



## Design Review Subcommittee (DRSC)

Meeting Date: January 29, 2020

**PLANNER:** Jonathan Lightfoot, Associate Planner

**SUBJECT:** **Site Plan Permit 19-203, Architectural Permit 19-204, and Conditional Use Permit 19-205, Plaza by the Sea Drive-Thru, 610 Camino De Los Mares,** a request to demolish a freestanding commercial building and construct a new commercial drive-through building for two tenants in an existing commercial center at 610 - 628 Camino De Los Mares within a city Gateway and the Community Commercial 4 Zone (CC4). A dividing wall between Plaza by the Sea and neighboring Ocean View Plaza (638 Camino De Los Mares) is proposed to be removed to allow for shared access between the retail centers.

### **BACKGROUND:**

The project site encompasses 192,125 square-feet of gross area near the Camino De Los Mares off-ramp from the northbound I-5 freeway. The commercial center, referred to as Plaza by the Sea, contains 52,683 square-feet of single story commercial building space including a Stater Brothers grocery store. The General Plan, Urban Design Element, Figure UD-1 identifies the site as a freeway gateway. The site is within the Camino de Los Mares Focus Area and the Community Commercial 4 (CC4) zoning district. The center is adjacent to another retail center, Ocean View Plaza, both of which are now owned and managed by Brixmoor, the applicant for this project. The vicinity map is included in Attachment 1.

#### *Entitlement History*

The existing commercial center was developed in 1976. The building nearest Camino De Los Mares (addressed as 622-628) was developed earlier in 1974, but was incorporated into the more comprehensive site plan in 1976. The buildings, site plan, and signage were reviewed and approved by the Architectural Review Board. City Council voted to uphold the approval on an appeal request regarding the height of the buildings in June of 1976.

Building A, the grocery store tenant space, was the subject of several discretionary permits regarding signage. The Community Design Committee (CDC) reviewed signage for the Lucky grocery store (predecessor to the current Stater Brothers) via CDC 84-35. Minor tenant signage was reviewed under CDC 89-77, 88-47, and 81-34. Each of these reviews constituted singular tenant sign reviews. A Master Sign Program was not approved for the site during its original development. Architectural entitlements were not required at the time of construction of the original buildings on site.

**Figure 1: Approved Stater Bros. Elevation**

On October 18, 2018, the Zoning Administrator (ZA) approved Minor Conditional Use Permit (MCUP) 18-481 allowing a shared parking strategy to utilize the parking ratios for restaurants and retail uses in the Central Business overlay because the provided parking study demonstrated a surplus of on-site parking for the plaza.

On March 7, 2019, the ZA approved an application at the site for Minor Architectural Permit (MAP) 18-250 to remodel the other commercial buildings at the property. The building addressed as 610 Camino De Los Mares was not included because it was the subject of a separate application review for demolition and rebuild of a new America's Tire facility. That application was ultimately withdrawn shortly before the approval of the façade remodel affecting the rest of the plaza. Staff included the following condition of approval regarding the 610 building to clarify the next step for the center's renovation:

**Condition of Approval 1.6**

*The applicant shall take one of the following actions by March 7, 2021:*

- *Submit the Phase 2 application, which is expected to incorporate entitlements for an Architectural Permit, Site Plan Permit, and Discretionary Sign Permit to clearly address the plans for the demolition and rebuilding of Building E (610 Camino De Los Mares); or*
- *Submit an application for a Master Sign Program and an amendment to MCHP 18-250 detailing a façade update for Building E consistent with the approved plans herein. The architectural and landscape plans shall be subject to DRSC review prior to the Zoning Administrator review of said amendment; or*
- *Submit an application for a Master Sign Program and submit plans through building plan check to demolish Building E.*

The applicant moved forward with the first option (to demolish and rebuild the 610 building), and, therefore, this application satisfies the condition. Discretionary Sign Permit 18-546 was approved on November 20, 2019. It was called up by City Council for their review at the January 21, 2020 Council meeting and was approved without modification.

***Why is DRSC Review Required?***

Per Zoning Code Section 17.16.050 and 17.16.100, applications for Site Plan Permits (SPP) and Architectural Permits (AP) require review by DRSC. The DRSC's recommendation will be forwarded to the Planning Commission, which is the final decision making authority for the project.

## **PROJECT DESCRIPTION AND ANALYSIS**

### *Architectural Permit 19-204*

Per Zoning Code Section 17.16.110, an Architectural Permit (AP) is required for review of any new non-residential buildings. The applicant proposes to demolish a free standing commercial building and construct a new commercial drive-thru building. As the project is within a freeway gateway, Spanish Colonial Revival (SCR) architecture is required. Figures 2 and 3 show preliminary renderings before and after incorporating staff's recommendations. The new building would include smooth white stucco throughout, two tower elements with exposed rafters and two-piece clay tile, a scalloped cornice wrapping the remainder of the building's roof edge, and a latticed pergola over a patio area for the café. Details including inset tile, awnings, and decorative lighting are also proposed. Following staff's recommendations, the second iteration of plans differentiated the entries: one with a rectangular design, the other with an arched element. The awnings were updated to a more traditional style, supported by wrought iron supports. A simple wrought iron element accents the top of the towers' walls. Comparative elevations from other recent drive through projects reviewed by the City are available in Attachment 3. Full elevations for this proposal are available in the plan sets, Attachment 4.

**Figure 2: Initial Proposed Elevation of 610 Building**



**Figure 3: Revised Elevation with Staff's Recommendations**



Plaza by the Sea qualifies as a freeway gateway because of the parcels' adjacency to the northbound off ramp at Camino de Los Mares. The rear of the 610 building is visible from the freeway and off ramp. However, as seen in Figure 4 below, only the roofline area of the rear elevation is visible. The front and patio elevations are visible primarily from the interior parking lot of the plaza.

**Figure 4: View of 610 Building from Freeway / Proposed Rear Elevation**



### *Site Plan Permit 19-203*

Per Zoning Code Section 17.16.050, a Site Plan Permit is required for any new non-residential buildings, and the goal of the review is to ensure that the project:

- 1) respects the physical and environmental characteristics of the site,
- 2) ensures safe and convenient access and circulation for pedestrians and vehicles,
- 3) exemplifies the best professional design practices,
- 4) encourages individual identity for specific uses and structures,

- 5) encourages a distinct community or neighborhood identity, and
- 6) minimizes visual impacts.”

As design, identity, and visual impacts are also addressed by the Architectural Permit, this section will focus on the first three standards above. In addition to the new building, the project would introduce a new drive through adjacent to the building, and it would remove the wall on the other side of the plaza that currently separates the center from Ocean View Plaza.

The placement of the building is appropriate on the site given the desire for the drive through aspect of the project. While the Urban Design Element (UD-2.06) encourages siting buildings at street frontages with parking screened behind them, placing a drive through building at the street edge would route the queueing vehicles along that frontage, which is not ideal. Routing the drive through along the parcel edge helps to screen the queue and minimize disruption to the internal circulation of the site. The proposed site layout also maintains the building towers and patio as the predominant features of the development when viewed from within the site and separates the queue from the pedestrian paths of travel.

The applicant proposes to remove the wall between the plazas to provide connecting access between both Plaza by the Sea and Ocean View Plaza. This improvement has been suggested by various community members over the years. Due to the congestion that commonly occurs on the Ocean View Plaza side of this drive aisle (near Trader Joes), Planning initially recommended a pedestrian only connection and cited Urban Design Policy 5.01, which encourages paseos and other outdoor pedestrian friendly features. However, Engineering is supportive of a full vehicular connection as proposed, which prevents short turn outs onto Camino De Los Mares for people trying to move from one plaza to the other. The applicant did incorporate a clearly delineated path of travel and improved landscaping through this “paseo” area. Engineering has concerns with the proposed trash container relocation and wants to maintain lines of sight for vehicles attempting to back out of parking stalls in that area. Staff recommends pushing that container back toward the sidewalk to allow better vehicular visibility. The trash enclosure that is proposed to be relocated and rebuilt is not shown in elevations.

Regarding landscaping, there are significant changes proposed at the site. The landscape coverage is currently 15.5% and would drop to 14.7% with the addition of the drive through. Given that the development standard for the CC4 zone is 25% landscape coverage, the project should maintain the existing landscape area and not increase the nonconformity. One alternative would be to incorporate turf block in the paseo or drive through area of the site.

Within the site, 29 trees are proposed to be removed; 36 trees are proposed to be planted. The majority of removal and replanting occurs in the parking lot area. Planning noted on a site visit that the existing crepe myrtle trees in the parking lot were failing to thrive. The crepe myrtle trees are proposed to be replaced by a blend of carrotwood and Natchez crape trees. The landscaping around the proposed building would also change. Existing

trees (including a date palm, sycamore, and several eucalyptus) would be removed, and three new Natchez crape trees would be planted. Staff notes there is room for several additional trees in this area, including planter along the ADA pathway and adjacent to the patio. Finally, turf is proposed to be replaced in the area of the wall removal and replaced with shrubs and three Natchez crape trees.

#### *Conditional Use Permit 19-205*

Per Table 17.36.020, which describes the allowed uses within commercial zones, a drive through facility for a coffee shop requires approval of a Conditional Use Permit (CUP). According to Section 17.28.260, "The presence of drive-throughs may result in adverse impacts on adjacent properties and residents or on surrounding neighborhoods. The purpose of this section is to anticipate and mitigate these impacts. To this extent, this section considers customer and employee parking demand, traffic generation, noise, light, litter, and the cumulative impacts of such demands in one area."

This section requires a minimum queue for 6 stacked vehicles. The proposal exceeds this baseline, providing space for 8 vehicles within the drive through lane. Five more vehicles could be accommodated within the driveway entry to the plaza before backing into the public sidewalk along Camino De Los Mares. Regardless, drive throughs require review and approval by the City Engineer and "shall not interfere with on or off-site circulation patterns." Engineering reviewed the proposed drive through and has some concerns about the length of the queue. Their concerns relate to potential peak hour back ups that could interfere with the primary access into the plaza from Camino De Los Mares at the Camino El Molino signalized intersection.

In response to Engineering's concerns, the applicant prepared a traffic study that surveyed three southern California Coffee Bean & Tea drive-through locations as a baseline for the proposed facility. The size of the proposed drive-through would accommodate the peak queues observed (10 vehicles) at the busiest surveyed Coffee Bean location. While this data seems to indicate the queue length would be sufficient, there are still some Engineering concerns due to a lack of definitive comparable data. The potential tenant has not operated a drive through previously, so service times are estimates only. The comparable service times provided are from Coffee Bean stores along major thoroughfares, but none were as close to a freeway as the project site.

The site is not adjacent to residential land uses, which is the other potential concern discussed in the Code regarding the CUP. Planning Commission may still review and condition any aspects such as hours of operation or potential noise impacts, but that discussion is not a part of the scope of design review.

*For further analysis of compliance with Development Standards, General Plan Policies and Design Guidelines, please see Attachment 2.*

**RECOMMENDATIONS:**

To improve the project's consistency with the Design Guidelines, staff recommends the following modifications. These are aimed at bringing the project further in line with the Design Guidelines and improving the project's architectural quality:

1. The stucco insets by the entries should have the same inset depth as the doorway (minimum 12"). It is strongly preferred to accent the doors with a tile surround as opposed to filling the opening with glass. For the arched opening, use an arched glass storefront system to match the opening as seen in Figure 5.

**Figure 5: Arched Glass Matching Entry Inset**



2. Insets should be functional. Use a rectangular insets for rectangular windows (such as in the patio area) and arched insets for arched doorway patterns.
3. Indicate awnings with a "sweep" instead of a rigid design. Use colors from the Santa Barbara color sample palette.
4. Provide sample exterior detail elements within the plan set, to include light fixtures, tile, etc. With new construction (as opposed to remodels of existing buildings), details should be less "modern" and more authentically Spanish Colonial in styling.

**Figure 6: Decorative Light Fixures**



5. Reuse the decorative tiled inset design from the primary entry (seen in Figures 2 and 3) around the drive through window to accent this space. Remove the two other minor

insets (segmented arches) on the southwest elevation, but maintain the vine trellises -- substituting for a more decorative shape or design that is interesting with or without plant material, such as this:

**Figure 7: Decorative Wrought Iron / Trellis**



6. Incorporate additional pedestrian features where possible, such as bike racks and benches. Special attention should be added between buildings C and D where the wall between Ocean View and Plaza by the Sea is proposed to be removed. This space should feel like a “paseo” more than a street.
7. Between buildings C and D, push the trash enclosure back from the connecting “paseo” towards the sidewalk to allow for better visibility for cars parking and backing out of adjacent stalls. Provide an updated elevation showing the materials of the trash enclosure; it should mimic the style of the new enclosure by the outparcel building.
8. Designate a reserved parking stall for “drive through delivery” as one remedy to the site constraints of a limited queue length.
9. Provide a couple of additional trees on the south side of the proposed new building near the patio area.
10. Amend the Discretionary Sign Permit (if needed) to address any new signage on the building. Remove any signage from the rear elevation as this is freeway visible. This will be incorporated as a condition of approval. (The existing DSP prescribes sign size, material, mounting, and illumination.)
11. Expand the scope to address existing concerns at the site, such as:
  - a. Shield existing wall mounted light fixtures that produce glare and spillover beyond the property lines (primarily behind Stater Brothers building).
  - b. Indicate an area for the Stater Brothers staff break area, which does not seem to have been previously permitted.
  - c. Provide an addition or a screening wall for seasonal shipping containers at rear of the Stater Brothers to address recurring Code Compliance correction notices.



## **CONCLUSION**

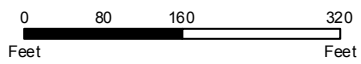
Staff and the applicant seek input from the Subcommittee on the recommendations above as well as any additional recommendations that the applicant should take into consideration. Staff also seeks DRSC direction regarding whether the project should return for further review prior to advancing towards a Planning Commission hearing.

### ***Attachments:***

1. Location Map
2. Consistency Analysis: Development Standards, General Plan, and Design Guidelines
3. Renderings from other recent Drive Through projects
4. Plans



**City of San Clemente**  
 Project: MAP 18-250, DSP 18-546  
 Address: 610-628 Camino de los Mares



# ATTACHMENT 2

## Plaza by the Sea Drive Through: Consistency Analysis with City Standards

**Table 1 – Development standards**

	<b>Development Standard</b>	<b>Proposed</b>	<b>Complies with standards</b>
Density, Floor Area Ratio (Maximum)	.50	.25 (center)	Yes
Lot coverage (Maximum)	60%	~25% (center)	Yes
Height (Maximum)	45' top-of-roof, 37' plate line, 3 stories	35' top-of-roof, 28' plate line, 1 story	Yes
Setbacks (Minimum):			
Front (east) facing street	0'	130'	Yes
North side yard	0'	21'	Yes
South side yard	0'	100'+	Yes
Rear yard (faces I-5)	0'	12'	Yes
Landscaping (Minimum):			
Trees	6 trees required for 150' of street frontage. One 15-gallon tree required per 25' street frontage	50 trees	Yes
Percent of gross lot area with plant coverage	25%	14.7% center (15.5% existing)	No
Percent of parking area	12% for 50+ shared stalls in commercial center	20.4% center	Yes
Planter adjacent to street frontage	10' wide	7.8' center existing	Yes
Required parking (Minimum):			
610 Building	1 space per 5 seats for coffee/café 1 space per 400 square feet for retail	11 adjacent spaces	Yes*
Entire Plaza	Governed by on-site shared parking; allows "downtown" parking ratios	197 parking spaces with parking lot redesign and restriping (originally 202)	Yes*

\* MCUP 18-481 was approved and allows for on-site shared parking using the CB Overlay Parking ratio

**Table 2 – Design Guidelines**

Design Guideline	Project Consistency
<p>1. <i>Design Guidelines II.B.3, Scale, Mass, and Form.</i> “Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.”</p>	<p>Consistent. The building has setbacks between adjacent uses and the project’s scale and size are in character with existing buildings in the commercial center.</p>
<p>2. <i>Design Guidelines II.C.2, Basic Principles of ‘Spanish Colonial Revival’ Architecture.</i> “Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture.”</p>	<p>Partially consistent. While the project has SCR elements, such as whitewashed stucco, and red-tile, single-barrel roofing, there are some details that are misplaced, not functional, or inconsistent with the quality and character of SCR architecture. For instance, the glass storefront systems should be designed to complement the stucco insets: arched glass systems in arched openings, etc. Also, faux insets should be removed. Other than details, the visual balance and articulation of the building’s scale, mass, and form is mostly consistent with Design Guidelines as noted elsewhere in this table.</p>
<p>3. <i>Design Guidelines II.C.3.b, Building Form and Massing.</i> “Reduce the perceived height and bulk of large structures by dividing the building mass into smaller scale components.” And “Avoid long and unrelieved wall planes. As a general principle, relieve building surfaces with recesses that provide strong shadow and visual interest.”</p>	<p>Consistent. There are plane breaks and building offsets to break the height and bulk of the building into smaller components. The towers and pergola over the patio area break up building surfaces, modulate the perceived height, provide shadow lines, and add visual interest.</p>
<p>4. <i>Design Guidelines II.C.3.c, Proportion and Scale.</i> “Create a visual balance in the relation between dimensions of buildings and their parts.”</p>	<p>Consistent. There is visual balance in the scaling and sizing of most building elevations. The pitched roof elements should be larger to be in visual balance with the size of building elements below them, and to provide sufficient eave detailing and depth for shadowing on the façade.</p>
<p>5. <i>Design Guidelines II.E.3, Parking Lot Perimeters.</i> “Visually screen off-street lots from street view through the use of landscaping.”</p>	<p>Consistent. The project improves landscaping with plant species and sizing to provide screening and enhance the site’s appearance. This includes larger plants to screen equipment.</p>

Design Guideline	Project Consistency
<p>6. <i>Design Guidelines II.C.3.d. Building Materials, Color, and Texture.</i> White, off white, or earth tone cement plaster/stucco finishes are encouraged along with whitewashed brick or adobe; windows should be wood framed or non-corrosive metal finish; awnings are encouraged; dark and reflective glass are discouraged.</p>	<p>Consistent. The plans reference the Santa Barbara color guide for Spanish Colonial Revival buildings. Staff does recommend a color other than red for the awnings, however.</p>
<p>7. <i>Design Guidelines II.C.3.e, Signage.</i> “Signs should be integrated with the design concept of the building and site.”</p>	<p>Partially consistent. Additional information is needed. Wall signs will be regulated by the new Master Sign Program (MSP). The MSP should be amended to indicated that no signs will be placed on the rear elevation of the building that is freeway visible and should also indicate the parameters of the drive through menu board(s).</p>
<p>8. <i>Design Guidelines II.F, Building Equipment and Services.</i> “Locate and design building equipment to minimize visual impact on public streets and neighboring properties.”</p>	<p>Consistent. The new trash enclosure meets design guidelines and is set at the rear of the site away from the primary pedestrian areas. The rebuilt trash enclosure in the paseo area should specify the same design criteria as that of the drive through.</p>

