, the applicant has since requested an allowance for sign area greater than 25 square feet for the business. A Discretionary Sign Permit (DSP) is required to exceed that sign area base line within the Architectural (A) Overlay. Planning Commission is the review authority for DSP’s, and both entitlements will be reviewed concurrently.

PROJECT DESCRIPTION:

The applicant and property owner, Robert McIntosh, proposes to remodel the existing building to reflect SCR architecture. He has hired a new architect, Bill Peters, to resume this project. The proposal for exterior improvements accompanies an interior tenant improvement to support a new sandwich shop, Beach Hut Deli. There is no proposed expansion of the building footprint. Sixteen on-site parking stalls provide a surplus of nine stalls above what is required by the Zoning Ordinance.

Figure 2 – Example of Lightweight Roofing (Capo Shores)



The proposed remodel would unify the exterior cladding by replacing the stone veneer, block, and wood shingle siding with smooth white stucco. The existing roof cannot structurally support the weight of traditional two-piece clay tiles. Consequently, the applicant proposes to use a faux barrel tile as a lightweight alternative to clay tiles. Similar style tiles are used at the City Yard on Avenida Pico. Figure 2 provides an example of this roofing material on the recently rebuilt Capo Shores community building, which is near the project

site (and was also designed by Bill Peters). The front and rear elevations would have a stucco moulding over the rake while outrigger beams would serve as faux rafter tails on the side elevations. The windows are proposed to be resized and replaced with fiberglass frames that have a wooden appearance. The blue awnings would be removed and replaced with exposed wooden lintels.

Figures 3 and 4 provide a comparison of the front elevations from the two versions of the proposal. There are a few notable improvements from the prior proposal. First, the primary entry is accentuated with a pop out covered entry which adds noticeable relief and shadowing to the primary elevation. The parking stalls at the front entry have been resized to meet current standards and shifted appropriately to provide a paver lined walkway leading into this front entry. Pockets for climbing vines are proposed on both sides of the covered entry posts to incorporate greenery into the aesthetic. Second, the wing walls are balanced with segmented arch openings to provide relief on the primary elevation. Third, a faux chimney is proposed to be attached to the rear elevation to help conceal standing pipes. This would reduce clutter, provide an SCR accent element, and provide some variation to the roofline. Fourth, a simplified oculus vent feature on the rear elevation replaces the pop-out “SCR element” from the previous iteration that was recommended to be removed by staff and DRSC. Finally, the El Camino Real Elevation has been improved to expand the posts into stucco clad columns supporting segmented arches that frame the windows behind.

