



Design Review Subcommittee (DRSC)

Meeting Date: November 22, 2019

PLANNER: Stephanie Roxas, Senior Planner

SUBJECT: **CUP 18-369, AP 18-389, SPP 18-390 & DSP 18-391, Chevron Car Wash and Expansion, 515 E. Avenida Pico**, a request to expand an existing Chevron service station onto an adjacent vacant parcel, including construction of a new drive-through car wash facility and 2,281 square foot convenience store.

BACKGROUND:

Site Information

The project site includes the Chevron service station located at 515 E. Avenida Pico and an abutting vacant parcel located to the northwest of the existing site. A location map is illustrated in Figure 1 and provided as Attachment 1. The project is located within the West Pico Corridor Specific Plan (WPCSP) in the Community Commercial area. The service station site is a 24,829 square foot lot developed with a convenience store, fuel pumps, fuel canopy, and detached restrooms. The adjacent parcel is a 6,969 square foot vacant lot. The project site is an irregular, "L-shaped" area with three sides of street frontage.

Figure 1 – Location Map



Project Description

The applicant, Fiedler Group on behalf of property owner Chevron, is proposing to expand the existing service station onto the adjacent vacant parcel. The proposed project includes demolition of the existing Extra Mile convenience store, construction of a new larger convenience store (2,281 square feet), and construction of a drive-through car wash facility (929 square feet). An additional curb cut is proposed on Calle De Industrias to accommodate vehicles exiting the car wash. The existing 2,052 square foot canopy and fuel pumps are to remain. Additional information on the project's design is detailed in the Analysis section.

First DRSC Review

The Design Review Subcommittee (DRSC) first reviewed the project on November 28, 2018. Copies of the DRSC staff report and meeting minutes are attached as Attachments 2 and 3, respectively. Concurrently, the project was being reviewed by the Development Management Team (DMT). Public Works and Environmental staff raised concerns over the close proximity of the car wash exit to the public right-of-way, potential water spillover onto the public sidewalk, and potential water runoff into the storm drain system. The applicant and staff worked for several months to resolve these issues, ultimately resulting in a revised site plan that significantly increases the distance between the car wash exit and right-of-way. Public Works and Environmental staff are supportive of the current site layout.

ANALYSIS:

The applicant revised the site plan and architectural elevations in response to comments from DRSC and DMT. The purpose of this second DRSC review is to evaluate the overall project, which has evolved substantially since the initial DRSC review, as well as evaluate the adequacy of the applicant's response to prior DRSC recommendations.

Development Standards

With the exception of the number of trees, the project complies with all applicable development standards of the Community Commercial 2 zoning district and Special Uses Chapter of the Zoning Ordinance (Section 17.28.290 - Service Stations). A detailed analysis is provided in Table 1 below. Project plans are included as Attachment 4.

Table 1 – Development Standards Compliance

| | Required | Proposed | Complies with Code? |
|----------------------|--------------------------------------------------------------|------------------------|----------------------------|
| Parking: (Minimum) | 12 spaces (1 space per 200 sq. ft. of C-Store floor area) | 12 spaces | Yes |
| Setbacks: | | | |
| Avenida Pico | 0' | Over 170' | Yes |
| Calle De Industrias | 0' | 10' (from C-Store) | |
| Rear (northwest p/l) | 0' | 24.50' (from Car Wash) | |

| | | | |
|-----------------------------------------------------|-------------------------------------------------|-------------------------------|-----|
| Rear (northeast p/l) | 0' | 1.67' (from Car Wash) | |
| Lot Coverage (Maximum) | 60% | 15.9% | Yes |
| Height Limitation: | 30' | 27'-0" Top of Ridge (C-Store) | Yes |
| Landscaping: (Minimum as percent of gross lot area) | 15% | 15.6% | Yes |
| Number of Trees On-Site: (Minimum) | 1: 25 lineal feet of street frontage (21 trees) | 21 trees | Yes |

Three additional parking spaces are provided near the car wash exit queue. Because vacuums will be installed near the parking spaces for customer use, these spaces were not counted towards the project's parking requirements.

Master Sign Program

The City requires a Master Sign Program for service stations. The project includes removal and replacement of canopy signage and installation of wall signage for the new convenience store and car wash buildings. Signage is summarized in Table 2 below.

Table 2 – Signage Summary

| Sign Type | Allowed | Project Scope | Proposed | Complies w/ Code? |
|--------------------------------|------------------------------------------------------------------|-----------------------------------------|--------------------------------------------------------|--------------------------|
| Fuel Canopy Signs | 24 sq. ft. | 1 new sign | 16.71 sq. ft. | Yes |
| Building Wall Sign (C-Store) | 64 sq. ft. per sign | 1 new sign | 27.8 sq. ft. | Yes |
| Building Wall Signs (Car Wash) | 64 sq. ft. per sign | 3 new signs | 14.64 sq. ft. each (43.93 sq. ft. total) | Yes |
| Monument Signs | 1 sign per frontage 64 sq. ft. Max. Area Max. Height 10' | 1 existing sign to remain. Reface only. | Existing: 23.62 sq. ft. 5'-7" height | Yes |
| Dispenser Signs | 1 per pump island 24 sq. ft. per sign | 8 existing signs. No changes proposed. | Existing: 1.08 sq. ft. each (8.67 sq. ft. total) | Yes |
| Total Sign Area: | 525 sq. ft. (1 sq. ft. of signage per lineal ft. of frontage) | -- | 120.73 sq. ft. | Yes |

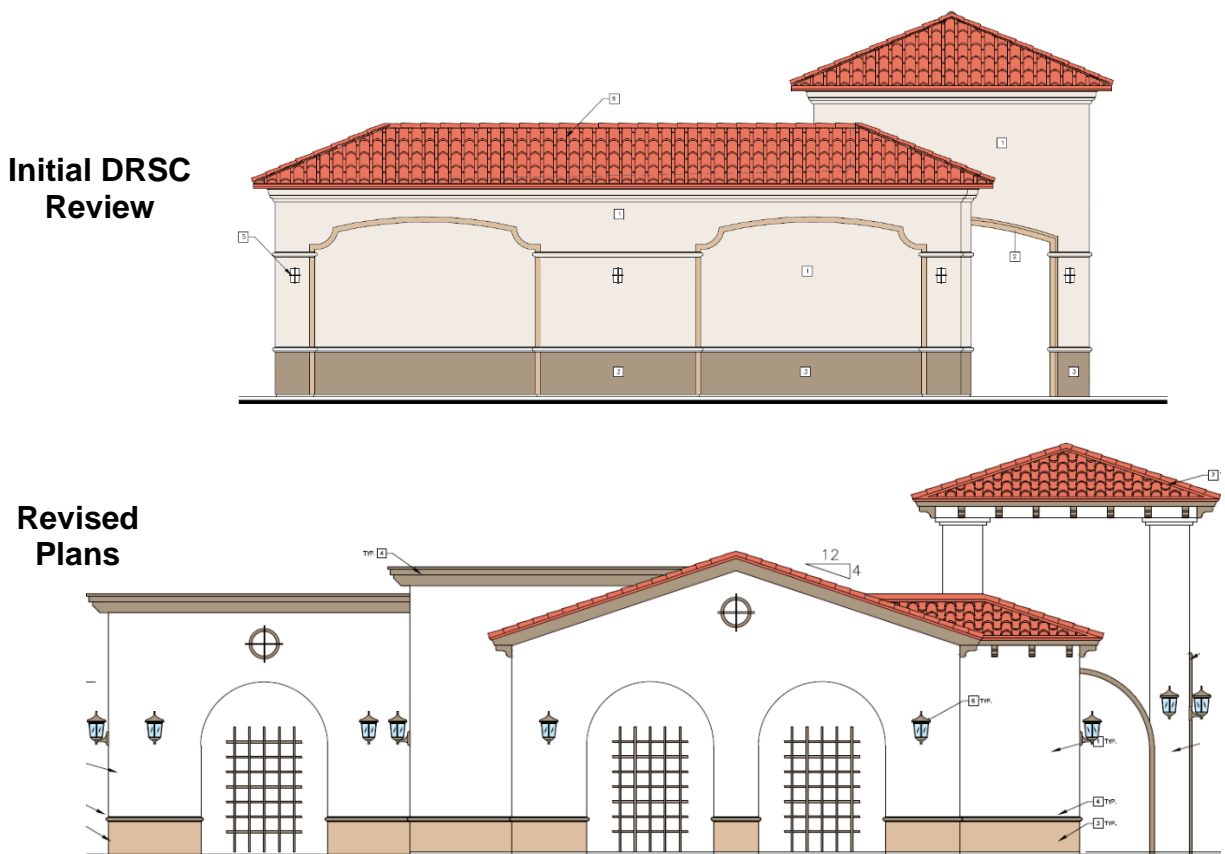
The revised Master Sign Program is provided in Attachment 5. As detailed in Table 2, proposed signage complies with all applicable City standards. The project reduces the amount of signage on the fuel canopy, but increases the overall amount of site signage by installing three signs identifying the proposed drive-through car wash. Car wash signage is proposed on the wood trellis, and at the car wash building entrance and exit. Proposed signs are internally LED illuminated (face lit) channel letters. The existing monument sign and

existing fuel pump dispenser signs will remain. Additional directional and instructional signs are proposed to accompany the car wash (see page 2 of Attachment 5).

Revised Plans

During the initial DRSC review, the Subcommittee found that the overall project trended towards a Spanish Colonial Revival (SCR) style. However, due to the high visibility of the site, the Subcommittee and staff requested modifications that would improve the architectural quality of the project and fully incorporate SCR design. Figure 2 below provides a side-by-side comparison of the elevations submitted during the initial and current DRSC reviews.

Figure 2 – Comparison of West Elevations (Facing Calle De Industrias)



The proposed buildings integrate SCR materials and elements such as low pitched roofs, two-piece roof clay tiles, an accent tower at the main entrance, a wooden trellis over the car wash entrance, exposed rafter tails, white stucco, archways, wall recesses, and vertically-oriented windows and doors. The mansard roof was removed and replaced with a flat parapet roof to shield rooftop equipment while providing additional variation in the roof line. The trim details were reduced and used sparingly to highlight openings. Wood materials were incorporated into the project design to provide contrast and variation to the building. Decorative SCR-style light fixtures were also added throughout the building.

As recommended by DRSC, the applicant proposes façade improvements to the existing fuel canopy to ensure consistent architecture throughout the site. Trim details and cornices are proposed on the canopy to add ornamental elements to the existing structure. Pump numbers would be replaced with a SCR-style ornamental detail (see Sheet CA2.1 of Attachment 4).

General Plan Consistency

The prior DRSC staff report indicated the project site is located at a freeway gateway. Figure UD-1 of the City's General Plan Urban Design Element identifies all gateway locations citywide (Attachment 6). However, upon further review, it is unclear whether the site is located at a gateway, and staff is seeking a determination from the Subcommittee. Figure UD-1 does not identify specific parcels, and instead depicts general areas. The Avenida Pico freeway on/off-ramps and the Calle De Los Molinos/Avenida Pico intersection are both designated gateways. The project site appears to be located between these gateways. Due to the ambiguity, staff seeks direction on the boundaries of the gateway areas and whether the project site must comply with General Plan policies applicable to gateways.

The General Plan describes gateways as “transitional places and visual cues that announce entrances to cities, neighborhoods or districts. From our freeway off-ramps, which often serve as a visitor's first glimpse into our community, to the thresholds of our distinct commercial districts, to the physical and visual entryways into our rich natural and recreational resources, San Clemente's gateways are a reflection of our unique heritage, our commitment to preserving our Spanish Colonial Revival architectural character and our expectations for quality development and design.” If the Subcommittee determines the site is a gateway, the project must be consistent with the following General Plan policies:

- UD-2.01. Architecture/Design Quality. “We require high quality design for buildings at visually significant locations in Gateway areas. New buildings and major remodels in Gateway areas... shall follow Spanish Colonial Revival architectural style.”
- UD-2.10. Visual Screening. We require visual screening of blank walls, trash dumpsters, and parking facilities through a variety of landscaping and architectural design treatments, and signage associated with such features must be attractively designed and placed, consistent with sign regulations. Where possible, we require the screening of utilities infrastructure. Unsightly properties and buildings should be visually screened in an attractive manner.

As discussed above, the applicant made substantial efforts to incorporate SCR principles into the building architecture. For these reasons, staff believes the project is consistent with General Plan policies for gateway locations.

RECOMMENDATIONS:

The applicant addressed the majority of the recommendations made by DRSC and staff. However, to further improve the architectural quality of the project and maintain consistent sign designs at service stations, staff recommends the following project modifications.

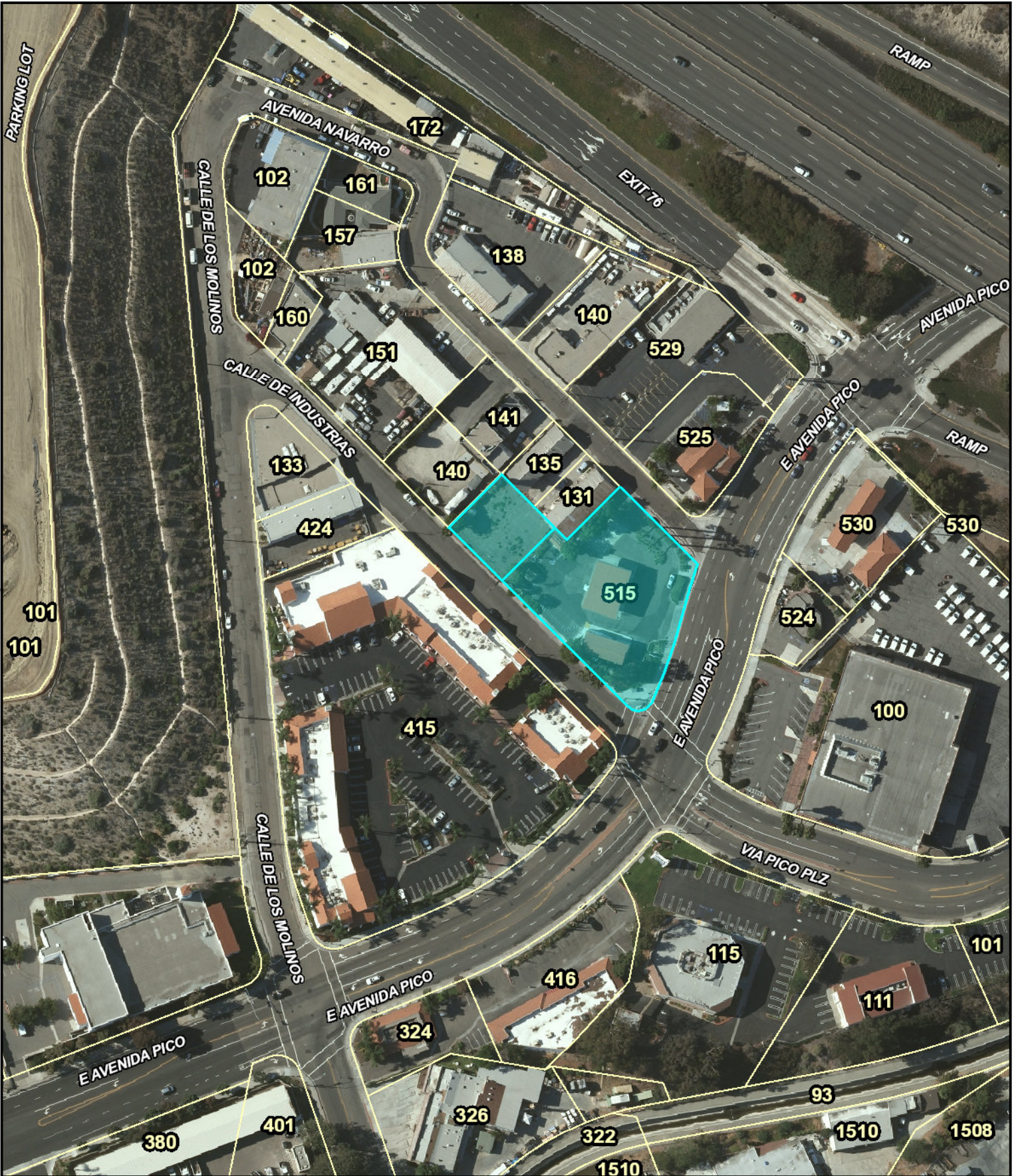
1. Incorporate a roof into the existing trash enclosure using SCR design elements (i.e., wood trellis).
2. Reorient the convenience store building wall sign slightly so that it is centered on the tower element.
3. Modify wall signage illumination to use pin mounted letters with halo illumination, consistent with recent service station approvals.
4. Use black or dark brown letter faces on the car wash signage to better complement the SCR building.
5. Modify the car wash directional signage to use SCR-style colors and materials. The proposed directional signs use a modern design with metal trim.

CONCLUSION

Staff seeks DRSC concurrence with the above recommendations and any additional input on the project's architecture, design, signage, and landscaping. Staff also requests direction on whether the project should return for additional DRSC review, or if the project's design is ready to be forwarded to the Planning Commission for consideration.

Attachments:

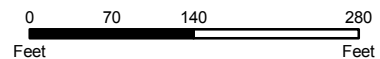
1. Location Map
2. DRSC Staff Report from November 28, 2018 (*Attachments and exhibits may be viewed online: <https://www.san-clemente.org/Home/ShowDocument?id=48329>.)
3. DRSC Meeting Minutes from November 28, 2018
4. Revised Project Plans
5. Revised Master Sign Program
6. General Plan Urban Design Element, Gateway Map



City of San Clemente

Project: Chevron Car Wash & Expansion

Address: 515 E. Avenida Pico





Design Review Subcommittee (DRSC)

Meeting Date: November 28, 2018

PLANNER: Veronica Morones, Assistant Planner

SUBJECT: **CUP 18-369, AP 18-389, SPP 18-390 & DSP 18-391, Chevron Service Station and Car Wash**, a request to demolish the existing convenience store and build a new convenience store and new car wash. The project is located within the West Pico Corridor Specific Plan in the Community Commercial area.

BACKGROUND:

The project site includes the current Chevron service station located at 515 E. Avenida and an abutting vacant parcel located to the northwest of the existing site. The project site is located within the West Pico Corridor Specific Plan (WPCSP). The service station site is a 24,829 square foot lot developed with a convenience store, fuel pumps and canopy, and detached restrooms. The adjacent parcel is a 6,969 square foot vacant lot. The project site is an irregularly shaped parcel, with three sides of street frontage. Figure 1a and 1b depict two of the project site's street frontages; Attachment 2 provides additional site photographs. Surrounding land uses include offices and industrial uses to the north, commercial uses to the west, a USPS post office to the south, and auto service use to the east. The applicant is proposing to remodel and expand the existing service station site to include a new relocated convenience store and new drive-through car wash. The City of San Clemente's General Plan, Urban Design Element, Figure UD-1 identifies the site as a freeway gateway.

Figure 1a: Existing Conditions
(Avenida Pico Frontage)



Figure 1b: Existing Conditions
(Calle Industrias Frontage)



Why is DRSC Review Required?

Zoning Ordinance, Section 17.12.025 requires Design Review Subcommittee (DRSC) review of any Site Plan Permits (SPP), Architectural Permits (AP) and Discretionary Sign Permits (DSP). A SPP and AP are required because the project involves the construction of a new nonresidential building, per Section 17.16.050.C.1.e. and Table 17.16.100A. A DSP is required per Section 17.16.250 because multiple signs with total sign area exceeding 64 square feet are proposed. A Master Sign Program is required because of the service station use.

ANALYSIS:

Development Standards

Table 1 outlines the project’s compliance with Community Commercial 2 Zone development standards :

Table 1 – Development Standards

| | Zoning Ordinance | Proposed | Complies w/the Code | | |
|-------------------------------------------------------|---------------------------------------------------------------------------------------|--------------------------------|----------------------------|----------|-----|
| Parking (Minimum): Convenience Store & Car Wash | 13 spaces; 1 space per 200 gross sq. ft. and 1 space per 3 employees for the car wash | 13 | Yes | | |
| Setbacks (Minimum) | Convenience Store | Car Wash | Convenience Store | Car Wash | Yes |
| Front | 0' | 0' | >50' | >50' | |
| West Side | 0' | 0' | 10' | 10' | |
| East Side | 0' | 0' | 17' | 33'-7" | |
| Rear | 0' | 0' | 37' | 2' | |
| Lot Coverage (Maximum) | 60% | ~18% | | | Yes |
| Floor Area Ratio (Maximum) | .50 | .18 | | | Yes |
| Height: | 30' | 24'-3" | | | Yes |
| Landscaping: (Minimum as percent of gross lot area) | 15% | 18% | | | Yes |
| Minimum number of trees on-site | 1: 25 lineal feet of street frontage (21 trees) | 11 | | | No |
| Signage: Master Sign Program (MSP) | Required for service stations. | MSP is submitted under the DSP | | | Yes |

| | Zoning Ordinance | Proposed | Complies w/the Code |
|--------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| Trash requirements | Must be screened from view; min 5'-0" high walls; covered. | Maintain existing trash enclosure. | No |
| Wall Signs | <ul style="list-style-type: none"> • 64 sq. ft. Max. Area per sign; • Max. length of 75% building façade; • Maximum Sign Area Oriented Toward Any One Property Line of a Site | <ul style="list-style-type: none"> • 50.3 sq. ft. max. sign area • None exceeding max. length. • Unknown whether signs exceed maximum sign area oriented toward any one property line. | Unknown |
| Monument Signs | 1 monument sign per street frontage. 1 additional sign for sites with more than 150 ft. of street frontage; Max. Area 64 sq. ft.; Max. Height 10' | Unknown. Applicant does not have any information regarding the existing monument sign, other than the location and request to update copy. | Unknown |
| Air and Water | Provide air and water in a convenient location. | Air and water located in parking area. | Yes |

Design Guidelines Consistency

The proposed site is designated a freeway gateway, per the City of San Clemente's General Plan, Urban Design Element, Figure UD-1. General Plan policy UD-2.01 states that new buildings located at I-5 freeway off-ramps shall follow Spanish Colonial Revival (SCR) architecture. In addition, the WPCSP contains design guidelines for the Community Commercial area that are similar to those found in the City's Design Guidelines. Where design guidelines overlap between the specific plan and City guidelines, the City guidelines are referenced. Below is an analysis of the most relevant design guidelines:

Table 2 – Relevant Design Guidelines

| Guideline | Project Consistency |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>Design Guidelines II.C.2. Basic Principles of 'Spanish Colonial Revival' Architecture.</i></p> <p>Building and site design should follow basic principles of SCR architecture</p> | <p>Partially Consistent. The proposed convenience store and car wash exhibit basic SCR concepts, such as red tile roofing, smooth stucco, and an earth tone color palette. Design changes are suggested in the areas discussed further in the table.</p> |

| Guideline | Project Consistency |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>Design Guidelines II.C.3.b. Building Form and Massing.</i> Perceived height should be decreased, along with long unrelieved wall planes. Varied roof heights, changes in roof orientation and architectural projections may be utilized to create articulation in building forms.</p> | <p>Not Consistent. The proposed structure is vertically-oriented. The primary tower element and relief details on blank walls create and emphasize a vertical orientation. Window and door openings on the front façade of the convenience store are horizontal in orientation, inconsistent with SCR design. The relief for wall openings is also inconsistent with SCR. Window and door openings are located on a flat wall plane where additional faux-wall elements are added for perceived relief, resulting in an inset plane larger than the window/door opening. Additionally, there is lack of variation in the roof line for both the convenience store and car wash. Lastly, the applicant proposes a mansard roof which results in a faux-roof line aesthetic.</p> |
| <p><i>Design Guidelines II.C.3.c. Proportion and Scale.</i> Create a visual balance in the relation between dimensions of buildings and their parts.</p> | <p>Not Consistent. The recessed elements depicted on all blank walls contribute to the building's overall vertical nature. Service doors on the car wash are inconsistent with the overall scale of the openings they are located. The car wash entry archway opening is too expansive and result in a feeble-looking column inconsistent with SCR.</p> |
| <p><i>Design Guidelines II.C.3.d. Building Materials, Color, and Texture.</i> White, off white, or earth tone cement plaster/stucco finishes are encouraged along with whitewashed brick or adobe; windows should be wood framed or non-corrosive metal finish; awnings are encouraged; dark and reflective glass are discouraged.</p> | <p>Partially Consistent. Design materials include a red tile roof, smooth stucco in an earth tone color, and doors/windows are dark bronze metal.</p> |
| <p><i>Design Guidelines II.C.3.e. Signage:</i> Signs should be integrated with the design concept of the building and site.</p> | <p>Partially Consistent. Based on submitted information, staff is unable to determine how consistent the proposed signage is with SCR style; however, there is an existing monument sign on-site which is consistent with SCR style. The submitted sign plans are shown under Attachment 5.</p> |

| Guideline | Project Consistency |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>Design Guidelines II.F: Building Equipment and Services.</i> “Locate and design building equipment to minimize visual impact on public streets and neighboring properties.</p> | <p>Consistent. The current building design utilizes a mansard roof to create a roof well for all roof mounted equipment. This results in shielding of the equipment from public rights-of-way. The current trash enclosure is consistent with SCR in that it is white stucco.</p> |

General Plan Consistency

Table 3 shows the project’s consistency with General Plan policies that should be considered for architectural, site, and other design review issues:

Table 3 – General Plan Policies

| Policy | Project Consistency |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>Urban Design – 1.09. Signs.</i> We require quality, balance, consistency, and the use of high quality materials in the design of public and private, including commercial signs...Signs should be compatible with the architectural character of the buildings on which they are placed, prevailing streetscape character and surrounding community character and should be not visually obtrusive.</p> | <p>Unknown. The project proposes maintaining the current SCR monument sign, and modifying the copy only. Staff does not have sufficient information for remaining site signage to determine consistency.</p> |
| <p><i>Urban Design - 2.01. Architecture/Design Quality.</i> We require high quality design for buildings at visually significant locations in Gateway areas. New buildings and major remodels in Gateway areas...shall follow Spanish Colonial Revival architectural style...</p> | <p>Partially Consistent. The applicant revised the original building design based on staff architectural recommendations in order to bring it closer to SCR design; however, there are still elements that are inconsistent with SCR style, such as the vertical orientation of the building, horizontally-oriented window/door openings, and scale of architectural elements.</p> |
| <p><i>Urban Design - 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.</p> | <p>Not Consistent. Please refer to <i>Table 2 – Design Guidelines</i> for specific information.</p> |

| Policy | Project Consistency |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>Urban Design</i> - 5.18. Drought Tolerant/Native Species Landscaping. Ornamental plantings in new, non-residential development should consist primarily of drought tolerant and California native species. Only in small areas and special public locations, such as high-use areas of parks, should lawns or other high water use vegetation be used.</p> | <p>Partially Consistent. The plant list provided is consistent with the drought tolerant characteristics required, but a majority of the species listed are not California native plants.</p> |
| <p><i>Urban Design</i> - 5.19. Landscaping Plans. We require that development projects subject to discretionary review submit and implement a landscaping and irrigation plan.</p> | <p>Consistent. Conceptual landscaping plans have been reviewed by Summers, Murphy and Partners (SM&P) and can be found with landscape comments under Attachment 4.</p> |
| <p><i>Land Use</i> – 9.08 Entryways/Corridor Landscaping. We maintain entryways and an attractive, well-defined landscaped edge along Avenida Pico and Calle de Los Molinos to signify arrival to the City of San Clemente and the Los Molinos area.</p> | <p>Consistent. The project provides landscaping buffers along the edge of Avenida Pico with the exception of existing curb cuts.</p> |
| <p><i>Natural Resource</i> – 7.03 Commercial and Industrial Buildings. We require that site lighting for commercial and industrial uses be unobtrusive and constructed or located so that only the intended area is illuminated, off-site glare is minimized, and adequate safety is provided.</p> | <p>Unknown. The photometric plan provided under Attachment 6 does not detail any value of light for areas in the public right-of-way or adjacent private property. The values shown at property line appear relatively high. More information is required.</p> |

RECOMMENDATIONS:

Staff did provide preliminary comments regarding elements of SCR style that could be improved upon during the first division review. In addition to new recommendations based on a revised design, some of the preliminary comments are again recommended, as staff still continues to have these concerns. Additionally, Attachment 3 provides visual examples of staff recommendations.