**Table 5 – General Plan Policies**

Policy	Project Consistency
<p>1. <i>LU-7.01, Camino De Los Mares Focus Area, Commercial Areas.</i> “We support the continuation and enhancement of commercial centers...”</p>	<p>Consistent. The project demolishes a dilapidated vacant building, develops a more attractive building, and makes a number of signage and landscaping improvements in the commercial center.</p>
<p>2. <i>LU-7.06, Camino De Los Mares focus Area, Design Treatment.</i> “Within the Camino de los Mares Focus Area, development projects, including major remodels, shall have a Spanish architectural design, consistent with the Design Guidelines.”</p>	<p>Mostly consistent. The project has a Spanish architectural design. Design changes are recommended to improve the project’s consistency with Design Guidelines.</p>

Policy	Project Consistency
<p>3. <b>UD-2.01, Architecture/Design Quality.</b> “We require high quality design for buildings at visually significant locations in Gateway areas. New buildings and major remodels in Gateway areas adjacent to or opposite I-5 offramps...shall follow Spanish Colonial Revival [SCR] architectural style...”</p>	<p>Partially consistent. The architecture of the proposed building utilizes elements of the SCR style. Design changes are recommended to improve the project’s consistency with this specific General Plan policy and design guidelines. Refer to Table 4 above for an analysis of Design Guidelines. Some minor changes should be incorporated to meet the high standard of quality expected of new build structures.</p>
<p>4. <b>UD-5.10, Scale and Massing.</b> “We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.”</p>	<p>Consistent. The project’s scale and size is in character with the surrounding neighborhood, consisting of a mix of small scale commercial buildings set back from the proposed building.</p>
<p>5. <b>UD-5.18, Drought Tolerant/Native Species Landscaping.</b> “Ornamental plantings in new, non-residential development should consist primarily of drought tolerant and California native species. Only in small areas and special public locations, such as high-use areas of parks, should lawns or other high water use vegetation be used.”</p>	<p>Partially Consistent. A preliminary landscape plan was reviewed by the City’s landscape architect consultant, Summers Murphy Partners during the façade remodel for the site. The plan was found to be in compliance with requirements. Some new modifications are proposed within the scope of this new site plan review. The total landscape coverage is legal nonconforming; but that coverage should not be reduced by the new project. Interlocking pavers (preferably artificial turf block) should be added in the paseo area and potentially in the drive through area to maintain the 15.5% coverage. Detailed irrigation plans are required prior to issuance of building permits.</p>

**ATTACHMENT 3A  
Chick-Fil-A**



**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**



**PRELIMINARY ELEVATIONS**  
San Clemente, CA

**Note:**

1. All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.
2. Any wood treatment needs to be fire-treated and must satisfy the OCF A requirements. This is a high fire zone.
3. Two-piece clay tile roofing shall be used with booster tiles on the edges and ridges and 30% random mortar packing.
4. Stucco walls with a "steel, hand trowel" (no machine application), smooth Mission finish and slight undulations (applied during brown coat) and bull-nosed corners and edges, including archways (applied during lathe), with no control/expansion joints.
5. Windows shall deeply recessed. Depth of recess determined through discretionary review.

**COLOR AND MATERIAL LEGEND**

<b>STC-1</b>	Smooth Trowel Cement Plaster - Color To Match Paint - Sherwin Williams SW6385 "Dover White"
<b>GFRC</b>	Glass Fiber Reinforced Concrete - Color To Match Paint - Sherwin Williams SW6117 "Smokey Topaz"
<b>R-1</b>	Roof Tile - Mission Clay Roof Tile To Match The Center
<b>R-2</b>	Standing Seam Metal Roof - Berridge Coo-Lox Metal "Charcoal Grey"
<b>PT-1</b>	Paint - Sherwin William SW7048 "Urbane Bronze"
<b>A-1</b>	Fabric Awning - Sunbrella 6007 "Charcoal Tweed"
<b>ST-1</b>	Aluminum Storefront - Kawneer - Champagne Anodized Frames w/Black Doors, Stainless Pulls





**SECTION 1 THRU AVENIDA VISTA HERMOSA STREET**



PRELIMINARY SECTION  
San Clemente, CA







SECTION 2 THRU AVENIDA VISTA HERMOSA STREET



PRELIMINARY SECTION  
San Clemente, CA





NORTHEAST VIEW



PRELIMINARY ELEVATIONS  
San Clemente, CA





SOUTHEAST VIEW



PRELIMINARY ELEVATIONS  
San Clemente, CA





NORTHWEST VIEW



PRELIMINARY ELEVATIONS  
San Clemente, CA





**BIRDEYES VIEW 1**



PRELIMINARY ELEVATIONS  
San Clemente, CA



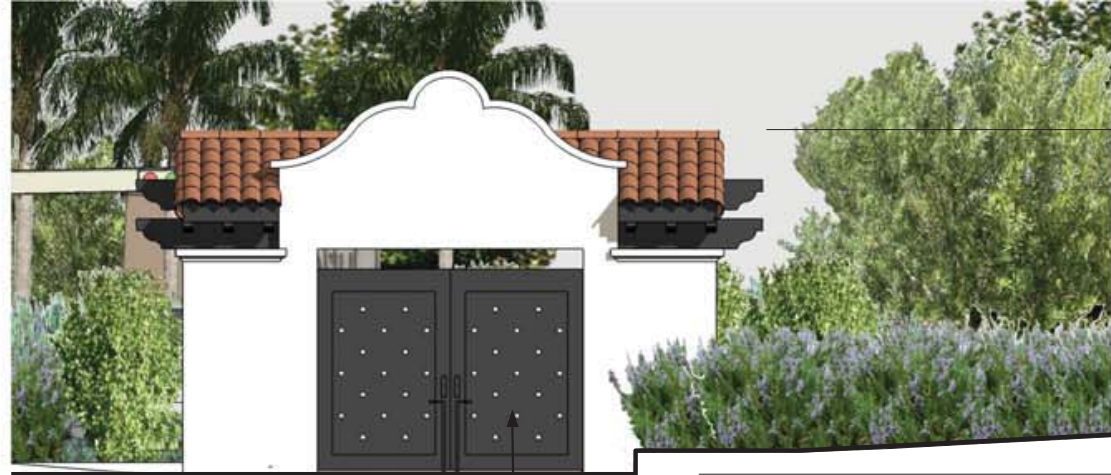


BIRDEYES VIEW 2



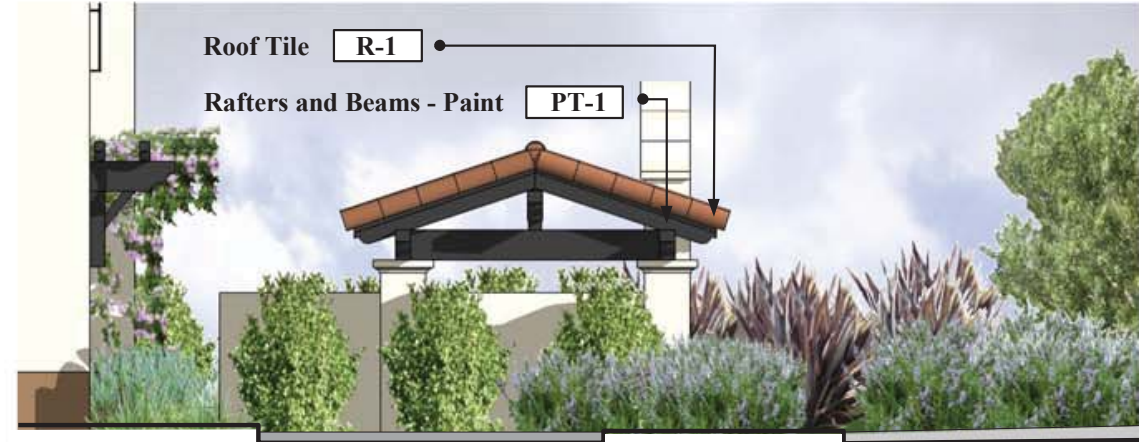
PRELIMINARY ELEVATIONS  
San Clemente, CA





Iron Door with Oxidized Brass Studs-  
Paint **PT-1**

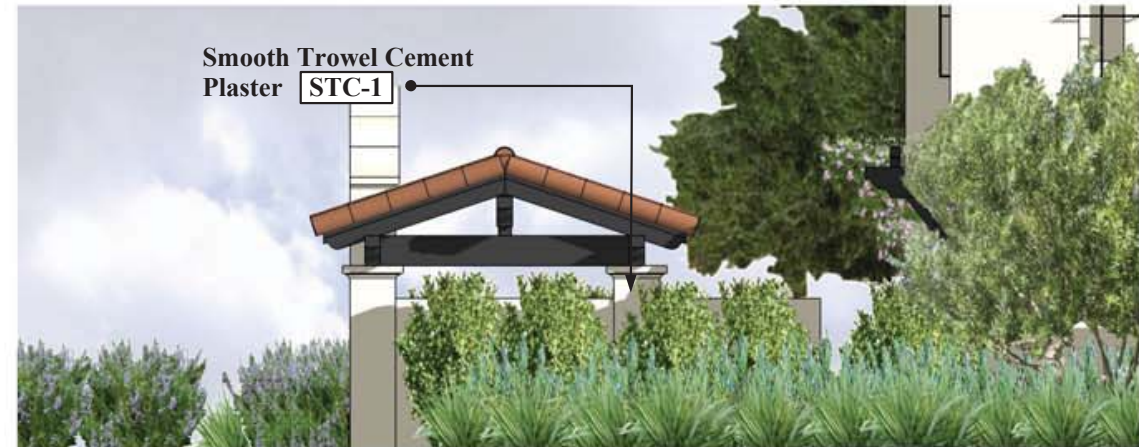
**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**



TRASH ENCLOSURE ELEVATIONS  
San Clemente, CA 10/26/18

**COLOR AND MATERIAL LEGEND**

- STC-1** Stucco - To Match Paint - Sherwin Williams SW6385 "Dover White"
- R-1** Roof Tile - Mission Clay Roof Tile To Match The Center
- PT-1** Paint - Sherwin William SW7048 "Urbane Bronze"

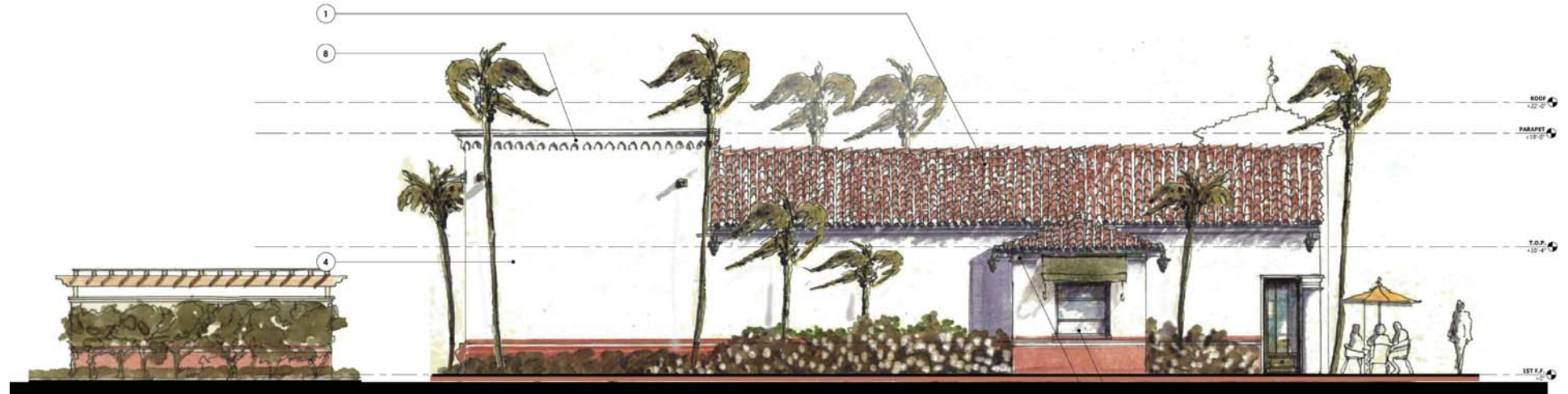


# ATTACHMENT 3B Starbucks



### KEYNOTES

1. 18" MCA clay roof tile, classic tapered mission style, 'old Santa Barbara blend' color, typ.
2. 4x6 exposed rafter tails with full radius end w/olympic solid stain, 'Oxford Brown', typ.
3. Steel storefront system with 1" clear glass & dk. bronze color, typ.
4. Porex USA stucco, smooth finish, 'Snowbird' 10423, color, typ.
5. Porex USA stucco, smooth finish, 'Rose' 10191, color, typ.
6. **NOT USED** Wall/trim: Porex USA stucco, smooth finish, 'Sombroso' 10231 color, typ. **NOT USED**
7. **NOT USED** Wall/trim: Porex USA stucco, smooth finish, 'Rose' 10191, color, typ. **NOT USED**
8. Parapet cornice: Porex USA stucco, smooth, 'Sombroso' 10231, color, typ.
9. Mission style wall sconce, typ.
10. Drive thru service window w/ stainless steel counter.
11. 18" wide x30" high accent window w/ dark bronze sfl. frame & 1" clear glass, typ.
12. 36" high wall base molding, finish & color to match wall, typ.
13. Raze chimney detail.
14. Starbucks corporate logo sign, 42"Ø, internally illuminated, typ.
15. **NOT USED** Starbucks coffee sign, internally illuminated letters, 8" high @ street, 12" high @ east garage, 'red' a post, typ. **NOT USED**
16. S.C. wood door w/ H.M. frame, Dunn Edwards paint, 'Drift' typ.
17. Solid wood framed cover w/ 4x4 joist, paint to match roof framing.
18. 7'Ø high wood plank gate on steel frame, stained, typ.
19. Half round gutter, typ.
20. Copper leader box, typ.
21. Rain canals, typ.
22. Canvas awning, typ.
23. Custom filigree design for entry storefront, by architect, typ.



East Elevation 3/16" = 1'-0"



North Elevation 3/16" = 1'-0"



South Elevation 3/16" = 1'-0"



West Elevation 3/16" = 1'-0"

**MAA**  
Milosch Architectural Group, Inc.  
739 East E Street  
Ontario, CA 91764  
(951) 533-3730  
apm.tarch@gmail.com

PREPARED FOR:  
Sycamore Canyon Group, LLC  
10 Sycamore Canyon Dr.  
Trabuco Canyon, CA 92679

PROPOSED LOCATION FOR:  
**STARBUCKS COFFEE**  
620 E. AVENIDA PICO  
SAN CLEMENTE, CA 92673

DATE  
SEPT. 25, 2017

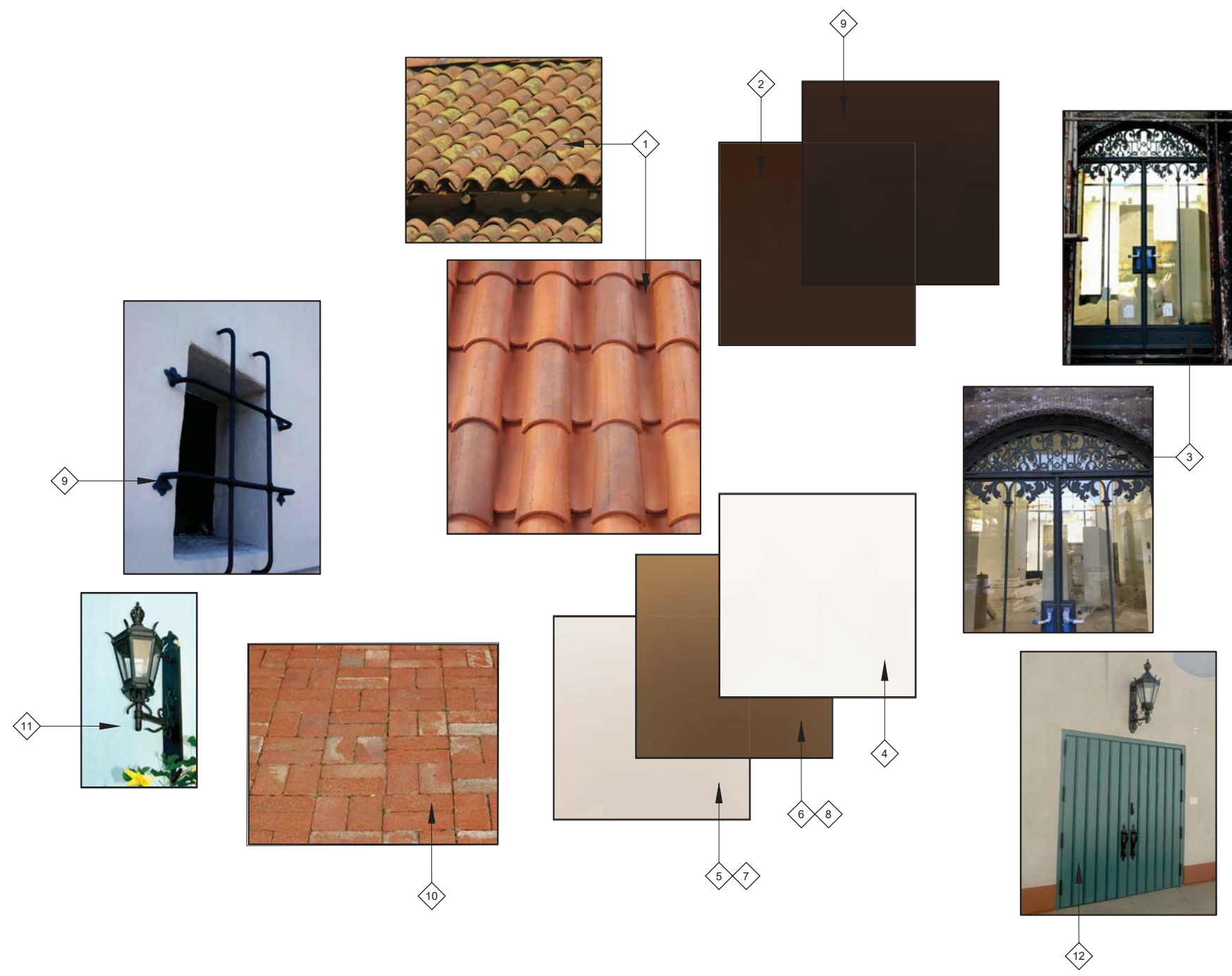
REVISIONS	
11-30-17	
12-1-17	
12-5-17	
2-7-18	
3-6-18	
3-8-18	
3-19-18	TRASH ENCL
4-6-18	ELEC RM

SHEET TITLE

BUILDING  
ELEVATIONS

**EX2**





**KEY NOTES**

- 1 (N) MCA CLAY ROOF TILE, CLASSIC TAPERED MISSION STYLE, 'OLD SANTA BARBARA BLEND' COLOR, TYP.
- 2 6x6 EXPOSED RAFTER TAILS WITH FULL RADIUS END W/ OLYMPIC SOLID STAIN, 'OXFORD BROWN', TYP.
- 3 STEEL FRAME STOREFRONT SYSTEM, FRETWORK WHERE APPLIES, TYP.
- 4 PAREX-USA STUCCO, SMOOTH FINISH, 'SNOWBALL' 10400L COLOR, TYP.
- 5 PAREX-USA STUCCO, SMOOTH FINISH, 'ROSE' T019L COLOR, TYP.
- 6 WALL/TRIM: PAREX-USA STUCCO, SMOOTH FINISH, 'SOMBRERO' T023L COLOR, TYP.
- 7 WALL TRIM: PAREX-USA STUCCO, SMOOTH FINISH, 'ROSE' T019L COLOR, TYP.
- 8 PARAPET CORNICE: PAREX-USA STUCCO, SMOOTH, 'SOMBRERO' T023L COLOR, TYP.
- 9 ORNAMENTAL STEEL, DUNN EDWARDS PAINT, 'WEATHERED BROWN' COLOR, TYP.
- 10 BRICK PAVERS, TYP.
- 11 MISSION STYLE WALL SCONCE, TYP.
- 12 WOOD DOOR W/ H.M. FRAME, DUNN EDWARDS PAINT, 'DRIFTING', TYP.