Figure 3 –Northwest Elevation from 1st Review

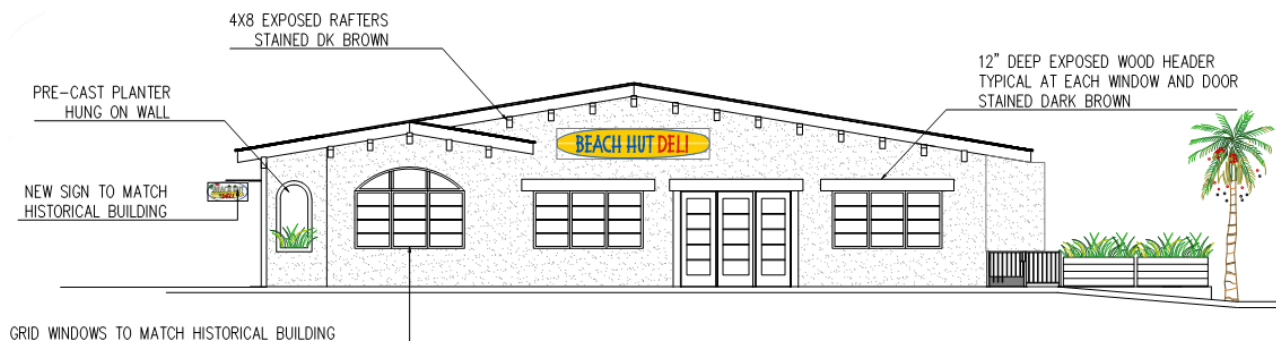


Figure 4 – Updated Northwest Elevation



New signs are also proposed for the building, which will exceed the by-right allowance of 25 square feet per business. Two wall signs in the shape of a surf board are proposed, one on the front elevation facing the parking lot and the other on the El Camino Real side elevation. The custom wall signs would be aluminum with halo illuminated pin mounted lettering. A blade sign, which does not count towards sign area allowance, is oriented towards the Calle Deshecha frontage. The applicant had discussed modifying an existing freestanding sign used by the smaller detached Flowers & Friends business at the northern corner of the parcel; staff recommends that any potential signage be included for review to limit future amendments to the requested entitlements.

Landscape modifications are also proposed around the site. As noted in the prior DRSC report, the parcel currently meets the standards for trees and landscape area as prescribed by the Zoning Ordinance for the Mixed Use 1 Zoning District. The project would remove turf and replace with drought tolerant landscaping. It would also add climbing vines at the front entry and along the rear property line fencing which would help to screen the service area.

ANALYSIS:

Development Standards

The building and site comply with applicable development standards, and the project does not propose to increase height or floor area. The MU1 zone allows for 0' setbacks from all property lines and 100% lot coverage. Zoning Ordinance Section 17.64.060 requires 10% landscaped area within the parking lot and one canopy tree per 5 parking stalls. Both of these landscape standards are met as there are already seven palm trees within an existing 10.5% landscaped area. Project plans are provided as Attachment 4.

General Plan and Design Guidelines Consistency

The site is located in the Architectural Overlay District along North El Camino Real. Staff identified applicable policies from the Urban Design and Land Use Elements, specifically those that pertain to commercial projects. Staff believes that the project will comply with the intent of the Design Guidelines and the goal for SCR partial conversions of existing development once a few minor recommendations are incorporated.

The updated design moves the existing building in the direction of the SCR style, which is required for major remodels in gateway areas. The project would replace stone veneer and wood shingle siding with consistent white stucco. The fiberglass windows and doors are proposed to be replaced with factory finish metal options that maintain a gridded character. The enhanced front entry along with the other noted improvements in the project description contribute to a remodel that will be more compatible with the SCR style and surrounding historic resources at North Beach.

Staff is also supportive of the request for signage to exceed the by-right allowance of 25 square feet per business. Excluding the rear elevation, the building has three elevations that face parking or streets, totaling 111 lineal feet. With a DSP, the applicant could request up to 111 lineal feet of signage. Here, they are requesting two wall signs totaling under 40

square feet. One blade sign is proposed, which can be 6 square feet and is not counted towards the sign area for buildings within the A-Overlay. The request is less than 50% of the maximum sign area allowance and the proposed signs would each face a different frontage, with the largest sign meeting the standard 25 square foot allowance. The proposed wall signs are proposed to have halo illumination; illumination is not proposed for the blade sign.

While staff is supportive of the conceptual landscape modifications, additional detail is needed in the landscape plans prior to Planning Commission review. Staff recommends that the planting palette be limited to low lying drought tolerant plants that are predominately California native. As the code standard for trees is already met, staff does not recommend that any new trees or plants taller than 6 feet in height be included in the plan. The more detailed plans need to be available for comment from the City's landscape architect and Planning Commission's review.

RECOMMENDATIONS:

The applicant substantially responded to the concerns of staff and the DRSC through the alterations that were incorporated into this iteration of the plans. Staff believes that the proposed remodel, with some minor alterations and clarifications as noted below, would successfully move the building towards an SCR compatible design that would enhance the character of the North Beach area.

