



Design Review Subcommittee (DRSC)

Meeting Date: March 13, 2019

PLANNER: Jonathan Lightfoot, Assistant Planner

SUBJECT: **Site Plan Permit (SPP) 18-663 / Cultural Heritage Permit (CHP) 18-664, North Beach Bed & Breakfast**, a request to construct a Bed and Breakfast Inn with one primary residence and three guest rooms within the NC2-A-AH-CZ zone at 1410 Calle Mirador.

BACKGROUND:

Site Data

The project site is a vacant 4,740 square-foot through lot between North El Camino Real and Calle Mirador. The site is within the Neighborhood Commercial 2 zoning district and is within the Architectural, Affordable Housing, and Coastal Zone overlay zones (NC2-A-AH-CZ). The site is undeveloped and does not have any prior approved entitlements.

The site abuts an unoccupied commercial building to the south and Kelly Moore Paints to the north. Residences within the Residential Medium (RM) zoning district are located to the west across Calle Mirador. Retail and office uses within the Neighborhood Commercial (NC1.2) zoning district and West Pico Corridor Specific Plan are located to the east across North El Camino Real. Restaurants, offices, retail stores, a Chabad, apartments in a historic building (San Clemente Inn at 1426 N. El Camino Real), and the Rodeway Inn hotel are located near the project site.

Figure 1 – Existing Site Conditions



Why is DRSC Review Required?

The proposed bed and breakfast requires a Site Plan Permit (SPP) and a Cultural Heritage Permit (CHP) as a new non-residential building within the NC2 zoning district and Architectural Overlay District. SPP applications require DRSC review per Zoning Code

Section 17.16.050. CHP applications also require DRSC review per 17.16.100. The DRSC's recommendation will be forwarded to the Planning Commission, which is the final decision-making authority for the project.

PROJECT DESCRIPTION:

Architect Michael Luna, on behalf of property owners Eric and Loreen Spink, proposes to construct a new bed and breakfast with three guest units below a top-level owner's unit. The structure is proposed to encompass 2,343 square feet of living area, 659 square feet of garage area, and 830 square feet of deck area. The owner's unit is 1,115 square feet in area. The guest rooms are each about 350 square feet in area and have access to a shared laundry room, parlor, and an outdoor covered dining area with a buffet.

Required on-site parking includes three garage spaces and two uncovered motorcourt spaces along the project's Calle Mirador frontage. The primary entry is also on the Calle Mirador frontage and is accessed through a courtyard. Pedestrian access to El Camino Real is provided by a pathway and gate, which is accessible to all of the guest rooms. The project has the appearance of three stories from El Camino Real, but is a two-story building that steps up the hillside. There is a 15-foot grade change from the lot line along El Camino Real up to the higher frontage along Calle Mirador.

The project incorporates Spanish Colonial Revival (SCR) architecture and has the appearance of a large single family home. The building is characterized by varied roof lines and pitches with red two-piece clay tile. The elevations are clad with smooth white stucco. The fenestration includes a mix of metal clad rectangular and arched windows with divided lites and an oriel window on the front elevation. The primary entrance is set back from the front elevation through a small courtyard with a wing wall that has an arched access. The project also includes extensive deck and patio spaces that add variety and depth to the elevations. Additional architectural features include clay planter pots, a cantilevered staircase, and a trellised patio cover.

Figure 2 – Proposed Front and Rear Elevations



ANALYSIS:

“Bed and breakfast inn” uses with less than five guest rooms are permitted by right in the NC2 zone. Bed and breakfast inns are regulated by special use standards (Zoning Ordinance Section 17.28.090), as shown in Table 1 below.