North Elevation at Avenida Pico Not to Scale

**MAA**  
 Milosch Architectural Group, Inc.  
 739 East E Street  
 Ontario, CA 91764  
 (951) 533-3730  
 apm@arch@gmail.com

PREPARED FOR:  
 Sycamore Canyon Group, LLC  
 10 Sycamore Canyon Dr.  
 Trabuco Canyon, CA 92679

PROPOSED LOCATION FOR:  
**STARBUCKS COFFEE**  
 620 E. AVENIDA PICO  
 SAN CLEMENTE, CA 92673

DATE  
 SEPT. 25, 2017

REVISIONS
10-27-17
11-30-17
12-1-17
12-5-17
2-8-18
3-6-18
3-8-18
4-6-18

SHEET TITLE

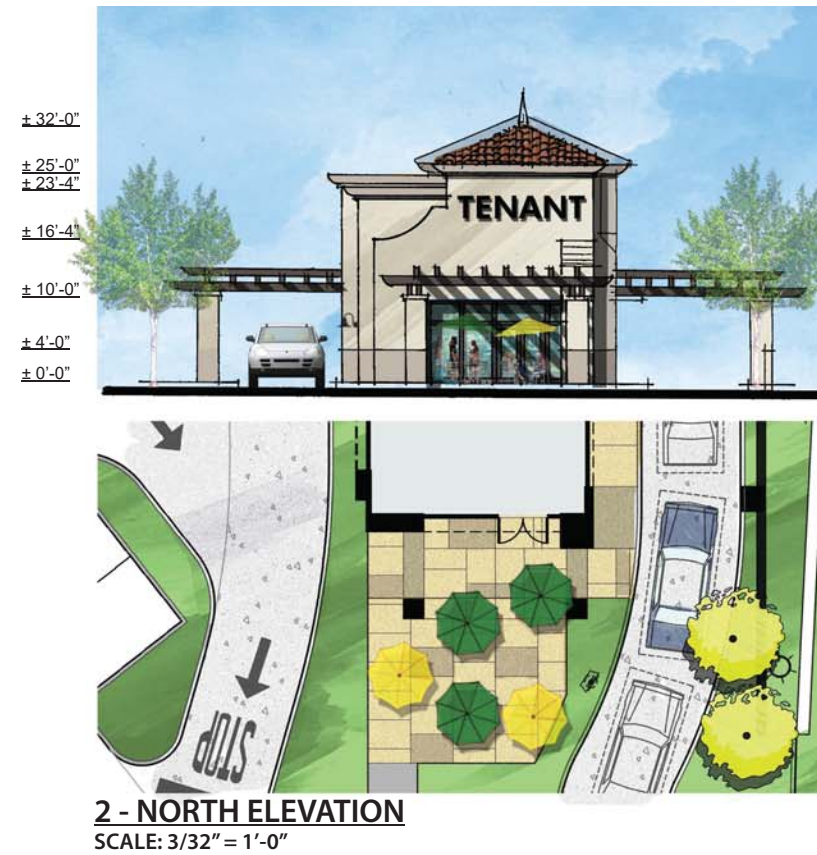
BLDG. COLORS & MATERIALS

# Building Colors & Materials

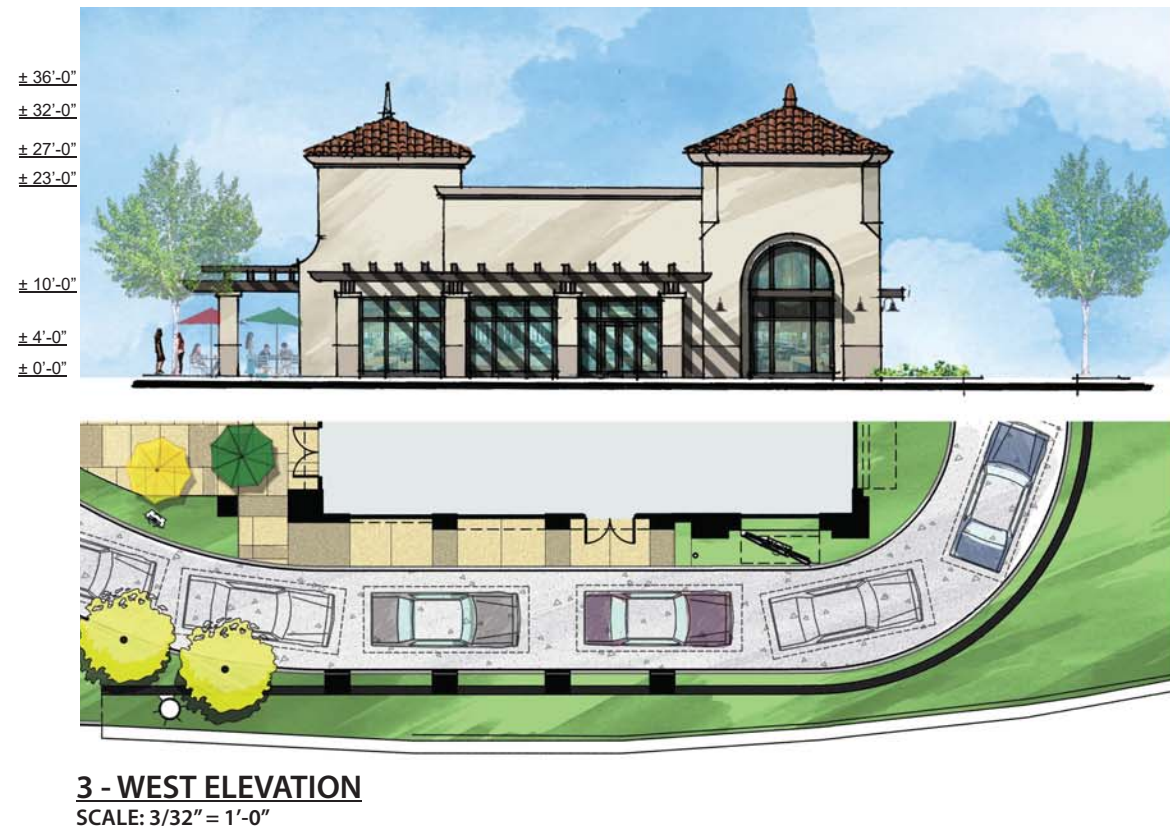
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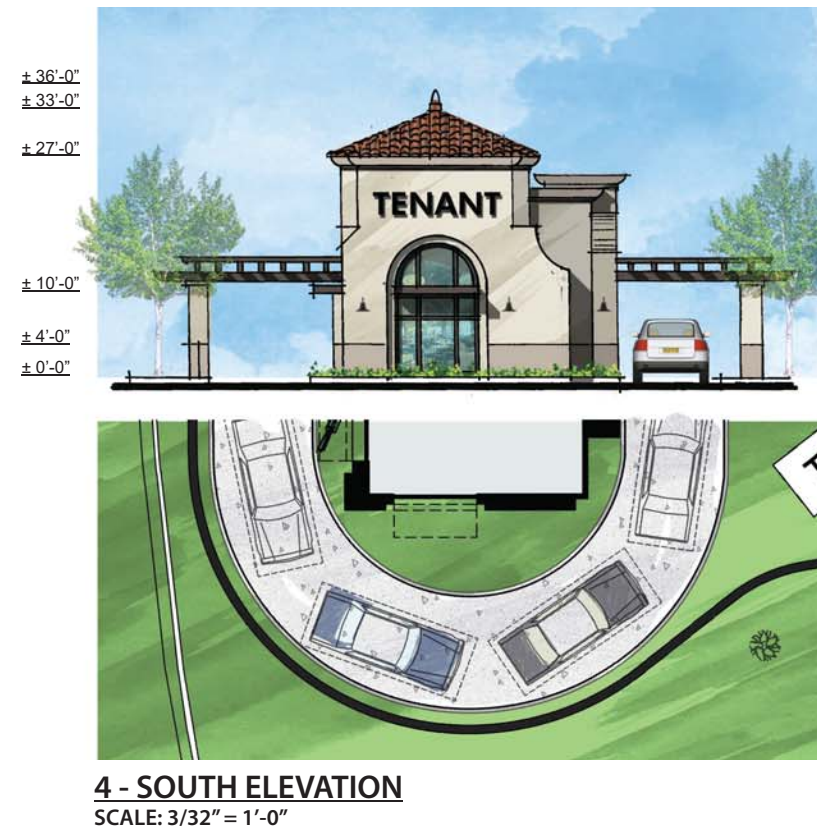
**1 - EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



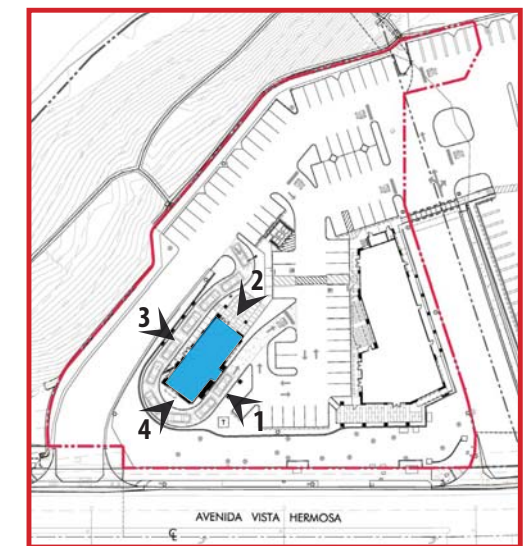
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SCALE: 3/32" = 1'-0"



**3 - WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



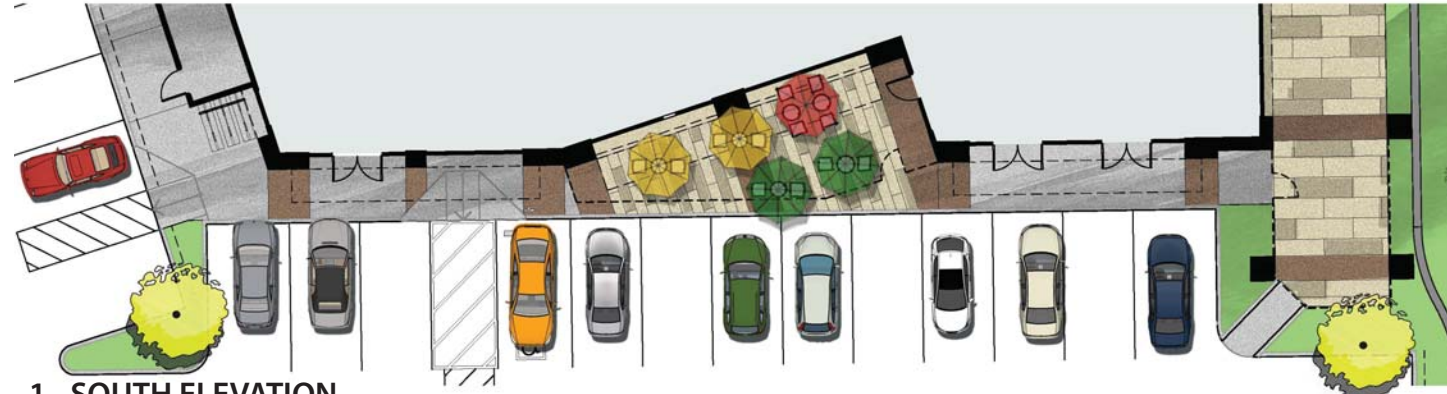
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SCALE: 3/32" = 1'-0"



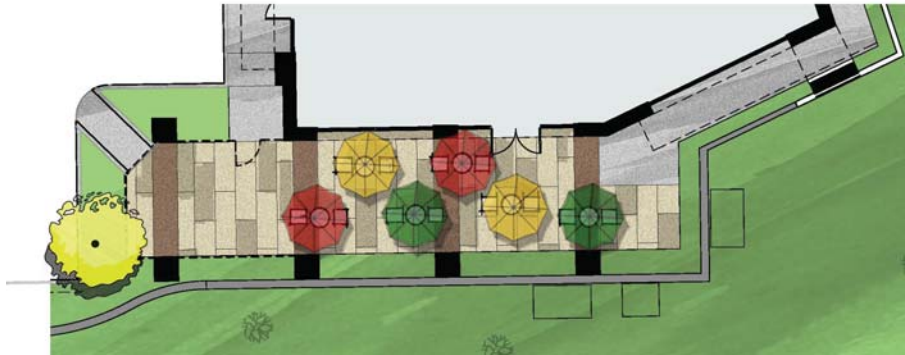
**KEYPLAN**



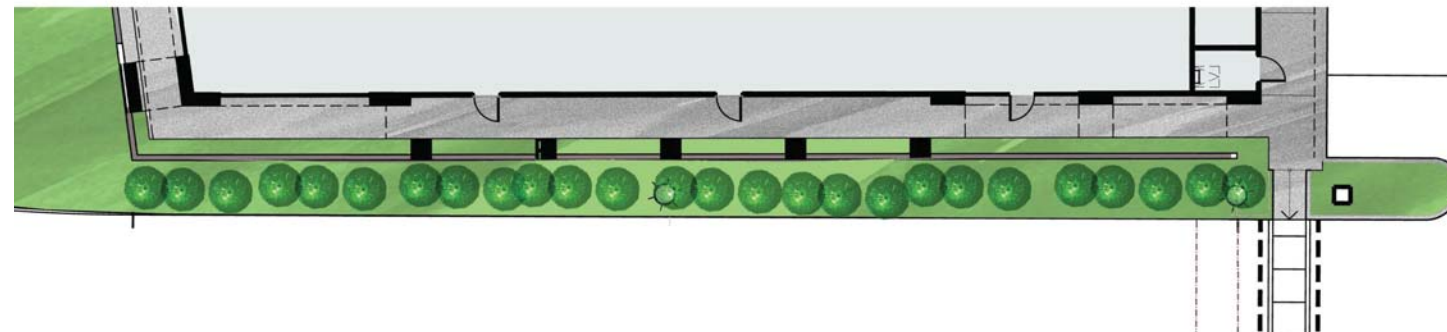
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SCALE: 3/32" = 1'-0"



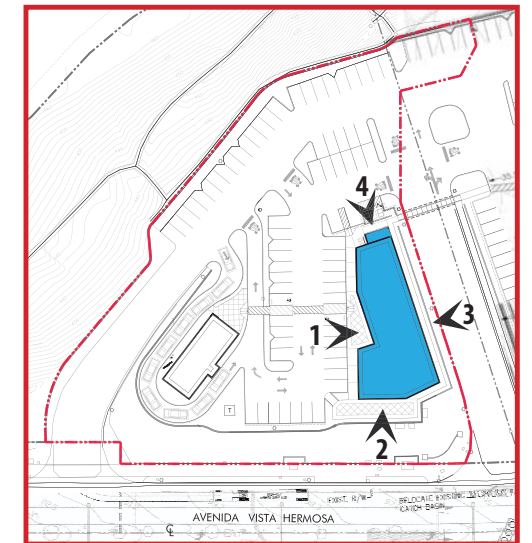
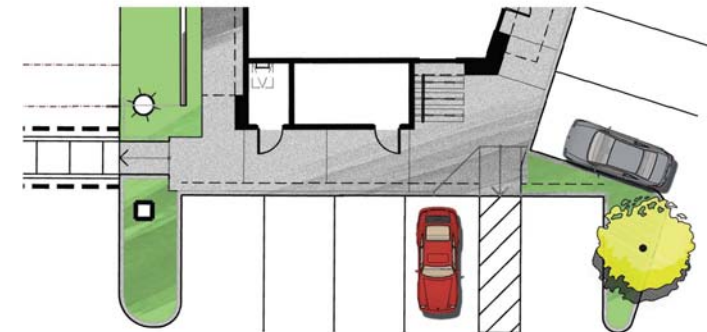
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SCALE: 3/32" = 1'-0"



**3 - NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**4 - WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**KEYPLAN**

A PROJECT FOR:

**CADENCE**

CADENCE CAPITAL  
INVESTMENTS, LLC.  
178 North Crescent Drive, Suite 4  
Beverly Hills, California 90210  
Tel.: (650) 387-9023



AVENIDA VISTA HERMOSA  
KEY MAP

**San Clemente  
Retail Development**  
NWC AVENIDA VISTA HERMOSA  
AND AVENIDA LA PATA  
SAN CLEMENTE, CALIFORNIA 92673

ISSUES / REVISIONS

No.	DATE	DESCRIPTION
1	00.00.00	CONDITIONAL USE PERMIT, TENTATIVE PARCEL MAP, SITE PLAN REVIEW, ARCHITECTURAL PERMIT AND DISCRETIONARY SIGN PERMIT

AS INSTRUMENTS OF SERVICE, ALL DESIGNS, IDEAS, AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF MCKENTLY MALAK ARCHITECTS, P.C. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF MCKENTLY MALAK ARCHITECTS, P.C. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

JOB NUMBER: 17090  
DRAWN BY: RH CHECKED BY: MK  
DATE: 11.15.17  
SHEET DESCRIPTION:

**LANDSCAPE  
CONCEPTUAL PLAN**

SHEET NUMBER:

**L001**

BASED ON SCHEME SP-25



**PLANT PALETTE**

Symbol	Botanical Name	Common Name	WUCOLS
	Platanus racemosa	California Sycamore	Mod
	Rhus lancea	African Sumac	Low
	Pyrus c. 'Bradford'	Bradford Pear	Mod
	Pyrus c. 'Chanticleer'	Flowering Pear	Mod