1. The overall massing of the convenience store should be horizontal. Modify the proportions of the building to achieve a horizontal form, such as lowering the architectural elements on the facades so there is more solid wall area between the detail and the roof line. Please see Attachment 3 for an example of a horizontally oriented building versus vertically oriented building.

2. The scale of architectural elements on both buildings are not proportional to their location/placement and should be modified. The scale and placement of architectural elements should be consistent and harmonized with surrounding architectural elements.
 - a. Some of the door locations proposed are off-center to their architectural element and create a visual clutter on the façade.
 - b. Window openings are not recessed as an individual element. The windows are a part of a larger recessed element which reduces the visual interest of the desired building relief that is a result of recessed openings.
 - c. The car wash column appears to be too thin. The relation between the height of the column and its mass should be visually consistent with the weight of the overhead archway.
 - d. The signage on the front tower façade is spaced too closely to the adjacent architectural elements. There should be appropriate spacing between the trim detail of the entry opening, with that of the two signs.
3. Ensure that all windows and doors have recessed profiles. Windows and doors should have traditional wall opening recesses of 8" for windows and 12" for doors. Steel doors and aluminum windows are acceptable provided their finish and detailing is consistent with a wood door/window. The placement of faux-walls should be used sparingly or eliminated altogether.
4. Adjust the width of the windows to reflect a narrower opening and a more appropriate ratio of solid building wall to window area. Window widths can be adjusted through the use of a loggia, arcade or mullion placement. Window openings should be vertically-oriented, and the area of solid building wall should be greater than the total area of door and window openings in the wall.
5. If architectural elements are used around window/door openings, they should be consistent in design with the window shape. For example, rectangular windows should have a linear architectural element above them, not curves or arches, and vice versa. The use of corbels is preferred and the corbels should be proportional to the opening and dimensioned details included upon revised submittal. Additionally, the windows are shown cutting into the wainscot detail on the front façade, which should be adjusted so that the window and wainscot elements are complimentary to each other.
6. Reduce the size of the wall insets to be consistent with SCR, and add vines to climb the interior space of the insets to help alleviate dirt accumulation and incorporate landscaping on the structure.
7. Incorporate wood material into the design to provide contrast and variation to the building materials, such as with rafter tails in-lieu of cornice or a trellis instead of the archway for the car wash entry.
8. Provide additional variation in the roof line of the convenience store building through the use of additional building relief. Modify the roofline to incorporate a different method for shielding roof mounted equipment than the proposed mansard roof well. Modify the entry tower to that of a gable roof to allow for more solid building wall area and design variation.

9. Modify the car wash building's roofline so that the entry and exit facades have a gable roof. This will provide variation of SCR architectural style on-site and create consistency with the convenience store. If a gable roof is applied, ensure the raking detail meets the standards of the Henry Lenny Design Guidelines.
10. The "nutmeg" trim detail should be used sparingly, and only to show visual prominence to an opening, such as an entryway. Remove all other trim details and replace with smooth stucco application only.
11. Remove the lateral trim detail shown on both buildings. If a wainscot is to be used on the exterior of both buildings, it should be consistent with the Henry Lenny Design Guidelines and be of brick or stone material.
12. Modify the trash enclosure to be consistent with SCR design and cohesive with the overall site design.
13. Modify the lighting shown on both buildings to a light fixture consistent with SCR design.
14. Modify proposed signage so that materials are consistent with Spanish Colonial Revival materials, such as wood and stucco. Provide additional details regarding site signage.
15. Clearly show the locations of the downspouts and gutters for roof drainage. All downspouts and gutters on the structure should be vertically-oriented and should be configured and placed on areas of the building that are less visible. This would ensure that the downspouts do not draw attention to themselves. Any exposed downspouts and gutters should be copper.

CONCLUSION

Overall, the project trends toward SCR style; however, the Gateway location requires a high level of quality design that fully incorporates SCR. Major focus points of improvement are the building's architecture, and incorporating more consistent design elements of SCR to the overall site design, such as lighting, and signage. Staff seeks DRSC concurrence with the above recommendations and any additional input on the project's design that will help ensure a project of the highest quality. Staff requests advisement on whether the project should return to the DRSC to consider responses to DRSC comments.

Attachments:

1. Location Map
 2. Photos of existing condition
 3. Visual recommendations
 4. Preliminary landscape plans and comments
 5. Sign plans
 6. Photometrics
- Plans (Under separate cover)

These minutes will be considered for approval at the DRSC meeting of December 12, 2018

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
NOVEMBER 28, 2018**

Subcommittee Members Present: Jim Ruehlin, Bart Crandell, Jason Talley

Staff Present: Senior Planner Stephanie Roxas, Associate Planner II Chris Wright, Assistant Planner David Carrillo, Assistant Planner Veronica Morones

1. MINUTES

The Subcommittee approved the minutes from the November 14, 2018 meeting with various changes.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:

Cultural Heritage Permit 15-028, 236 W El Portal, Yap Duplex (Wright)

A request to allow the construction of a new residential duplex at 236 West El Portal. The site abuts a historic structure.

Associate Planner II, Christopher Wright, summarized the staff report and presented a materials board. The applicant's designer, Victor Bejarano, was present for questions.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Concurred with staff's analysis that the project is consistent with the design guidelines, meets development standards, and is consistent with the general plan in terms of design issues and historic preservation.
- Indicated that while the project is not traditional Spanish Colonial Revival (SCR) architecture in some aspects, the site is not in the Architectural Overlay so traditional SCR is not required.
- Requested clarification from staff regarding the building which steps up the slope with a portion in-bank and below original grade.
- Stated a portion of the building's side elevation will be screened from the street by the adjacent historic building and topography.

The Subcommittee supports the design of the project as proposed and recommended the project proceed to a Planning Commission public hearing for consideration.

Conditional Use Permit 18-369, Architectural Permit 18-389, Site Plan Permit 18-390 & Discretionary Sign Permit 18-391, Chevron Service Station and Car Wash (Morones)

A request to demolish the existing convenience store and build a new convenience store and new car wash. The project is located within the West Pico Corridor Specific Plan in the Community Commercial area.

Assistant Planner Veronica Morones was available to present the staff report. The applicants, Erika Hernandez and Patrick Siedler, were present for questions.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Recommended the fuel canopy be updated along with the proposed improvements, as all items on site should be consistent with Spanish Colonial Revival design.
- Recommended the applicant review the recently approved Pico Starbucks project for expected quality of detail for a Gateway location.
- Expressed concern that the car wash queueing may not be long enough.
- Suggested closing the curb cut on Ave Pico.
- Asked staff to provide a summary of Engineering's comments regarding the location of the car wash exit to the public right-of-way.
- Asked as to whether the lots will be merged.
- Requested clarification from the applicant regarding how the water spill/spray from the entry and exit of the car wash will be minimized.
- Concurred with all recommendations provided by staff in the DRSC report.
- Recommended the applicant visit the Estrella shopping center for examples of a remodeled Gateway location.
- Recommended the applicant address any signage violations before the project is scheduled for a public hearing.
- Recommended the applicant review recently approved Discretionary Sign Permits for service stations.

The Subcommittee concurred with staff's recommendations, provided additional input and recommendations to the applicant and staff, and recommended that the applicant return to the DRSC for additional review.

Minor Cultural Heritage Permit 18-277, 202 Avenida Aragon, St. Clement's By The Sea Exterior Additions (Carrillo)

A request to consider the construction of a detached pergola, gates, and an attached columbarium.

Assistant Planner David Carrillo summarized the staff report. The applicants, Judy Johnson and Jon Ulz, were present for questions.

Subcommittee Member Talley recused himself during DRSC's discussion of this item due to an excused scheduling conflict.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Directed staff to consult with the City Attorney to review Federal laws that may preclude local agencies from requesting changes to religious facilities and structures.
- Recognized the applicant's cost limitations may affect the project.
- Expressed the location and size of the pergola are appropriate.
- Expressed the arched knee braces on the pergola do not reflect the church's architecture and are incompatible with Spanish Colonial Revival (SCR) design.
- Recommended diagonal knee braces be used on the pergola instead.
- Stated the excessive use of non-decorative metal hardware on the pergola is unnecessary. Recommended metal brackets on the pergola be removed and that the use of bolts only is more consistent with the SCR style.
- Recommended the applicant install squared bolts on the pergola that are more historically compatible.
- Expressed the design of the pergola may be improved if features found on the Max Berg Park pergola were incorporated.
- Recommended the slats of the pergola be reoriented 90 degrees to improve the shade provided.
- Encouraged the applicant to incorporate detailed ornamentation on the gates with this permit request or in the future.
- Recommended the applicant explore phasing this improvement as more funding becomes available in the future.
- Recommended the gates be made of solid wrought iron, not hollow.
- Recommended the applicant assess the ornamentation of an approved gate located at Caterina's restaurant in the Pier Bowl for details that may be mimicked on the proposed gates.
- Recommended installing two to four columbariums that are smaller in width and height, but provide the same number of niches, to eliminate impacts to the buttresses. This recommendation is intended to improve architectural compatibility and show sensitivity to the historical resource.
- Discussed adding benches to the memorial garden along with the recommended dispersion of columbariums to create a more garden feel that multiple families may occupy.

- Recommended a decorative brick cap be installed on the columbarium instead of the clay tile shed roof. The brick should match the material used on the existing low garden wall.
- Recommended the columbarium be designed to reflect existing materials, shapes, colors, and finishes of the church.

The Subcommittee provided input and recommendations to the applicant and staff, and recommended the project proceed to a Zoning Administrator public hearing for consideration.

Staff Waiver of Minor Cultural Heritage Permit 18-646, 405 Avenida Granada, Villa Granada Building Repaint (Carrillo)

A request to consider two multi-family residential buildings, wrought iron fences, and perimeter walls, to be repainted a light beige color.

Assistant Planner David Carrillo summarized the staff report. The applicant, Ann Bailey, was present for questions.

The Design Review Subcommittee (DRSC) discussed the project, and made the following comments either individually or as a group:

- Requested clarification from staff regarding when Minor Cultural Heritage Permits are required.
- Supports the main body of the buildings to be painted light beige (Dunn Edwards Desert Suede).
- Opposes staff's recommendation to paint the railing a dark brown or black color.
- Supports painting the horizontal bands throughout the buildings the same color as the primary structure.
- Opposed the use of a single paint color over the building walls, railings, and other accent features. Stated that definition and contrast is needed on the buildings to create depth and shadowing.
- Recommended the railing be painted a slightly darker color than the Dunn Edwards Desert Gray color presented to the DRSC. Directed the applicant to work with staff to find an appropriate darker accent color.
- Recommended the applicant apply graffiti-proof paint on the block walls.

The Subcommittee provided input and recommendations to the applicant and staff, and recommended that DRSC comments be forwarded to the City Planner for consideration with the Staff Waiver application.

3. **NEW BUSINESS**

None

4. OLD BUSINESS

None

5. ORAL AND WRITTEN COMMUNICATION

None

ADJOURNMENT

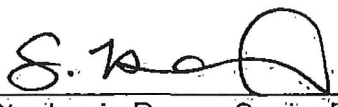
Adjourn to the Regular Meeting of the Design Review Subcommittee to be held Wednesday, December 12, 2018 at 3:00 p.m., at the Community Development Department, Conference Room A, 3rd Floor, located at 910 Calle Negocio, San Clemente, California.

Respectfully submitted,



Jim Ruehlin, Chair

Attest:



Stephanie Roxas, Senior Planner

ENTITLEMENT DOCUMENTS

ATTACHMENT 4

FOR
CHEVRON
515 E. AVENIDA PICO
SAN CLEMENTE, CA 92672



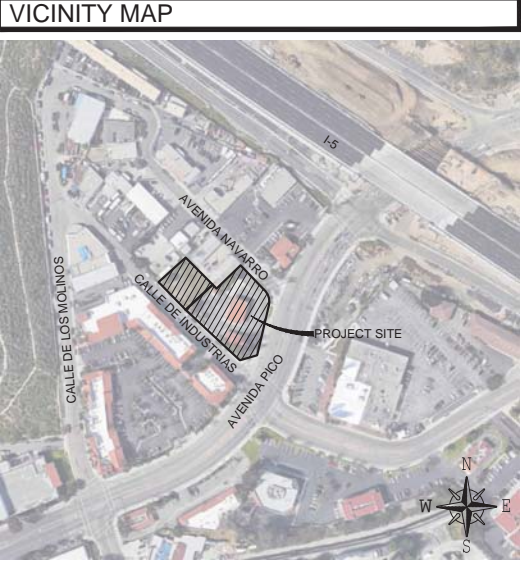
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SHEET INDEX

| SHEET NO. | SHEET TITLE |
|-----------|----------------------------------|
| C0.0 | TITLE SHEET |
| C1.0 | SITE PLAN |
| C2.0 | PRELIMINARY GRADING PLAN |
| C3.0 | DRAINAGE MANAGEMENT AREA MAP |
| C4.0 | SITE DETAILS |
| L0.0 | LANDSCAPE TITLE SHEET |
| L1.0 | CONCEPTUAL LANDSCAPE PLAN |
| L1.1 | LANDSCAPE PHOTOGRAPHS |
| A1.1 | FLOOR PLAN |
| A2.0 | ROOF PLAN |
| A3.1 | EXTERIOR ELEVATIONS |
| A3.2 | EXTERIOR ELEVATIONS |
| A3.3 | COLOR EXTERIOR ELEVATIONS |
| A3.4 | COLOR EXTERIOR ELEVATIONS |
| A5.1 | BUILDING SECTIONS |
| CA1.1 | EXISTING CANOPY FLOOR PLAN |
| CA2.0 | EXISTING CANOPY ELEVATIONS |
| CA2.1 | PROPOSED CANOPY ELEVATIONS |
| CA2.2 | PROPOSED COLOR CANOPY ELEVATIONS |

LEGAL DESCRIPTION

PARCEL 1:
THAT PORTION OF LOTS 19, 20 AND 21 OF TRACT NO. 823, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, AND THAT PORTION OF LOTS 47 THROUGH 51 INCLUSIVE OF TRACT NO. 899, AS SHOWN ON A MAP RECORDED IN BOOK 28, PAGE 11 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF SAID LOT 21, SAID POINT BEING NORTH 67° 57' 30" EAST 0.68 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 21; THENCE SOUTH 45° 17' 54" EAST 16.92 FEET TO THE TRUE POINT OF BEGINNING, SAID TRUE POINT OF BEGINNING BEING THE POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO THE CITY OF SAN CLEMENTE, RECORDED JUNE 22, 1959, IN BOOK 4768, PAGE 236 OF OFFICIAL RECORDS, WITH THE SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO J. O. CHILTON AND WIFE, RECORDED SEPTEMBER 16, 1960, IN BOOK 5420, PAGE 540 OF OFFICIAL RECORDS; THENCE SOUTH 45° 17' 54" EAST ALONG SAID NORTHEASTERLY LINE OF THE LAND DESCRIBED IN SAID DEED TO THE CITY OF SAN CLEMENTE, 106.29 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE IN SAID NORTHEASTERLY LINE, CONCAVE NORTHERLY HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 109° 59' 49" AN ARC DISTANCE OF 38.40 FEET TO THE BEGINNING OF COMPOUND CURVE IN THE NORTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 3 OF THE DEED TO THE CITY OF SAN CLEMENTE, RECORDED FEBRUARY 24, 1960, IN BOOK 5113, PAGE 501 OF OFFICIAL RECORDS, SAID CURVE BEING CONCAVE NORTHERLY HAVING A RADIUS OF 460.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 9° 44' 42" AN ARC DISTANCE OF 78.24 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE IN SAID NORTHERLY LINE, CONCAVE SOUTHERLY HAVING A RADIUS OF 640.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 6 DEG. 19' 00" AN ARC DISTANCE OF 70.56 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 49; THENCE NORTH 45° 17' 54" WEST ALONG THE NORTHEASTERLY LINE OF SAID LOTS 49, 48 AND 47, A DISTANCE OF 119.02 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 47; THENCE SOUTH 44° 42' 06" WEST 80.00 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 47; THENCE SOUTH 45° 17' 54" EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 47 AND 48, A DISTANCE OF 58.67 FEET TO THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN DEED TO REEVES RUBBER, INC., RECORDED SEPTEMBER 16, 1960, IN BOOK 5420, PAGE 541 OF OFFICIAL RECORDS; THENCE SOUTH 44° 42' 06" WEST ALONG THE NORTHWESTERLY LINE OF SAID LAST MENTIONED DEED AND ALONG SAID SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO J. O. CHILTON AND WIFE, 79.38 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:
PARCEL A:
LOTS 21, 22 AND THE SOUTHEASTERLY 21.13 FEET OF LOT 23 OF TRACT NO. 823, SAN CLEMENTE, THE SPANISH VILLAGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THAT PORTION OF LOT 21, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 21; THENCE SOUTH 67° 57' 30" WEST ALONG THE SOUTHEASTERLY BOUNDARY OF SAID LOT 21, 43.54 FEET; THENCE NORTH 44° 42' 06" EAST, 40 FEET TO THE NORTHEASTERLY BOUNDARY OF SAID LOT 21; THENCE SOUTH 45° 17' 54" EAST, 17.19 FEET TO THE POINT OF BEGINNING.

PARCEL B:
THAT PORTION OF LOT 20 OF TRACT NO. 823, AS SHOWN ON A MAP THEREOF, RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBES AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY CORNER OF SAID LOT 20; THENCE SOUTH 67° 57' 30" WEST ALONG THE NORTHWESTERLY BOUNDARY OF SAID LOT 20, 43.54 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTH 44° 42' 06" WEST, 40 FEET; THENCE NORTH 45° 17' 54" WEST, 17.19 FEET TO THE INTERSECTION WITH THE NORTHWESTERLY BOUNDARY OF SAID LOT 20; THENCE NORTH 67° 57' 30" EAST, 43.54 FEET TO SAID TRUE POINT OF BEGINNING.

APNS: 057-014-52 and 057-014-43

BENCHMARK

BENCHMARK NO. 3Y-32-80

DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3Y-32-70", SET IN THE TOP OF A 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF AVENIDA PICO AND LOS MOLINOS, 31.5 FT. WESTERLY OF THE CENTERLINE OF LOS MOLINOS AND 72 FT. SOUTHERLY OF THE CENTERLINE OF AVENIDA PICO. MONUMENT IS SET 0.3 FT. ABOVE THE SIDEWALK IN A DIRT PLANTER.

ELEVATION = 70.502' (NAVD88) (2005)

FLOOD STATEMENT

ZONE: X

AREA OF MINIMAL FLOOD HAZARDS

COMMUNITY NO: 060230

PANEL NO. 06059C 0528J

DATED: DECEMBER 3, 2009

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF AVENIDA ROAD BEARING NORTH 69°30'27" EAST AS SHOWN ON TRACT MAP NO. 8817 BOOK 880 PAGE 23 RECORDS OF SAID COUNTY.

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN THE TITLE REPORT NO. NCS-860469-SA1 DATED MARCH 14, 2018 BY FIRST AMERICAN TITLE INSURANCE COMPANY

3 AN EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 30, 1959, AS INSTRUMENT NO. 160925, IN BOOK 4907, PAGE 162 OF OFFICIAL RECORDS, IN FAVOR OF SAN DIEGO GAS & ELECTRIC COMPANY. EASEMENT LIES OUTSIDE FEE PARCEL AND IS PLOTTED HEREON.

13 AN OFFER OF DEDICATION FOR PUBLIC STREET AND ROAD PURPOSES, PUBLIC UTILITIES, WIRES, CABLES, CONDUITS, STORM SEWERS, SANITARY SEWERS AND WATER PIPELINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 22, 1990, AS INSTRUMENT NO. 90-035926 OF OFFICIAL RECORDS. TO: CITY OF SAN CLEMENTE, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA. DEDICATION AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

16 EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM BANK OF AMERICA NATIONAL TRUST AND SAVINGS ASSOCIATION, AS GRANTOR, TO MARIE GRASSL, AS GRANTEE, RECORDED JANUARY 20, 1932, AS INSTRUMENT NO. 1472, IN BOOK 530, PAGE 209 OF OFFICIAL RECORDS. REFERENCE BEING MADE TO THE DOCUMENT FOR FULL PARTICULARS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.