Table 1 – Development Standards

<i>Standard</i>	<i>Zoning Ordinance</i>	<i>Proposed</i>	<i>Complies with the Code</i>
<u>Lot Coverage</u> (Maximum)	60%	44%	Yes
<u>Floor Area Ratio (FAR)*</u>	.5	.494	Yes
<u>Setbacks</u> (Minimum)	0'	Varies	Yes
<u>Building Height</u> (Maximum):			
<u>Top of Plate</u>	26'	19.6'	Yes
<u>Top of Roof</u>	33'	32.7'	Yes
<u>Stories</u>	2	2	Yes**
<u>Density</u>	1 guest unit per 500 sf of lot (9 units)	3 guest units	Yes
<u>Parking</u> (Minimum)	5 spaces	5 spaces	Yes
<u>Landscape</u>	Minimum 10% of lot area	17.5%	Yes

* “Floor area ratio” is defined as the total gross floor area, excluding parking structures, interior stairways, and nonhabitable subterranean floors, of all buildings on a lot divided by the lot area.

** “Basement” is defined as any portion of a building which has at least 60 percent or more of the story height below finished grade. Plans include sections indicating that no portion exceeds two stories above a basement.

General Plan and Design Guidelines Consistency

The site is located in the Architectural Overlay District along North El Camino Real. The project is required to incorporate a Spanish architectural style, such as Mission, Monterey, or Spanish Colonial Revival. Staff identified applicable policies from the Urban Design and Land Use element, specifically those that pertain to commercial projects in gateway locations. The site plan and renderings convey a high quality project that meets the intent of these design guidelines, as discussed in Tables 2 and 3 below.

Table 2 – Relevant General Plan Policies

Policy	Project Consistency
<p><i>Land Use – 10.06. Quality Development.</i> We require that site, building and landscape development be of high quality design and materials and that promote pedestrian activity, in accordance with the Urban Design Element, North Beach Specific Plan and Zoning Ordinance.</p>	<p>Consistent. The proposed project reflects a high quality SCR design that integrates indoor/outdoor spaces, pedestrian access, and landscape improvements to the site.</p>
<p><i>Urban Design – 3.03. Buffers and Setbacks.</i> We require that new uses and buildings, characterized by differing functions, activities, density, scale and massing, to provide conditions of approval, landscaped buffers and/or setbacks between uses to prevent or reduce adverse impacts.</p>	<p>Consistent. Along the Calle Mirador frontage, the project has a significant width of drive aisle. However, decorative permeable pavers and landscaping convey a residential elevation that blends well with the residences across the street.</p>
<p><i>Urban Design – 5.01. Outdoor Spaces.</i> For multi-family residential, mixed use and commercial development, we require integration of outdoor spaces into the architectural and site designs by encouraging the use of courtyards, patios, paseos, plazas, gardens, covered walkways, rooftop terraces, verandas and other outdoor spaces enclosed by architectural or landscape elements, and encourage the same for other types of development.</p>	<p>Consistent. The decks and patio spaces provide opportunities for indoor/outdoor transitions and add variation and relief to the building’s massing. They also add architectural accents that draw attention to the outdoor living spaces.</p>
<p><i>Urban Design – 5.07. Other Spanish Architecture.</i> New buildings and major building remodels may utilize either Spanish Colonial Revival or other Spanish Architecture on North El Camino Real between West Avenida Palizada and Calle Los Bolas, and on South El Camino Real between Avenida Rosa and Interstate-5, per the Design Guidelines.</p>	<p>Consistent. The proposed design uses Spanish Colonial Revival Architecture.</p>

Policy	Project Consistency
<p><i>Urban Design – 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.</p>	<p>Consistent. The building would be larger than those on immediately adjacent parcels. However, it is similar in scale to nearby residences (101 Ave del Reposo) and commercial buildings (1401 El Camino Real). The Rodeway Inn at 1301 El Camino Real is partially a 3 story development.</p>
<p><i>Economic Development – 4.02: North Beach.</i> We require initiatives, investments, and development approvals for the North Beach area to contribute to our vision of the area as a multi-modal, mixed use entertainment and recreation district that emphasizes the pedestrian experience and preserves and enhances its key assets. These assets are views of the ocean, access to the beach, a rich inventory of historic resources, access to recreational opportunities and numerous shops and services for residents and visitors alike.</p>	<p>Consistent. A bed and breakfast provides a transitional development that blends well between the residential neighborhood west of Calle Mirador and the commercial development along El Camino Real. The project provides an overnight tourist accommodation within walking or biking distance of North Beach.</p>