Existing tree to remain, protect in place

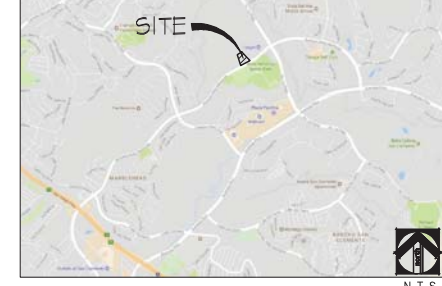
Symbol	Botanical Name	Common Name	WUCOLS
	Bougainvillea 'Barbara kare'	N.C.N.	Low
	Coastalania gillettii	Bird of Paradise	Low
	Conoclinium 'Dusky Bell'	Red Australian Fuchsia	Low
	Dietes vegeta	Fortnight Lily	Low
	Dodonaea viscosa 'Purpurea'	Purple Hopseed	Low
	Elaeagnus pungens	Silverberry	Low
	Phormium tenax	New Zealand Flax	Low
	Penstemon 'Eaton Canyon'	Dwarf Red Fourtoun Grass	Low
	Rhamnus californica 'Eve Case'	Coffeeberry	Low
	Rosmarinus officinalis	Rosemary	Low

Existing landscape to remain, protect in place

NOTES:

- PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY. PLANT PALETTE SELECTIONS REFLECT EXISTING THEMES.
- ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL COMPLY WITH CITY OF SAN CLEMENTE GUIDELINES, CODES AND REGULATIONS, INCLUDING THE FORSTER RANCH SPECIFIC PLAN.
- ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
- ALL LANDSCAPE AREAS SHALL BE MULCHED (3").
- ALL LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED.
- WHERE TREES ARE WITHIN 9' OF WALKWAYS OR PAVING SURFACES, ROOT OR MOISTURE BARRIERS SHALL BE INSTALLED.
- PERCENT LANDSCAPE TO OVERALL SITE: 29%

VICINITY MAP



CONCEPTUAL LANDSCAPE PLAN  
**SAN CLEMENTE RETAIL DEVELOPMENT**  
SAN CLEMENTE, CALIFORNIA

SHEET 1 OF 1  
DATE: 11-15-17

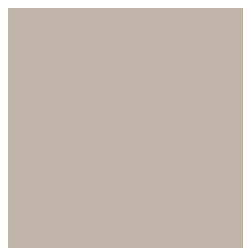
conceptual design & planning company  
3195-C Airport Loop Dr, Studio One, Costa Mesa, CA 92626  
T: 949.399.0870 F: 949.399.0882 www.cdpcinc.com  
6659 Mono Road, Atascadero, CA 93422  
T: 805.466.3385 F: 805.466.3204



CDPC JOB#: 17090

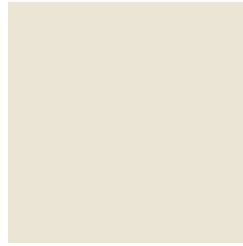
**A**

PAINT  
COLOR: DEC751 ASH GRAY  
BY: DUNN EDWARDS



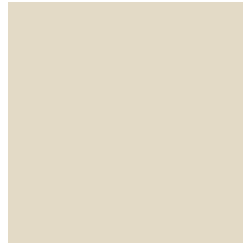
**B**

PAINT  
COLOR: DET653 HISTORIC WHITE  
BY: DUNN EDWARDS



**C**

PAINT  
COLOR: DET672 INSTANT CLASSIC  
BY: DUNN EDWARDS



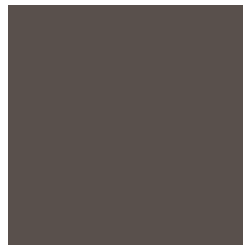
**D**

PAINT  
COLOR: DEC718 MESA TAN  
BY: DUNN EDWARDS



**E**

PAINT  
COLOR: DEC756 WEATHERED BROWN  
BY: DUNN EDWARDS



**1** EXTERIOR CEMENT PLASTER  
SMOOTH STEEL TROWEL  
BY: LA HABRA STUCCO



**2** STOREFRONT SYSTEM  
COLOR: BLACK ANODIZED  
BY: US ALUMINUM  
**3** STOREFRONT GLASS  
TYPE: 1" CLEAR FLOAT GLASS  
BY: PPG



**5** CONCRETE BASE  
FINISH: LIGHT SANDBLAST  
COLOR: ASH GRAY  
BY: SEAWRIGHT CUSTOM PRECAST



**6** ROOF TILE  
MODEL: 2-PIECE MISSION  
COLOR: CARMEL BLEND  
BY: BORAL ROOFING



**7** METAL CANOPY  
FINISH: PAINTED STEEL  
COLOR: DEC756 WEATHERED BROWN  
BY: NEW CONSTRUCTION



**8** WOOD EAVES  
FINISH: SOLID STAIN, PAINTED  
COLOR: DEC718 MESA TAN  
BY: NEW CONSTRUCTION



**9** LOUVERED METAL AWNING  
FINISH: SOLID STAIN, PAINTED  
COLOR: DEC756 WEATHERED BROWN



**10** METAL TRELLIS  
FINISH: PAINTED  
COLOR: DEC756 WEATHERED BROWN



**11** WALL SCONCE  
MODEL: UCS-SR-STR-ST5-LED-BL-WCV  
COLOR: BLACK  
BY: ARCHITECTURAL AREA LIGHTING



**12** WALL SCONCE (SERVICE DOORS)  
MODEL: LASER - LED LASS562 - NF  
COLOR: BLACK  
BY: ARCHITECTURAL AREA LIGHTING



**13** TRELLIS LIGHTING  
MODEL: PDSW-12-LED  
COLOR: SATIN BLACK  
BY: LIGHTWAY



**14** PEDESTRIAN LIGHTS  
MODEL: UCM-SR-STR-OAL-SAL20C-  
PR4 4R14-125-BC5  
COLOR: BLACK  
BY: ARCHITECTURAL LIGHTING AREA



**15** CONCRETE PAVING  
FINISH: MEDIUM BROOM, SAW CUT  
COLOR: NATURAL GRAY



**16** TRASH RECEPTACLES  
MODEL: A-36  
COLOR: BLACK  
BY: VICTOR STANLEY



**17** BIKE RACKS  
MODEL: BRBS-103  
COLOR: BLACK  
BY: VICTOR STANLEY



**18** ROOF FINIAL  
MODEL: THE WATERFORD  
FINISH: PAINTED ALUMINUM - 48" HIGH  
COLOR: DET680 EXPRESSO MACCHIATO  
BY: COPPER CRAFT



**19** ROOF FINIAL  
PAINTED SMOOTH PLASTER - 12" HIGH  
COLOR: DET653 HISTORIC WHITE  
BY: MOONLIGHT MOLDS

**CADENCE**

CADENCE CAPITAL INVESTMENTS, LLC.  
178 NORTH CRESCENT DRIVE, SUITE 4  
BEVERLY HILLS, CALIFORNIA 90210  
TEL: 650.387.9023

**SAN CLEMENTE RETAIL DEVELOPMENT**

NWC AVENIDA VISTA HERMOSA & AVENIDA LA PATA  
SAN CLEMENTE, CALIFORNIA 92673

**McKenty  
Malak  
ARCHITECTS**

COLOR MATERIAL BOARD

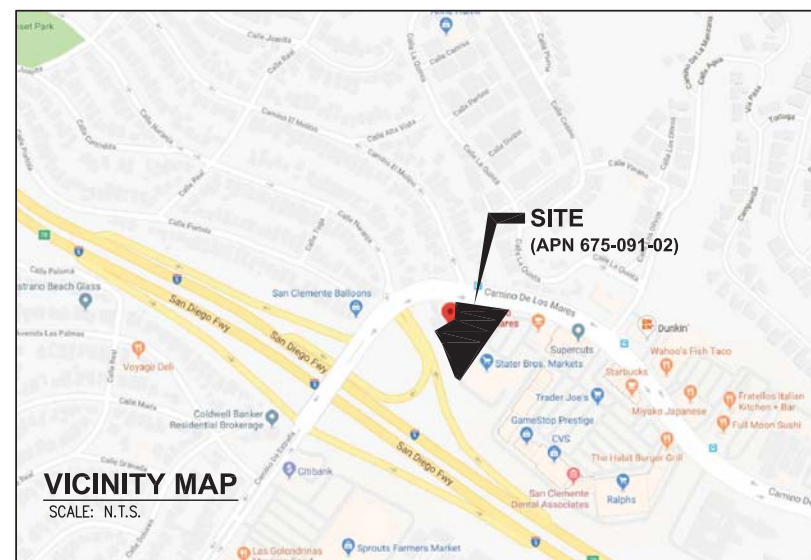
10.27.17 16146MMA

**CM-01**

# PROPOSED MULTITENANT BUILDING

ATTACHMENT 4

610 CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673



SHEET INDEX:	
SHEET	TITLE
COVER	COVER SHEET, RENDERING, & PROJECT INFORMATION
SP.1	CONCEPTUAL SITE PLAN
SP.2	CONCEPTUAL WALL REMOVAL PLAN
SP.3	TRUCK TURN ANALYSIS
LS.1	CONCEPTUAL LANDSCAPE PLAN
LS.2	EXISTING TREE INVENTORY
A.1	CONCEPTUAL FLOOR & ROOF PLAN
A.2	CONCEPTUAL ELEVATIONS & MATERIAL CALLOUTS
A.2.1	CONCEPTUAL COLOR ELEVATIONS & MATERIAL CALLOUTS

SITE/BUILDING DESCRIPTION:	
LIMIT OF DISTURBANCE:	≈17,020 SF / ≈0.391 AC
BUILDING FOOTPRINT:	≈4,252 SF / ≈0.098 AC
EXISTING ZONING:	CC4 COMMUNITY DEVELOPMENT
PROPOSED ZONING:	CC4 COMMUNITY DEVELOPMENT
A.P.N.	675-091-02 & 675-091-06
CONSTRUCTION TYPE:	Ⅹ "B"
OCCUPANCY:	T.B.D. PENDING CODE REQUIREMENTS
FIRE SPRINKLERS:	T.B.D. PENDING CODE REQUIREMENTS

**OWNER/APPLICANT:**

**PROPERTY OWNER:** BRIXMOR PLAZA by the SEA LLC  
C/O BRIXMOR PROPERTY GROUP INC.  
450 LEXINGTON AVENUE, 13TH FLOOR  
NEW YORK, NY 10017

**APPLICANT:** SAME AS OWNER

**PROJECT DESCRIPTION:**

PROJECT SCOPE OF WORK IS TO DEMOLISH EXISTING ABANDONED BUILDING, REMOVE EXISTING TREES AND PARKING SPACES TO ACCOMMODATE THE NEW BUILDING LOCATION AND SITE IMPROVEMENTS. DEMOLITION INCLUDES REGARDING OF THE EXISTING PAD CONFIGURATION. PROPOSED SITE IMPROVEMENTS ARE EXPECTED TO INCLUDE TRENCHING FOR UNDERGROUND UTILITIES AND BUILDING FOUNDATION FOR A NEW 1-STORY, ≈4,252 S.F. MULTITENANT BUILDING (≈4,175 SF G.L.A.), ≈504 SF OUTDOOR PATIO AREA, NEW A/C PAVING FOR A PROPOSED DRIVE-THRU, NEW/MODIFIED COMMERCIAL LANDSCAPING, PARKING LOT RESTRIPING, PAVED WALKWAYS AND ADA PATH OF TRAVEL, AND DRAINAGE/STORMWATER IMPROVEMENTS.

DESCRIPTION	DATE



**PROPOSED MULTITENANT BUILDING**  
610 CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

**COVER SHEET, RENDERING, & PROJECT INFORMATION**  
(AP, CUP, SPP)

THIS DRAWING IS A CONCEPTUAL PLAN, NOT AN ENGINEERING DOCUMENT. THE FINAL DESIGN AND OPERATION OF THE PROPOSED IMPROVEMENTS SHALL CONFORM WITH ANY APPLICABLE LOCAL, STATE AND/OR FEDERAL REGULATIONS.

DATE: 09-06-2019

DRAWN BY: JN

CHECKED BY: AG/KG

SCALE: N.T.S.

SHEET 1 OF 9



**EXISTING OVERALL L.S. SUMMARY:**

TOTAL SITE AREA: 196,125± SF (4.50± AC)  
 TOTAL EXISTING LANDSCAPE AREA: 30,400± SF (0.70± AC)  
 EXISTING LANDSCAPE COVERAGE RATIO: 15.5%

**PROPOSED OVERALL L.S. SUMMARY:**

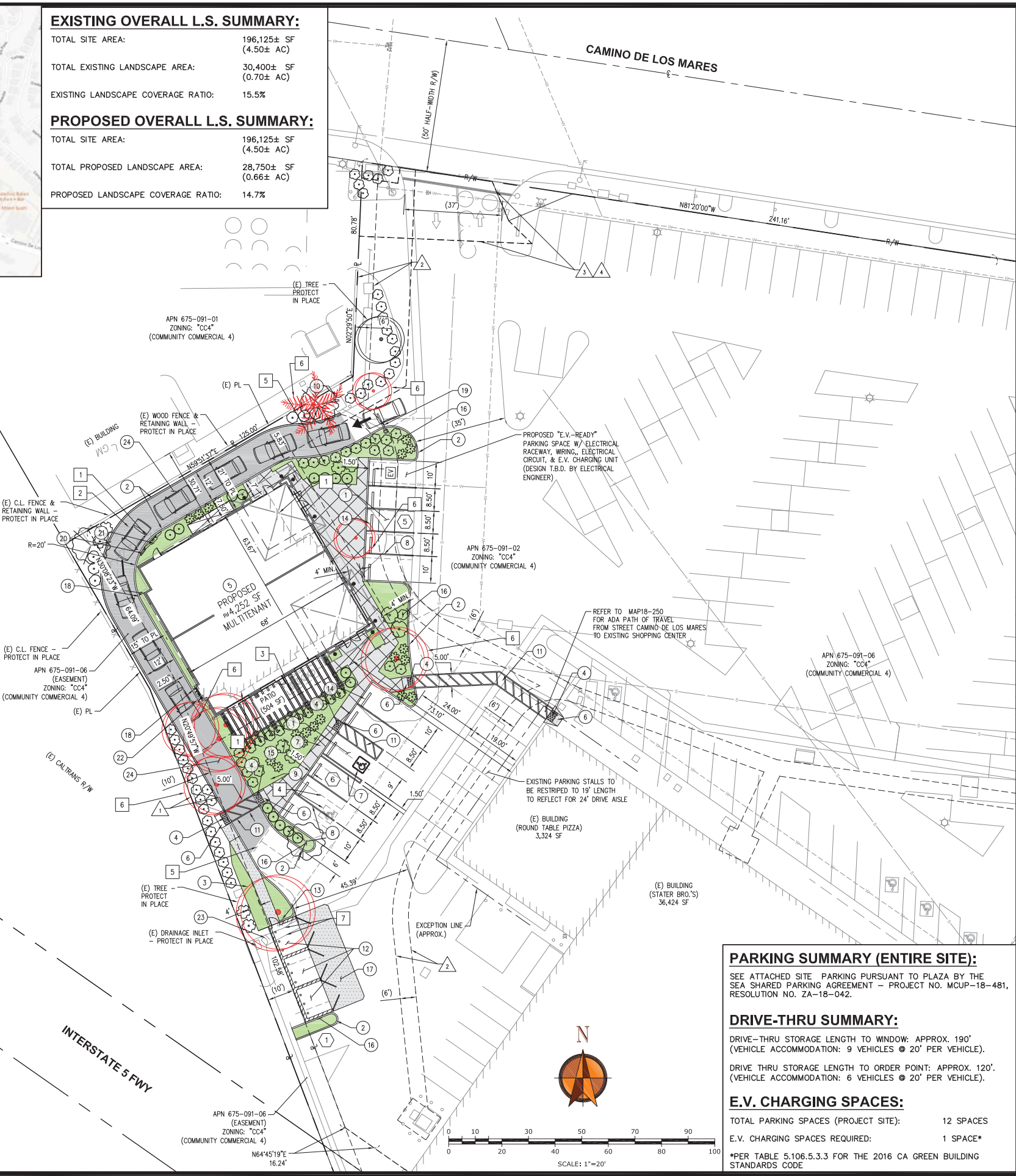
TOTAL SITE AREA: 196,125± SF (4.50± AC)  
 TOTAL PROPOSED LANDSCAPE AREA: 28,750± SF (0.66± AC)  
 PROPOSED LANDSCAPE COVERAGE RATIO: 14.7%

**SITE DESCRIPTION:**

LIMIT OF DISTURBANCE: ≈17,020 SF / ≈0.391 AC  
 BUILDING FOOTPRINT: ≈4,252 SF / ≈0.098 AC  
 EXISTING ZONING: CC4 COMMUNITY DEVELOPMENT  
 PROPOSED ZONING: CC4 COMMUNITY DEVELOPMENT  
 A.P.N. 675-091-02 & 675-091-06