PROJECT OWNER

OWNER REPRESENTATIVE:
SERGIO LINARES
CHEVRON PRODUCTS COMPANY
(714) 671-3311
145 SOUTH STATE COLLEGE BLVD., STE. 500
BREA, CA 92821

APPLICANT/AGENT:
ERIKA HERNANDEZ
FIEDLER GROUP
(213) 201-2523
299 N. EUCLID AVE., STE. 550
PASADENA, CA 91101

PROJECT TEAM

CIVIL ENGINEER:
PATRICK O. FIEDLER, P.E.
FIEDLER GROUP
(213) 381-7891
299 N. EUCLID AVE. STE. 550
PASADENA, CA 91101

SURVEYOR:
O. C. QUEYREL, L.S.
ANACAL ENGINEERING COMPANY
(714) 774-1763
1900 E. LA PALMA AVE., STE. 202
ANAHEIM, CA 92805

OCCUPANCY LOAD CALCULATIONS

| | AREA (S.F.) | AREA/PERSON (S.F./PERSON) | PERSONS |
|-------------------------|-------------|---------------------------|---------|
| CAR WASH | | | |
| CAR WASH: | 622 | 300 | 3 |
| EQUIPMENT/UTILITY ROOM: | 193 | 300 | 1 |
| MECHANICAL ROOM: | 116 | 300 | 1 |
| C-STORE | | | |
| OFFICE: | 81 | 100 | 1 |
| RESTROOM (MENS): | 0 | 0 | 0 |
| RESTROOM (WOMENS): | 0 | 0 | 0 |
| BACKROOM: | 237 | 300 | 1 |
| COOLER: | 280 | 300 | 1 |
| MERCHANDISE: | 1,308 | 60 | 20 |
| CASHIER: | 334 | 60 | 6 |
| TOTAL: | | | 34 |

SITE INFORMATION

| | | |
|--------------------------------------|----------------------------------------------|------------|
| GENERAL: | | |
| PROJECT AREA: | 33,054 SQ. FT. | 0.76 ACRES |
| AREA OF DISTURBANCE: | 11,256 SQ. FT. | 0.26 ACRES |
| ASSESSORS PARCEL #(S): | 057-014-052 & 057-014-043 | |
| PROPERTY ADDRESS: | 515 E AVENIDA PICO SAN CLEMENTE, CA 92672 | |
| ZONING: | CC2 - COMMUNITY COMMERCIAL | |
| | C-STORE | CAR WASH |
| OCCUPANCY GROUP: | M | B |
| OCCUPANCY LOAD: | 26 | 4 |
| CONSTRUCTION TYPE: | TYPE V-B | |
| LANDSCAPE: | | |
| REQUIRED: | 3,305 SQ. FT. | 15.0 % |
| EXISTING TO REMAIN: | 3,560 SQ. FT. | 10.8 % |
| PROPOSED: | 1,595 SQ. FT. | 4.8 % |
| HARD SURFACE: | | |
| PAVEMENT/WALK (INCLUSIVE OF CANOPY): | 24,689 SQ. FT. | 74.7 % |
| BUILDING(S): | | |
| C-STORE | 2,281 SQ. FT. | 6.9 % |
| CAR WASH | 929 SQ. FT. | 2.8 % |
| PARKING: | | |
| USE: | | |
| REQUIRED (1 SPACE PER): | 200 SQ. FT. | 12 SPACES |
| PROVIDED: | | 15 SPACES |
| SETBACKS: | | |
| REQUIRED: | FRONT 10 FT. REAR 0 FT. SIDE 0 FT. | |

| NO. | DATE | REVISION DESCRIPTION |
|-----|------------|--------------------------------|
| 1 | 08/23/2018 | PLAN CHECK COMMENTS |
| 2 | 10/10/2018 | PLANNING PLAN CHECK COMMENTS |
| 3 | 01/14/2019 | PLANNING PLAN CHECK COMMENTS |
| 4 | 08/19/2019 | UPDATED SITE PLAN AND RESUBMIT |
| 5 | 10/01/2019 | PLANNING PLAN CHECK COMMENTS |
| 6 | 11/11/2019 | PLANNING PLAN CHECK COMMENTS |

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DEVELOPMENT INFORMATION:

CHEVRON
NEW C-STORE
& CAR WASH

SITE ADDRESS:

515 E. AVENIDA PICO
@ AVENIDA INDUSTRIAS
SAN CLEMENTE, CA 92672

SERVICE STATION #99944

| | | | |
|--------------|------------|----------------|-------|
| DESIGNED BY: | NS | FG PM: | PGF |
| CHECKED BY: | PGF | MEP PM: | |
| DRAWN BY: | NS | CONSULTANT PM: | |
| DATE: | 04/09/2018 | PROJECT NO.: | 16165 |

TITLE SHEET

SHEET NO.:

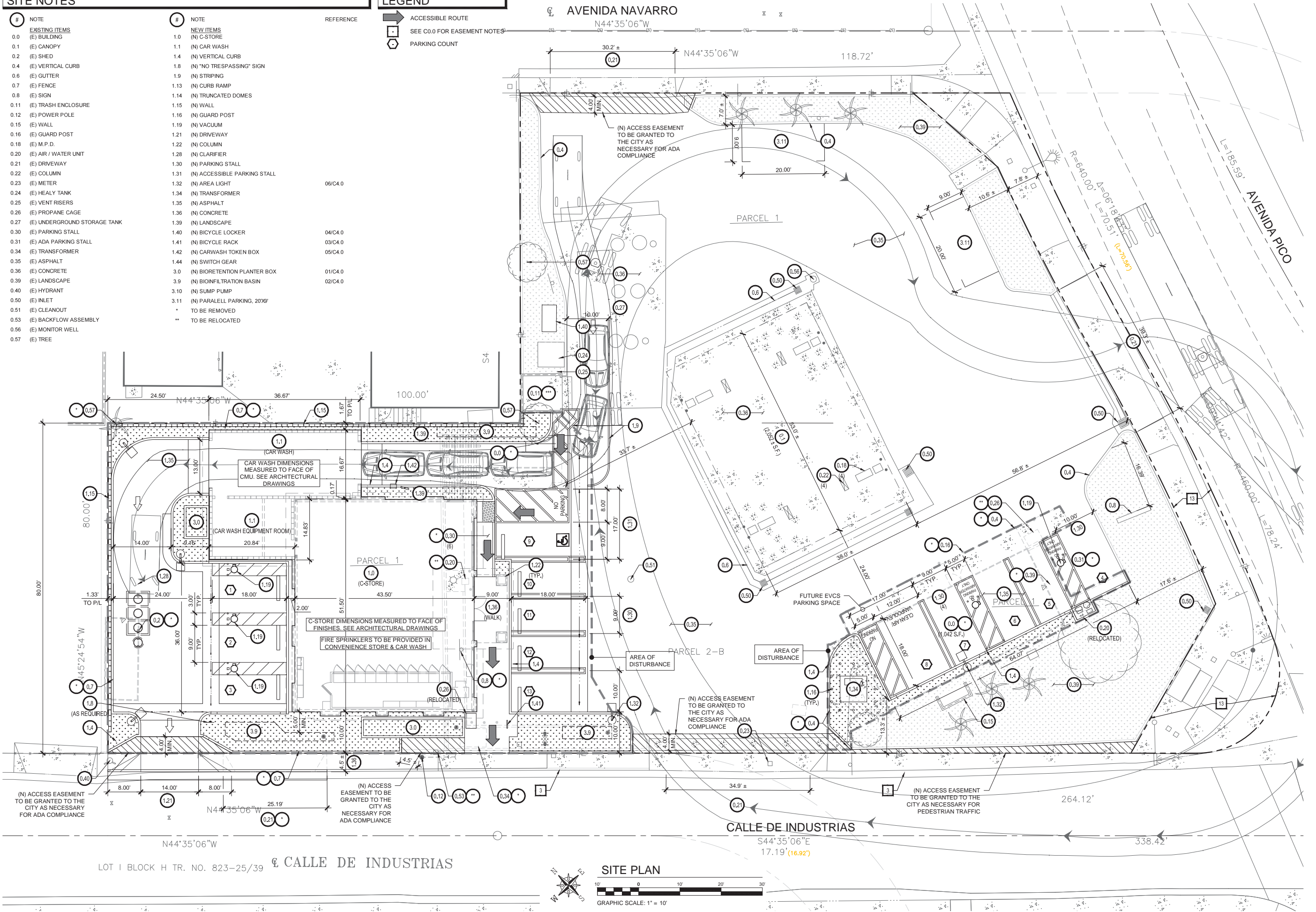
C0.0

SITE NOTES

- | | | |
|------|------------------------------|-----------|
| # | NOTE | REFERENCE |
| 0.0 | EXISTING ITEMS | |
| (E) | EXISTING BUILDING | |
| 0.1 | (E) CANOPY | |
| 0.2 | (E) SHED | |
| 0.4 | (E) VERTICAL CURB | |
| 0.6 | (E) GUTTER | |
| 0.7 | (E) FENCE | |
| 0.8 | (E) SIGN | |
| 0.11 | (E) TRASH ENCLOSURE | |
| 0.12 | (E) POWER POLE | |
| 0.15 | (E) WALL | |
| 0.16 | (E) GUARD POST | |
| 0.18 | (E) M.P.D. | |
| 0.20 | (E) AIR / WATER UNIT | |
| 0.21 | (E) DRIVEWAY | |
| 0.22 | (E) COLUMN | |
| 0.23 | (E) METER | |
| 0.24 | (E) HEALY TANK | |
| 0.25 | (E) VENT RISERS | |
| 0.26 | (E) PROPANE CAGE | |
| 0.27 | (E) UNDERGROUND STORAGE TANK | |
| 0.30 | (E) PARKING STALL | |
| 0.31 | (E) ADA PARKING STALL | |
| 0.34 | (E) TRANSFORMER | |
| 0.35 | (E) ASPHALT | |
| 0.36 | (E) CONCRETE | |
| 0.39 | (E) LANDSCAPE | |
| 0.40 | (E) HYDRANT | |
| 0.50 | (E) INLET | |
| 0.51 | (E) CLEANOUT | |
| 0.53 | (E) BACKFLOW ASSEMBLY | |
| 0.56 | (E) MONITOR WELL | |
| 0.57 | (E) TREE | |
| # | NOTE | |
| 1.0 | NEW ITEMS | |
| (N) | NEW C-STORE | |
| 1.1 | (N) CAR WASH | |
| 1.4 | (N) VERTICAL CURB | |
| 1.8 | (N) "NO TRESPASSING" SIGN | |
| 1.9 | (N) STRIPING | |
| 1.13 | (N) CURB RAMP | |
| 1.14 | (N) TRUNCATED DOMES | |
| 1.15 | (N) WALL | |
| 1.16 | (N) GUARD POST | |
| 1.19 | (N) VACUUM | |
| 1.21 | (N) DRIVEWAY | |
| 1.22 | (N) COLUMN | |
| 1.28 | (N) CLARIFIER | |
| 1.30 | (N) PARKING STALL | |
| 1.31 | (N) ACCESSIBLE PARKING STALL | |
| 1.32 | (N) AREA LIGHT | |
| 1.34 | (N) TRANSFORMER | |
| 1.35 | (N) ASPHALT | |
| 1.36 | (N) CONCRETE | |
| 1.39 | (N) LANDSCAPE | |
| 1.40 | (N) BICYCLE LOCKER | |
| 1.41 | (N) BICYCLE RACK | |
| 1.42 | (N) CARWASH TOKEN BOX | |
| 1.44 | (N) SWITCH GEAR | |
| 3.0 | (N) BIORETENTION PLANTER BOX | |
| 3.9 | (N) BIOINFILTRATION BASIN | |
| 3.10 | (N) SUMP PUMP | |
| 3.11 | (N) PARALLEL PARKING, 20'x9' | |
| * | TO BE REMOVED | |
| ** | TO BE RELOCATED | |

LEGEND

- ➔ ACCESSIBLE ROUTE
- ◻ SEE C.O.0 FOR EASEMENT NOTES
- PARKING COUNT



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| NO. | DATE | REVISION DESCRIPTION |
|-----|------------|--------------------------------|
| 1 | 08/23/2019 | PLAN CHECK COMMENTS |
| 2 | 10/10/2019 | PLANNING PLAN CHECK COMMENTS |
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| 6 | 11/11/2019 | PLANNING PLAN CHECK COMMENTS |

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DEVELOPMENT INFORMATION:
CHEVRON
NEW C-STORE & CAR WASH

SITE ADDRESS:
515 E. AVENIDA PICO
@ AVENIDA INDUSTRIAS
SAN CLEMENTE, CA 92672
SERVICE STATION #99944

| | | | |
|----------------|------------|----------------|-------|
| DESIGNED BY: | NS | FG PM: | PGF |
| CHECKED BY: | PGF | MEP PM: | PGF |
| DRAWN BY: | NS | CONSULTANT PM: | NS |
| DATE: | 04/09/2018 | PROJECT NO.: | 16165 |
| DRAWING TITLE: | SITE PLAN | | |

SHEET NO.:
C1.0

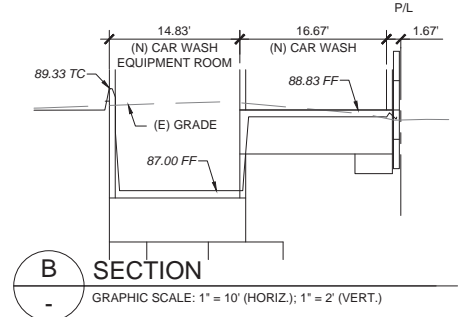
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STORM DRAIN NOTES

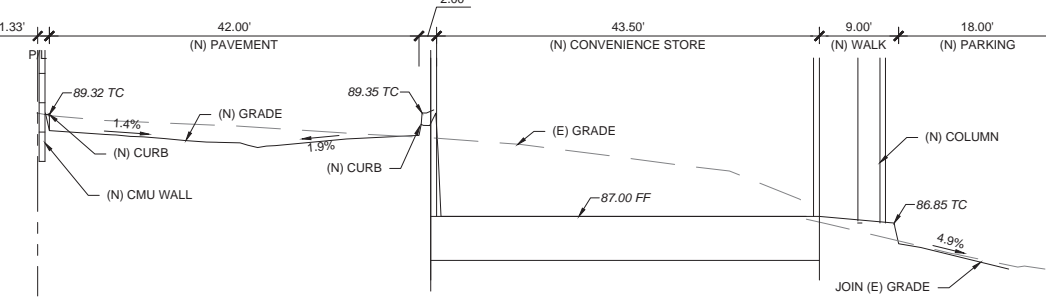
| # | NOTE | REFERENCE |
|-----|-------------------------------|-----------|
| 3.0 | STORM DRAIN | |
| (N) | BIORETENTION PLANTER BOX | 01/C4.0 |
| 3.1 | (N) PVC DRAIN PIPE | |
| 3.2 | (N) PERFORATED PVC DRAIN PIPE | |
| 3.3 | NOT USED | |
| 3.4 | (N) CURB OPENING | |
| 3.5 | (N) DRAIN BASIN | |
| 3.6 | (N) MEDIA FILTER | |
| 3.7 | (N) CURB OUTLET | |
| 3.8 | NOT USED | |
| 3.9 | (N) BIOFILTRATION BASIN | 02/C4.0 |

GENERAL NOTE

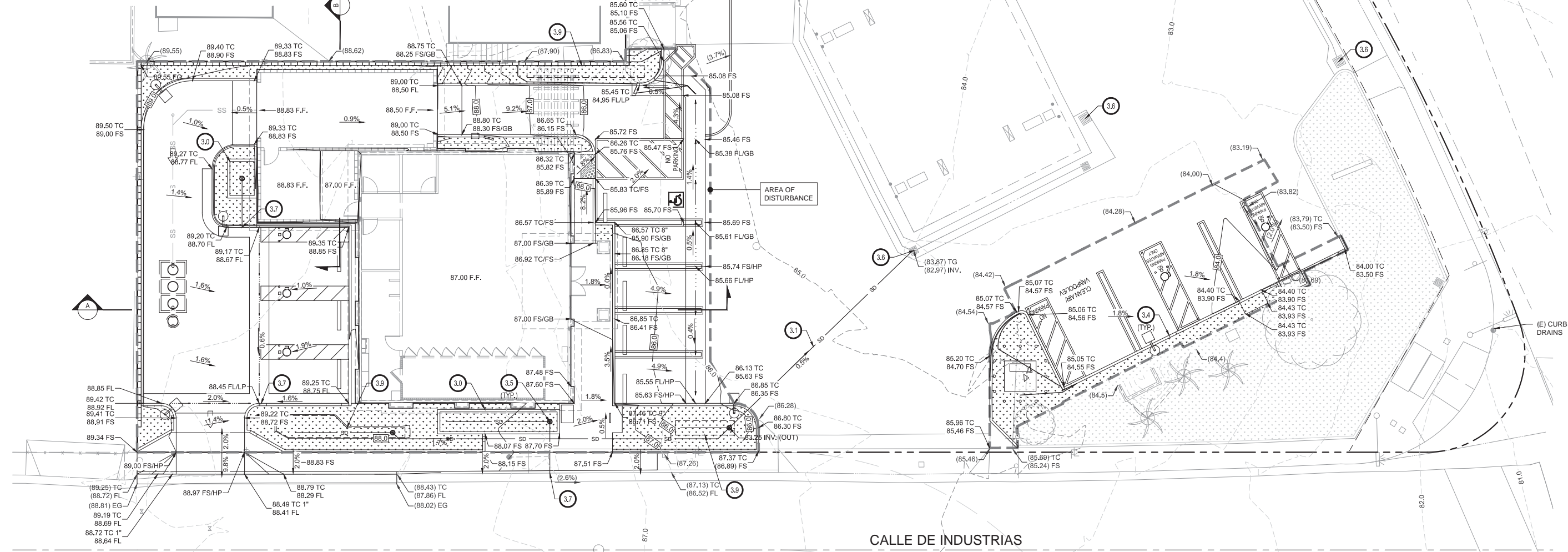
1. PER GEOTECHNICAL REPORT, IMPERMEABLE LINERS TO BE PLACED AT THE BOTTOM OF LANDSCAPE AREAS AND BIORETENTION PLANTER BOXES WITHIN 5 FEET OF ANY BUILDING FOUNDATION TO PREVENT INFILTRATION.



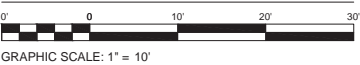
B SECTION
GRAPHIC SCALE: 1" = 10' (HORIZ.); 1" = 2' (VERT.)



A SECTION
GRAPHIC SCALE: 1" = 10' (HORIZ.); 1" = 2' (VERT.)



PRELIMINARY GRADING PLAN



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| 4 | 08/19/2019 | UPDATED SITE PLAN AND RESUBMIT |
| 5 | 10/01/2019 | PLANNING PLAN CHECK COMMENTS |
| 6 | 11/11/2019 | PLANNING PLAN CHECK COMMENTS |

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DEVELOPMENT INFORMATION:
CHEVRON
NEW C-STORE
& CAR WASH

SITE ADDRESS:
515 E. AVENIDA PICO
@ AVENIDA INDUSTRIAS
SAN CLEMENTE, CA 92672

SERVICE STATION #99944

| | | | |
|----------------|---------------------------------|----------------|-------|
| DESIGNED BY: | NS | FG PM: | PGF |
| CHECKED BY: | PGF | MEP PM: | |
| DRAWN BY: | NS | CONSULTANT PM: | |
| DATE: | 04/09/2018 | PROJECT NO.: | 16165 |
| DRAWING TITLE: | PRELIMINARY GRADING PLAN | | |

PRELIMINARY GRADING PLAN

SHEET NO.:
C2.0

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DMA SUMMARY TABLE

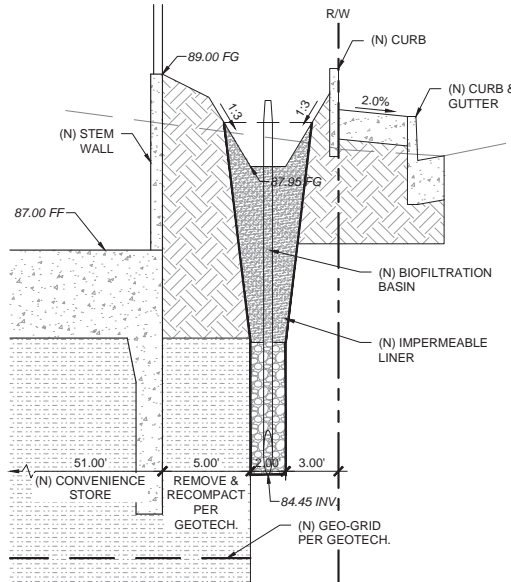
| DMA ID | AREA, A (S.F.) | % IMPERVIOUS | C | RUNOFF VOLUME, V (C.F.) | BMP |
|--------|----------------|--------------|------|-------------------------|-------|
| 1 | 1,036 | 100% | 0.90 | 66 | BIO-6 |
| 2 | 2,771 | 100% | 0.90 | 177 | BIO-6 |
| 3 | 2,904 | 84% | 0.78 | 160 | BIO-1 |
| 4 | 1,524 | 82% | 0.77 | 83 | BIO-1 |
| 5 | 1,279 | 70% | 0.68 | 61 | HSC-2 |
| 6 | 1,387 | 100% | 0.90 | 88 | HSC-2 |
| 6A | 355 | 0% | 0.15 | 4 | HSC-6 |
| | | | | 639 | |

* $V = C \times d \times A$, $d = 0.85'$
 HSC-2: IMPERVIOUS AREA DISPERSION
 HSC-6: SELF-RETAINING AREAS
 BIO-1: BIOINFILTRATION
 BIO-6: BIORETENTION WITH UNDERDRAIN

WQMP AREA CALCULATIONS

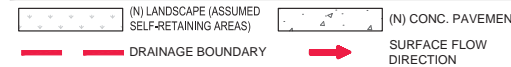
| GENERAL: | | | |
|----------------------------------------------------------------|----------------|-----------|--------|
| PROJECT AREA: | 33,054 SQ. FT. | 0.76 ACRE | |
| AREA OF DISTURBANCE: | 11,256 SQ. FT. | 0.26 ACRE | |
| EXISTING CONDITIONS (PREVIOUSLY EXISTING DEVELOPMENT): | | | |
| IMPERVIOUS SURFACE AREA: | 22,807 SQ. FT. | 0.52 ACRE | 69.0 % |
| LANDSCAPED PERVIOUS AREA: | 4,042 SQ. FT. | 0.10 ACRE | 12.2 % |
| UNDEVELOPED PERVIOUS AREA: | 6,205 SQ. FT. | 0.15 ACRE | 18.8 % |
| PROPOSED CONDITIONS (REDEVELOPMENT): | | | |
| IMPERVIOUS SURFACE AREA: | 27,899 SQ. FT. | 0.64 ACRE | 84.4 % |
| PERVIOUS AREA: | 5,155 SQ. FT. | 0.12 ACRE | 15.6 % |
| CREATION OR REPLACEMENT OF IMPERVIOUS SURFACE AREA (50% RULE): | | | |
| CREATION OR REPLACEMENT OF IMPERVIOUS SURFACE AREA: | 9,661 SQ. FT. | 0.22 ACRE | |

(AREA REQUIRED TO BE TREATED WITH BMP)

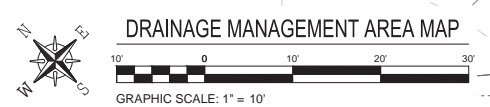
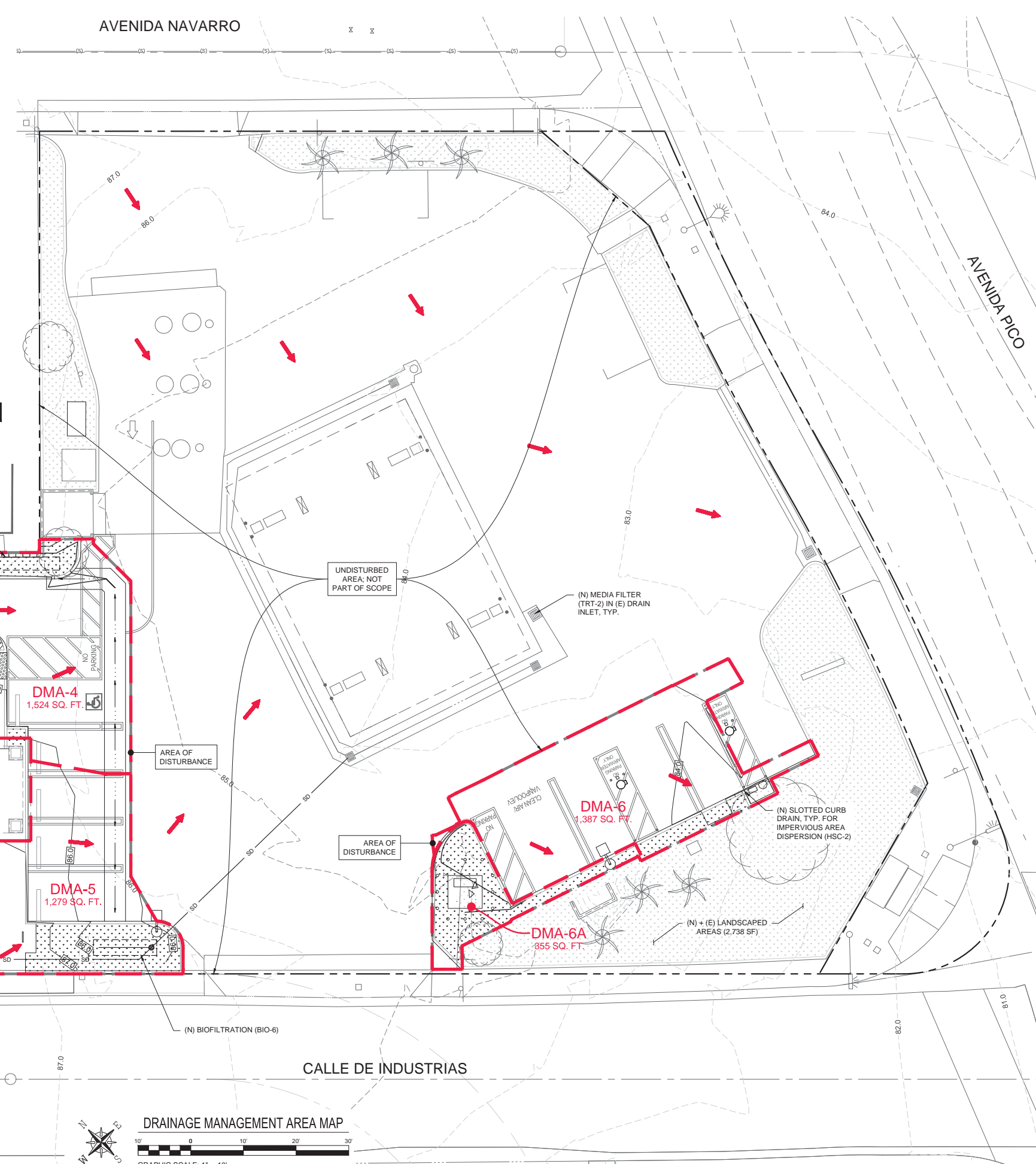


1 SECTION
 GRAPHIC SCALE: 1" = 5' (HORIZ.); 1" = 1' (VERT.)

LEGEND



SEE DMA SUMMARY TABLE ABOVE FOR BMP USED IN EACH DMA



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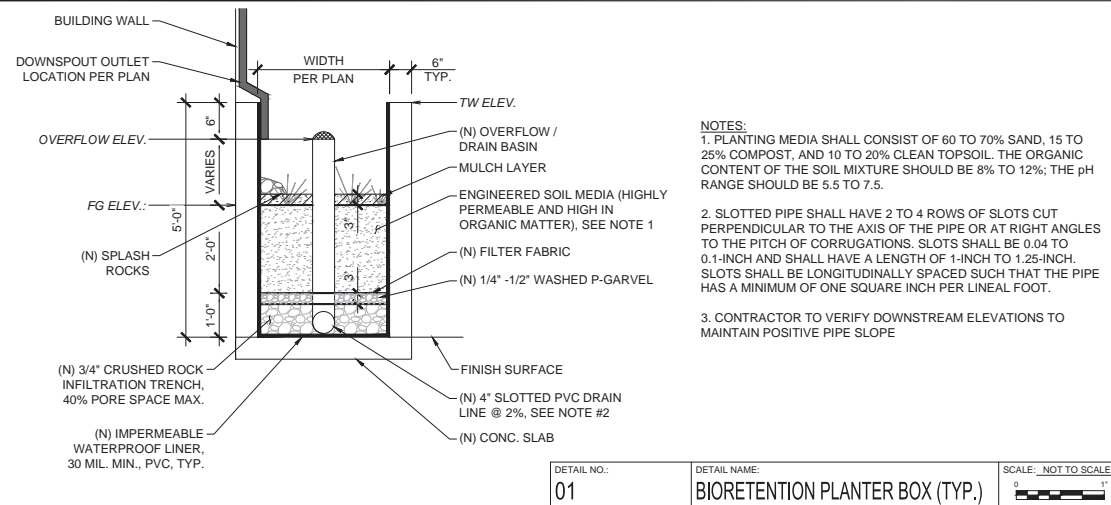
SERVICE STATION #99944

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| CHECKED BY: | PGF | MEP PM: | PGF |
| DRAWN BY: | NS | CONSULTANT PM: | NS |
| DATE: | 04/09/2018 | PROJECT NO.: | 16165 |