1. Provide a materials board for the hearing body that includes windows, light fixture selections, etc. Hide non-decorative fixtures (i.e., security lights) under rafters or partially screen them behind decorative wrought iron grills. The applicant verbally confirmed that string lights are still proposed for the patio. These should also be indicated on the materials listing.
2. Push back the curb behind the bike racks and newspaper magazines racks so that those furniture items are out of the right of way. Remove the newspaper racks if they are no longer in use.
3. Bury the propane tank. The proposed location meets the setback from property line for the existing commercial building but would have an impact on potential development on the adjacent City owned lot. Placing the tank underground would also reduce the need for extensive screening at the rear.
4. Staff is supportive of the signage sizes and locations as proposed, and the metal material with halo illuminated lettering is appropriate. The applicant should confirm whether any alterations to the existing freestanding signage on the site are proposed.
5. Provide a more detailed landscape plan that includes the planting and irrigation plan. The new plants in the proposed palette should be limited to low-lying drought tolerant species.

CONCLUSION

The project complies with development standards and now conveys a quality SCR partial conversion of an existing building. Staff seeks feedback regarding the above recommendations and seeks direction on whether DRSC supports the project advancing to a Planning Commission hearing.

Attachments:

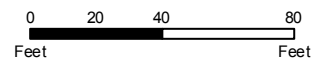
1. Location map
2. Staff report from 7/24/2019 DRSC Meeting
3. Minutes from 7/24/2019 DRSC Meeting
4. Plans (by separate cover)



City of San Clemente

Project: MCHP 19-035

Address: 1844 N El Camino Real





Design Review Subcommittee (DRSC)

Meeting Date: July 24, 2019

PLANNER: Jonathan Lightfoot, Assistant Planner

SUBJECT: **Minor Cultural Heritage Permit (MCHP) 19-035, Beach Hut Deli Façade,** a request to remodel the façade of an existing commercial building at 1844 N. El Camino Real within the MU1-A-CB-CZ zone.

BACKGROUND:

Site Data

The project site is a 12,048 square foot developed commercial lot situated between North El Camino Real and Calle Deshecha. The site is within the Mixed Use 1 zoning district and is within the Architectural, Central Business, and Coastal Zone overlay zones (MU1-A-CB-CZ). The lot consists of two buildings, a 1,508 square foot restaurant on the east side of the lot and a 112 square foot flower shop in an accessory building on the west side. The existing buildings are single-story and separated by a parking lot containing 16 parking stalls. The lot abuts the undeveloped City-owned property at 1832 N. El Camino Real and the City-owned building across Senda de la Playa that is occupied by Urban Bicycle Outfitters. A vicinity map is provided as Attachment 1. Figure 1 below shows the building prior to recent tenant improvement construction.

Figure 1 – Prior Site Conditions



Use and Entitlement History

The primary building was initially used as a gas station. The building was used for more than 20 years as a realty office, then converted to a coffee shop in 1996. The accessory building

was built for the flower stand in 1991. Photos of the prior use and of the existing building under construction are provided as Attachment 2.

The Zoning Administrator (ZA) approved Minor Conditional Use Permit (MCUP) 17-297 and Staff Waiver (SW) of a Minor Cultural Heritage Permit (MCHP) 18-105 to allow for indoor and outdoor consumption of beer and wine and approving an enclosed patio area with a new door access to the restaurant. This approval did not include any building façade changes.

The flower shop was established as a temporary use by CUP 90-154 and was initially limited to two years. That timeline was extended indefinitely by the Planning Commission in 1993. However, there is a condition that the accessory structure must be removed if the flower shop ceases operation for 30 days. MCHP 14-257 was approved by the ZA for a 66 square foot addition and remodel of the flower shop into a more permanent Spanish Colonial Revival (SCR) style that was not constructed.

Why is DRSC Review Required?

The project requires an MCHP for the proposed façade remodel on a commercial building within the Architectural Overlay District. MCHP applications require DRSC review per Zoning Code Section 17.16.100 if referred by the City Planner. The siding and fenestration have already been removed from the building without prior City approvals. The City Planner referred the application to DRSC because the project constitutes a major remodel and due to the site's prominent location at the El Camino Real gateway into North Beach. The DRSC's recommendation will be forwarded to the Zoning Administrator, which is the final decision-making authority for the project.