**LEGAL DESCRIPTION:**

PARCEL 1: THAT PORTION OF LOTS 6 AND 7 OF TRACT NO. 1127, AS PER MAP RECORDED IN BOOK 36, PAGES 7 TO 12 INCLUSIVE OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, AND THAT PORTION OF PARCELS 15 AND 16 SHOWN ON A MAP FILED IN BOOK 4, PAGE 15 OF RECORD OF SURVEYS, RECORDS OF SAID ORANGE COUNTY, TOGETHER WITH THAT PORTION OF LOT C IN BLOCK A OF TRACT NO. 883 RECORDED IN BOOK 27, PAGES 1 TO 10 OF MISCELLANEOUS MAPS, PURPORTED TO BE ABANDONED BY RESOLUTION NO. 39-74 OF THE CITY OF SAN CLEMENTE, RECORDED MAY 3, 1974 IN BOOK 11135, PAGE 1438 OF OFFICIAL RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE SOUTHWESTERLY BOUNDARY OF SAID LOT 7 OF TRACT NO. 1127, WHICH SAID POINT BEARS SOUTH 54 DEGREES 59' 20" EAST ALONG SAID SOUTHWESTERLY BOUNDARY, 419.39 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT 7  
 THENCE FROM SAID POINT OF BEGINNING, SOUTH 20 DEGREES 49' 47" EAST 116.35 FEET  
 THENCE SOUTH 29 DEGREES 34' 17" EAST 165.53 FEET  
 THENCE SOUTH 45 DEGREES 00' 40" EAST 14.20 FEET  
 THENCE NORTH 38 DEGREES 00' 40" EAST 645.67 FEET TO THE MOST NORTHERLY CORNER OF LOT 5 OF TRACT NO. 5951,  
 AS PER MAP RECORDED IN BOOK 260, PAGES 40, 41 AND 42 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, SAID NORTHERLY CORNER ALSO BEING A POINT ON THE SOUTHERLY BOUNDARY OF CAMINO DE LOS MARES, AS SHOWN ON SAID MAP OF TRACT NO. 5951, SAID SOUTHERLY BOUNDARY BEING A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 923.54 FEET, A RADIAL LINE TO THE CENTER OF SAID CURVE BEARS SOUTH 23 DEGREES 03' 18" WEST  
 THENCE IN A WESTERLY DIRECTION ALONG SAID SOUTHERLY BOUNDARY OF CAMINO DE LOS MARES AND ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 14 DEGREES 23' 18", A DISTANCE OF 231.92 FEET TANGENT TO THE ABOVE MENTIONED CURVE AND CONTINUING ALONG SAID SOUTHERLY BOUNDARY, NORTH 81 DEGREES WEST 268.57 FEET THENCE LEAVING SAID SOUTHERLY BOUNDARY OF CAMINO DE LOS MARES, SOUTH 2 DEGREES 29' 50" WEST 80.78 FEET  
 THENCE SOUTH 59 DEGREES 51' 37" WEST 125.00 FEET  
 THENCE SOUTH 30 DEGREES 08' 23" EAST 63.28 FEET  
 THENCE SOUTH 20 DEGREES 49' 47" EAST 183.20 FEET TO THE POINT OF BEGINNING,  
 EXCEPT THAT PORTION OF LOT 7 OF TRACT NO. 1127, AS PER MAP RECORDED IN BOOK 35, PAGES 7 TO 12 INCLUSIVE OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:  
 COMMENCING AT A POINT AT THE SOUTHWESTERLY BOUNDARY OF SAID LOT 7 OF TRACT NO. 1127, WHICH SAID POINT BEARS SOUTH 54 DEGREES 59' 20" EAST ALONG SAID SOUTHWESTERLY BOUNDARY, 419.39 FEET FROM THE WESTERLY CORNER OF SAID LOT 7;  
 THENCE SOUTH 54°59'20" EAST, 16.21 FEET;  
 THENCE NORTH 35°00'40" EAST, 112.26 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE CONTINUING NORTH 35°00'40" EAST, 70.27 FEET;  
 THENCE NORTH 54°29'12" WEST, 43.44 FEET;  
 THENCE SOUTH 35°00'40" WEST, 70.27 FEET;  
 THENCE SOUTH 54°29'12" EAST, 43.44 FEET; TO THE TRUE POINT OF BEGINNING.  
 ALSO EXCEPT FROM THAT PORTION LYING IN SAID LOTS 6 AND 7, ALL COAL, OIL AND OTHER MINERALS WITHIN OR UNDERLYING SAID LAND, INTENDING THEREBY TO INCLUDE ANY AND ALL INORGANIC SUBSTANCES, INCLUDING OIL AND NATURAL GAS, NOW KNOWN TO EXIST OR HERINAFTER DISCOVERED, HAVING SUFFICIENT VALUE SEPARATED FROM THEIR SITUS AS A PART OF THE EARTH, TO BE MINED, PIPED, PUMPED, QUARRIED, DUG OR OTHER SUBSTANCES FOR THEIR OWN SAKE OR THEIR OWN SPECIFIC USES, TOGETHER WITH THE PERPETUAL AND EXCLUSIVE RIGHT TO REMOVE ANY AND ALL SUCH SUBSTANCES, THE EARTH OR OTHER MATTER CONTAINING SAME, NECESSARY OR CONVENIENT IN THE REMOVAL THEREOF IT BEING UNDERSTOOD, HOWEVER, THAT NEITHER THE CONSOLIDATED PACIFIC INVESTMENT CO. NOR ITS SUCCESSORS, GRANTEEES OR ASSIGNS, SHALL HAVE THE RIGHT TO USE ANY OF THE SURFACE OF SAID LAND AND THAT THE MINING AND REMOVAL OF SAID SUBSTANCES SHALL BE CARRIED ON IN SUCH A WAY AS NOT TO DAMAGE THE SURFACE OF SAID LAND OR TO INTERFERE WITH THE USE OF THE SURFACE OF SAID LAND BY THE GRANTEE, ITS SUCCESSORS OR ASSIGNS, OR WITH ANY EXCAVATIONS OR UNDERGROUND IMPROVEMENTS OR FACILITIES CONSTRUCTED, MAINTAINED OR USED BY THE GRANTEE, ITS SUCCESSORS OR ASSIGNS, AS RESERVED IN THE DEED FROM CONSOLIDATED PACIFIC INVESTMENT CO., A CORPORATION, BY DEED RECORDED DECEMBER 6, 1945 IN BOOK 1375, PAGE 166 OF OFFICIAL RECORDS, AND WHICH DEED ALSO PROHIBITS THE GRANTEE, ITS SUCCESSORS OR ASSIGNS FROM DRILLING, MINING OR OTHERWISE EXPLOITING FOR ANY OR ALL INORGANIC SUBSTANCES, INCLUDING OIL AND NATURAL GAS FROM THE SURFACE OF SAID LAND.



**SITE PLAN NOTES:**

- 1 EXISTING PARKING LOT PAVING TO REMAIN.
- 2 PROPOSED 6" CONCRETE CURB PER CITY STD.
- 3 PROPOSED CONCRETE SIDEWALK (4' WIDE TYP.) PER CITY STD.
- 4 PROPOSED DETECTABLE WARNING SURFACE.
- 5 BUILDING IMPROVEMENTS PER BUILDING PLANS.
- 6 CONSTRUCT ADA CURB RAMP.
- 7 ADA PARKING STALL STRIPING & SIGNAGE.
- 8 4" WIDE PARKING STALL STRIPING (TYP.).
- 9 EXISTING LIGHT POLE - PROTECT IN PLACE.
- 10 EXISTING TRANSFORMER ON CONCRETE PAD W/ BOLLARDS - PROTECT IN PLACE.
- 11 PAINT 5' WIDE BLUE ADA CROSSWALK AT LOCATION SHOWN. STRIPE 45° AT 3' O.C.
- 12 PROPOSED COVERED TRASH ENCLOSURE.
- 13 EXISTING FIRE HYDRANT - PROTECT IN PLACE.
- 14 PROPOSED CONCRETE WHEEL STOP (TYP.).
- 15 PROPOSED BIOFILTRATION BASIN.
- 16 PROPOSED LANDSCAPING PER LANDSCAPING PLANS.
- 17 PROPOSED CONCRETE APRON.
- 18 PROPOSED 12" DIA. CONCRETE BOLLARD.
- 19 PROPOSED DRIVE-THRU ENTRY SIGN.
- 20 PROPOSED DRIVE-THRU ORDERING INTERCOM.
- 21 PROPOSED DRIVE-THRU MENU.
- 22 PROPOSED DRIVE-THRU WINDOW.
- 23 PROPOSED UNDER SIDEWALK DRAIN
- 24 PROPOSED AC PAVING (APPROX.).

**DEMOLITION & REMOVAL NOTES:**

- 1 EXISTING BUILDING TO BE DEMOLISHED.
- 2 EXISTING CANOPY TO BE DEMOLISHED.
- 3 EXISTING GREASE INTERCEPTOR TO BE REMOVED.
- 4 EXISTING PARKING LOT STRIPING TO BE REMOVED (TYP.).
- 5 EXISTING CURB TO BE DEMOLISHED (TYP.).
- 6 EXISTING TREES TO BE REMOVED PER L.S. PLANS (TYP.).
- 7 PORTION OF EXISTING RIBBON GUTTER TO BE REMOVED.

**EXISTING EASEMENTS OF RECORD:**

- 1 10' WIDE INGRESS, EGRESS, DRIVEWAY, & PARKING EASEMENT
- 2 6' WIDE ELECTRICAL EASEMENT.
- 3 COMMON DRIVEWAY EASEMENT AS SHOWN.
- 4 WATER & SEWER UTILITIES EASEMENT AS SHOWN.

**LEGEND:**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENTS OF RECORD
- PROPOSED IMPROVEMENTS
- - - EXISTING IMPROVEMENTS
- - - EXISTING IMPROVEMENTS TO BE DEMOLISHED
- [Green Pattern] PROPOSED BUILDING
- [Grey Pattern] PROPOSED COMMERCIAL LANDSCAPING
- [Diagonal Lines] PROPOSED AC PAVING
- [Cross-hatch] PROPOSED CONCRETE PAVING
- [Wavy Pattern] PROPOSED DECORATIVE PAVING (PATIO AREAS)
- # PARKING STALL COUNT
- ★ EXISTING TREES TO BE REMOVED (SEE LANDSCAPE PLANS)

**PARKING SUMMARY (ENTIRE SITE):**

SEE ATTACHED SITE PARKING PURSUANT TO PLAZA BY THE SEA SHARED PARKING AGREEMENT - PROJECT NO. MCUP-18-481, RESOLUTION NO. ZA-18-042.

**DRIVE-THRU SUMMARY:**

DRIVE-THRU STORAGE LENGTH TO WINDOW: APPROX. 190' (VEHICLE ACCOMMODATION: 9 VEHICLES @ 20' PER VEHICLE).  
 DRIVE THRU STORAGE LENGTH TO ORDER POINT: APPROX. 120'. (VEHICLE ACCOMMODATION: 6 VEHICLES @ 20' PER VEHICLE).

**E.V. CHARGING SPACES:**

TOTAL PARKING SPACES (PROJECT SITE): 12 SPACES  
 E.V. CHARGING SPACES REQUIRED: 1 SPACE\*  
 \*PER TABLE 5.106.5.3.3 FOR THE 2016 CA GREEN BUILDING STANDARDS CODE

**GENERAL SITE NOTES:**

1. NO ACCESSORY STRUCTURES (STORAGE, EMPLOYEE AREAS, ETC.) ARE PROPOSED.
2. ALL LIGHTING MUST BE CONTAINED WITHIN THE SUBJECT PROPERTY PER CITY OF SAN CLEMENTE ZONING ORDINANCE SECTION 17.24.130. EXTERIOR LIGHT FIXTURES SHALL BE DARK SKIES FRIENDLY.
3. REFER TO CIVIL PLANS FOR PROPOSED UTILITY CONNECTIONS & CONCEPTUAL WATER QUALITY MANAGEMENT PLAN / CONCEPTUAL DRAINAGE PLAN.

DESCRIPTION	DATE



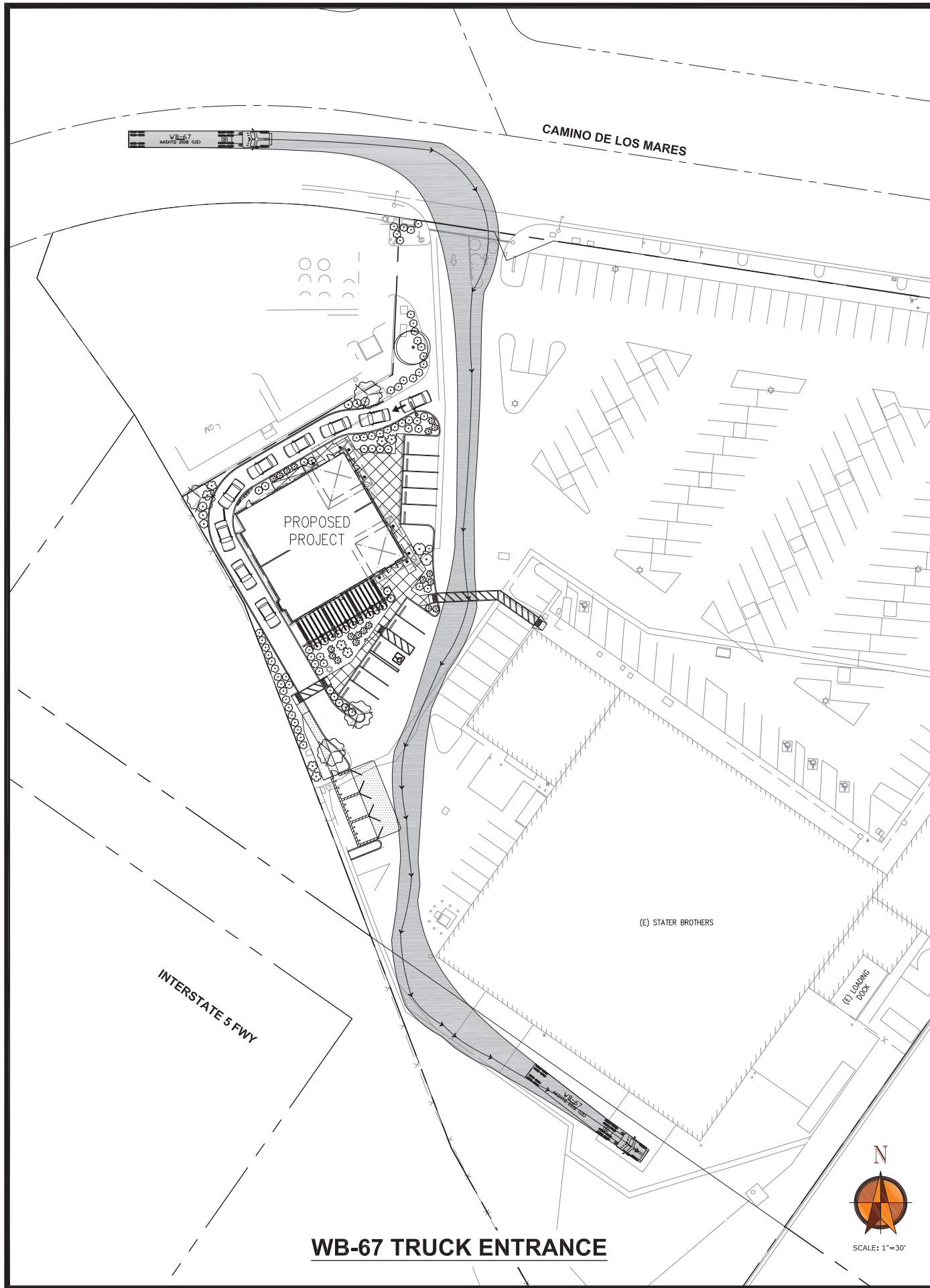
**PROPOSED MULTITENANT BUILDING**  
 610 CAMINO DE LOS MARES  
 SAN CLEMENTE, CA 92673

**CONCEPTUAL SITE DEVELOPMENT**  
 (SPP 19-203, CUP 19-205, DSP 18-546)

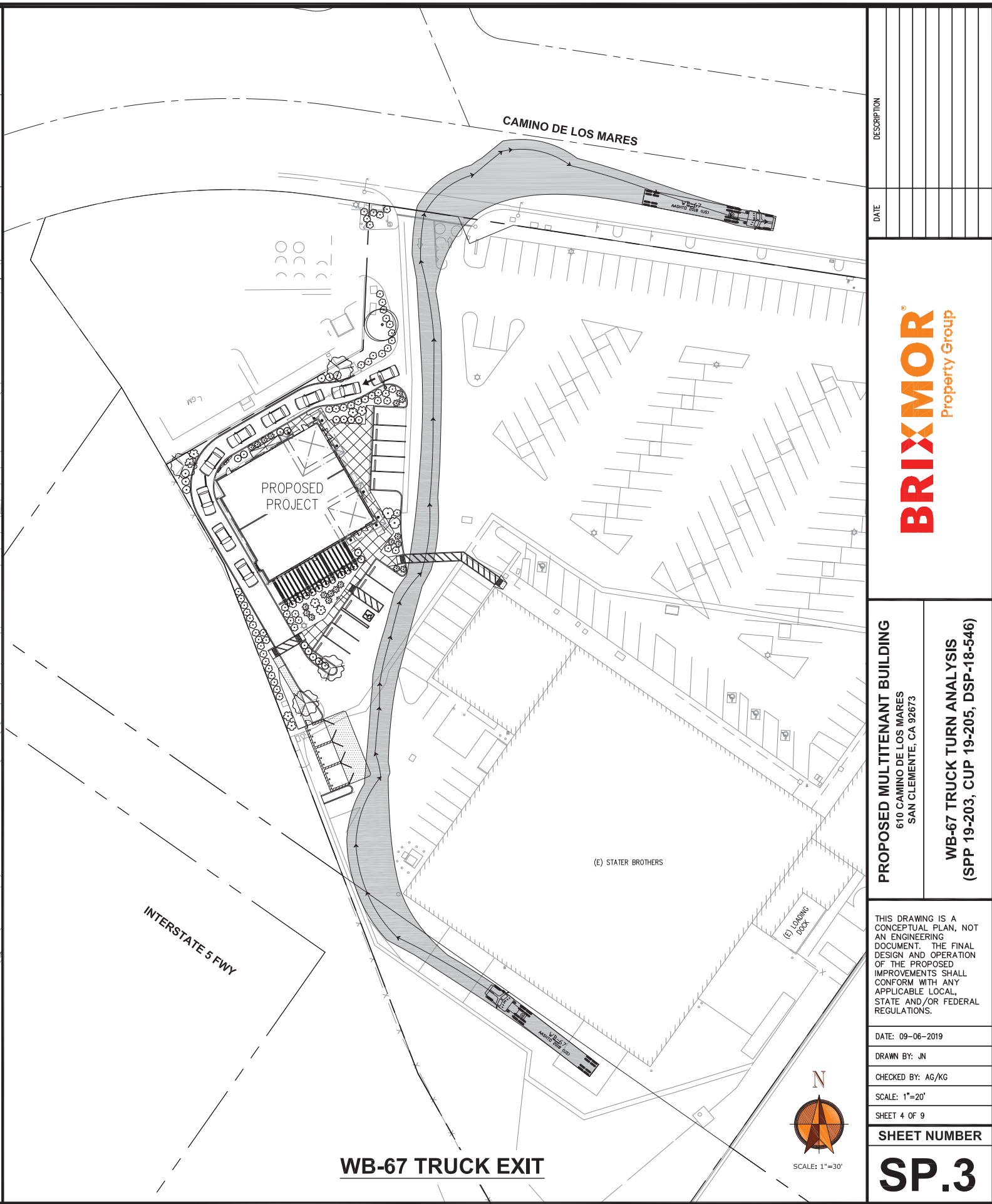
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DATE: 09-06-2019
DRAWN BY: JN
CHECKED BY: AG/KG
SCALE: 1"=20'
SHEET 2 OF 9

**SHEET NUMBER**  
**SP.1**



**WB-67 TRUCK ENTRANCE**



**WB-67 TRUCK EXIT**

DATE	DESCRIPTION

**BRIXMOR**  
Property Group

**PROPOSED MULTITENANT BUILDING**  
610 CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

**WB-67 TRUCK TURN ANALYSIS**  
(SPP 19-203, CUP 19-205, DSP-18-546)

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DATE: 09-06-2019  
DRAWN BY: JN  
CHECKED BY: AG/KG  
SCALE: 1"=20'  
SHEET 4 OF 9

**SHEET NUMBER**  
**SP.3**



# CAMINO DE LOS MARES

### SHEET INDEX:

LS.1	CONCEPTUAL LANDSCAPE PLAN
LS.2	EXISTING TREE INVENTORY
LS.3	DETAILS, SPECIFICATIONS, & NOTES

### PROPOSED LANDSCAPE SUMMARY:

TOTAL SITE AREA:	196,125± SF (4.50± AC)
TOTAL PROPOSED LANDSCAPE AREA:	28,750± SF (0.66± AC)
PROPOSED LANDSCAPE COVERAGE RATIO:	14.7%

### GENERAL NOTES:

- SITE-WIDE LANDSCAPING PLAN IS PER APPROVED LANDSCAPE PLANS PREPARED BY RA SMITH, DATED 6-12-2019 (MODIFIED BY BRIXMOR).
- PROPOSED MULTITENANT BUILDING PAD IMPROVEMENT IS PER SUBMITTAL DRAWINGS PREPARED BY BRIXMOR.