DRAINAGE MANAGEMENT AREA MAP

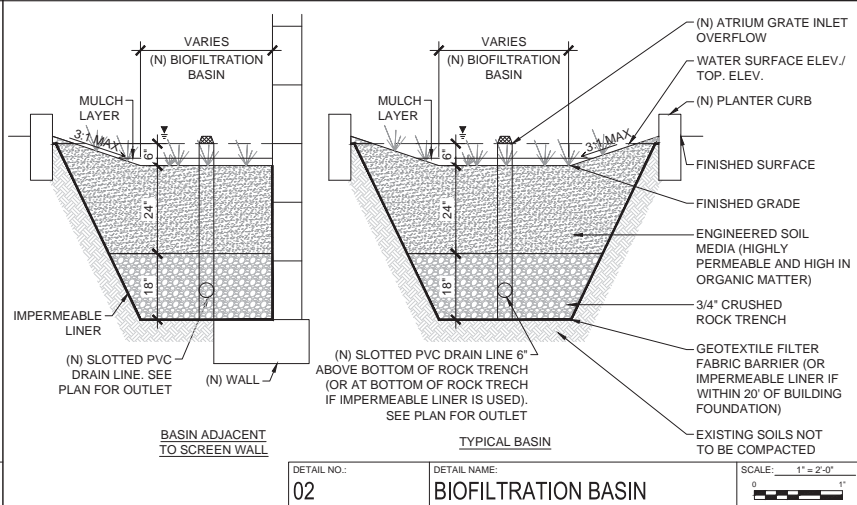
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NOTES:
 1. PLANTING MEDIA SHALL CONSIST OF 60 TO 70% SAND, 15 TO 25% COMPOST, AND 10 TO 20% CLEAN TOPSOIL. THE ORGANIC CONTENT OF THE SOIL MIXTURE SHOULD BE 8% TO 12%; THE pH RANGE SHOULD BE 5.5 TO 7.5.
 2. SLOTTED PIPE SHALL HAVE 2 TO 4 ROWS OF SLOTS CUT PERPENDICULAR TO THE AXIS OF THE PIPE OR AT RIGHT ANGLES TO THE PITCH OF CORRUGATIONS. SLOTS SHALL BE 0.04 TO 0.1-INCH AND SHALL HAVE A LENGTH OF 1-INCH TO 1.25-INCH. SLOTS SHALL BE LONGITUDINALLY SPACED SUCH THAT THE PIPE HAS A MINIMUM OF ONE SQUARE INCH PER LINEAL FOOT.
 3. CONTRACTOR TO VERIFY DOWNSTREAM ELEVATIONS TO MAINTAIN POSITIVE PIPE SLOPE

DETAIL NO.: 01
 DETAIL NAME: BIORETENTION PLANTER BOX (TYP.)
 SCALE: NOT TO SCALE

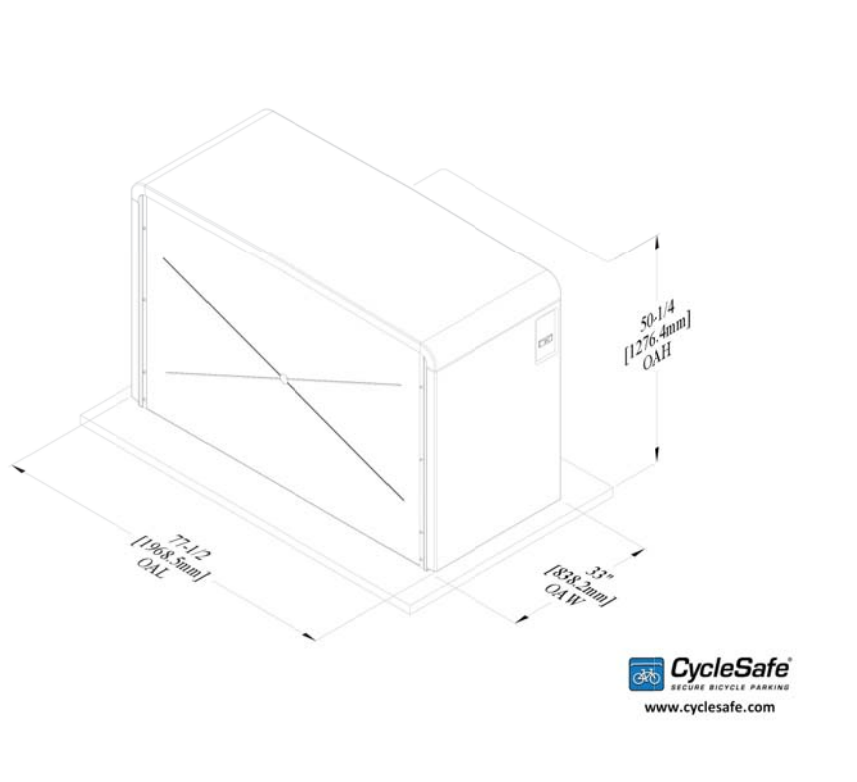


DETAIL NO.: 02
 DETAIL NAME: BIOFILTRATION BASIN
 SCALE: 1" = 2'-0"



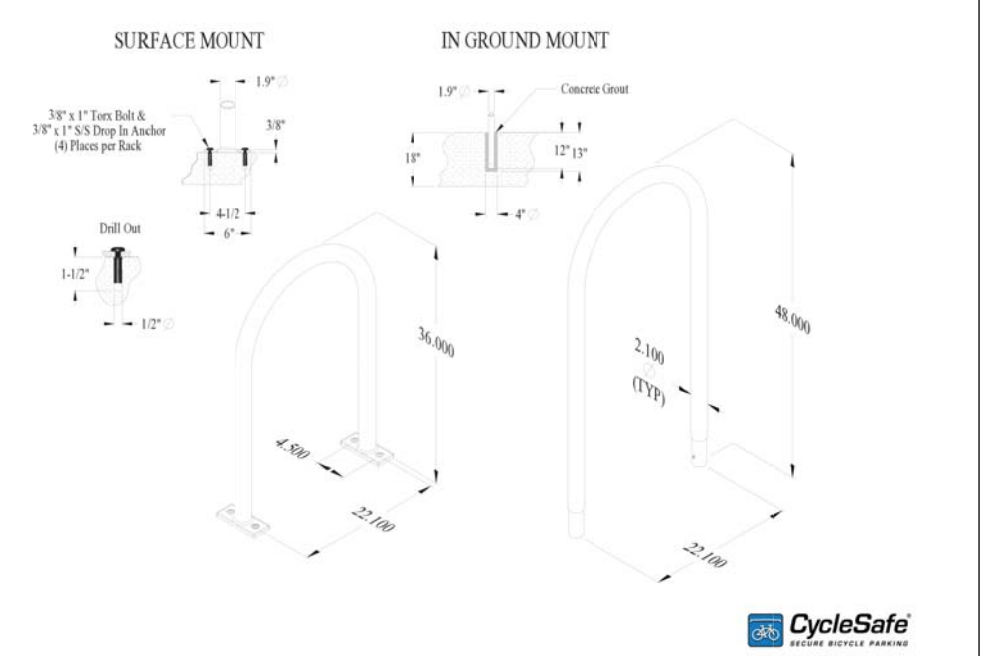
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DETAIL NO.: 03
 DETAIL NAME: BIKE RACK
 SCALE: NOT TO SCALE



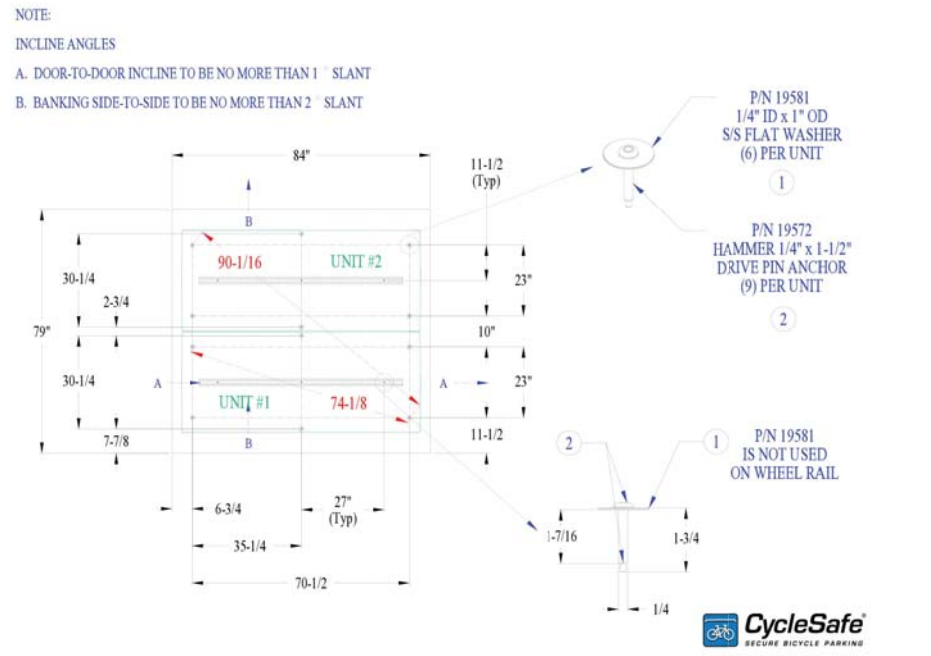
CycleSafe
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DETAIL NO.: 04
 DETAIL NAME: BIKE LOCKER
 SCALE: NOT TO SCALE



CycleSafe
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 www.cyclesafe.com

DETAIL NO.: 03
 DETAIL NAME: BIKE RACK
 SCALE: NOT TO SCALE



CycleSafe
 SECURE BICYCLE PARKING
 www.cyclesafe.com

DETAIL NO.: 04
 DETAIL NAME: BIKE LOCKER
 SCALE: NOT TO SCALE

C-Start
 Features & Specifications

- Standard Features**
- Windows® POSReady operating system
 - Integrated heater
 - Two outdoor rated 5W speakers
 - High speed thermal printer (text & graphics) with programmable receipt messages
 - Visa® MasterCard®, American Express® and Discover® acceptance via internet credit card clearing system
 - Wash menu function to show content of each wash package
 - Bilingual screen and voice capabilities (English and Spanish)
 - Programmable promotions such as discounts, complimentary washes, fundraisers and scheduled specials
 - Allows for the sale of optional services, such as tire shine, surface protectants, etc.
 - Remote error notifications through text or email message
 - Pre- and post-sale advertisement to show while the customer is waiting for the wash to become available



- Optional Features**
- Ultrasonic proximity sensor starts messaging when vehicles drive up
 - Enhanced marketing package for VIP Wash Pass® cards and house account applications with multi-site redemption
 - POS interface allows car wash codes to be sold at the gas dispensers or in the C-Store
 - Line conditioner & surge suppressor
 - EMV and Contactless payment solutions
 - Custom overlays and base wrap
 - 2D barcode imager
 - Touch-Free ID subscription-based account system
 - Credit processing through Wayne, Verifone or Gilbarco
- Warranty**
- One year limited warranty from date of purchase

- Specifications**
- Size: C-Start: 18.5\"/>

DETAIL NO.: 05
 DETAIL NAME: CARWASH TOKEN BOX
 SCALE: NOT TO SCALE

LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XOLM)



US patent 7,828,456; 8,002,426; 8,177,300; 8,434,883; 8,567,083 and US & Int'l patents pending
SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature
ENERGY SAVING CONTROL OPTION - DIM - 0-10 volt dimming enabled with controls by others. BL-5 - Bi-level switching responds to external line voltage from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.
LEDS - Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K), or Warm White (3500K) color temperature. 70 CRI CW, 80 CRI NW and WW.
DISTRIBUTION PATTERN - Types 3, FT and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.
CROWN - Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water- and dust-tight construction.
SHADES - Spun aluminum. Two shade styles available - A - Angle and B - Bell.
OPTICAL UNIT - Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket. Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather). Optical unit is tethered and provides access to driver. Door frame retaining fasteners are optional.
BRACKETS - Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.
MOUNTING - Classic Hook (CH) and Side Arm (SA - 4\"/>

| Color | Watts | Lumens (Nominal) | | |
|---------------|-------|------------------|---------|--------|
| | | Type 3 | Type FT | Type 5 |
| Cool White | 55 | 15470 | 14260 | 13210 |
| Neutral White | 55 | 15720 | 14520 | 13480 |
| Warm White | 55 | 11180 | 11780 | 11120 |
| Cool White | 55 | 18870 | 18270 | 18000 |
| Neutral White | 55 | 11440 | 11940 | 11040 |
| Warm White | 55 | 15380 | 16280 | 15120 |

LED Diags are frequently updated therefore values may increase.
 Project Name: _____ Fixture Type: _____
 Catalog #: _____ LSI INDUSTRIES INC.

DETAIL NO.: 06
 DETAIL NAME: AREA LIGHT
 SCALE: NOT TO SCALE



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 @ AVENIDA INDUSTRIAS
 SAN CLEMENTE, CA 92672

SERVICE STATION #99944

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|----------------|----------------|
| NS | MEP PM |
| CHECKED BY: | CONSULTANT PM: |
| POF | NS |
| DATE: | PROJECT NO.: |
| 04/09/2018 | 16165 |
| DRAWING TITLE: | |

SITE DETAILS

SHEET NO.:
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LANDSCAPE ENTITLEMENT DOCUMENTS

FOR
CHEVRON
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SAN CLEMENTE, CA 92672



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|------------------|--------------------|
| DESIGNED BY: PAF | PG PM: |
| CHECKED BY: PAF | MEP PM: |
| DRAWN BY: PAF | CONSULTANT PM: |
| DATE: 04/09/2018 | PROJECT NO.: 16165 |

LANDSCAPE
TITLE SHEET

SHEET NO.:
L0.0

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN THE TITLE REPORT NO. NCS-860469-SA1 DATED MARCH 14, 2018 BY FIRST AMERICAN TITLE INSURANCE COMPANY

3 AN EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 30, 1959, AS INSTRUMENT NO. 160925, IN BOOK 4907, PAGE 162 OF OFFICIAL RECORDS, IN FAVOR OF: SAN DIEGO GAS & ELECTRIC COMPANY. EASEMENT LIES OUTSIDE FEE PARCEL AND IS PLOTTED HEREON.

13 AN OFFER OF DEDICATION FOR PUBLIC STREET AND ROAD PURPOSES, PUBLIC UTILITIES, WIRES, CABLES, CONDUITS, STORM SEWERS, SANITARY SEWERS AND WATER PIPELINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 22, 1990, AS INSTRUMENT NO. 90-035926 OF OFFICIAL RECORDS, TO: CITY OF SAN CLEMENTE, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA. DEDICATION AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

16 EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM BANK OF AMERICA NATIONAL TRUST AND SAVINGS ASSOCIATION, AS GRANTOR, TO MARIE GRASSL, AS GRANTEE, RECORDED JANUARY 20, 1932, AS INSTRUMENT NO. 1472, IN BOOK 530, PAGE 209 OF OFFICIAL RECORDS. REFERENCE BEING MADE TO THE DOCUMENT FOR FULL PARTICULARS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.

BENCHMARK

BENCHMARK NO. 3Y-32-80

DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3Y-32-70", SET IN THE TOP OF A 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF AVENIDA PICO AND LOS MOLINOS, 31.5 FT. WESTERLY OF THE CENTERLINE OF LOS MOLINOS AND 72 FT. SOUTHERLY OF THE CENTERLINE OF AVENIDA PICO. MONUMENT IS SET 0.3 FT. ABOVE THE SIDEWALK IN A DIRT PLANTER.

ELEVATION = 70.502' (NAVD88) (2005)

FLOOD STATEMENT

ZONE: X

AREA OF MINIMAL FLOOD HAZARDS

COMMUNITY NO: 060230

PANEL NO. 06059C 0528J

DATED: DECEMBER 3, 2009

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF AVENIDA ROAD BEARING NORTH 69°30'27" EAST AS SHOWN ON TRACT MAP NO. 8817 BOOK 880 PAGE 23 RECORDS OF SAID COUNTY.

AGRICULTURAL SOIL TESTING

AN AGRICULTURAL SOILS TEST IS TO BE PERFORMED BY AN APPROVED AGRONOMIC SOILS TESTING LABORATORY AND SHALL BE SUBMITTED BY LANDSCAPE CONTRACTOR AFTER ROUGH GRADING HAS OCCURRED AND PRIOR TO PLANT INSTALLATION.

NO PLANT INSTALLATION IS TO OCCUR UNTIL SUCH TIME AS THE REPORT HAS BEEN SUBMITTED, APPROVED BY OWNER'S REPRESENTATIVE AND SOIL AMENDED AS RECOMMENDED.

ALL SOIL SAMPLES SHALL BE TAKEN IN THE FIELD BY A QUALIFIED SOILS TECHNICIAN. TESTS SHALL INCLUDE A FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS.

A COPY OF THE TEST RESULTS WITH WRITTEN RECOMMENDATIONS SHALL BE GIVEN TO THE CITY LANDSCAPE INSPECTOR AT THE JOB SITE. THE PROJECT LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF PLANT MATERIAL.

LANDSCAPE ARCHITECT AND LANDSCAPE CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS GIVEN IN THE REPORT FOR SOIL AMENDMENTS FOR PROPER PLANT GROWTH.

THE FOLLOWING COMPANIES LISTED BELOW ARE CERTIFIED LABORATORIES THAT THE CONTRACTOR MAY WANT TO CONSIDER.

| | |
|--------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| SOIL & PLANT LABORATORY, INC. E. HUNTER AVENUE SUITE A ANAHEIM, CA 92807 | AGRI SERVICE INDUSTRIAL COURT VISTA, CA 92083 760-727-5451 714-282-8777 |
|--------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|

AN ADDITIONAL AGRICULTURAL SOILS REPORT SHALL BE REQUIRED AFTER PLANT INSTALLATION TO REVIEW THE CONDITION OF THE RECOMMEND SOIL AMENDMENTS THAT HAVE BEEN INCORPORATED INTO THE SOIL.

PROJECT OWNER

OWNER REPRESENTATIVE:
SERGIO LINARES
CHEVRON PRODUCTS COMPANY
(714) 671-3311
145 SOUTH STATE COLLEGE BLVD., STE. 500
BREA, CA 92821

APPLICANT/AGENT:
ERIKA HERNANDEZ
FIEDLER GROUP
(213) 201-2523
299 N. EUCLID AVE. STE. 550
PASADENA, CA 91101

PROJECT TEAM

CIVIL ENGINEER:
PATRICK O. FIEDLER, P.E.
FIEDLER GROUP
(213) 381-7891
299 N. EUCLID AVE. STE 550
PASADENA, CA 91101

SURVEYOR:
O. C. QUEYREL, L.S.
ANACAL ENGINEERING COMPANY
(714) 774-1763
1900 E. LA PALMA AVE., STE. 202
ANAHEIM, CA 92805

LANDSCAPE ARCHITECT:
PATRICIA A. FIEDLER, ASLA
(310) 383-1160
299 N. EUCLID AVE. STE. 550
PASADENA, CA 91101

LEGAL DESCRIPTION

PARCEL 1:

THAT PORTION OF LOTS 19, 20 AND 21 OF TRACT NO. 823, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, AND THAT PORTION OF LOTS 47 THROUGH 51 INCLUSIVE OF TRACT NO. 899, AS SHOWN ON A MAP RECORDED IN BOOK 28, PAGE 11 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF SAID LOT 21, SAID POINT BEING NORTH 67° 57' 30" EAST 0.88 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 21; THENCE SOUTH 45° 17' 54" EAST 16.92 FEET TO THE TRUE POINT OF BEGINNING. SAID TRUE POINT OF BEGINNING BEING THE POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO THE CITY OF SAN CLEMENTE, RECORDED JUNE 22, 1959, IN BOOK 4768, PAGE 236 OF OFFICIAL RECORDS, WITH THE SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO J. O. CHILTON AND WIFE, RECORDED SEPTEMBER 16, 1960, IN BOOK 5420, PAGE 540 OF OFFICIAL RECORDS, THENCE SOUTH 45° 17' 54" EAST ALONG SAID NORTHEASTERLY LINE OF THE LAND DESCRIBED IN SAID DEED TO THE CITY OF SAN CLEMENTE, 106.29 FEET TO THE BEGINNING OF A TANGENT CURVE IN SAID NORTHEASTERLY LINE, CONCAVE NORTHERLY HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 109° 59' 49" AN ARC DISTANCE OF 38.40 FEET TO THE BEGINNING OF COMPOUND CURVE IN THE NORTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 3 OF THE DEED TO THE CITY OF SAN CLEMENTE, RECORDED FEBRUARY 24, 1960, IN BOOK 5113, PAGE 501 OF OFFICIAL RECORDS, SAID CURVE BEING CONCAVE NORTHERLY HAVING A RADIUS OF 480.00 FEET, THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 9° 44' 42" AN ARC DISTANCE OF 78.24 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE IN SAID NORTHERLY LINE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 640.00 FEET; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 6 DEG. 19' 00" AN ARC DISTANCE OF 70.56 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 49; THENCE NORTH 45° 17' 54" WEST ALONG THE NORTHEASTERLY LINE OF SAID LOTS 49, 48 AND 47, A DISTANCE OF 119.02 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 47; THENCE SOUTH 44° 42' 06" WEST 80.00 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 47; THENCE SOUTH 45° 17' 54" EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 47 AND 48, A DISTANCE OF 58.67 FEET TO THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN DEED TO REYES RUBBER, INC., RECORDED SEPTEMBER 16, 1960, IN BOOK 5420, PAGE 541 OF OFFICIAL RECORDS; THENCE SOUTH 44° 42' 06" WEST ALONG THE NORTHWESTERLY LINE OF SAID LAST MENTIONED DEED AND ALONG SAID SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN DEED TO J. O. CHILTON AND WIFE, 79.38 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

PARCEL A:
LOTS 21, 22 AND THE SOUTHEASTERLY 21.13 FEET OF LOT 23 OF TRACT NO. 823, SAN CLEMENTE, THE SPANISH VILLAGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THAT PORTION OF LOT 21, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 21; THENCE SOUTH 67° 57' 30" WEST ALONG THE SOUTHEASTERLY BOUNDARY OF SAID LOT 21, 43.54 FEET; THENCE NORTH 44° 42' 06" EAST, 40 FEET TO THE NORTHEASTERLY BOUNDARY OF SAID LOT 21; THENCE SOUTH 45° 17' 54" EAST, 17.19 FEET TO THE POINT OF BEGINNING.

PARCEL B:
THAT PORTION OF LOT 20 OF TRACT NO. 823, AS SHOWN ON A MAP THEREOF, RECORDED IN BOOK 25, PAGE 39 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY CORNER OF SAID LOT 20; THENCE SOUTH 67° 57' 30" WEST ALONG THE NORTHWESTERLY BOUNDARY OF SAID LOT 20, 43.54 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTH 44° 42' 06" WEST, 40 FEET; THENCE NORTH 45° 17' 54" WEST, 17.19 FEET TO THE INTERSECTION WITH THE NORTHWESTERLY BOUNDARY OF SAID LOT 20; THENCE NORTH 67° 57' 30" EAST, 43.54 FEET TO SAID TRUE POINT OF BEGINNING.