PROJECT DESCRIPTION:

The applicant and property owner, Robert McIntosh, proposes to remodel the existing building to reflect SCR architecture. The proposal for exterior improvements accompanies an interior tenant improvement to support a new sandwich shop, Beach Hut Deli. There is no proposed expansion of the building footprint. Sixteen on-site parking stalls provide a surplus of nine stalls above what is required by the Zoning Ordinance.

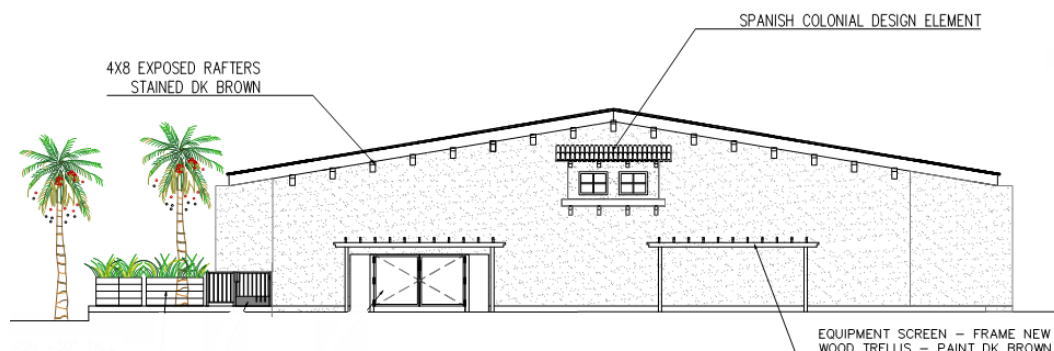
Figure 2 – Proposed Entry, Northwest Elevation



The proposed remodel would unify the exterior cladding by replacing the stone veneer, block, and wood shingle siding with smooth white stucco. The doors and windows are proposed to be replaced with gridded aluminum frames to be painted brown. The blue awnings which span multiple window openings are proposed to be removed and replaced with exposed wooden lintels. The blue trim is proposed to be repainted brown, with the fascia proposed to match the roofing material color. The roofing is proposed to be new lightweight metal tiles designed to mimic the look of clay tile roofing. The applicant provides more information and justification for use of the proposed metal roof material in Attachment 4.

String lighting is proposed over the patio area. Due to cost concerns for connecting the building to natural gas, the applicant proposes use of a propane tank as part of the rear, ground-mounted equipment. A pergola is proposed over this equipment as well as over the modified trash enclosure. The sidewalk is proposed to be upgraded with pavers to match those on the north and northwest property frontage. A variety of ADA upgrades are included in the scope of work.

Figure 3 – Proposed Rear Elevation – Southeast



ANALYSIS:

Development Standards

The building and site comply with applicable development standards, and the project does not propose to increase height or floor area. The MU1 zone allows for 0' setbacks from all property lines and 100% lot coverage. Zoning Ordinance Section 17.64.060 requires 10% landscaped area within the parking lot and one canopy tree per 5 parking stalls. Both of these landscape standards are met as there are 7 palm trees within 10.5% landscaped area. Project plans are provided as Attachment 5.

General Plan and Design Guidelines Consistency

The site is located in the Architectural Overlay District along North El Camino Real. Staff identified applicable policies from the Urban Design and Land Use Elements, specifically those that pertain to commercial projects. Staff evaluated the project's consistency with those policies (Attachment 3) and determined the project partially complies with the required conversion to Spanish Colonial Revival architecture.

The design moves the existing building in the direction of the SCR style, which is required for major remodels in gateway areas. The project would replace stone veneer and wood shingle siding with consistent white stucco. The wooden windows and doors are proposed to be replaced with factory finish metal options that maintain a gridded character. An arched window and rafter tails are proposed for additional architectural detail. Exposed wooden lintels are proposed to replace awnings over the windows and doors on the primary elevation. The proposed string lighting is a dark skies friendly style that had been previously reviewed by DRSC for the nearby renovation of the OC Fresca restaurant.