### NOTE TO CONTRACTOR:

AS PART OF THE CONTRACTOR'S BID PROVIDE A COST TO EVALUATE THE EXISTING IRRIGATION SYSTEM, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- CONTRACTOR TO TURN IRRIGATION SYSTEM ON USING EXISTING WATER SOURCE, BACKFLOW PREVENTER AND IRRIGATION CONTROLLER.
- EVALUATE PERFORMANCE OF EXISTING IRRIGATION SYSTEM LAYOUT AND COVERAGE ON A ZONE-BY-ZONE BASIS.
- DETERMINE AND NOTE ANY DEFICIENCIES, BEGINNING WITH THE WATER SERVICE, BACKFLOW PREVENTER, BROKEN PIPES, ZONE VALVES NOT WORKING PER THE MANUFACTURER'S SPECIFICATIONS, SPRINKLER HEADS, BUBBLERS, AND DRIP TUBING THAT IS NOT PERFORMING PER THE MANUFACTURER'S SPECIFICATIONS, AND NOTE ANY MISSING OR BROKEN HEADS.
- PROVIDE OWNER WITH CONTRACTOR'S FINDINGS IN A WRITTEN REPORT AND ESTIMATE OF COST FOR ALL REPAIRS TO BRING IRRIGATION SYSTEM BACK UP TO FULL COMPLIANCE WITH AB 1881 REQUIREMENTS.

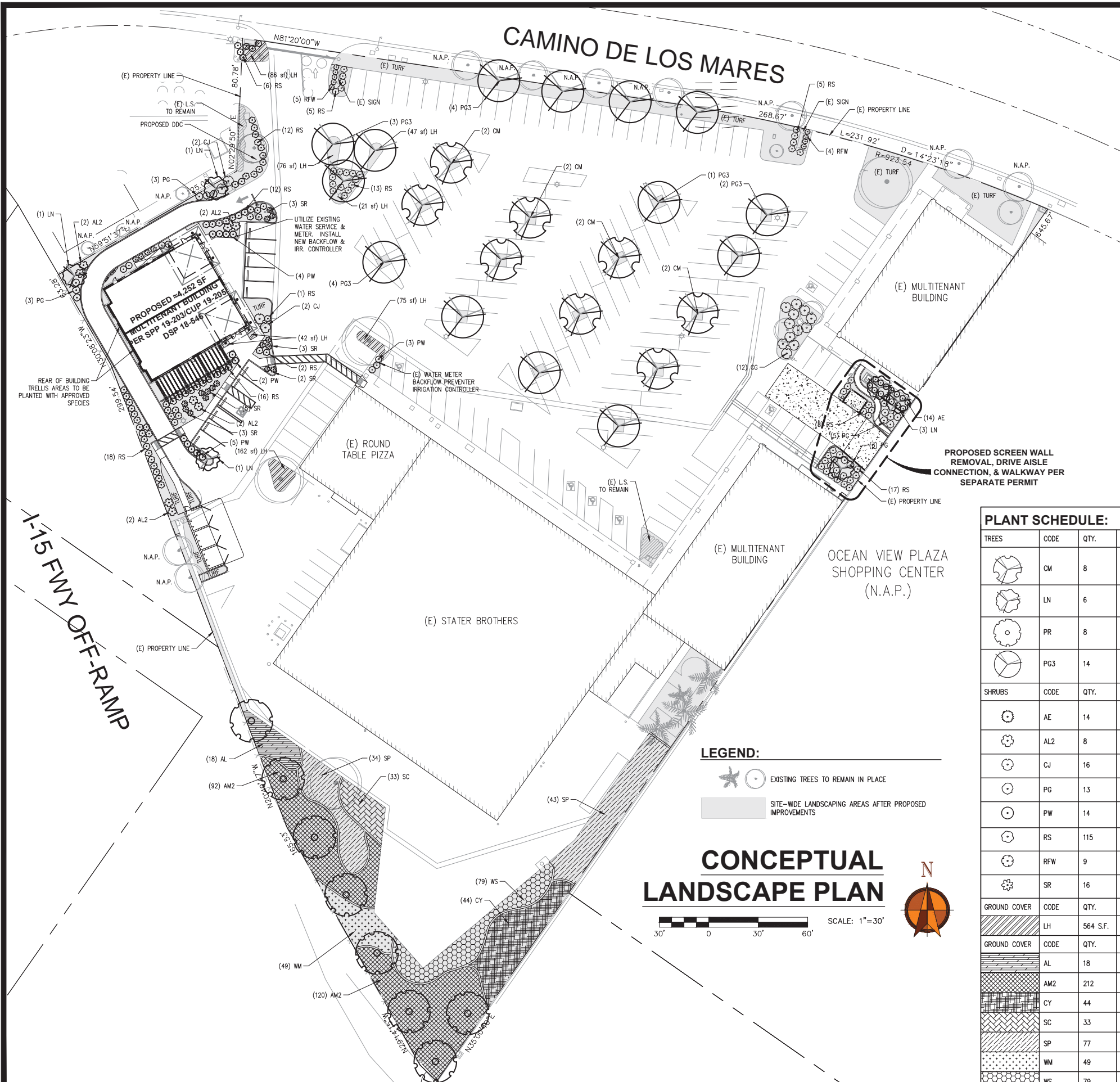
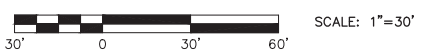
### PLANT SCHEDULE:

TREES	CODE	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS	WUCOLS	SPACING
	CM	8	Cupaniopsis anacardioides 'Majestic Beauty' / Carrot Wood	36"	BOX	Full, matching heads	M	
	LN	6	Lagerstroemia fauriei x indica 'Natchez' / Natchez Crape	36"	BOX	Full, matching heads	M	
	PR	8	Platanus racemosa / California Sycamore	36"	BOX	Full, matching heads	M	
	PG3	14	Podocarpus gracilior / Fern Pine	36"	BOX		M	
SHRUBS	CODE	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS	WUCOLS	SPACING
	AE	14	Abelia x grandiflora 'Edward Goucher' / Glossy Abelia	5 GAL.	CONT.		M	
	AL2	8	Arctostaphylos edmundsii / Little Sur Manzanita	5 GAL.	CONT.		L	
	CJ	16	Ceanothus x 'Joyce Coulter' / Ceanothus Joyce Coulter	5 GAL.	CONT.		L	
	PG	13	Pittosporum tenuifolium 'Gold Star' / Gold Star Pittosporum	5 GAL.	CONT.		M	
	PW	14	Pittosporum tobira 'Wheeler's Dwarf' / Wheeler's Dwarf Pittosporum	5 GAL.	CONT.		M	
	RS	115	Rhaphiolepis indica 'Springtime' TM / Springtime Indian Hawthorne	5 GAL.	CONT.		L	
	RFW	9	Rosa floribunda Flower Carpet 'White' / Flower Carpet Rose	5 GAL.	CONT.		M	
	SR	16	Strelitzia reginae / Bird Of Paradise	5 GAL.	CONT.		M	
GROUND COVER	CODE	QTY.	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS	WUCOLS	SPACING
	LH	564 S.F.	Lantana x 'New Gold' / New Gold Lantana	1 GAL.	CONT.		L/VL	
	AL	18	Arctostaphylos edmundsii 'Little Sur Manzanita' / Little Sur Manzanita	5 GAL.	CONT.		L	72" o.c.
	AM2	212	Arctostaphylos x 'Pacific Mist' / Pacific Mist Manzanita	5 GAL.	CONT.		L	60" o.c.
	CY	44	Ceanothus griseus horizontalis 'Yankee Point' / Yankee Point Ca.	5 GAL.	CONT.		L	72" o.c.
	SC	33	Salvia apiana compacta / Compact White Sage	5 GAL.	CONT.		L/VL	48" o.c.
	SP	77	Salvia leucophylla 'Point Sal' / Purple Leaf Sage	5 GAL.	CONT.		L/VL	72" o.c.
	WM	49	Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary	5 GAL.	CONT.		L	48" o.c.
	WS	79	Westringia fruticosa 'Smokey' / Smokey Westringia	5 GAL.	CONT.		L	48" o.c.

### LEGEND:

- EXISTING TREES TO REMAIN IN PLACE
- SITE-WIDE LANDSCAPING AREAS AFTER PROPOSED IMPROVEMENTS

## CONCEPTUAL LANDSCAPE PLAN



DESCRIPTION  
DATE

**BRIXMOR**  
Property Group

PLAZA BY THE SEA  
610-628 CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

CONCEPTUAL LANDSCAPE PLAN

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DATE: 09-06-2019

DRAWN BY: JN

CHECKED BY: AG/KG

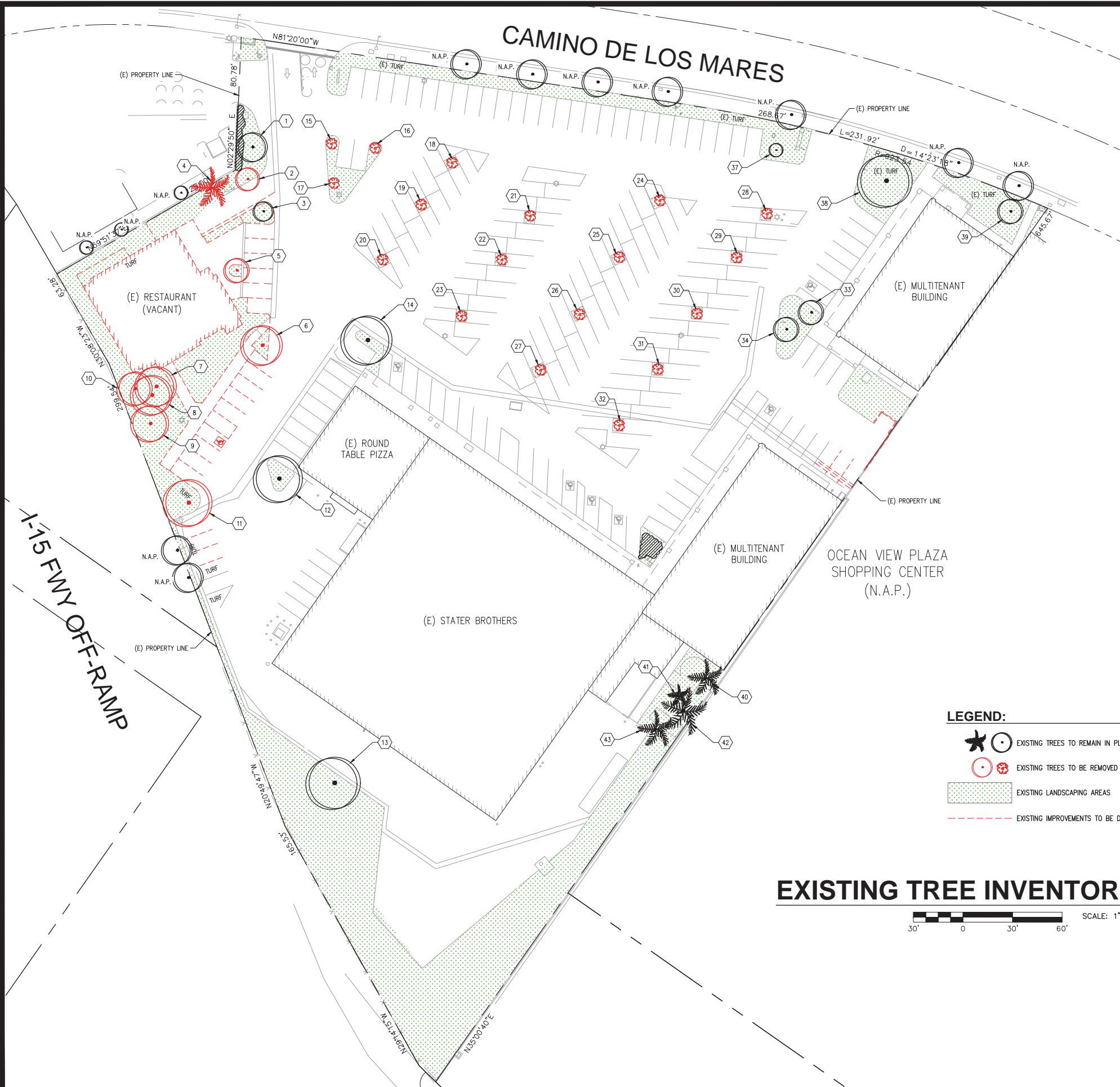
SCALE: 1"=30'

SHEET 5 OF 9

SHEET NUMBER

**LS.1**

1753-Plaza by the Sea--Redev--Overall Landscaping Plan--2019 07 31.dwg



**LEGEND:**

- EXISTING TREES TO REMAIN IN PLACE
- EXISTING TREES TO BE REMOVED
- EXISTING LANDSCAPING AREAS
- EXISTING IMPROVEMENTS TO BE DEMOLISHED/MODIFIED

### EXISTING TREE INVENTORY



SCALE: 1"=30'



### EXISTING PLANT INVENTORY KEY:

#	BOTANICAL NAME	CALIPER	SPREAD	NOTES
1	Eucalyptus Citriodora	19"	18'	REMAIN IN PLACE
2	Eucalyptus Citriodora	23"	15'	REMOVE
3	Eucalyptus Citriodora	18"	10'	REMAIN IN PLACE
4	Phoenix - Date Palm	48"9"BTB	21'	REMOVE
5	Platanus Rasemosa	24"	15'	REMOVE
6	Eucalyptus Citriodora	26"	24'	REMOVE
7	Eucalyptus Citriodora	24"	25'	REMOVE
8	Eucalyptus Citriodora	20"	24'	REMOVE
9	Eucalyptus Citriodora	21"	24'	REMOVE
10	Eucalyptus Citriodora	18"	20'	REMOVE
11	Eucalyptus Citriodora	22"	29'	REMOVE
12	Platanus Rasemosa	8"	30'	REMAIN IN PLACE
13	Platanus Rasemosa	8"	12'	REMAIN IN PLACE
14	Platanus Rasemosa	10"	28'	REMAIN IN PLACE
15	Crepe Myrtle	2"	6'	REMOVE
16	Crepe Myrtle	2"	7'	REMOVE
17	Crepe Myrtle	2"	5'	REMOVE
18	Crepe Myrtle	2"	6'	REMOVE
19	Crepe Myrtle	2"	5'	REMOVE
20	Crepe Myrtle	2"	6'	REMOVE
21	Crepe Myrtle	2"	6'	REMOVE
22	Crepe Myrtle	2"	5'	REMOVE
23	Crepe Myrtle	2"	6'	REMOVE
24	Crepe Myrtle	2"	5'	REMOVE
25	Crepe Myrtle	2"	6'	REMOVE
26	Crepe Myrtle	2"	6'	REMOVE
27	Crepe Myrtle	2"	6'	REMOVE
28	Crepe Myrtle	2"	7'	REMOVE
29	Crepe Myrtle	2"	6'	REMOVE
30	Crepe Myrtle	2"	6'	REMOVE
31	Crepe Myrtle	2"	6'	REMOVE
32	Crepe Myrtle	2"	7'	REMOVE
33	Eucalyptus Citriodora	30"	12'	REMAIN IN PLACE
34	Eucalyptus Citriodora	32"	12'	REMAIN IN PLACE
35	NOTE REMOVED			
36	NOTE REMOVED			
37	Eucalyptus Citriodora	18"	9'	REMAIN IN PLACE
38	Podocarpus Macrophyllus	36"	33'	REMAIN IN PLACE
39	Celtis Occidentalis	8"	15'	REMAIN IN PLACE
40	Washingtonia robusta	12"	21'	REMAIN IN PLACE
41	Washingtonia robusta	18"	9'	REMAIN IN PLACE
42	Phoenix - Date Palm	36"	33'	REMAIN IN PLACE
43	Washingtonia robusta	9"	18'	REMAIN IN PLACE

### EXISTING LANDSCAPE SUMMARY:

TOTAL SITE AREA:	196,125± SF (4.50± AC)
TOTAL EXISTING LANDSCAPE AREA:	30,400± SF (0.70± AC)
EXISTING LANDSCAPE COVERAGE RATIO:	15.5%

DESCRIPTION	
DATE	

# BRIXMOR

  
Property Group

PLAZA BY THE SEA  
610-628 CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