APNS: 057-014-52 and 057-014-43

VICINITY MAP



SHEET INDEX

| SHEET NO. | SHEET TITLE |
|-----------|---------------------------|
| L0.0 | LANDSCAPE TITLE SHEET |
| L1.0 | CONCEPTUAL LANDSCAPE PLAN |
| L1.1 | LANDSCAPE PHOTOGRAPHS |

SITE INFORMATION

| GENERAL: | |
|---------------------------------------------------|----------------------------------------------------------------------|
| PROJECT AREA: | 33,054 SQ. FT. 0.76 ACRES |
| AREA OF DISTURBANCE: | 11,256 SQ. FT. 0.26 ACRES |
| ASSESSORS PARCEL #(S): | 057-014-052 & 057-014-043 |
| PROPERTY ADDRESS: | 515 E. AVENIDA PICO SAN CLEMENTE, CA 92672 |
| ZONING: | CC2 - COMMUNITY COMMERCIAL |
| OCCUPANCY GROUP: | C-STORE CAR WASH |
| OCCUPANCY LOAD: | 26 4 |
| CONSTRUCTION TYPE: | TYPE V-B |
| LANDSCAPE REQUIRED: | 3,305 SQ. FT. 15.0 % |
| EXISTING TO REMAIN: | 3,560 SQ. FT. 10.8 % |
| PROPOSED: | 1,595 SQ. FT. 4.8 % |
| HARD SURFACE PAVEMENT/WALK (INCLUSIVE OF CANOPY): | 24,689 SQ. FT. 74.7 % |
| BUILDING(S): | C-STORE 2,281 SQ. FT. 6.9 % CAR WASH 929 SQ. FT. 2.8 % |
| PARKING USE: | REQUIRED (1 SPACE PER): 200 SQ. FT. 12 SPACES PROVIDED: 15 SPACES |
| SETBACKS: | FRONT 10 FT. REAR 0 FT. SIDE 0 |
| REQUIRED: | 10 FT. 0 FT. 0 |

LANDSCAPE NOTES

- ALL PLANTING AREAS ARE TO BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF THE LANDSCAPE AND IRRIGATION.
- ALL IRRIGATION AREAS ARE TO BE IRRIGATED BY AN UPDATED AUTOMATED IRRIGATION SYSTEM WITH A RAIN SENSING DEVICE AND INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES GOVERNING CONSTRUCTION OF THIS TYPE.
- ALL EXISTING PLANTING MATERIAL SHOWN ON THE PLAN TO REMAIN IS TO BE PROTECTED DURING CONSTRUCTION ACTIVITIES OR REPLACED IF DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- ALL LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATIONS AND MAY REQUIRE ADDITIONAL ADJUSTMENTS IN THE FIELD ESPECIALLY WHEN INSTALLING NEW PLANT MATERIAL ADJACENT TO EXISTING PLANT MATERIAL.
- PLANT COUNT TOTALS ARE FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ACCURATE PLANT COUNT TOTALS.
- GRADES IN ALL PLANTER AREAS SHALL SLOPE AT MIN. OF 2%. NO STANDING WATER SHALL BE PERMITTED. MAXIMUM GRADE DIFFERENCE OF 2" SHALL BE ALLOWED BETWEEN THE TOP OF CURB AND THE FINISH GRADE IN ALL PLANTERS.
- THE TOP 12" OF SOIL IN ALL PLANTERS SHALL BE FREE OF ROCKS, CONCRETE, AND FOREIGN MATERIAL LARGER THAN 2" IN DIAMETER.
- PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL TAKE SAMPLES OF THE SOIL IN THE NEW PLANTER AREA(S) AND SUBMIT SAMPLES TO A SOIL AND PLANT LABORATORY TO IDENTIFY SOILS CONDITIONS FOR SPECIFIED SOILS AMENDMENTS AND BACKFILL. NO PLANT INSTALLATION IS TO OCCUR UNTIL SUCH TIME AS THE SOIL HAS BEEN AMENDED IN ACCORDANCE WITH THE SOIL'S REPORT.
- EXISTING PAVED AREAS BEING TRANSFORMED INTO NEW PLANTING BEDS SHALL HAVE THE SUB-GRADE REMOVED TO AN MIN. DEPTH OF 12" AND DISCARDED OFF-SITE. NEW TOPSOIL APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE IMPORTED AND INSTALLED TO A DEPTH OF 12" AND UNIFORMLY SPREAD THROUGHOUT THE PLANTER.
- ALL NEW PLANTING AREAS REQUIRE SOIL AMENDING AND FERTILIZER APPLICATIONS, PER SOIL'S REPORT.
- MINIMUM PLANT SIZES SHALL BE ENFORCED REGARDLESS OF CONTAINER SIZE. IF NECESSARY CONTRACTOR SHALL USE A LARGE CONTAINER SIZE AT NO ADDITIONAL COST TO THE OWNER. UNDERSIZE PLANTS SHALL NOT BE INSTALLED.
- THREE LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICTS WITH YARD LIGHTS AND UTILITIES. CONSULT WITH THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO ADJUSTMENT OF TREE LOCATIONS, ESPECIALLY THOSE ARRANGED ON A SPECIFIED MODULE OR IN A GRID PATTERN.
- ALL TREES ARE TO HAVE A MIN. TRUNK HEIGHT OF NO LESS THAN 6'-0".
- ALL TREES LOCATED WITHIN 5' OF PAVEMENT OR STRUCTURES ARE TO HAVE A ROOT CONTROL BARRIER INSTALLED AT THE TIME OF PLANTING. UNLESS OTHERWISE SPECIFIED, A 12" LONG X 18" DEEP LINEAR BARRIER SHALL BE INSTALLED AT EDGE OF PAVEMENT AND/OR STRUCTURE, WITH LENGTH CENTERED AT THE TREE TRUNK.
- NURSERY STAKES ARE TO BE REMOVED AFTER STAKING OR GUYING TREES.
- MULCH ALL AREAS WITH 3" DEEP MIN. LAYER OF DECORATIVE MEDIUM-SIZE FIR OR REDWOOD BARK. RECYCLED LUMBER, YARD WASTE OR OTHER NON-BARK WOOD PRODUCTS ARE NOT ACCEPTABLE.
- THE LANDSCAPE AND IRRIGATION SYSTEM IS TO BE MAINTAINED BY THE CONTRACTOR FOR 90 DAYS. THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CARE OF THE LANDSCAPE AND OPERATION OF THE IRRIGATION SYSTEM AFTER THE CONTRACTOR HAS FULFILLED HIS/HER COMMITMENT.
- MAINTENANCE SHALL INCLUDE ALL WATERING, FERTILIZATION, MOWING, WEEDING, CULTIVATING, SPRAYING AND PRUNING NECESSARY TO KEEP THE PLANT MATERIALS IN A HEALTHY GROWING CONDITION AND TO KEEP THE PLANTED AREAS NEAT AND ATTRACTIVE.
- REFER TO CIVIL SITE PLAN - SHEET C1.0 FOR ADDITIONAL INFORMATION PERTAINING TO THE SITE DEVELOPMENT INCLUDING DIMENSIONING.
- ALL LANDSCAPE INSTALLATION SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH A C-27 LICENSE OR GREATER.

WATER EFFICIENT LANDSCAPE

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

NAME _____ DATE _____

LANDSCAPE DESIGN CONCEPT

THE LANDSCAPE DESIGN OBJECTIVE IS TO ENHANCE THE PROPOSED FACILITY WITH PLANT MATERIAL IN CONFORMANCE WITH THE CITY'S LANDSCAPE GUIDELINES AND MUNICIPAL CODE.

THE LANDSCAPE DESIGN WILL UTILIZE PLANT MATERIAL THAT HAS LOW TO MEDIUM WATER USE AS SET FORTH IN THE "WUCOLS III/1999 EDITION" (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES).

THE PLANT MATERIAL SELECTED IS INTENDED TO COMPLEMENT THE ARCHITECTURE AND SURROUNDING LANDSCAPE AREA FOR AN OVERALL COHESIVE APPEARANCE WHICH WILL DRAW INTEREST THROUGHOUT THE YEAR WITH TEXTURE AND COLOR.

WATER CONSERVATION CONCEPT

THE EXISTING IRRIGATION SYSTEM IS IN WORKING CONDITION WITH A COMBINATION OF BUBBLERS AND/OR LOW GALLON SPRAY HEADS THAT HAVE BEEN PREVIOUSLY INSTALLED IN ALL PLANTERS.

THE IRRIGATION SYSTEM SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE THE NEW LANDSCAPE AREAS.

WATER EFFICIENCY SHALL BE MAXIMIZED BY GROUPING PLANT MATERIAL WITH SIMILAR WATERING NEEDS INTO "HYDROZONES" AND IRRIGATED BASED UPON SIMILAR WATERING REQUIREMENTS.

THE ANNUAL APPLIED WATER USAGE SHALL NOT EXCEED THE MAXIMUM ANNUAL APPLIED WATER ALLOWANCE.

IRRIGATION NOTES

- THE EXISTING IRRIGATION SYSTEM IS TO BE MODIFIED AS NEEDED TO ACCOMMODATE THE NEW PLANT MATERIAL. FIELD CHECK IRRIGATION SYSTEM PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- NEW LANDSCAPE AREAS ARE TO BE CONNECTED TO THE EXISTING AUTOMATED IRRIGATION SYSTEM.
- NEW PLANT MATERIAL IS TO BE IRRIGATED WITH A COMBINATION OF DRIP, BUBBLERS AND/OR LOW GALLON SPRAY HEADS WITH BUILT-IN CHECK VALVES. NOZZLES SHALL BE PLASTIC AND BE EQUIPPED WITH A PRESSURE COMPENSATING DEVICE.
- NO WATER SHALL DRAIN ONTO OR ACROSS WALKS, CURBS, OR PAVED AREAS. CONTRACTOR IS TO INSTALL ANTI-DRAIN CHECK VALVES AT ALL HEADS WHERE DRAINAGE OCCURS.
- CONTRACTOR SHALL ADJUST HEADS TO MINIMIZE SPRAY OUTSIDE OF PLANTERS. ABSOLUTELY NO WATER SHALL SPRAY OR DRAIN ONTO OR ACROSS WALKS, CURBS OR PAVED AREAS.

WATER EFFICIENT LANDSCAPE INFO

| Water Efficient Landscape Worksheet - SAN CLEMENTE (SAN DIEGO) | | | | | | |
|----------------------------------------------------------------|-------------------|-------------------|----------------------------|--------------|----------------------------------------|--------------------|
| Reference Evapotranspiration (ET ₀) 46.5 SAN DIEGO | | | | | | |
| Hydrozone#/Planting Description | Plant Factor (PF) | Irrigation Method | Irrigation Efficiency (IE) | ETAF (PF/IE) | Landsc. Area (LA) (sq. ft.) | ETAF x Area (ETWU) |
| Regular Landscape Areas | | | | | | |
| EXISTING LANDSCAPE | 0.4 | Overhead Spray | 0.75 | 0.53 | 0 | 0 |
| PROPOSED LANDSCAPE | 0.3 | Overhead Spray | 0.75 | 0.40 | 3,560 | 1,424 |
| PROPOSED LANDSCAPE | 0.3 | Drip | 0.85 | 0.37 | 1,595 | 598 |
| PROPOSED LANDSCAPE | 0.2 | Trp | 0.85 | 0.25 | 0 | 0 |
| Totals | | | | | 5,155 | 2,023 |
| Special Landscape Areas (SLA): Recycled Water | | | | | | |
| 1) low water use plants | | | | 1 | 0 | 0 |
| 2) medium water use plants | | | | 1 | 0 | 0 |
| 3) medium water use plants | | | | 1 | 0 | 0 |
| Totals | | | | | 0 | 0 |
| | | | | | Estimated Total Water Use (ETWU) | 58,090 |
| | | | | | Maximum Allowed Water Allowance (MAWA) | 66,838 |

| Plant Water Use Type | Plant Factor | Irrigation method | Irrigation Efficiency |
|----------------------|--------------|-------------------|-----------------------|
| very low | 0.1 | Overhead spray | 0.75 |
| low | 0.1-0.3 | drip | 0.85 |
| medium | 0.4-0.6 | | |
| high | 0.7-1.0 | | |

MAWA [annual gallons allowed] = (E₀) (0.62) [(ETAF x LA) + (1 - ETAF) x SLA]

Where E₀ is a conversion factor that converts area-inches per inch/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

| ETAF Calculations | |
|-------------------------|-------|
| Regular Landscape Areas | |
| Total ETAF x Area | 2,015 |
| Total Area | 5,155 |
| Average ETAF | 0.39 |

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

| All Landscape Areas | |
|---------------------|-------|
| Total ETAF x Area | 2,015 |
| Total Area | 5,155 |
| Site-wide ETAF | 0.39 |

| LANDSCAPE PLANT MATERIAL TABLE | | | | | | |
|------------------------------------------------------|------------------------------------------------|-------------------------------|-------------|----------|----------------------------------------------------------|-----------------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY | REMARKS | WUCOLS REGION 3 |
| TREES | | | | | | |
| | GEUERA PARVIFLORA | AUSTRALIAN WILLOW | 24" BOX | 3 | MIN. HT. 10'-0" | L |
| | TRISTANIA (TRISTANIOPSIS) LAURINA 'ELEGANT' | WATER GUM | 24" BOX | 5 | MIN. HT 8'-0" | M |
| | METROSIDEROS EXCELSUS | NEW ZEALAND CHRISTMAS TREE | 24" BOX | 3 | MIN. HT 8'-0" | M |
| SHRUBS | | | | | | |
| | XYLOSMA CONGESTUM 'COMPACTUM' | COMPACT XYLOSMA | 15 GAL. | 4 | PLANT 4'-6" O.C. ADJACENT TO UTILITY AND TRASH ENCLOSURE | L |
| | ALYOGYNE HUEGELII 'SANTA CRUZ OR MONTEREY BAY' | BLUE HIBISCUS | 5 GAL. | 4 | PLANT 4'-6" O.C. | L |
| | CALLISTEMON 'LITTLE JOHN' | LITTLE JOHN DWARF CALLISTEMON | 5 GAL. | 45 | PLANT 3'-0" O.C. | L |
| | DIETES BICOLOR | FORTNIGHT LILY | 5 GAL. | 24 | PLANT 2'-0" O.C. WHITE FLOWERS | L |
| BIORETENTION / BIOINFILTRATION PLANT MATERIAL | | | | | | |
| | MUHLENBERGIA RIGENS | DEER GRASS | 5 GAL. | 9 | PLANT 4'-0" O.C. | L |
| | LEYMUS (ELYMUS) CONDENSATUS 'CANYON PRINCE' | CANYON PRINCE LYME GRASS | 5 GAL. | 33 | PLANT 3'-0" O.C. | L |
| | JUNCUS PATENS | CALIFORNIA GREY RUSH | 5 GAL. | 64 | PLANT 2'-0" O.C. | L |
| | CAREX DIVULSA (C. TUMULICOLA) | BERKELY SEDGE | 1 GAL. | 58 | PLANT 18" O.C. | L |
| VINES | | | | | | |
| | FICUS REPENS | CREEPING FIG | 1 GAL. | 27 | PLANT 4'-0" O.C. ATTACH TO WALL WITH PLASTIC GARDEN TIES | M |
| GROUNDCOVER | | | | | | |
| | CARISSA GRANDIFLORA 'GREEN CARPET' | GREEN CARPET NATAL PLUM | 5 GAL. | 21 | GROUNDCOVER PLANT 3'-0" O.C. | L |
| | EXISTING LANDSCAPE | VARIES | 3,560 SQFT. | | PROTECT DURING CONSTRUCTION - REPLACE IF DAMAGED | L-M |

EXISTING PLANT MATERIAL TO REMAIN

TREES

6 WASHINGTONIA ROBUSTA PALMS TO REMAIN. CLEAN TRUNKS OF EXCESS VEGETATION AND PALM FRONDS AS NEEDED

3 TRISTANIA CONVERTA TREE TO REMAIN.

1 EUCALYPTUS FICIFOLIA TREE TO REMAIN.

SHRUBS AND GROUNDCOVER

EYLOSMA CONGESTUM
NERIUM OLEANDER
HIBISCUS ROSA-SINENSIS
PITTIOSPORUM TOBIRA
CARISSA GRANDIFLORA 'TUTTLE'

- # SITE PLAN NOTES**
- EXISTING WATER METER (PSI XX-HIGH, XX-LOW)
 - EXISTING IRRIGATION BACKFLOW PREVENTER (BFP) LOCATION TBD
 - IRRIGATION CONTROLLER LOCATION TBD
 - EXISTING LANDSCAPE AREA TO REMAIN: NERIUM OLEANDER AND XYLOSMA CONGESTUM
 - EXISTING LANDSCAPE AREAS TO REMAIN: HIBISCUS ROSA-SINENSIS, PITTIOSPORUM TOBIRA, CARISSA GRANDIFLORA 'TUTTLE'
 - EXISTING LANDSCAPE AREAS TO REMAIN: STRELTIZIA REGINAE, HIBISCUS ROSA-SINENSIS, PITTIOSPORUM TOBIRA, CARISSA GRANDIFLORA 'TUTTLE'
 - EXISTING WASHINGTONIA ROBUSTA PALM TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES (TYP OF 6)
 - EXISTING TRISTANIA CONFERTA TREE TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES (TYP OF 3)
 - EXISTING EUCALYPTUS FICIFOLIA TREE TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES (TYP OF 1)
 - EXISTING MONUMENT SIGN
 - EXISTING TRASH ENCLOSURE. SCREEN WITH 15 GALLON PLANTS AS SHOWN
 - PROPOSED NEW TREE LOCATION WITHIN EXISTING LANDSCAPE
 - NEW LANDSCAPE AREA
 - NEW 4'-9" HIGH BIORETENTION PLANTER BOX (TYP OF 2) REFER TO CIVIL DETAILS SHEET C4.0
 - NEW BIOINFILTRATION BASIN (TYP OF 3) REFER TO CIVIL DETAILS SHEET C4.0
 - NEW YARD LIGHT
 - NEW TRANSFORMER. SCREEN WITH 15 GALLON PLANTS AS SHOWN



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DEVELOPMENT INFORMATION:

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& CAR WASH

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SAN CLEMENTE, CA 92672

SERVICE STATION #99944

| | |
|--------------|----------------|
| DESIGNED BY: | FG PM: |
| CHECKED BY: | MEP PM: |
| DRAWN BY: | CONSULTANT PM: |
| DATE: | PROJECT NO.: |
| 04/09/2018 | 16165 |

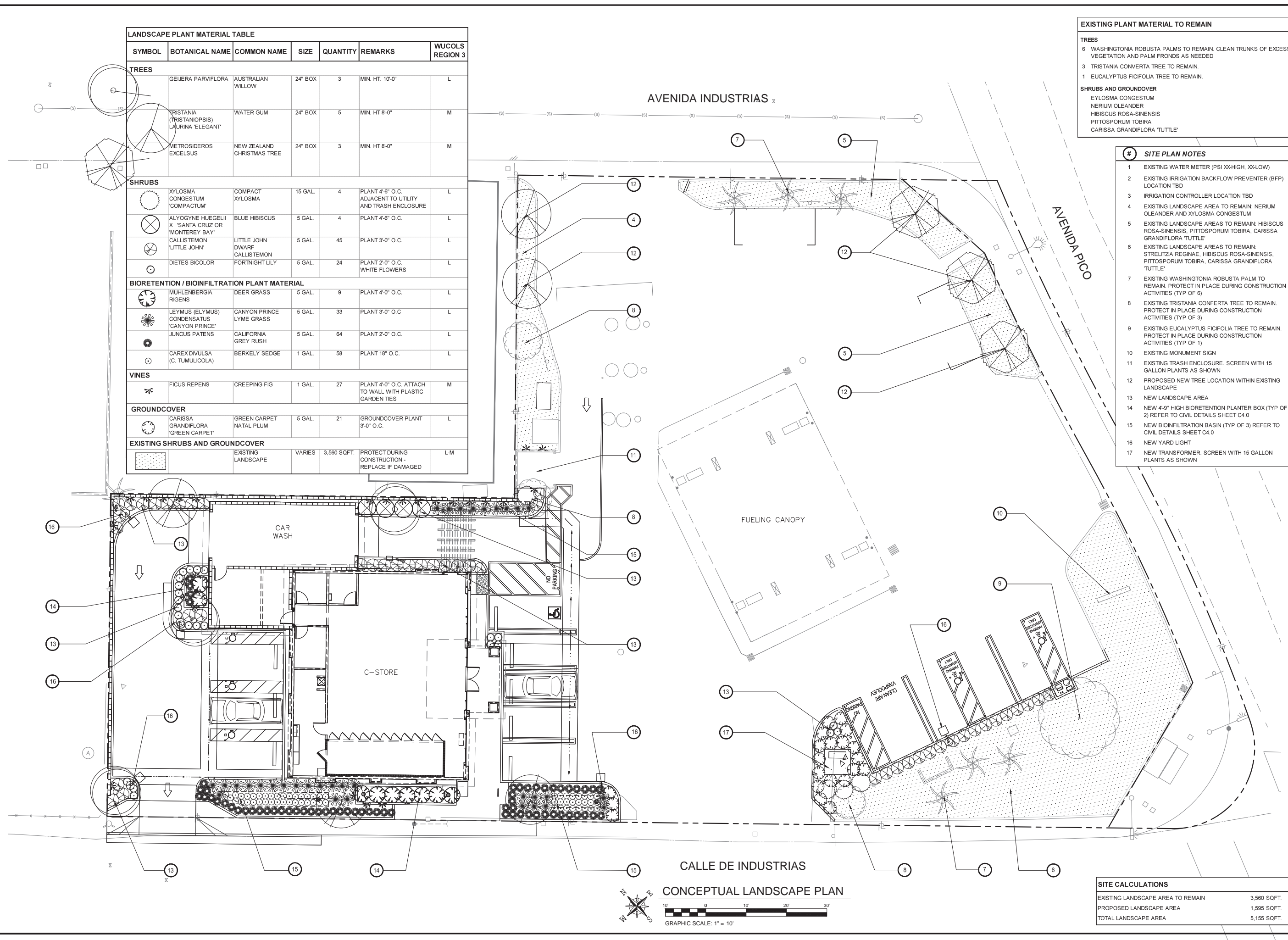
CONCEPTUAL LANDSCAPE PLAN

SHEET NO.:

L1.0

SITE CALCULATIONS

| | |
|-----------------------------------|-------------|
| EXISTING LANDSCAPE AREA TO REMAIN | 3,560 SQFT. |
| PROPOSED LANDSCAPE AREA | 1,595 SQFT. |
| TOTAL LANDSCAPE AREA | 5,155 SQFT. |



CONCEPTUAL LANDSCAPE PLAN

GRAPHIC SCALE: 1" = 10'

I:\projects\16165\Design\200 Environment Documents\landscape\16165-L1.dwg - PLOTTED: Oct 04, 2019 - 1:48pm

PROPOSED TREES



GEIJERA PARVIFLORA
AUSTRALIAN WILLOW



TRISTANIA (TRISTANIOPSIS) LAURINA 'ELEGANT'
WATER GUM TREE



METROSIDEROS EXCELSUS
NEW ZEALAND CHRISTMAS TREE

PROPOSED SHRUBS



XYLOSMA CONGESTUM 'COMPACTUM'
COMPACT XYLOSMA



ALYOGYNE HUEGELII X 'SANTA CRUZ'
BLUE HIBISCUS



ALYOGYNE HUEGELII X 'MONTEREY BAY'
BLUE HIBISCUS



CALLISTEMON 'LITTLE JOHN'
LITTLE JOHN DWARF CALLISTEMON



DIETES BICOLOR
FORTNIGHT LILY

PROPOSED BIORETENTION PLANTS



MUHLENBERGIA RIGENS
DEER GRASS



LEYMUS (ELYMUS) CONDENSATUS 'CANYON PRINCE'
CANYON PRINCE LYME GRASS



JUNCUS PATENS
CALIFORNIA GREY RUSH



CAREX DIVULSA
BERKELY SEDGE



CAREX TUMULICOLA
BERKELY SEDGE

PROPOSED VINES



FICUS REPENS
CREEPING FIG



FICUS REPENS
CREEPING FIG

PROPOSED GROUNDOVER



CARISSA GRANDIFLORA 'GREEN CARPET'
GREEN CARPET NATAL PLUM



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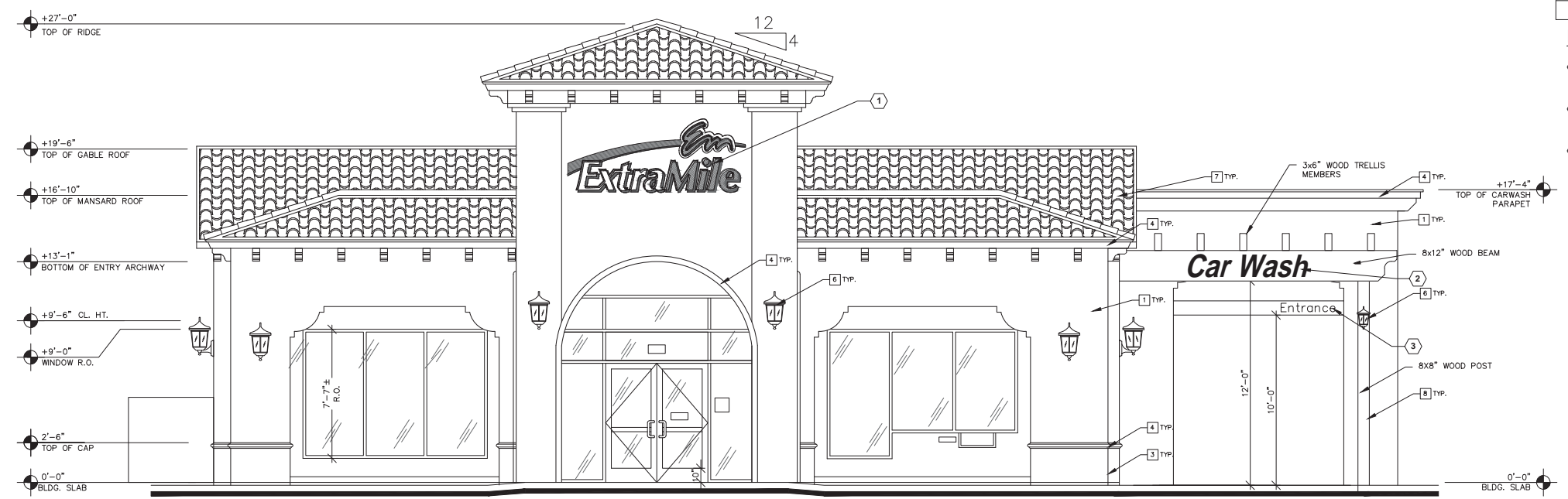
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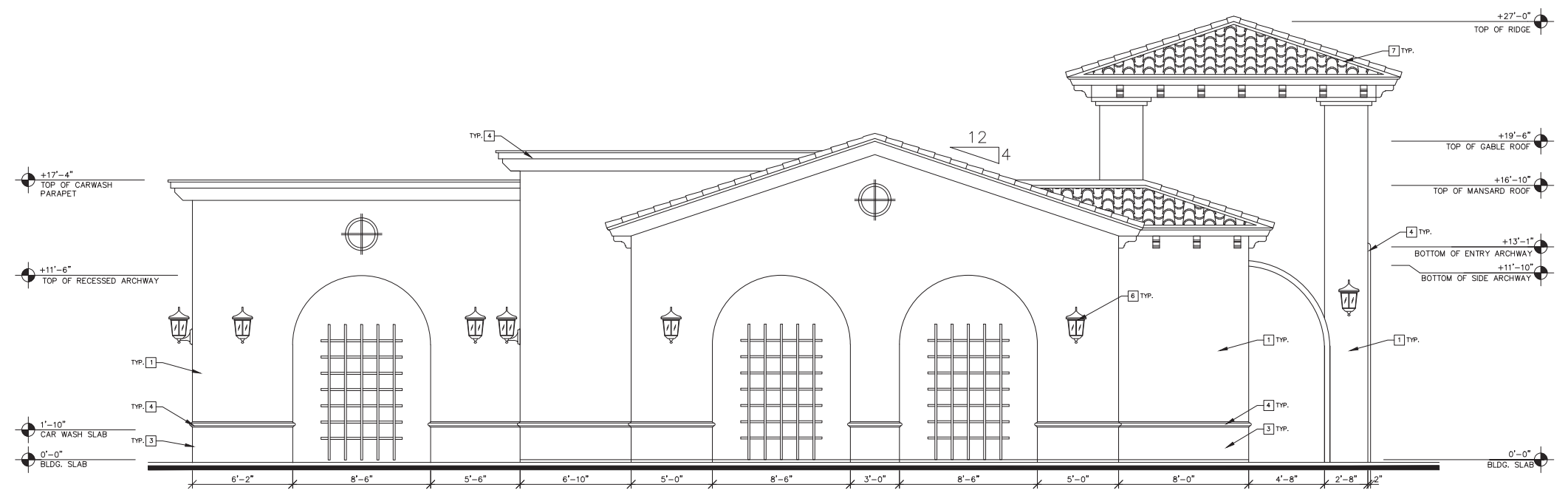
LANDSCAPE
PHOTOGRAPHS

SHEET NO.:

L1.1



EAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

| COLOR LEGEND | | |
|--------------|------------------------------------------------------------|----------------------------|
| NO. | MATERIAL | COLOR |
| 1 | PAINTED SMOOTH STUCCO FINISH | WHITE (SEMI GLOSS) |
| 2 | PAINTED SMOOTH STUCCO FINISH | CAFE AU LAIT (SEMI GLOSS) |
| 3 | PAINTED SMOOTH STUCCO FINISH | NUTMEG (SEMI GLOSS) |
| 4 | PAINTED SMOOTH STUCCO FINISH | MOCHA (SEMI GLOSS) |
| 5 | ALUMINUM & GLASS DARK BRONZE ANODIZED ENTRY DOOR AND FRAME | |
| 6 | METAL / BEVELED LANTERN LAMP | BLACK FINISH / CLEAR GLASS |
| 7 | CLAYLITE ROOF TILE | TERRACOTTA |
| 8 | WOOD TRELLIS W/ WOOD POST | BROWN |
| 9 | CONCRETE MASONRY UNIT | LIGHT GRAY |

- KEYED NOTES**
- EXTRA MILE CHANNEL LETTERS - INTERNALLY LED ILLUMINATED PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.
 - CAR WASH CHANNEL LETTERS - INTERNALLY LED ILLUMINATED PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.
 - CAR WASH ENTRANCE/EXIT SIGN - NON ILLUMINATED METAL SIGN PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.