However, there are elements that are not consistent with the SCR design guidelines. Staff recognizes that the roof cannot structurally support the weight of traditional two-piece clay tiles but is concerned about creating a faux-Spanish look with substitute metal tiles. Staff seeks DRSC input on other feasible solutions. The project should use details to accentuate the primary entry, whether that be an awning, decorative tile surround, decorative SCR light fixtures, or a combination of those elements.

The project would also benefit by creating the appearance of a true gable roof. Currently, there are wing walls that eliminate the appearance of a roof overhang. These walls are also inconsistent lengths: one terminates at the roof edge while another extends slightly beyond the roof edge. These wing walls also create an area of dead space on the northeast elevation. There was previously a door at this location, which is proposed to be removed. It would become concrete flatwork enclosed by the projecting wing wall on either side. This area could be modified into a more functional patio space or the concrete could be removed in favor of a raised planter. Staff also recommends more functional screening of the equipment behind the building. The placement of the above ground propane tank is not ideal, and if permitted should be designed or conditioned to have thorough screening. Itemized recommendations are listed below.

RECOMMENDATIONS:

Staff recommends the following modifications to improve the project's conformity with SCR design criteria:

1. Modify the projecting wing walls to allow for a consistent roof overhang appearance on all elevations.
2. Accent the primary entry by using a tile surround or by differentiating from the windows by using exposed header(s) at one and awning(s) at the other.
3. Add decorative SCR appropriate light fixtures on either side of the entry.
4. Convert northeast paved area to a functional patio space or a raised planter. As currently designed with extended wing walls, it is concrete dead space.
5. Increase the height of the rear property line wall so that it can more adequately screen any ground mounted equipment on the rear side of the building. Whitewash or stucco the wall or add posts with cables and train vines above the existing wall.

6. Add landscaping on the rear side of the building where there are currently barren areas. Use vines on the rear wall where space permits.
7. Add more rafters consistent with the spacing recommendations in the Design Guidelines.
8. Install a permanent bike rack similar to the design of the City bike racks used at the Ole Hanson Beach Club.
9. Conceal non-decorative light fixtures (“ELU” on plans) behind iron grills or fascia or under awnings.

CONCLUSION

The project complies with development standards, but does not yet convey a high quality SCR design. Staff seeks feedback regarding the above recommendations as well as additional input from the DRSC on other opportunities to convert to a more true SCR style building through this renovation. Staff also seeks direction on whether DRSC supports the project advancing to a Zoning Administrator hearing.

Attachments:

1. Location map
2. Photos of existing conditions and historic North Beach
3. General Plan and Design Guidelines Consistency Analysis
4. Letter from Engineer regarding proposed roofing material
5. Plans

These attachments not included with the 2/12/2020 report. Please reference the 7/24/2020 packet.

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
JULY 24, 2019**

Subcommittee Members Present: Jim Ruehlin, Chris Kuczynski, Zhen Wu

Subcommittee Members Absent: none

Staff Present: Senior Planner Stephanie Roxas, Assistant Planner David Carrillo,
Assistant Planner Jonathan Lightfoot

1. MINUTES

The Subcommittee approved the minutes from the July 10, 2019 meeting with one requested modification.

The Subcommittee continued the minutes from the June 27, 2019 meeting due to a lack of quorum.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:

A. Amendment to Sign Permit 89-106 (AM DSP 18-019), Mira Costa Plaza Master Sign Program, 3551 Camino Mira Costa (Carrillo)

A request to amend a Master Sign Program for a multi-tenant commercial building located at 3551 Camino Mira Costa within the CC2 (MO) zone.