EXISTING TREE INVENTORY

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DATE: 09-06-2019

DRAWN BY: JN

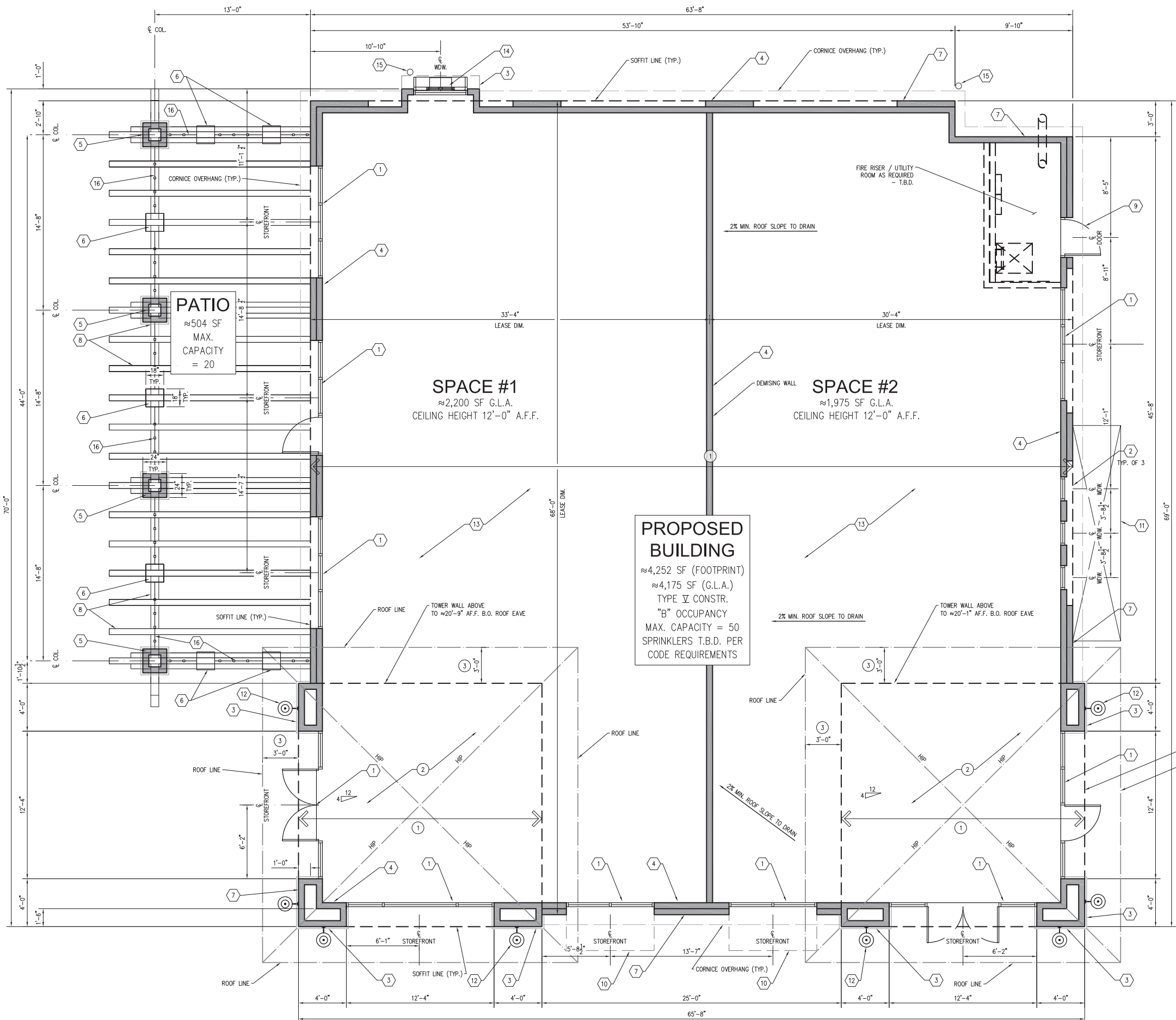
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SCALE: 1"=30'

SHEET 6 OF 9

SHEET NUMBER

# LS.2



**CONCEPTUAL FLOOR PLAN NOTES:**

- 1 ANODIZED ALUMINUM STOREFRONT SYSTEM TO 10'-0" A.F.F. -MANUFACTURER'S STD. COLOR "DARK BRONZE ANODIZED" FINISH.
- 2 2020 FIXED WINDOW - TOP @ 12'-0" A.F.F. - PAINT TO MATCH STOREFRONT SYSTEMS.
- 3 CONCRETE COLUMN BASE (COLOR-GRAY).
- 4 2x STUDS PER FRAMING PLAN (BY OTHERS).
- 5 FRAMED 24" SQ. COLUMN.
- 6 18"x18" SQ. 2'-6" HI. PLASTER WITH DECORATIVE CAP.
- 7 EXTERIOR CEMENT PLASTER (4-PART STUCCO SYSTEM) - LA HABRA PRODUCTS - SANTA BARBARA MISSION SMOOTH FINISH, COLORS PER SHEETS A2.0 & A2.1.
- 8 WOOD TRELLIS/RAFTERS - WITH ROUGH SAWN WOOD TEXTURE AND STAINED TO MATCH SHERWIN WILLIAMS SW 6006 "BLACK BEAN". 6" X 12" RAFTERS ON 8" X 14" MAIN BEAM WITH DOUBLE 6" X 24" BRACKET/SUPPORT.
- 9 HOLLOW METAL DOOR - PAINT SHERWIN WILLIAMS 6006 "BLACK BEAN".
- 10 FABRIC AWNING BY SUNBRELLA, COLOR "BURGUNDY" WITH DECORATIVE BLACK W.I. STEEL BRACKET SUPPORT.
- 11 ELECTRICAL SWITCHGEAR CABINET - DESIGN T.B.D.
- 12 DECORATIVE SCONCE EXTERIOR LIGHTING.
- 13 INTERIOR IMPROVEMENTS BY TENANT.
- 14 DRIVE-THRU WINDOW PER TENANT/MANUFACTURER SPECIFICATIONS.
- 15 3' HI STEEL BOLLARD.
- 16 3' HI. WROUGHT-IRON FENCE.

**CONCEPTUAL ROOF PLAN NOTES:**

- 1 TRUSS/JOIST DESIGN BY OTHERS.
- 2 CLAY TILE ROOFING - U.S. TILE 2-PIECE MISSION BARREL TILE, TUSCANY BLEND W/ 30% BOOST.
- 3 3' OVERHANG (TYP.)

DESCRIPTION	DATE

**BRIXMOR**  
Property Group

**PROPOSED MULTITENANT BUILDING**  
610, CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

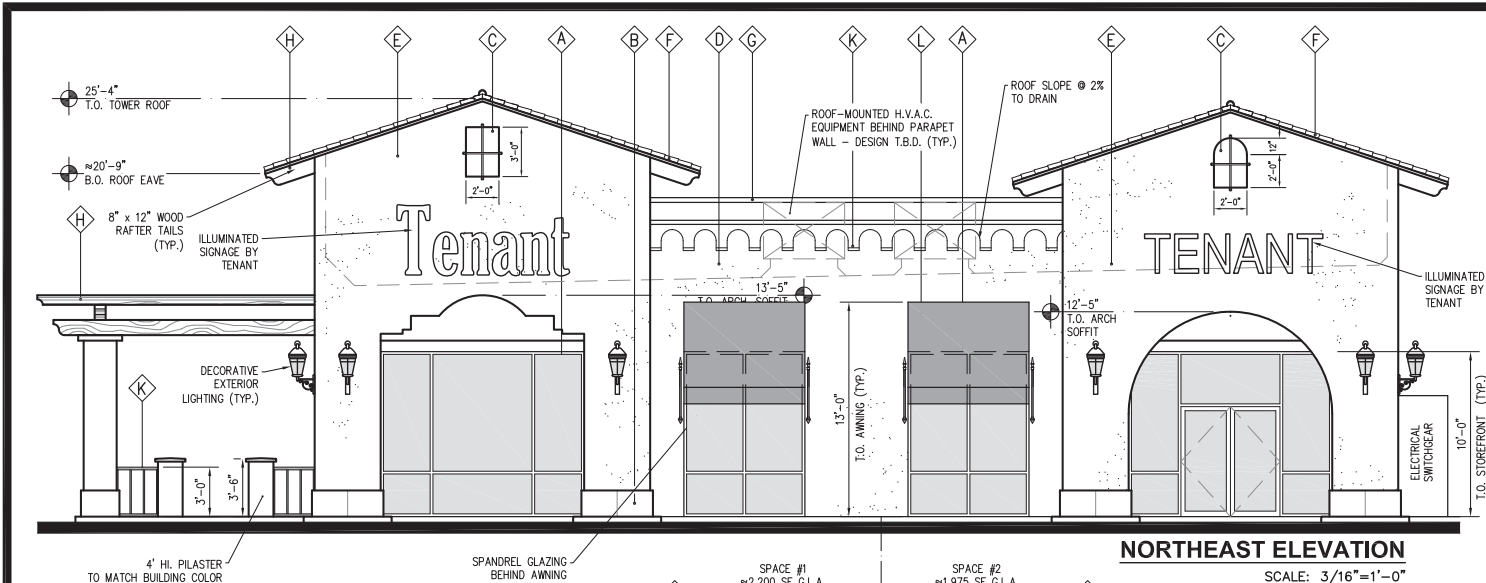
**CONCEPTUAL FLOOR & ROOF PLAN**  
(SPP 19-203, CUP 19-205, DSP 18-546)

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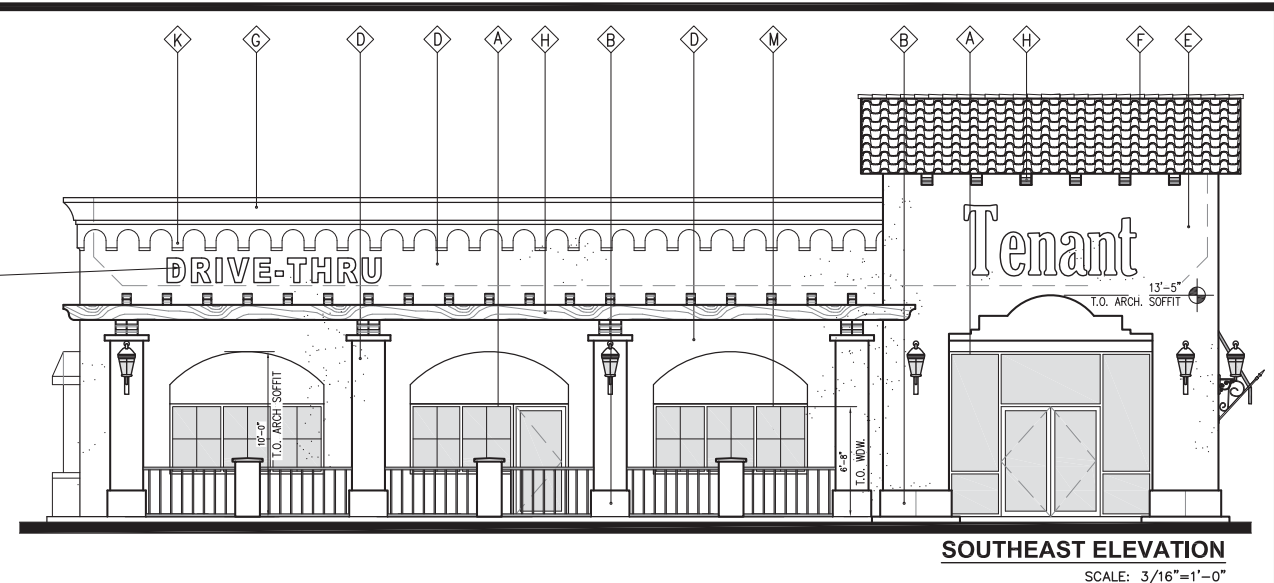
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DRAWN BY: JN  
CHECKED BY: AG/KG  
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SHEET 7 OF 9

**SHEET NUMBER**  
**A.1**

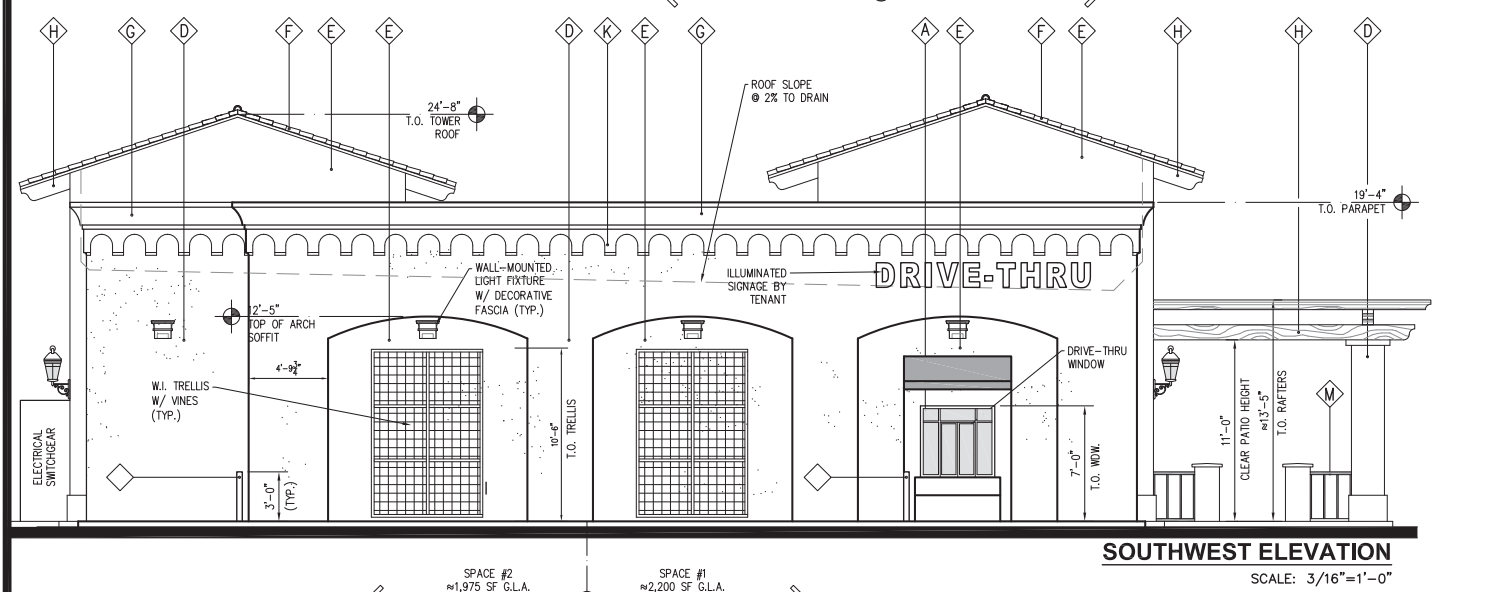
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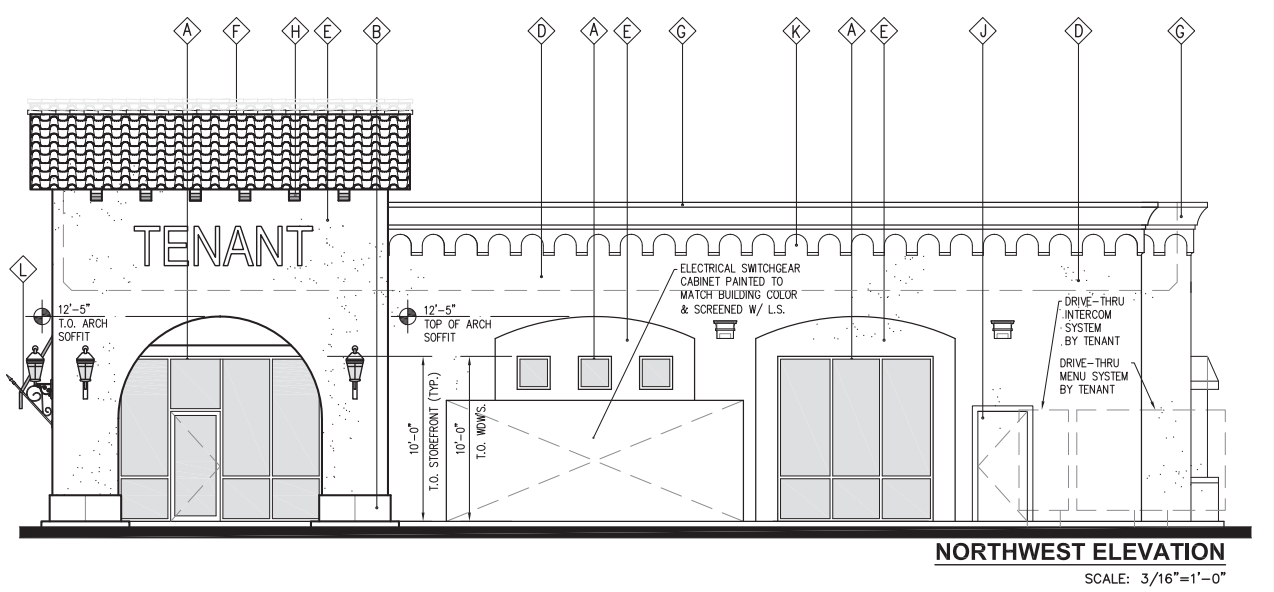
**NORTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



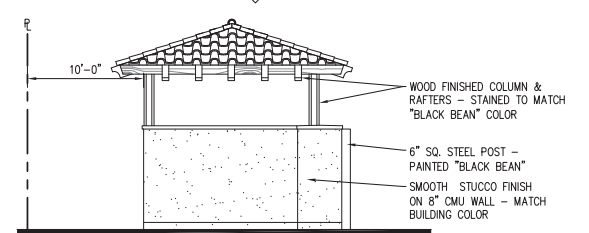
**SOUTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



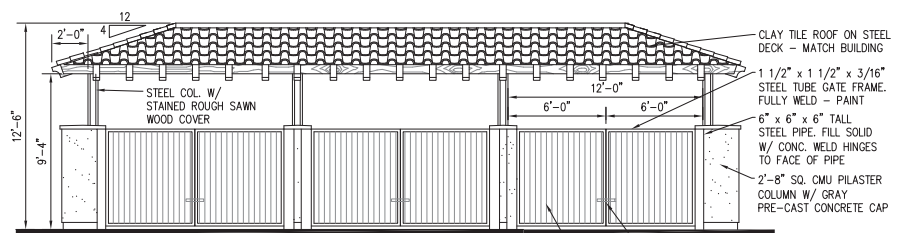
**SOUTHWEST ELEVATION**  
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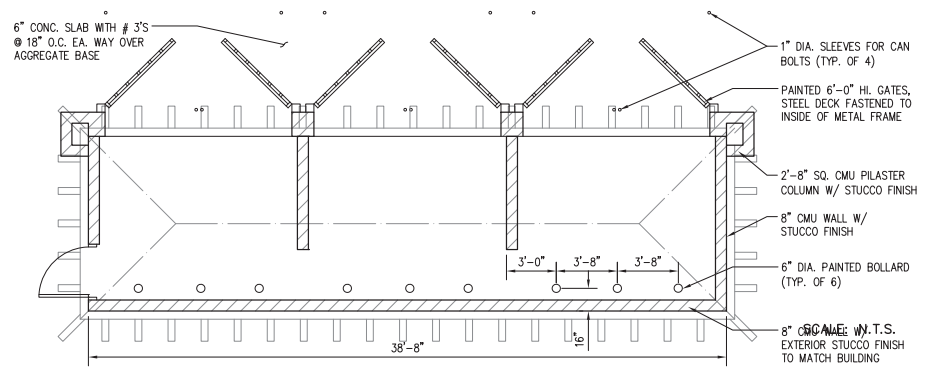
**NORTHWEST ELEVATION**  
SCALE: 3/16"=1'-0"



**SIDE ELEVATION**  
N.T.S.



**FRONT ELEVATION**  
N.T.S.



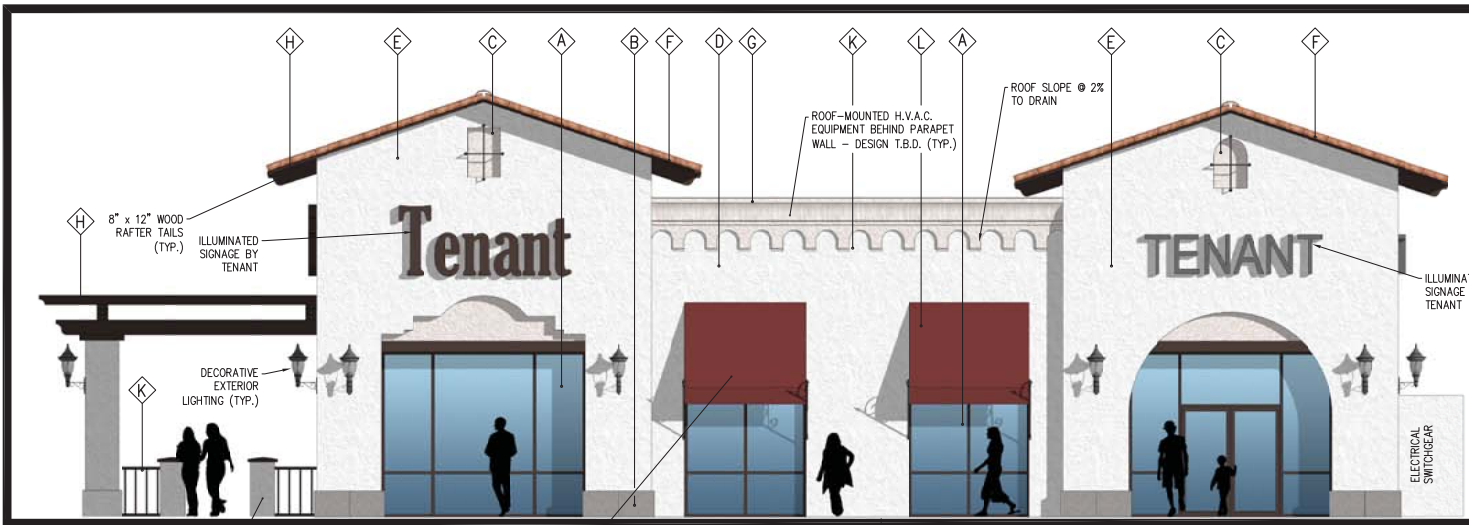
**PROPOSED TRASH ENCLOSURE - PLAN & ELEVATIONS**

NOTE: FINAL DESIGN COLORS SHALL BE CLOSEST MATCH TO THE "SANTA BARBARA COLORS - A GUIDE TO PAINTING BUILDINGS" DOCUMENT.