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EXTERIOR ELEVATIONS

SHEET NO.:
A3.1

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| 2 | 10/10/2018 | PLANNING PLAN CHECK COMMENTS |
| 3 | 01/14/2019 | PLANNING PLAN CHECK COMMENTS |
| 4 | 08/19/2019 | UPDATED SITE PLAN AND RESUBMIT |
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NEW C-STORE
& CAR WASH

SITE ADDRESS:

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@ AVENIDA INDUSTRIAS
SAN CLEMENTE, CA 92672

SERVICE STATION #99944

| | |
|---------------------|-----------------------|
| DESIGNED BY: JD | PG. PKL: BH |
| CHECKED BY: BH | MEP PKL: - |
| DRAWN BY: JD | CONSULTANT PKL: - |
| DATE: 04/09/2018 | PROJECT NO.: 16165 |

DRAWING TITLE:
COLOR
EXTERIOR
ELEVATIONS

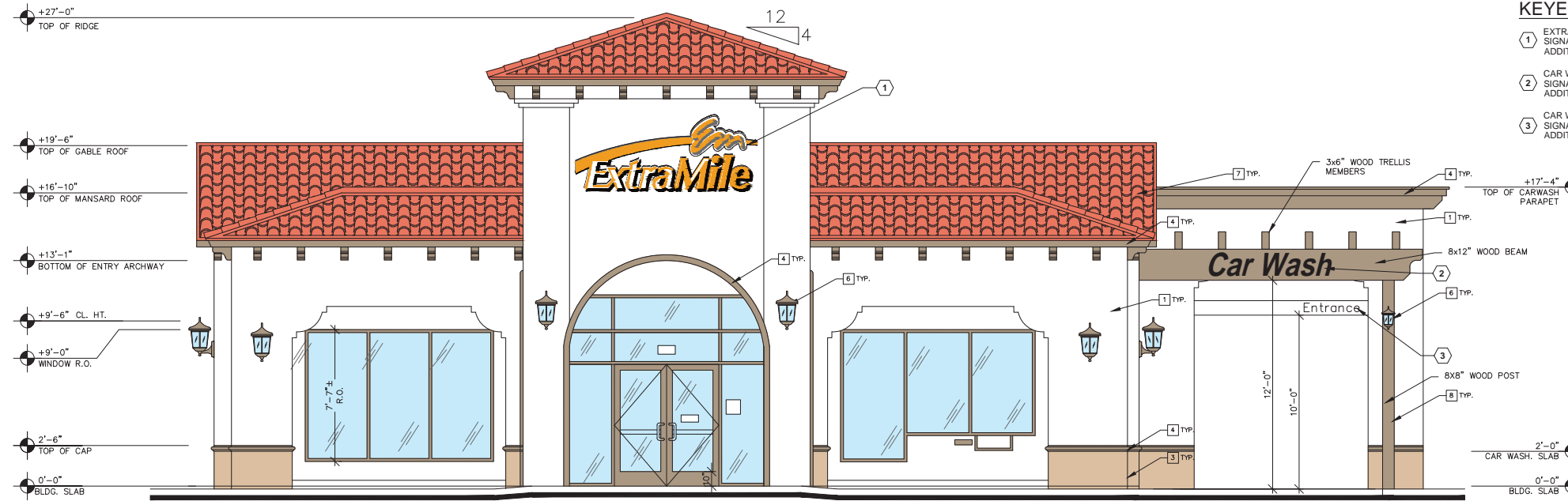
SHEET NO.:

A3.3

| COLOR LEGEND | | |
|--------------|------------------------------------------------------------|----------------------------|
| NO. | MATERIAL | COLOR |
| 1 | PAINTED SMOOTH STUCCO FINISH | WHITE (SEMI GLOSS) |
| 2 | PAINTED SMOOTH STUCCO FINISH | CAFE AU LAIT (SEMI GLOSS) |
| 3 | PAINTED SMOOTH STUCCO FINISH | NUTMEG (SEMI GLOSS) |
| 4 | PAINTED SMOOTH STUCCO FINISH | MOCHA (SEMI GLOSS) |
| 5 | ALUMINUM & GLASS DARK BRONZE ANODIZED ENTRY DOOR AND FRAME | |
| 6 | METAL / BEVELED GLASS | BLACK FINISH / CLEAR GLASS |
| 7 | CLAYLITE ROOF TILE | TERRACOTTA |
| 8 | WOOD TRELLIS W/ WOOD POST | BROWN |
| 9 | EXPOSED CMU BLOCK | LIGHT GRAY |

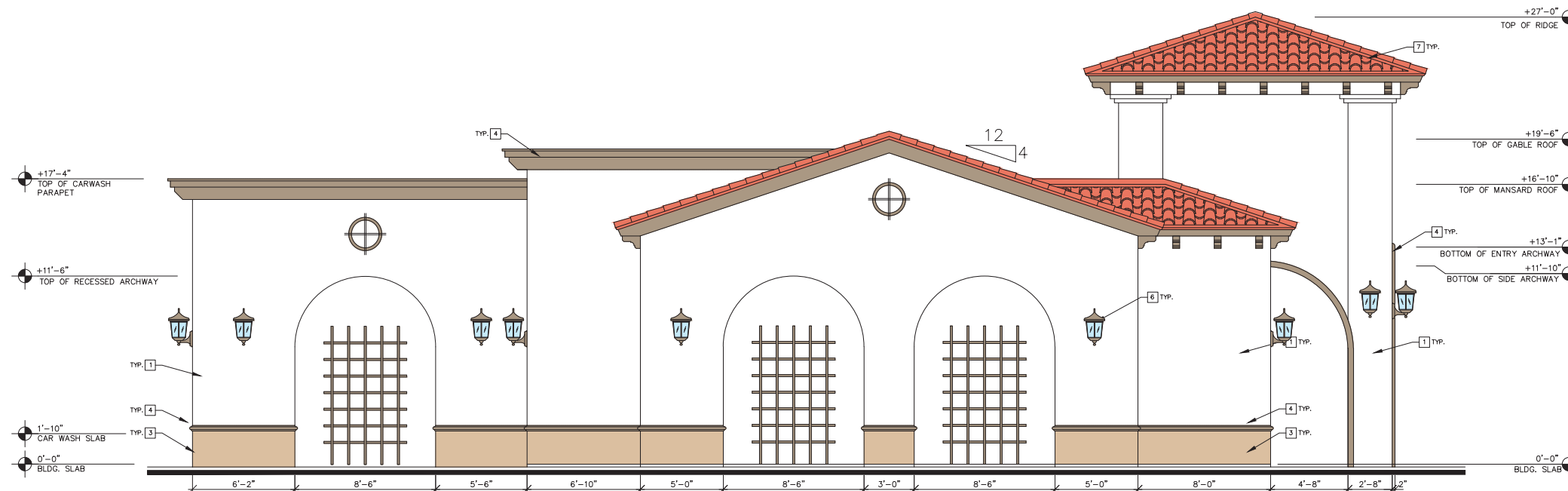
KEYED NOTES

- EXTRA MILE CHANNEL LETTERS - INTERNALLY LED ILLUMINATED PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.
- CAR WASH CHANNEL LETTERS - INTERNALLY LED ILLUMINATED PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.
- CAR WASH ENTRANCE/EXIT SIGN - NON ILLUMINATED METAL SIGN PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM DOCUMENT FOR ADDITIONAL INFORMATION.



EAST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

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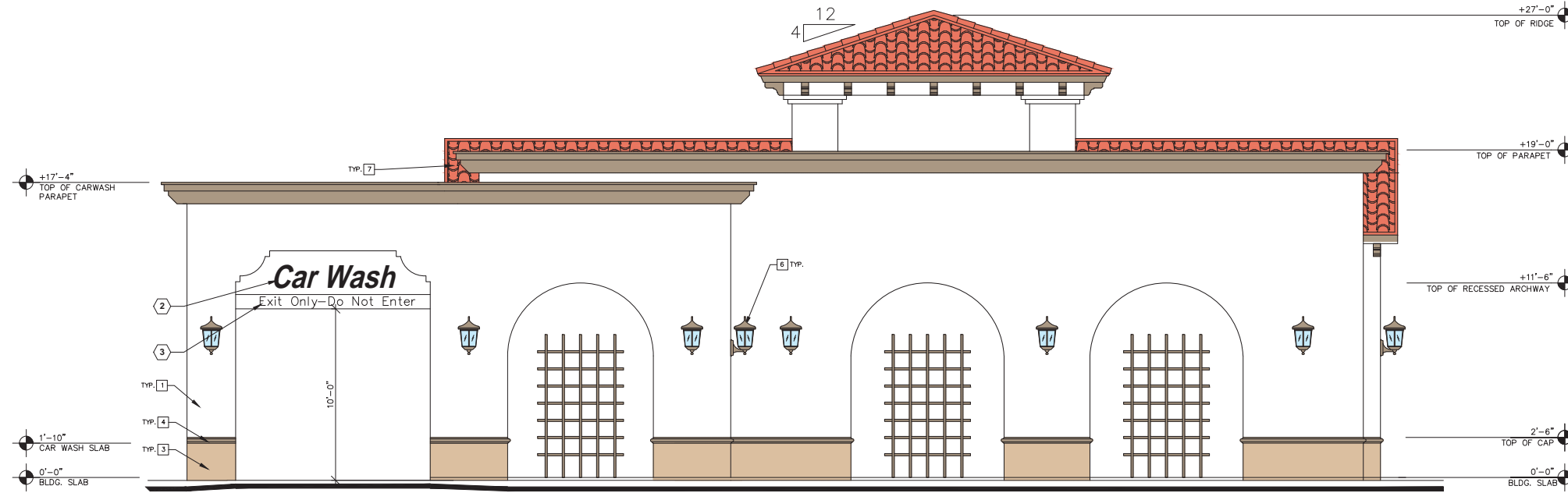


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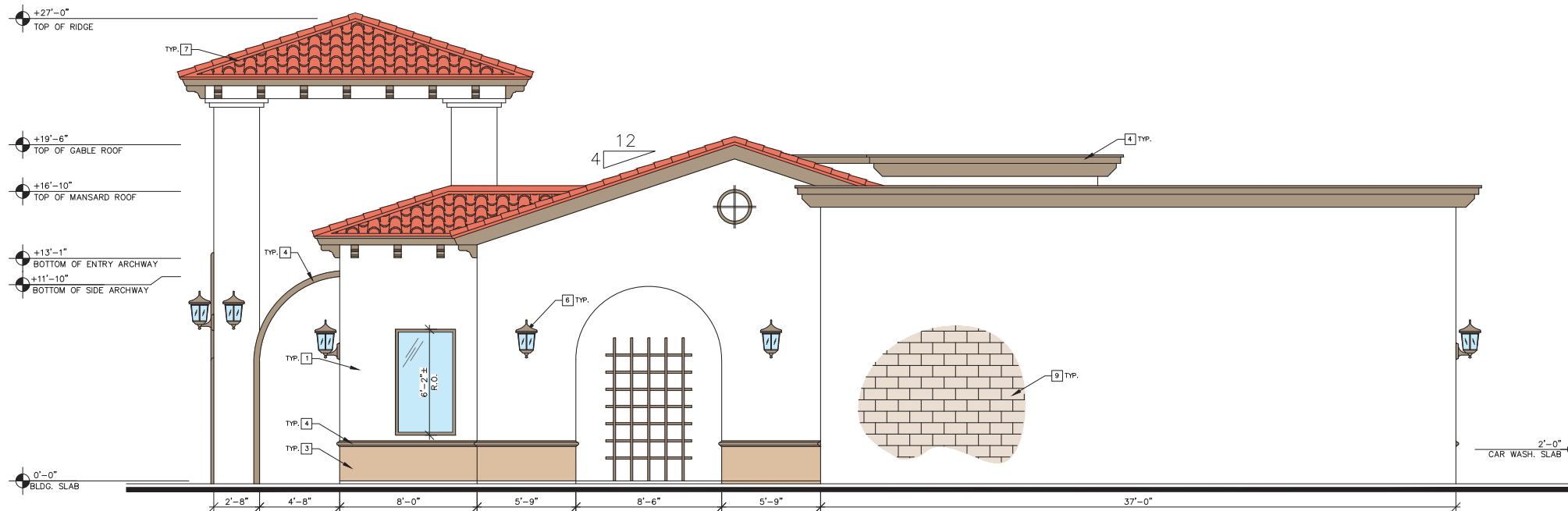
| COLOR LEGEND | | |
|--------------|------------------------------------------------------------|----------------------------|
| NO. | MATERIAL | COLOR |
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| 2 | PAINTED SMOOTH STUCCO FINISH | CAFE AU LAIT (SEMI GLOSS) |
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| 6 | METAL / BEVELED GLASS | BLACK FINISH / CLEAR GLASS |
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| 8 | WOOD TRELLIS W/ WOOD POST | BROWN |
| 9 | EXPOSED CMU BLOCK | LIGHT GRAY |

KEYED NOTES

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WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

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SERVICE STATION #99944

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| DESIGNED BY: JD | FG PM: BH |
| CHECKED BY: BH | MEP PM: - |
| DRAWN BY: JD | CONSULTANT PM: - |
| DATE: 04/09/2018 | PROJECT NO.: 16165 |

DRAWING TITLE:
COLOR EXTERIOR ELEVATIONS

SHEET NO.:
A3.4

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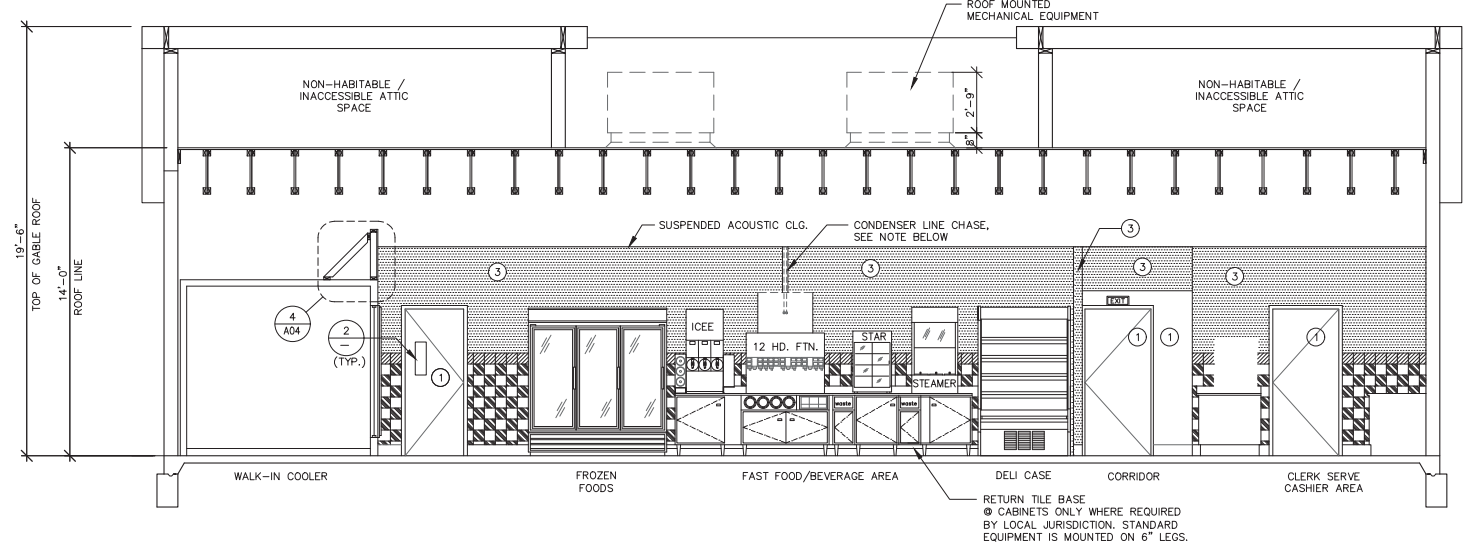
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| DATE: | PROJECT NO.: |
| 04/09/2018 | 16165 |

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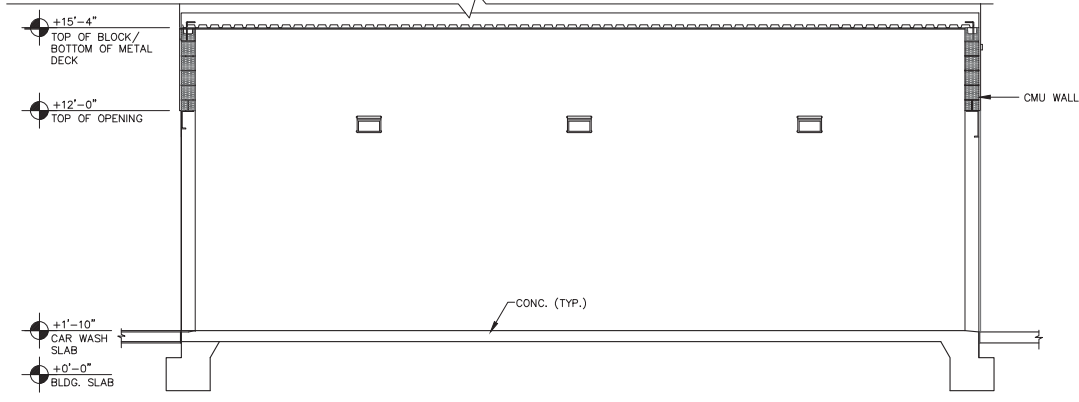
SECTIONS

SHEET NO.:

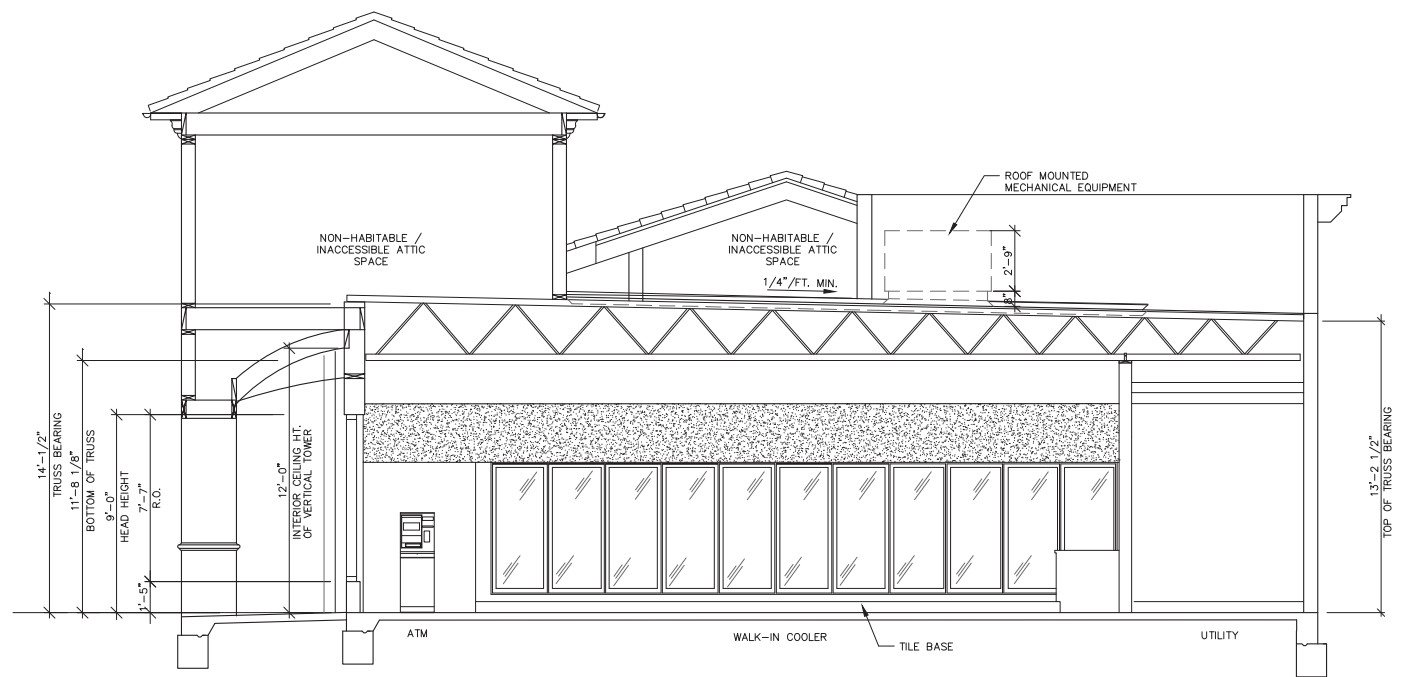
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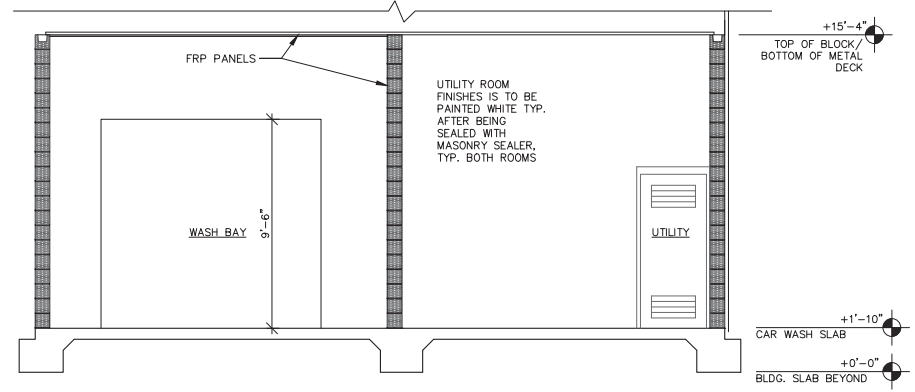
SECTION A
SCALE: 1/4"=1'-0"



SECTION C
SCALE: 1/4"=1'-0"



SECTION B
SCALE: 1/4"=1'-0"



SECTION D
SCALE: 1/4"=1'-0"



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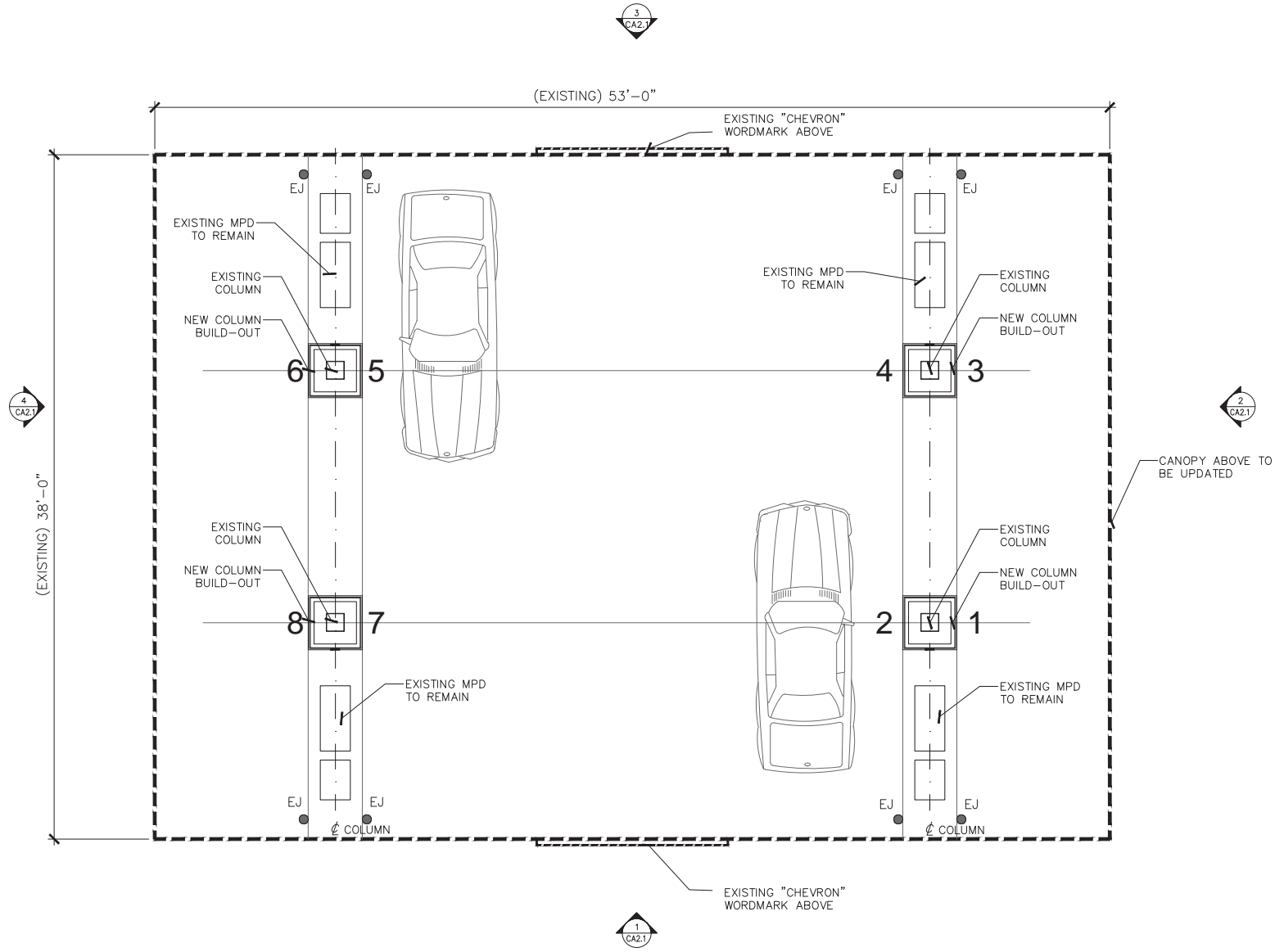
SERVICE STATION #99944