Assistant Planner David Carrillo summarized the staff report. The applicant and property owner, Barry Saywitz, provided background information on the building signage history and goals for improving the overall aesthetics of the site by using consistent tenant signage.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Recognized the owner's goals to keep costs low to tenants and allow for consistent signage.
- Requested clarification on proposed font and how signs would be mounted to walls; applicant provided samples of the proposed font type and indicated the photo simulation is not accurate.
- Requested clarification on size differences between the existing and proposed sign areas; applicant stated that proposed changes would reduce the overall signage amount.
- Requested clarification on signage placement, and stated that letters should be at the same level and take into consideration the placement of light fixtures.

- Stated that the letter height for the proposed signs are larger than the current signs, and, as proposed, the signs would have a minimal margin around the letters causing the architectural features to appear crowded. Expressed a preference for relocating Sign Type B, or limiting it to the size of the current letters (not the overall sign height).
- Expressed a preference for thicker letters (minimum of 0.5 inches) in either a black or dark bronze color.
- Expressed concern over approving an amendment prior to conclusion of staff research regarding unpermitted façade changes.
- Concerned about using plastic signs which are of a lower aesthetic quality relative to pin-mounted aluminum letters. Expressed preference for a material that mimics the look of brushed aluminum to improve the signage quality.
- Stated the City has established a high-quality signage aesthetic, and expressed general concern over the precedential nature of allowing signs of lower materials and design.

The Subcommittee provided comments and recommendations to be forwarded to the City Planner. The Subcommittee directed staff to work with the applicant to modify the project as follows: use minimum of 0.5-inch thick black letters, use a flat finish on the letters that is more similar to brushed aluminum, ensure appropriate spacing between letters and architectural features, and (if using external lighting) ensure compliance with Dark Skies policies.

B. Minor Architectural Permit 19-092, Amendment to Sign Permit 88-21 (AM DSP 19-093), Ocean View Plaza Patio and Master Sign Program Amendment (Lightfoot)

A request to demolish an existing freestanding sign wall and modify storefront facades, sign locations, and patio area in front of Building D at Ocean View Plaza, 638 Camino De Los Mares.

Assistant Planner Jonathan Lightfoot summarized the staff report. The applicant, Kyle Godat of Brixmor Property Group, was also available and responded to questions.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Requested clarification on tenants using proposed projecting signs, number of wall signs permitted for end tenant suites (i.e., Rubio's), existing on-site tree species, ring lights around trees, and location and attachment details for the proposed shade sails.
- Discussed concerns over the proposed projecting signs, including consistency with other properties and difficulty of future tenants to fit within round size of sign. Opinions differed on the preference for the projecting signs to be round or rectilinear.

- Discussed various alternatives to the shade sails that would integrate the sails into permanent structures (i.e., pergolas), rather than attached to poles.
- Discussed proposed string lights, including future maintenance, using non-breaking bulbs, and attaching the lights to an additional a row of trees (rather than being attached to poles).
- Discussed future maintenance of the patio furniture, and suggested staff add a condition regarding cleanliness.
- Encouraged use of trees with larger shade canopies, or using a palm species from the City's landscape guidelines.
- Stated the design aesthetic appears busy with the multiple colors and shapes proposed. Recommended using consistent awning and umbrella colors to simplify the design.
- Requested to see updated renderings showing the proposed shade sails to ensure they do not obstruct tenant signs.
- Stated all lighting should be compliant with Dark Skies policies, and the illumination level and up lighting angle should be lowered if found to be too bright.
- Expressed a preference that the proposed Rubio's awning be replaced by an attached pergola to match the adjacent tenant suites.

The Subcommittee generally concurred with staff's recommendations, provided additional comments and recommendations to staff and the applicant, and recommended the project return to DRSC for additional architectural review.

C. **Minor Cultural Heritage Permit 19-035, Beach Hut Deli Façade Remodel (Lightfoot)**

A request to remodel the façade of an existing commercial building at 1844 N. El Camino Real within the MU1-A-CB-CZ zone.