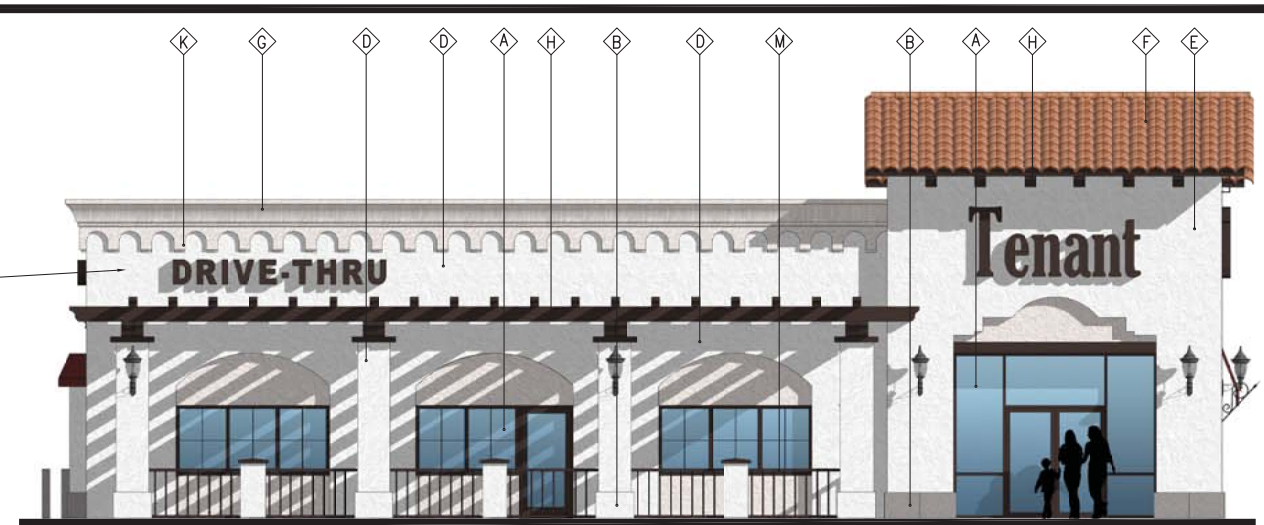
**FINISH LEGEND:**

- A ANODIZED ALUMINUM STOREFRONT SYSTEM - MANUFACTURER'S STD. COLOR "DARK BRONZE ANODIZED" FINISH.
- B CONCRETE COLUMN BASE (COLOR-GRAY).
- C RECESSED WINDOW(S) ACCENT W/ W.L. TRELLIS OR LEDGER, AS SHOWN ON PLAN.
- D EXTERIOR CEMENT PLASTER (4-PART STUCCO SYSTEM) - LA HABRA PRODUCTS - SANTA BARBARA MISSION SMOOTH FINISH, COLOR: CRYSTAL WHITE.
- E EXTERIOR CEMENT PLASTER (4-PART STUCCO SYSTEM) - LA HABRA PRODUCTS - SANTA BARBARA MISSION SMOOTH FINISH, COLOR: TRABUCO.
- F CLAY TILE ROOFING - U.S. TILE 2-PIECE MISSION BARREL TILE, TUSCANY BLEND WITH 30% BOOST.
- G METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH "CHAMPAGNE" COLOR.
- H WOOD TRELLIS/RAFTERS - WITH ROUGH SAWN WOOD TEXTURE AND STAINED TO MATCH SHERWIN WILLIAMS SW 6006 "BLACK BEAN". 6" X 12" RAFTERS ON 8" X 14" MAIN BEAM WITH DOUBLE 6" X 24" BRACKET/SUPPORT.
- I STEEL BOLLARD - PAINT SHERWIN WILLIAMS SW 6006 "BLACK BEAN".
- J HOLLOW METAL DOOR - PAINT SHERWIN WILLIAMS 6006 "BLACK BEAN".
- K EIFS DECORATIVE DENTIL MOULDING - PAINTED TO MATCH "TRABUCO."
- L FABRIC AWNING BY SUNBRELLA, COLOR PER APPROVED SANTA BARBARA COLOR STANDARDS - WITH DECORATIVE BLACK W.L. "SPEAR" SUPPORTS.
- M 3' HI. W.O. FENCE - PAINT TO MATCH "CHAMPAGNE" COLOR.

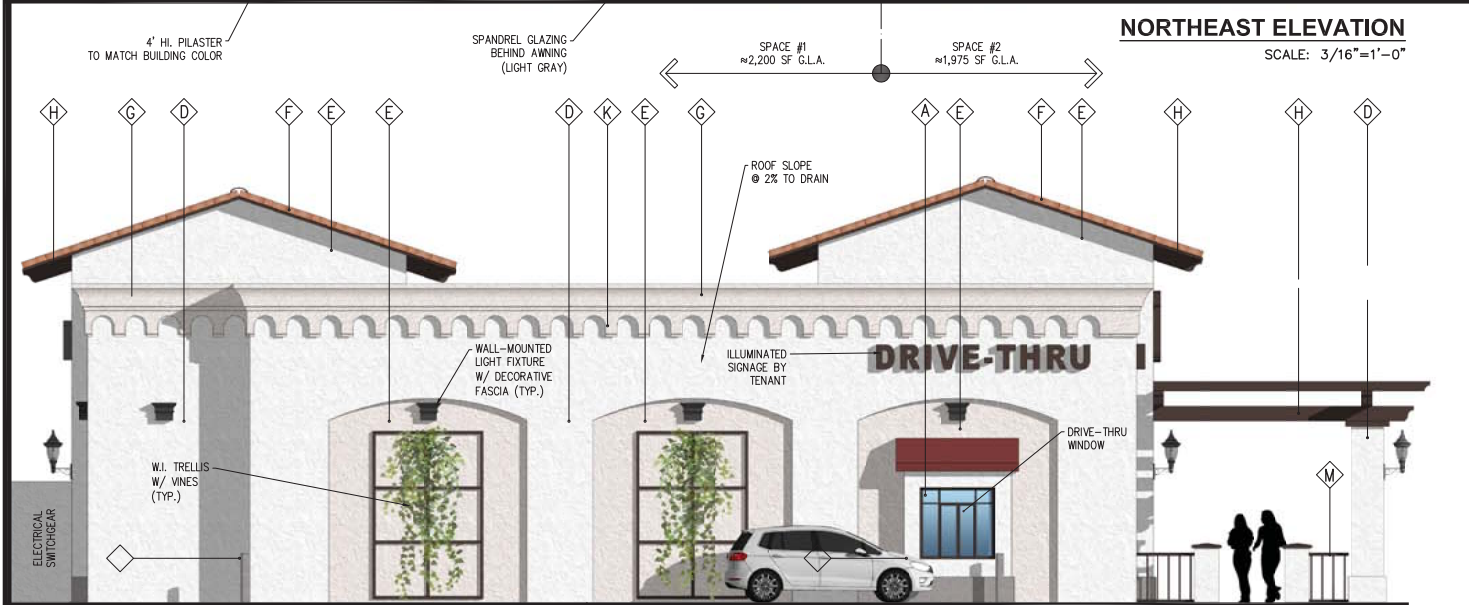
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DATE	
<b>BRIXMOR</b> Property Group	
PROPOSED MULTITENANT BUILDING 610 CAMINO DE LOS MARES SAN CLEMENTE, CA 92673	CONCEPTUAL ELEVATIONS (SPP 19-203, CUP 19-205, DSP 18-546)
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DATE: 09-06-2019	
DRAWN BY: JN	
CHECKED BY: AG/KG	
SCALE: 3/16"=1'-0"	
SHEET 8 OF 9	
<b>SHEET NUMBER</b>	
<b>A.2</b>	



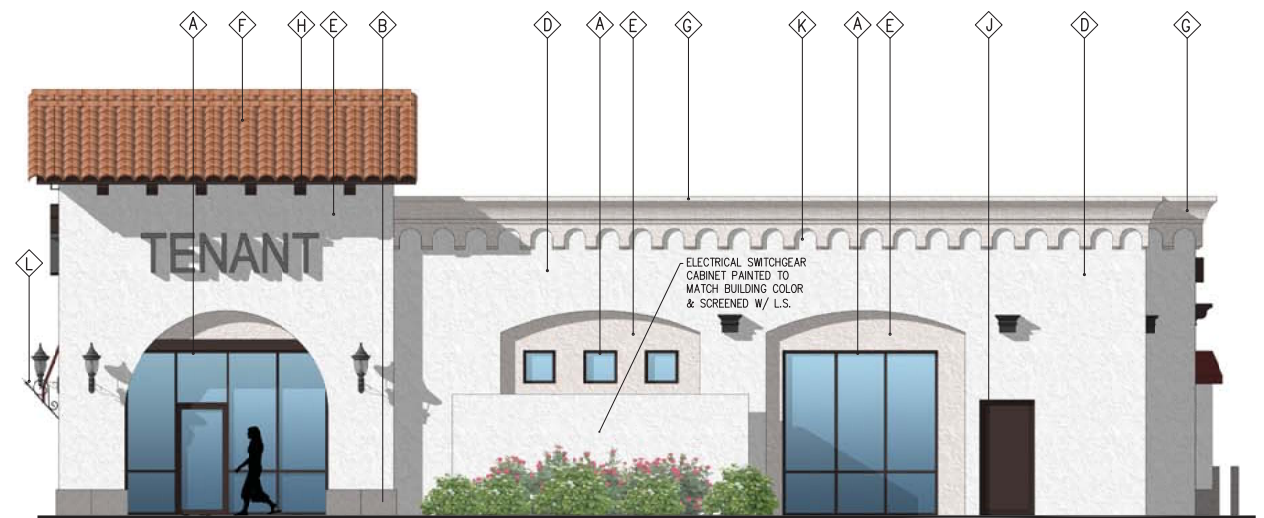
**NORTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



**SOUTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



**SOUTHWEST ELEVATION**  
SCALE: 3/16"=1'-0"



**NORTHWEST ELEVATION**  
SCALE: 3/16"=1'-0"

NOTE: FINAL DESIGN COLORS SHALL BE CLOSEST MATCH TO THE "SANTA BARBARA COLORS - A GUIDE TO PAINTING BUILDINGS" DOCUMENT.

**FINISH LEGEND:**

- A** ANODIZED ALUMINUM STOREFRONT SYSTEM - MANUFACTURER'S STD. COLOR "DARK BRONZE ANODIZED" FINISH.
- B** CONCRETE COLUMN BASE (COLOR-GRAY).
- C** RECESSED WINDOW(S) ACCENT W/ W.L. TRELLIS OR LEDGER, AS SHOWN ON PLAN.
- D** EXTERIOR CEMENT PLASTER (4-PART STUCCO SYSTEM) - LA HABRA PRODUCTS - SANTA BARBARA MISSION SMOOTH FINISH, COLOR: CRYSTAL WHITE.
- E** EXTERIOR CEMENT PLASTER (4-PART STUCCO SYSTEM) - LA HABRA PRODUCTS - SANTA BARBARA MISSION SMOOTH FINISH, COLOR: TRABUCO.
- F** CLAY TILE ROOFING - U.S. TILE 2-PIECE MISSION BARREL TILE, TUSCANY BLEND WITH 30% BOOST.
- G** METAL COPING - FACTORY PAINTED / INTEGRAL COLOR TO MATCH "CHAMPAGNE" COLOR.
- H** WOOD TRELLIS/RAFTERS - WITH ROUGH SAWN WOOD TEXTURE AND STAINED TO MATCH SHERWIN WILLIAMS SW 6006 "BLACK BEAN". 6" X 12" RAFTERS ON 8" X 14" MAIN BEAM WITH DOUBLE 6" X 24" BRACKET/SUPPORT.
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- M** 3' HI. W.O. FENCE - PAINT TO MATCH "CHAMPAGNE" COLOR.

DESCRIPTION  
DATE

**BRIXMOR**  
Property Group

PROPOSED MULTITENANT BUILDING  
610, CAMINO DE LOS MARES  
SAN CLEMENTE, CA 92673

CONCEPTUAL COLOR ELEVATIONS  
(SPP 19-203, CUP 19-205, DSP 18-546)

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DRAWN BY: JN

CHECKED BY: AG/KG

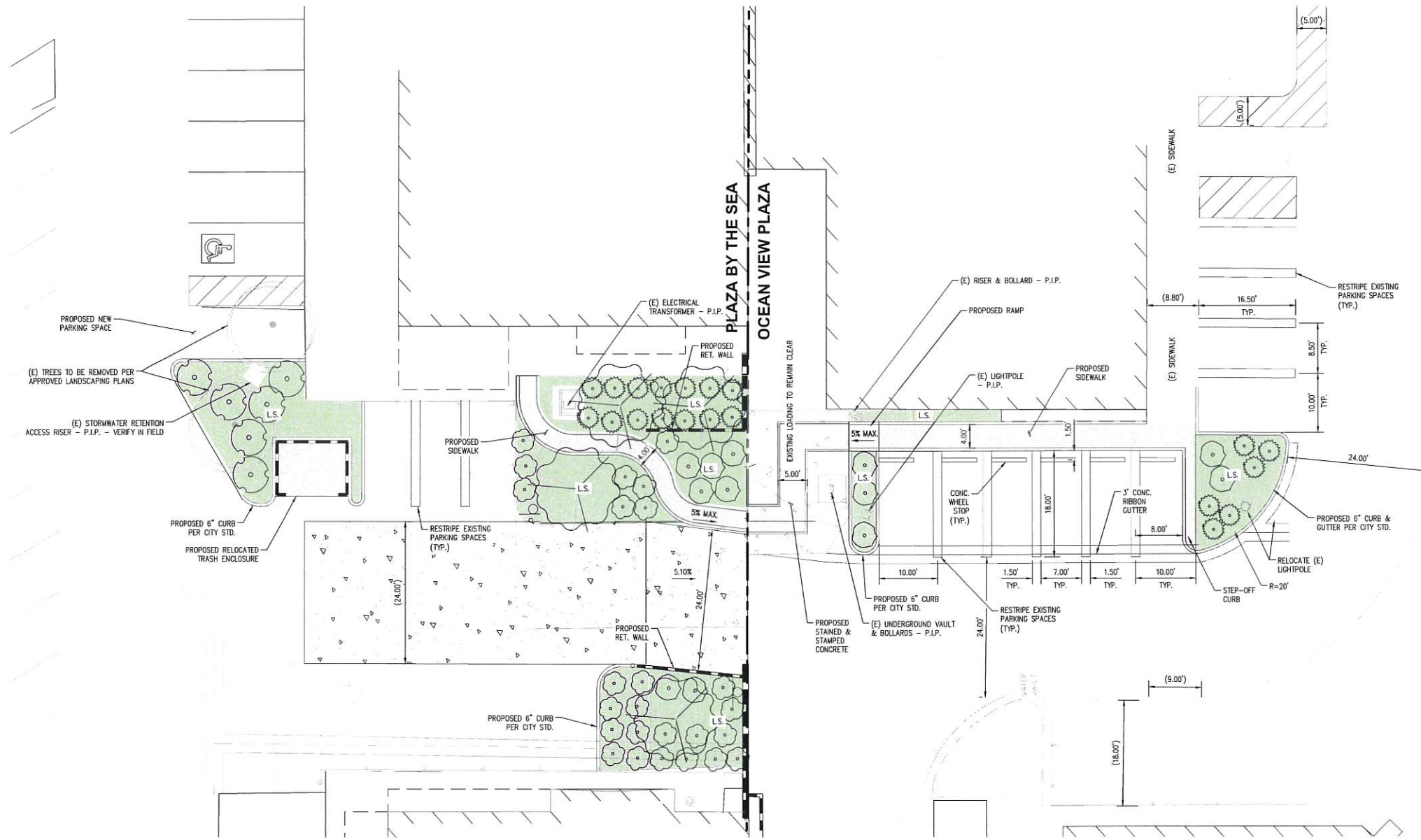
SCALE: 3/16"=1'-0"

SHEET 9 OF 9

SHEET NUMBER

**A2.1**

1753-Plaza by the Sea - Wall Removal - 2019 07 25.dwg



# CONCEPTUAL WALL REMOVAL

SCALE: 1"=20'

DATE



**PLAZA BY THE SEA SHOPPING CENTER**  
 610 CAMINO DE LOS MARES  
 SAN CLEMENTE, CA 92673

**CONCEPTUAL WALL REMOVAL  
 (WITH PEDESTRIAN WALKWAY)**

THIS DRAWING IS A CONCEPTUAL PLAN, NOT AN ENGINEERING DOCUMENT. THE FINAL DESIGN & ENGINEERING SHALL BE COMPLETED & STAMPED BY A LICENSED PROFESSIONAL & SHALL CONFORM WITH ANY APPLICABLE LOCAL, STATE AND/OR FEDERAL REGULATIONS.

DATE: 11-20-2019  
 DRAWN BY: JDN  
 CHECKED BY: AG/KG  
 SCALE: 1"=20'  
 SHEET 3 OF 9

**SHEET NUMBER**  
**SP.2**