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|---------------------|-----------------------|
| DESIGNED BY: PF | FG PM: BH |
| CHECKED BY: BH | MEP PM: - |
| DRAWN BY: PF | CONSULTANT PM: - |
| DATE: 04/09/2018 | PROJECT NO.: 16165 |

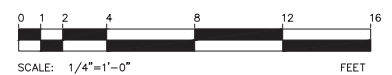
EXISTING CANOPY FLOOR PLAN

SHEET NO.:

CA1.1



1 CANOPY FLOOR PLAN
CA1.1 SCALE: 1/4" = 1'-0"



I:\projects\16165\Design\300_Environent Documents\Architecture\CAD\161652018\02-12_Canopy_Plan.dwg - PLOTTED: Nov 01, 2019 - 8:26am



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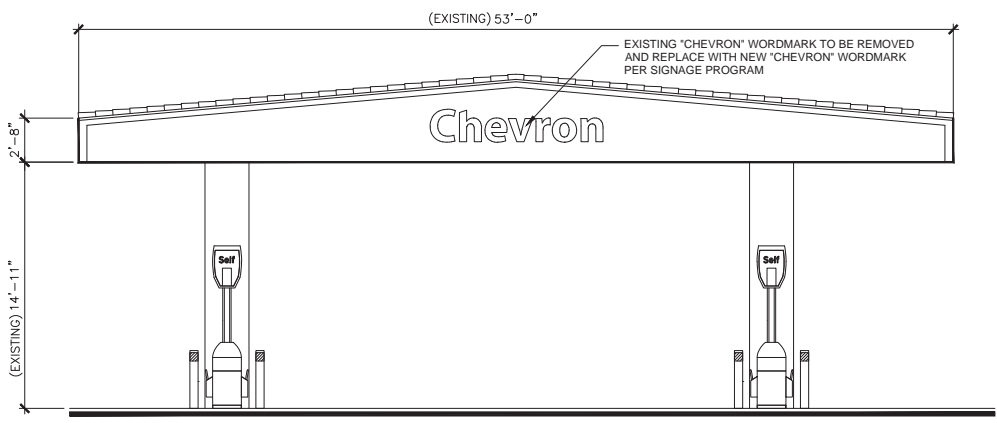
SERVICE STATION #99944

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| CHECKED BY: BH | MEP PM: - |
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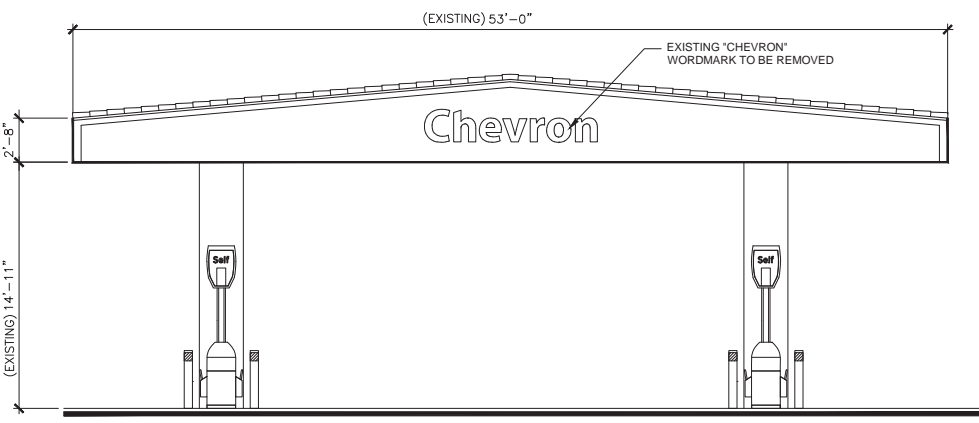
EXISTING
CANOPY
ELEVATIONS

SHEET NO.:

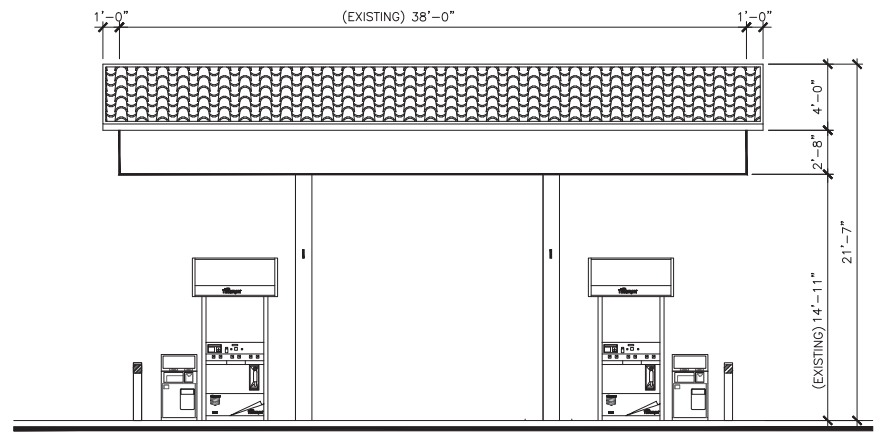
CA2.0



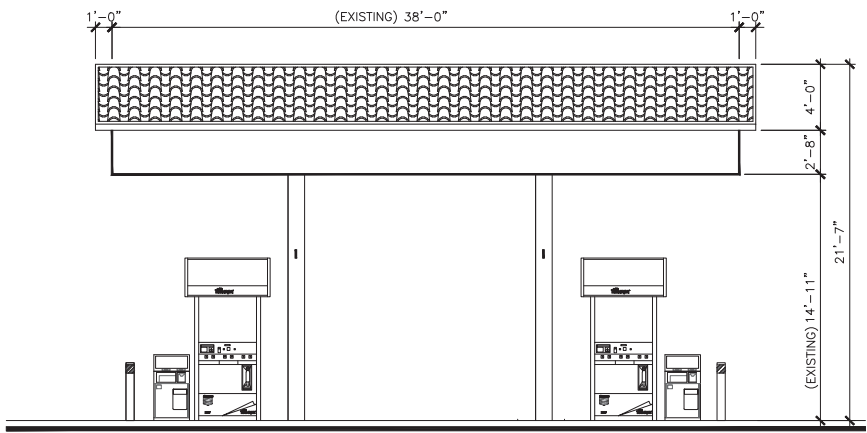
1 EAST ELEVATION
CA2.0 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
CA2.0 SCALE: 3/16" = 1'-0"

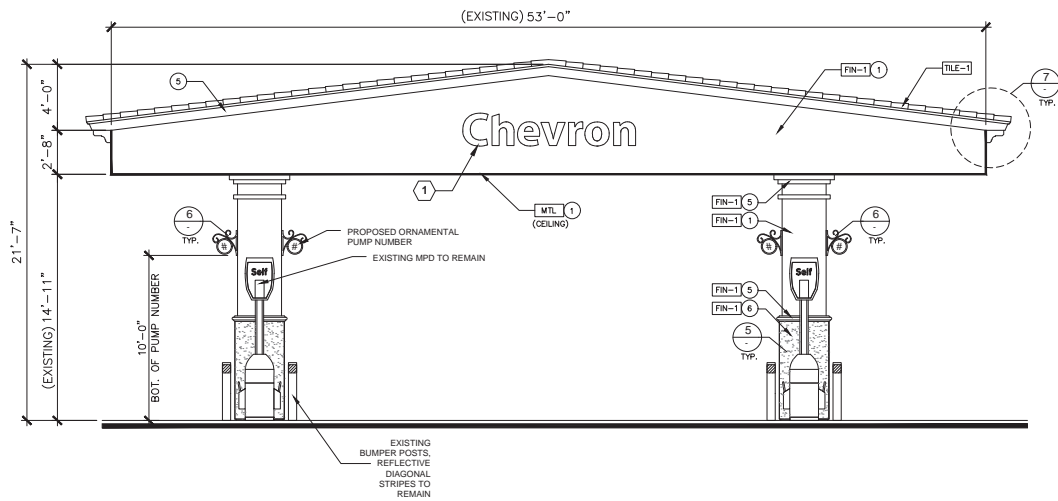


2 NORTH ELEVATION
CA2.0 SCALE: 3/16" = 1'-0"

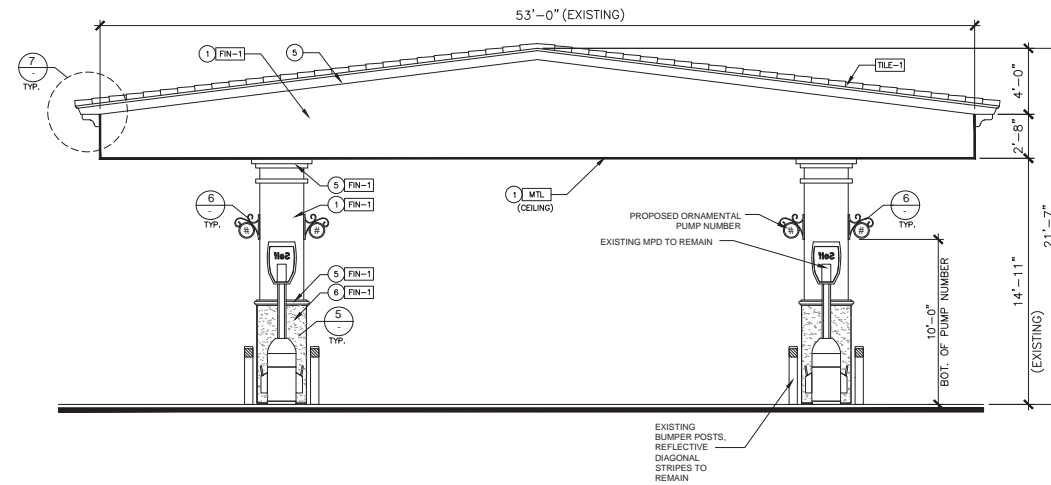


4 SOUTH ELEVATION
CA2.0 SCALE: 3/16" = 1'-0"

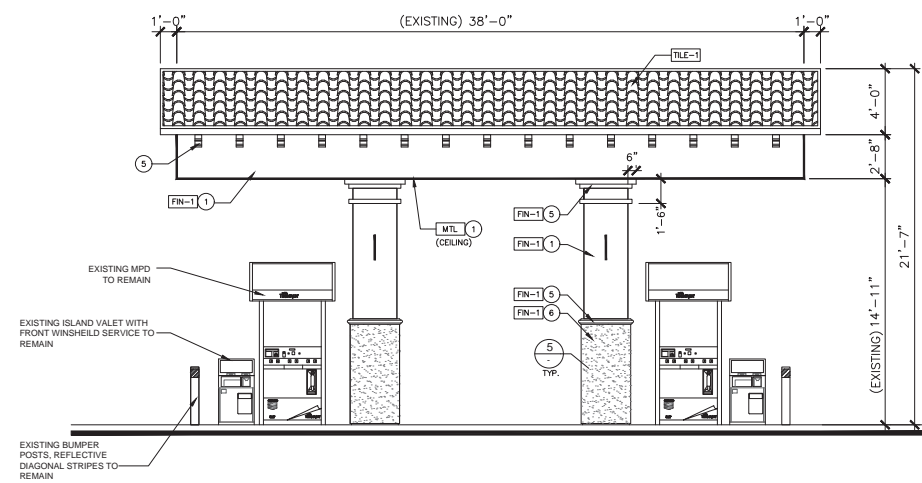
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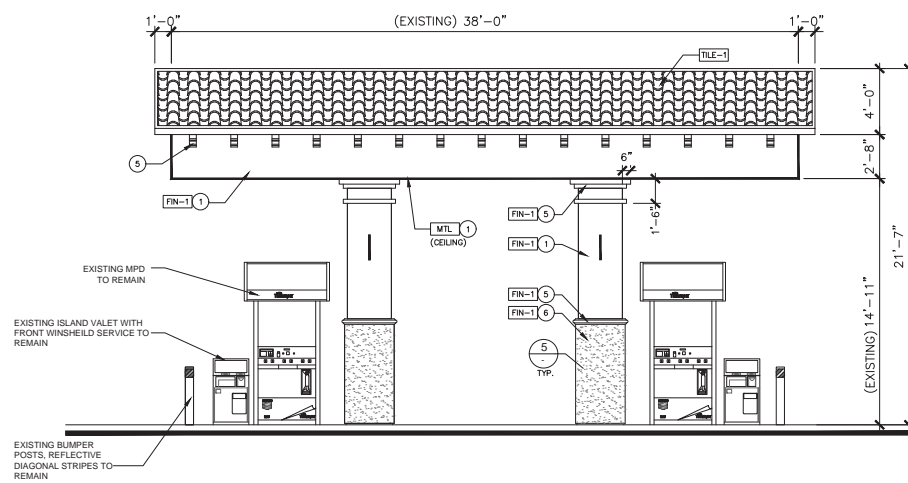
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CA2.1 SCALE: 3/16" = 1'-0"



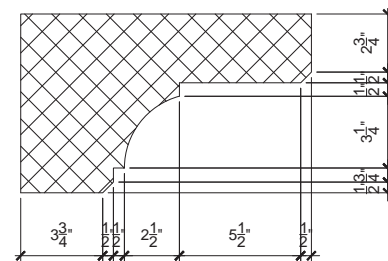
3 WEST ELEVATION
CA2.1 SCALE: 3/16" = 1'-0"



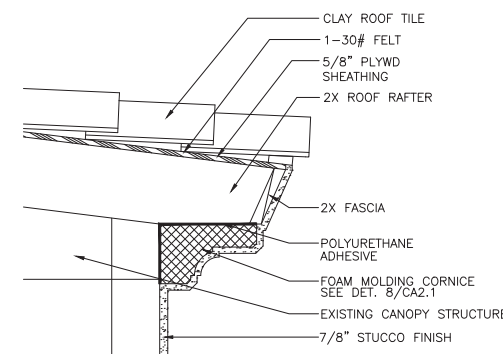
2 NORTH ELEVATION
CA2.1 SCALE: 3/16" = 1'-0"



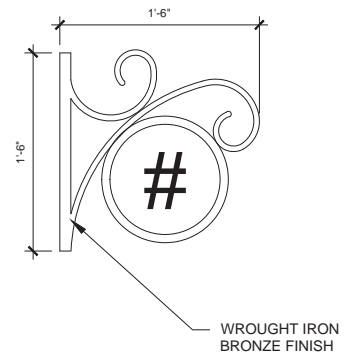
4 SOUTH ELEVATION
CA2.1 SCALE: 3/16" = 1'-0"



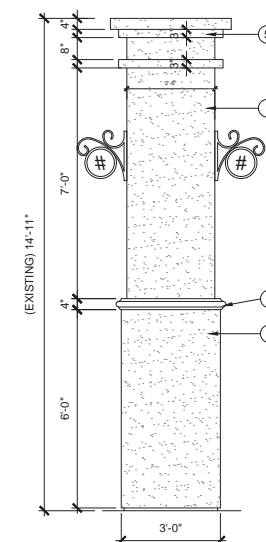
8 CORNICE DETAIL
CA2.1 SCALE: 3" = 1'-0"



7 ROOF EAVE DETAIL
CA2.1 SCALE: 1" = 1'-0"



6 ORNAMENTAL PUMP NUMBER
CA2.1 SCALE: 1-1/2" = 1'-0"



5 COLUMN ELEVATION
CA2.1 SCALE: 3/8" = 1'-0"

KEYED NOTES

- 1 NEW INTERNALLY LED ILLUMINATED WORDMARK CHANNEL LETTERS W/ BLUE ACRYLIC FACE PER SIGNAGE PROGRAM. REFER TO SIGNAGE PROGRAM FOR ADDITIONAL INFORMATION.

MATERIAL LEGEND

| TAG | DESCRIPTION |
|--------|---------------------------------|
| ACM-1 | ALUMINUM COMPOSITE METAL PANELS |
| FIN-1 | 7/8" THK. 3 COAT SMOOTH STUCCO |
| TILE-1 | CLAYLITE ROOF TILE - TERRACOTTA |

COLOR LEGEND

| TAG | DESCRIPTION |
|-----|--------------------------------------------------------|
| 1 | WHITE - PPG WH-835 - SMOOTH STUCCO FINISH (SEMI GLOSS) |
| 2 | BLUE - PMS 2935C |
| 3 | RED - PMS 186C |
| 4 | CAFE AU LAIT - SMOOTH STUCCO FINISH (SEMI GLOSS) |
| 5 | MOCHA - SMOOTH STUCCO FINISH (SEMI GLOSS) |
| 6 | NUTMEG - SMOOTH STUCCO FINISH (SEMI GLOSS) |



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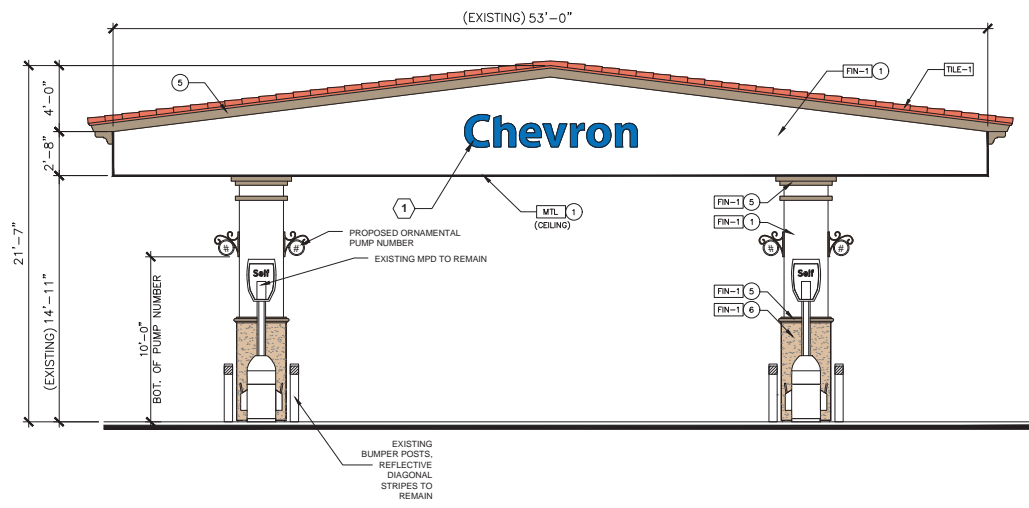
SERVICE STATION #99944

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| CHECKED BY: BH | MEP PM: - |
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| DATE: 04/09/2018 | PROJECT NO.: 16165 |

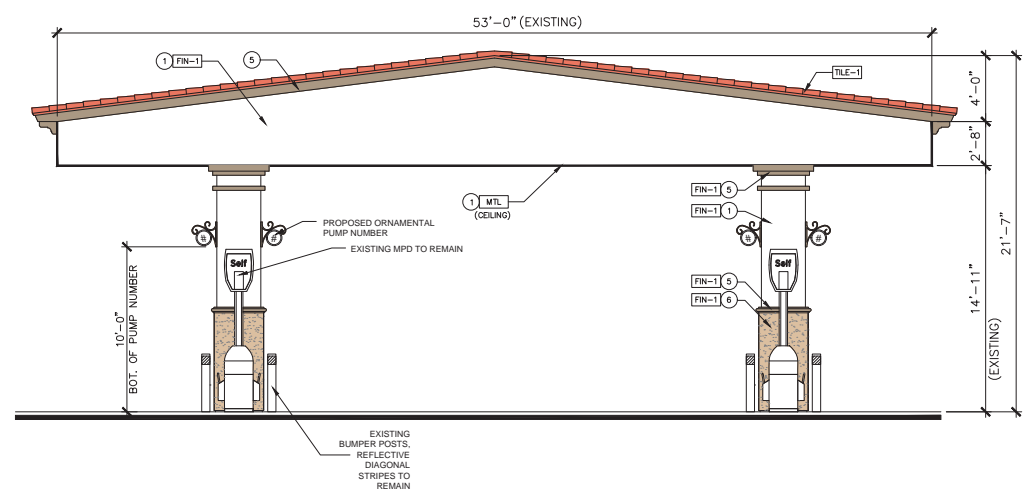
PROPOSED CANOPY ELEVATIONS

SHEET NO.:

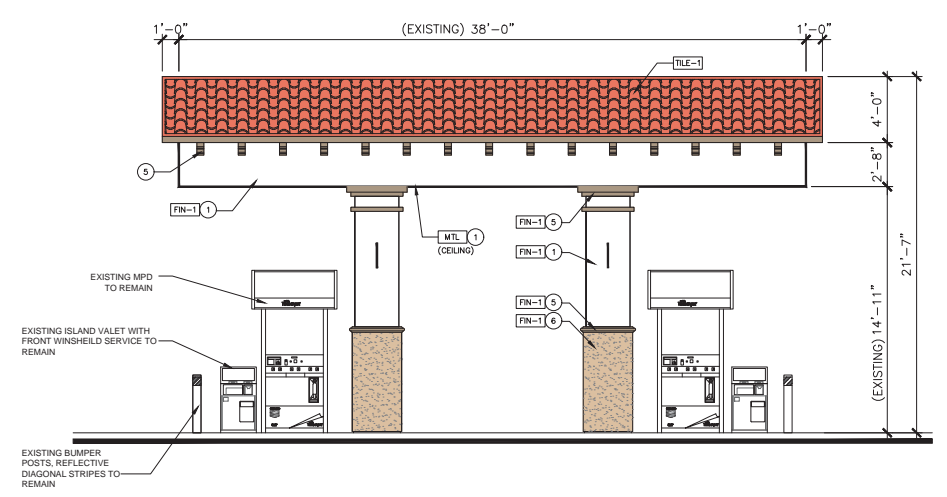
CA2.1



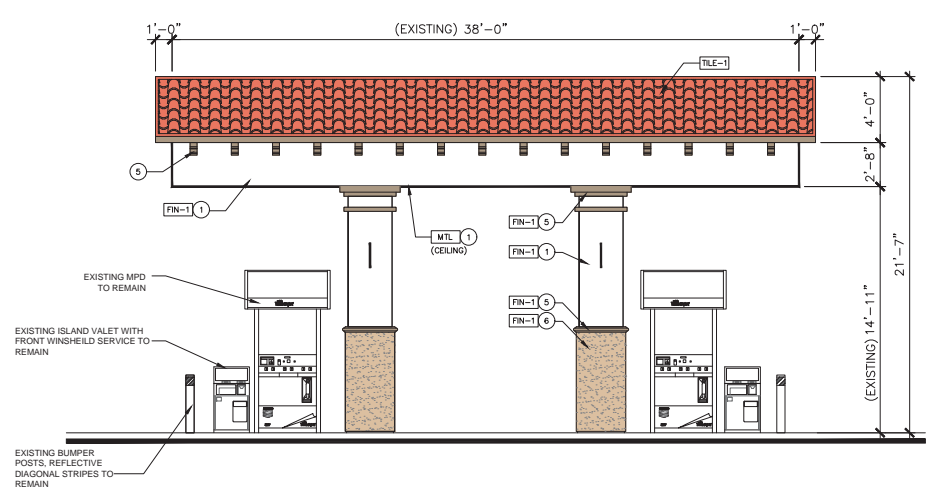
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

KEYED NOTES

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515 E. AVENIDA PICO
@ AVENIDA INDUSTRIAS
SAN CLEMENTE, CA 92672

SERVICE STATION #99944

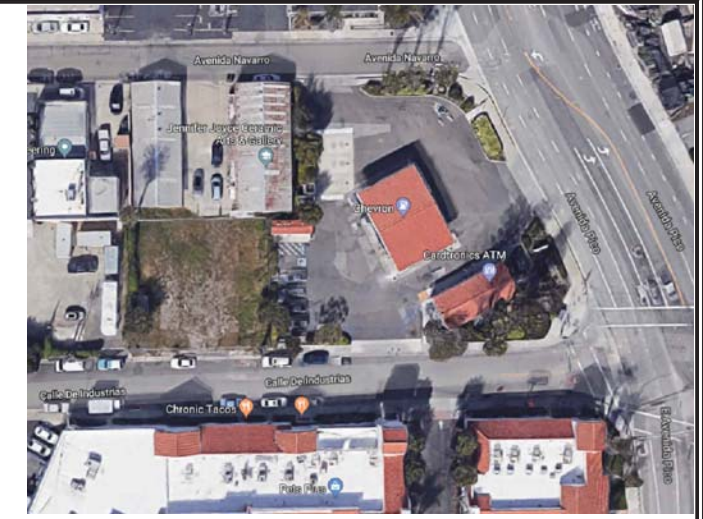
| | |
|--------------|-------------------|
| DESIGNED BY: | FG PM: BH |
| CHECKED BY: | MEP PM: BH |
| DRAWN BY: | CONSULTANT PM: FT |
| DATE: | PROJECT NO.: |
| 04/09/2018 | 16165 |