Assistant Planner Jonathan Lightfoot summarized the staff report.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Requested clarification on how major remodels are defined; staff clarified that both major and minor remodels are reviewed under a Minor Cultural Heritage Permit or Minor Architectural Permit subject to Zoning Administrator approval.
- Recommended that the City Planner and Zoning Administrator refer this project to the Planning Commission due to the high visibility of the project site at a gateway location, within a visitor-serving area, and adjacent to the beach and a regional transportation hub.
- Stated the site is very visible from all sides and special attention should be paid to all elevations of the project. Noted that the site is along the Pacific Coast Bike Route, the North Beach Gateway, and is adjacent to a trolley stop.

- Concurred with staff recommendation #4 and supported the creation of a second outdoor patio or raised planter area due to the high visibility of the area from El Camino Real.
- Recommended incorporating more decorative landscaping along the El Camino Real elevation rather than just turf.
- Concurred with staff recommendation #8 and noted that additional bike racks should be considered due to the large number of cyclists in the area.
- Stated the proposed "SCR design element" on the southeast (rear) elevation appears tacked on and should be replaced with a simpler design element (i.e., oculus with iron grill).
- Stated the proposed pergola over the propane tank provides insufficient screening. Recommended exploring alternatives, such as two smaller indoor tanks. If an underground gas line is not feasible and propane cannot be moved indoors, then full screening at rear is necessary. Requested that OCFA comment on the location of the propane tank.
- Discussed increasing the height of the rear wall or using trellised vines above the existing wall.
- Recognized the project is a building remodel and cannot be transformed into a true Spanish Colonial Revival style building.
- Indicated it was possible to reinforce the roof to accommodate the weight of clay tiles. Also noted that the existing 2:12 pitch is not ideal for tile roofing.
- Stated the Subcommittee cannot support the proposed metal roof tiles without seeing it. Expressed a preference for roofing that is innocuous in appearance, and recommended using simple roof shingles that allow other Spanish-style aspects of the building to stand out if the standard clay tile treatment is not feasible.
- Requested additional details on how the proposed metal tiles could be installed (including rake, ridge, and eave).
- Requested details on how rooftop mechanical equipment would be screened.
- Stated the trash enclosure should utilize Spanish-style elements consistent with recently-approved enclosures on Avenida Del Mar.
- Recommended incorporating decorative hardscape in the outdoor patio, rather than using plain industrial-style concrete. Staff noted that the Applicant's plans do indicate replacing the concrete sidewalk with pavers.
- Questioned whether the porta-potty at the flower shop was legally permitted.
- Concurred with staff recommendation #2 to accentuate the primary entry.
- Concurred with staff recommendation #1 to modify the wing walls. Commented that the wing walls could extend beyond the roof edge and become a decorative curvilinear feature.
- Commented that a landscape plan is needed and should address the area behind the building (southeast) and at the El Camino Real frontage. Noted that one tree by the flower shop appears to be dying and may need to be replaced.

The Subcommittee generally concurred with staff's recommendations, provided additional comments and recommendations to staff and the applicant, and recommended the project return to DRSC for additional architectural review.

3. **NEW BUSINESS**

None

4. **OLD BUSINESS**

None

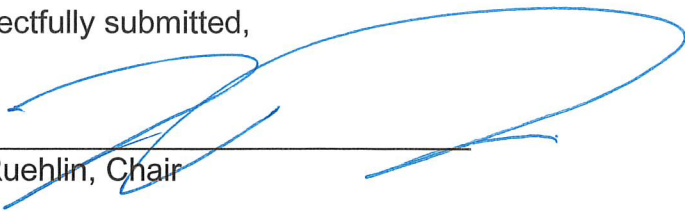
5. **ORAL AND WRITTEN COMMUNICATION**

None

ADJOURNMENT

Adjourn to the Regular Meeting of the Design Review Subcommittee to be held Wednesday, August 14, 2019 at 3:00 p.m., at the Community Development Department, Conference Room A, located at 910 Calle Negocio, San Clemente, California.

Respectfully submitted,



Jim Ruehlin, Chair

Attest:



Stephanie Roxas, Senior Planner