PROPOSED COLOR CANOPY ELEVATIONS

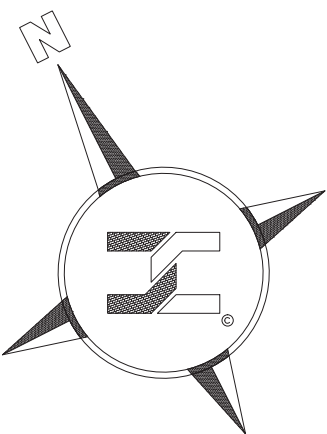
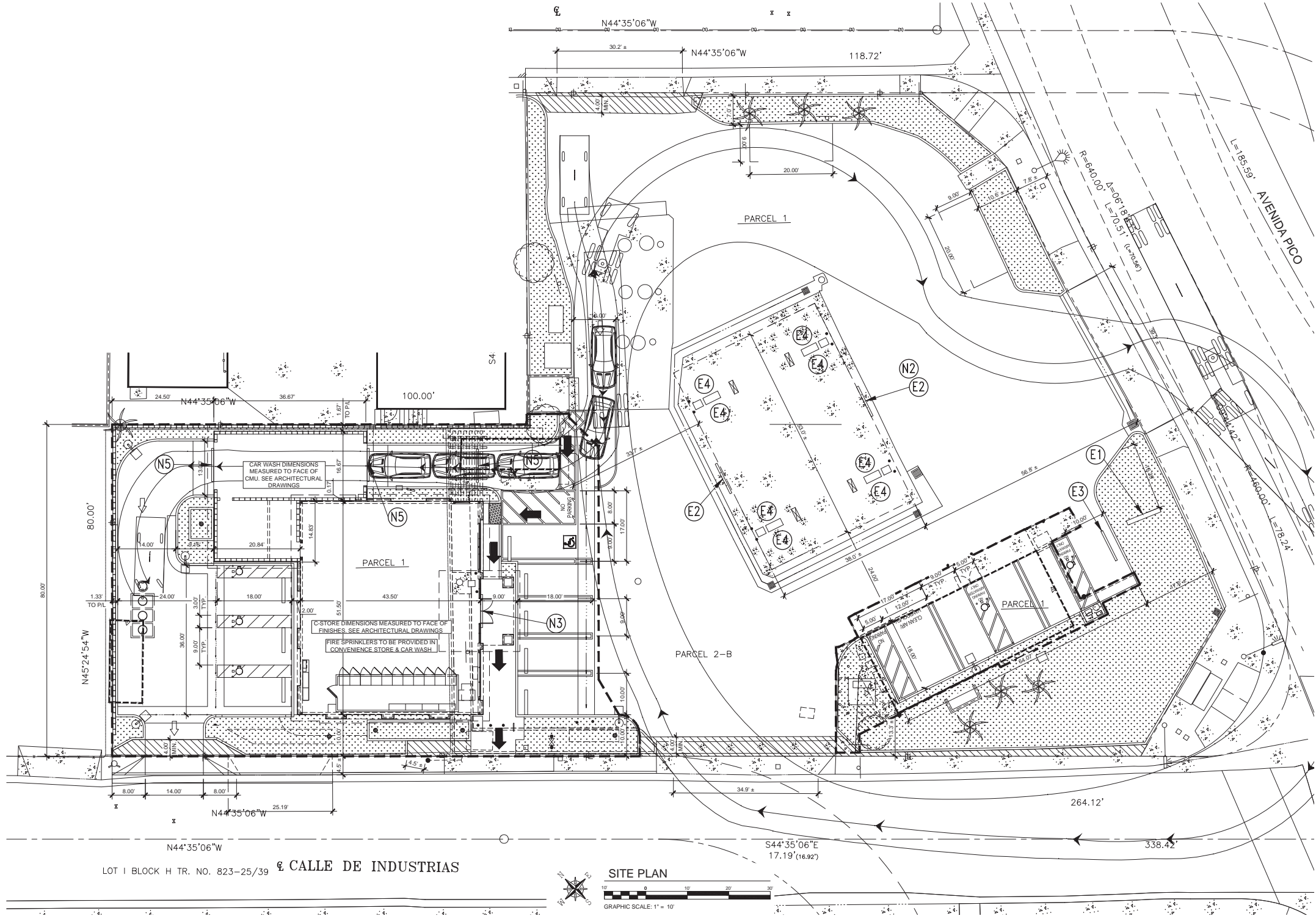
SHEET NO.:

CA2.2

ATTACHMENT 5



EXISTING SITE



| EXISTING SIGN SCHEDULE | | | | | |
|------------------------|------|-----------------------------------|----------------|-------|---------------|
| SIGN | QTY. | NAME and LOCATION | SQUARE FOOTAGE | | |
| E1 | ONE | C-30 MONUMENT SIGN | 3'-0" x 7'-10" | 23.62 | TO REMAIN |
| E2 | 2 | CHEVRON WORDMARK CANOPY | 1'-9" x 9'-6" | 33.42 | TO BE REMOVED |
| E3 | ONE | C-STORE EXTRAMILE FRONT ELEVATION | 4'-1" x 9'-18" | 27.8 | TO BE REMOVED |
| E4 | 8 | HALLMARK SIGN DISPENSER SPANNERS | 1'-0" x 1'-1" | 8.67 | TO REMAIN |
| TOTAL | | | 93.51 | | |

| PROPOSED SIGN SCHEDULE | | | | | |
|------------------------|------|-----------------------------------|----------------|-------|-----|
| SIGN | QTY. | NAME and LOCATION | SQUARE FOOTAGE | | |
| N2 | ONE | CHEVRON WORDMARK CANOPY | 1'-9" x 9'-6" | 16.71 | NEW |
| N3 | ONE | C-STORE EXTRAMILE FRONT ELEVATION | 4'-1" x 9'-18" | 27.8 | NEW |
| N5 | 3 | CAR WASH C-STORE, CARWASH | 1'-7" x 9'-3" | 43.93 | NEW |
| TOTAL | | | 88.44 | | |

LOT I BLOCK H TR. NO. 823-25/39 CALLE DE INDUSTRIAS



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 www.calcrafft.com - State contractor license #872310

SCALE: - = 1"-0" U.N.
 DRAWN BY: ALONZO
 DATE: 10-30-19
 CHECKED BY:
 DATE:

LOCATION: 515 Avenida Pico San Clemente, CA
 TITLE: **Chevron Products Co.**
 Site Sign Plan
 Site Plan

| | |
|----------------|-----------------|
| HAND: SHN | JOB NO.: C18217 |
| DRWG. NO.: SP1 | REV. |
| SHEET: - | OF: - |



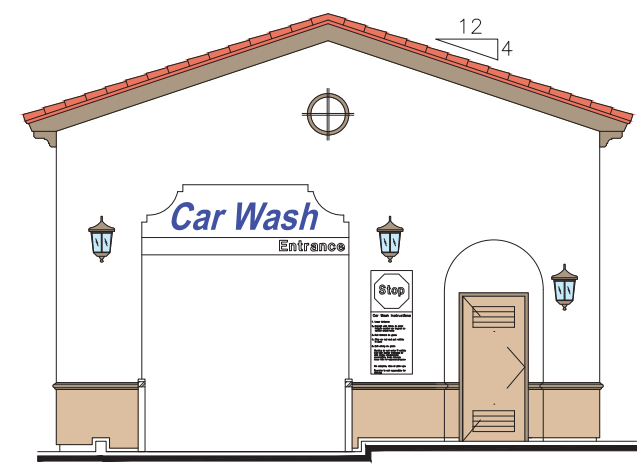
EAST ELEVATION
SCALE: 1/4"=1'-0"

NEW C-STORE ELEVATION

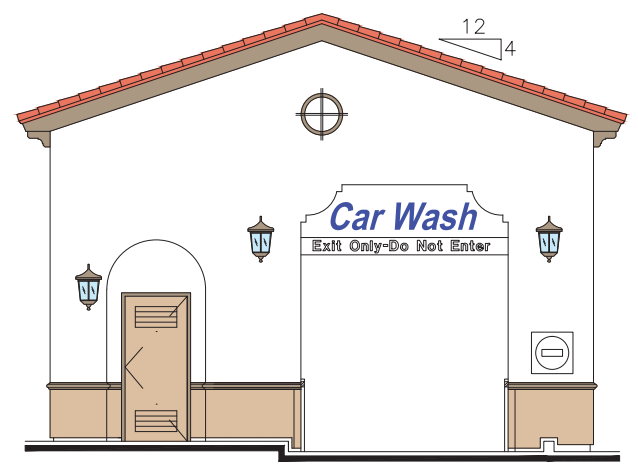


EXISTING C-STORE

NOTE: EXISTING EXTRA MILE SIGN INTERNALLY NEON ILLUMINATED



NORTH - ENTRANCE ELEVATION
SCALE: 1/4"=1'-0"

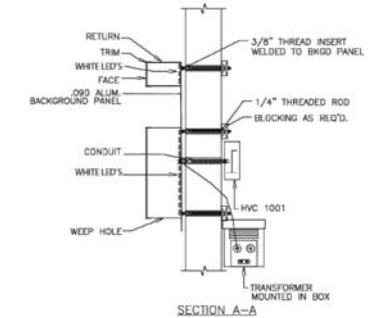


SOUTH - EXIT ELEVATION
SCALE: 1/4"=1'-0"

NEW CAR WASH ELEVATIONS

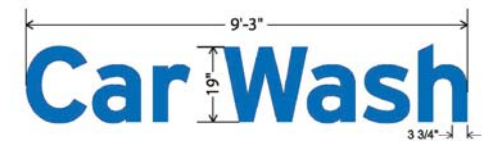


EXTRA MILE CHANNEL LETTERS
27.8 sq. ft.
NEW INTERNALLY LED ILLUMINATED (SEE SECTION)



NOTE: "EXTRA MILE" CHANNEL LETTERS, SWOOSH, AND "EM" LOGO ARE ALL LED ILLUMINATED.

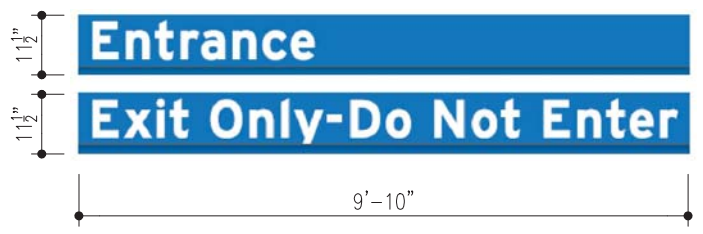
TYP. SECTION THRU CHANNEL LETTERS



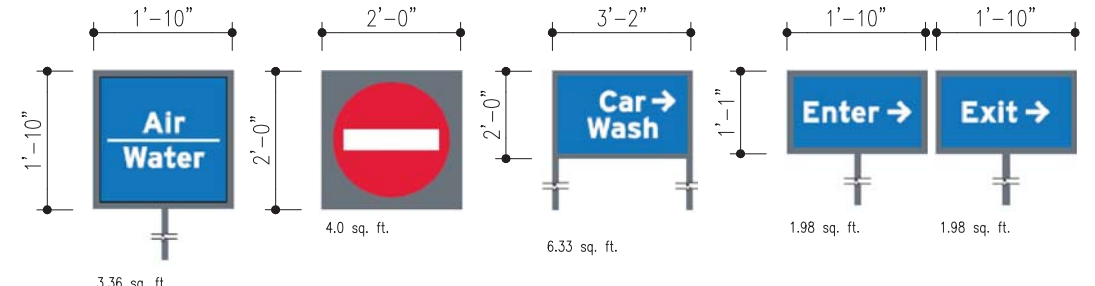
CAR WASH CHANNEL LETTERS
14.64 sq. ft. (x3)
NEW INTERNALLY LED ILLUMINATED (SEE SECTION)



CARWASH INSTRUCTION SIGN
12.33 sq. ft.
NEW NON ILLUMINATED METAL SIGN



CARWASH ENTRANCE, EXIT SIGNS
9.42 sq. ft. (x2) 18.84 TOTAL
NEW NON ILLUMINATED METAL SIGN



CARWASH METAL DIRECTIONAL SIGNS
NEW NON ILLUMINATED

| Color Palette | Color | PMS Match* |
|-----------------------|-----------------|------------|
| Primary Colors | | |
| Retail Outdoor Blue | [Blue] | PMS 293 |
| Chevron Blue | [Blue] | PMS 2935 |
| Chevron Cyan | [Cyan] | Cyan |
| Chevron Dark Red | [Red] | PMS 202 |
| Chevron Red | [Red] | PMS 186 |
| TECHRON Colors | | |
| Techron Blue | [Blue] | PMS 300 |
| Techron Blue Gradient | [Blue Gradient] | PMS 300** |
| Techron Dark Gray | [Gray] | PMS 431 |

| ExtraMile Identity Colors | | |
|---------------------------|----------------------|------------------------------------------------|
| Color Palette | Name | Color ID |
| [Yellow] | Butterscotch | PMS 740B |
| [Maroon] | Maroon | PMS 209 |
| [Natural Beige] | Natural Beige | PMS 4755 |
| [Opaque Natural Beige] | Opaque Natural Beige | To match Spraylat Lacryl L5-9358 acrylic paint |

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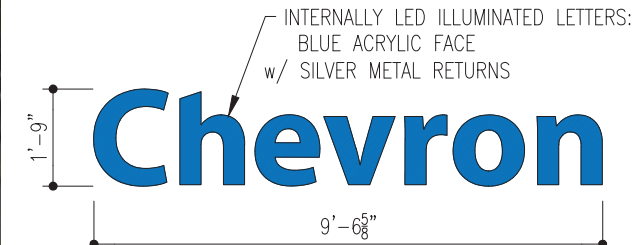
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DRAWN BY: ALONZO
DATE: 10-30-19
CHECKED BY:
DATE:

LOCATION: 515 Avenida Pico San Clemente, CA
TITLE: Chevron Products Co. Site Sign Plan Elevations and sign details

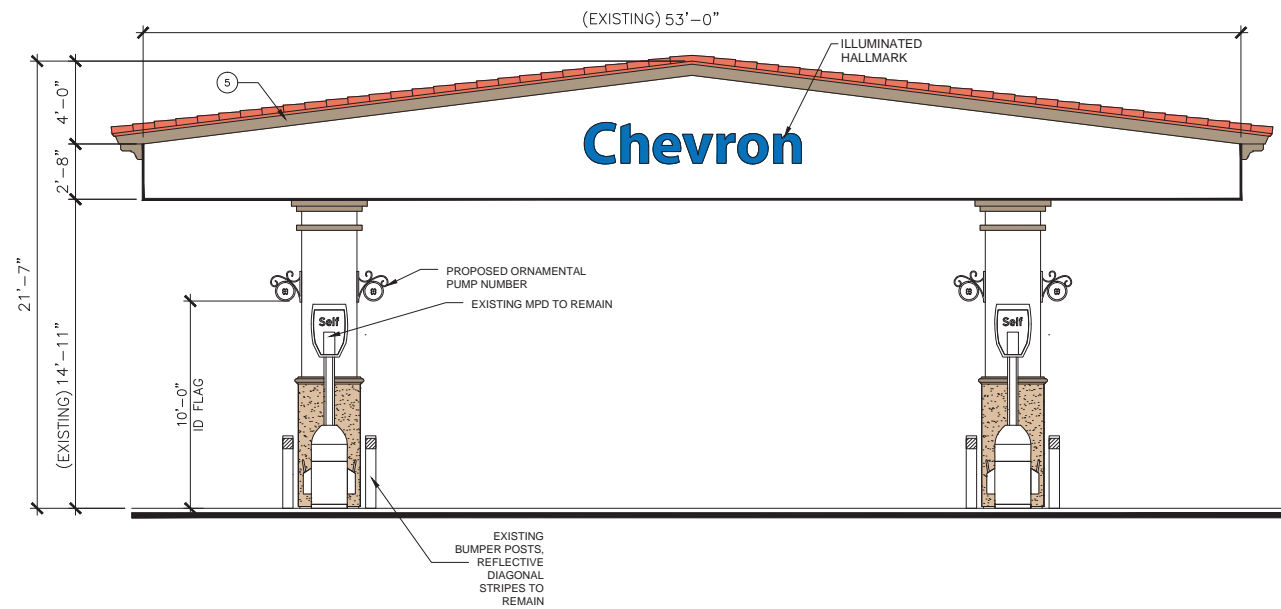
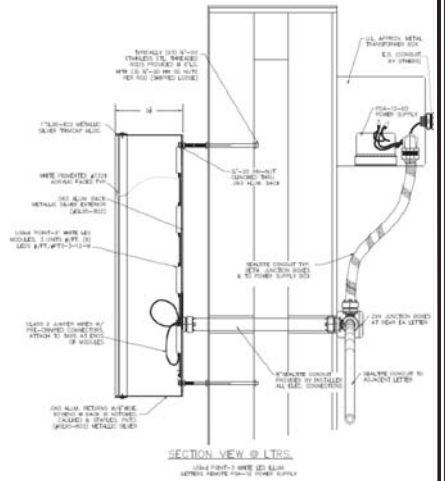
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| HAND SHN | JOB NO. C18217 |
| DWG. NO. BA1 | REV. 1 |
| SHEET | OF |



EXISTING CANOPY



WORDMARK CHANNEL LETTERS
 16.71 sq. ft. (2 EXISTING WORDMARKS TO BE REMOVED ONE NEW WORDMARK TO BE INSTALLED).



NEW CANOPY ELEVATION

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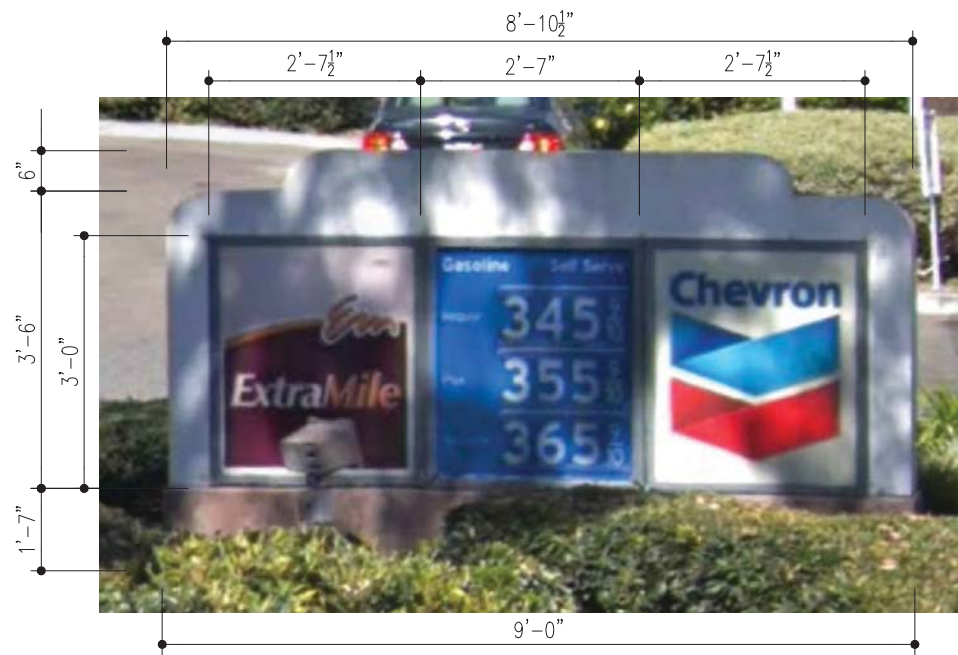
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 DATE: 10-30-19
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 DATE:

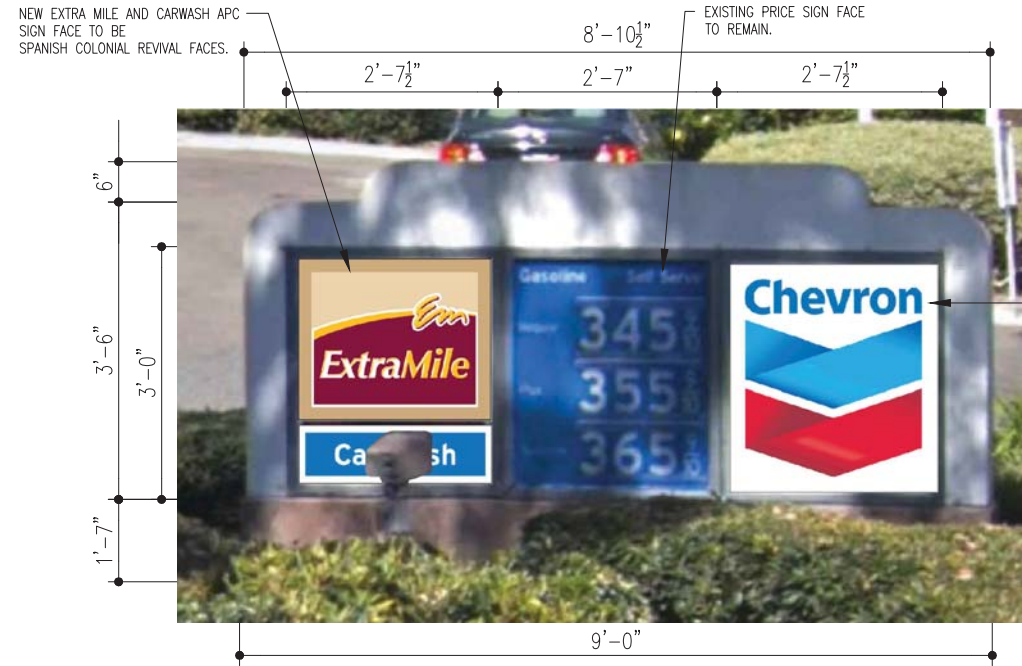
LOCATION: 515 Avenida Pico San Clemente, CA
 TITLE: **Chevron Products Co.**
 Site Sign Plan
 Elevations and sign details

| | | | |
|------|-----|---------|--------|
| HAND | SHN | JOB NO. | C18217 |
| REV. | CA1 | OF | |



EXISTING MONUMENT SIGN

23.62 sq. ft. (TO REMAIN)
EXISTING MONUMENT SIGN IS EXTERNALLY ILLUMINATED WITH SMALL FLOOD LIGHTS



PROPOSED MONUMENT SIGN RE-FACE

23.62 sq. ft. (TO REMAIN)
EXISTING MONUMENT SIGN IS EXTERNALLY ILLUMINATED WITH SMALL FLOOD LIGHTS



EXISTING DISPENSER SPANNERS

1.08 sq. ft. (x8) 8.64 TOTAL (TO REMAIN)

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DRAWN BY: ALONZO
DATE: 10-30-19
CHECKED BY:
DATE:

LOCATION 515 Avenida Pico
San Clemente, CA

HAND SHN

JOB NO. C18217

TITLE

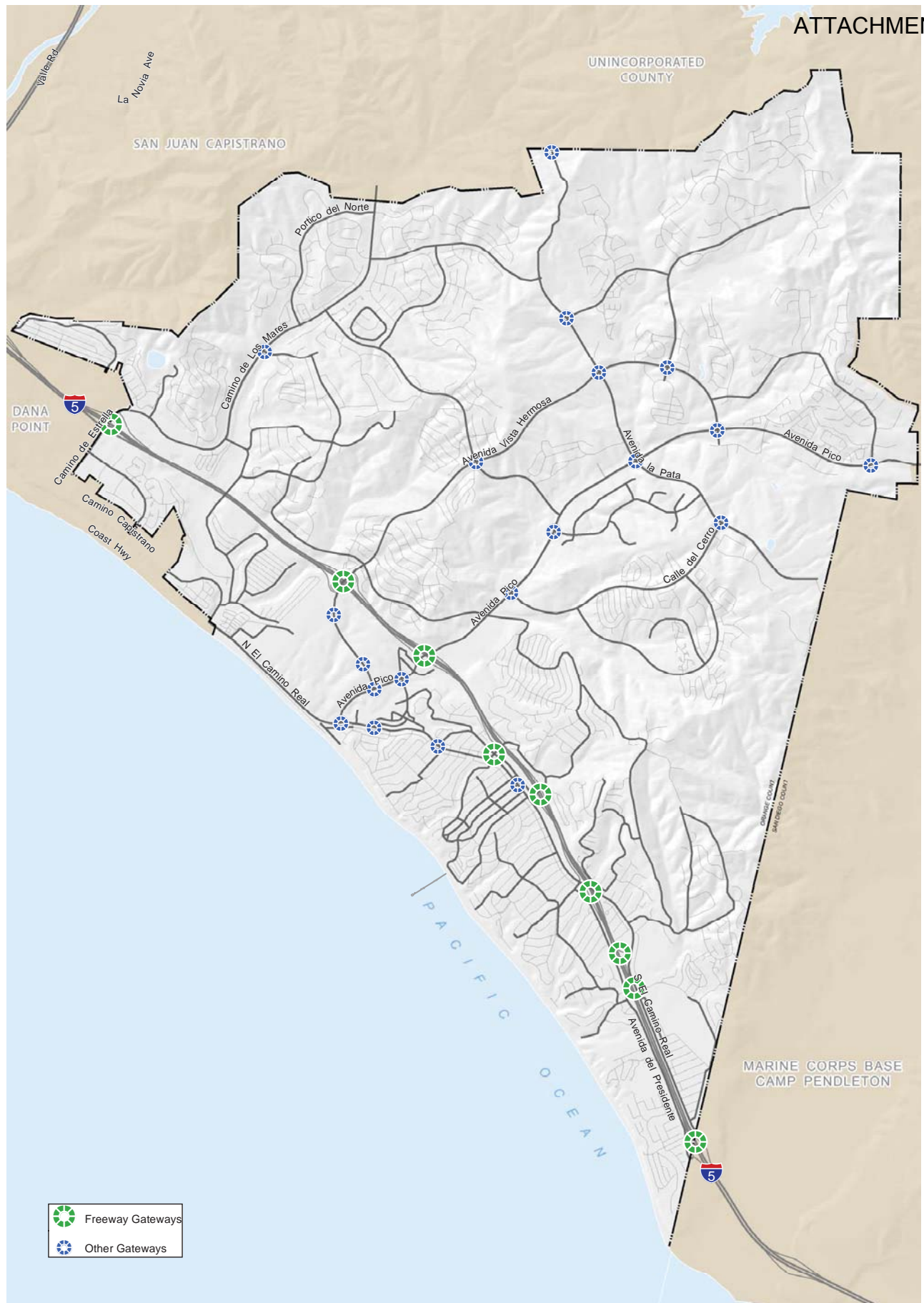
Chevron Products Co.
Site Sign Plan
Sign details

DRWG NO. SN1

REV. 1

SHEET -

OF -





-  Freeway Gateways
-  Other Gateways



Figure UD-1
Gateways

0 1,200 2,400 4,800 Feet