Table 3 – Relevant Design Guidelines

Design Guideline	Project Consistency
<p><i>Design Guidelines II.6. Internal Site Design.</i> Provide pedestrian circulation, pedestrian amenities, and bicycle facilities in all site plan proposals.</p>	<p>Partially consistent. The site plan provides pedestrian access through the lot down to El Camino Real within short distance of service, retail, and restaurant options. Bike racks are not proposed.</p>
<p><i>Design Guidelines II.6. Internal Site Design.</i> Use planting to define outdoor spaces, soften the impact of buildings, and parking areas, screen parking and service areas from public view and create visual linkages to neighboring development.</p>	<p>Consistent. Along the Calle Mirador frontage, the project has a significant width of drive aisle on the Mirador frontage. However, decorative permeable pavers and landscaping convey a residential elevation that blends well with the residences across the street.</p>

Design Guideline	Project Consistency
<p><i>Design Guidelines III.C.1. Landscape Street Edge.</i> Provide an area of Landscaped Street Edge along all front and side street property lines. The Landscaped Street Edge should be composed of plantings, earth berms, and/or low walls. Storage yards, loading areas, parking, or similar uses should not be located in this area.</p>	<p>Consistent. The project provides an attractive street edge including landscape improvements on site and within the parkway. Permeable pavers and crisscrossed turf are used for the motor court to reduce the amount of concrete along the frontage of Calle Mirador.</p>
<p><i>Design Guidelines II.C.3.d. Building Materials, Color, and Texture:</i> white, off white, or earth tone cement plaster/stucco finishes are encouraged; windows should be wood framed or non-corrosive metal finish; awnings are encouraged; dark and reflective glass are discouraged; exposed wood structural members are encouraged. exposed wood structural members are encouraged.</p>	<p>Consistent. The project proposes red clay tile, smooth white stucco, metal finish windows, awnings, and exposed wood structural members.</p>

RECOMMENDATIONS:

To improve the project’s consistency with the Design Guidelines, staff recommends the following modifications (with visual samples provided in Attachment 2) for greater architectural quality and consistency with the Design Guidelines.:

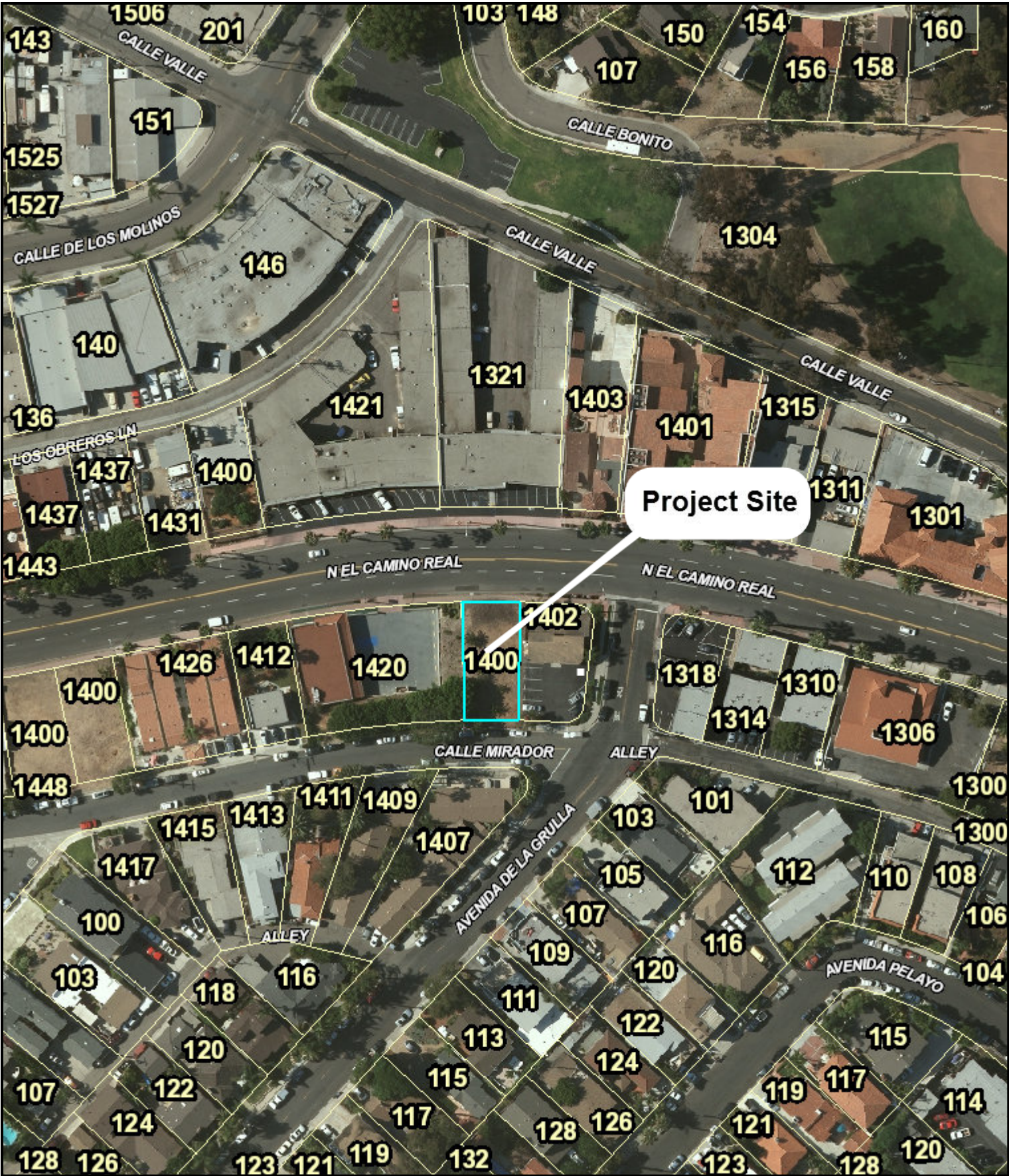
1. Utilize an arched trellis within the stucco recess on the left elevation.
2. Use larger shutters to match the size of the windows or use an alternate detail such as an awning if needed to maintain spacing on the elevations. Arched shutters would be an attractive addition on the El Camino Real elevation.
3. Identify the type of metal clad windows intended for use as well as the type of light fixtures within a sample materials sheet. The awnings are indicated as a charcoal color. Staff prefers that the awnings use one of the green accent colors from the color palette instead as colorful awnings are more typical for SCR residences.
4. If necessary, submit a Minor Exception Permit to allow the retaining wall that is supporting the driveway. The proposed retaining wall appears to exceed six feet in height. This comment was provided during the Design Management Team (DMT) review.

CONCLUSION

The project uses high quality SCR architecture and provides an attractive street scene to develop a vacant lot. Staff seeks feedback regarding the above recommendations, as well as direction on whether DRSC supports the project advancing to a Planning Commission hearing.

Attachments:

1. Location map
2. Photos of existing conditions
3. Colored Elevations
4. Plans

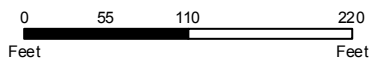


Project Site

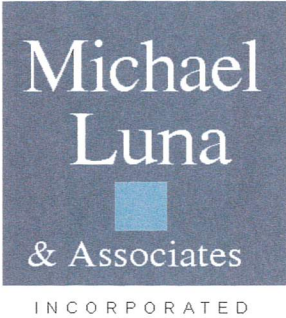


City of San Clemente

Project: North Beach Bed & Breakfast
Address: 1410 Calle Mirador



Bed & Breakfast Inn at North Beach
1400 Calle Mirador, San Clemente
PHOTO KEY MAP



INCORPORATED

1531

North

El Camino Real

Suite A

San

Clemente,

California

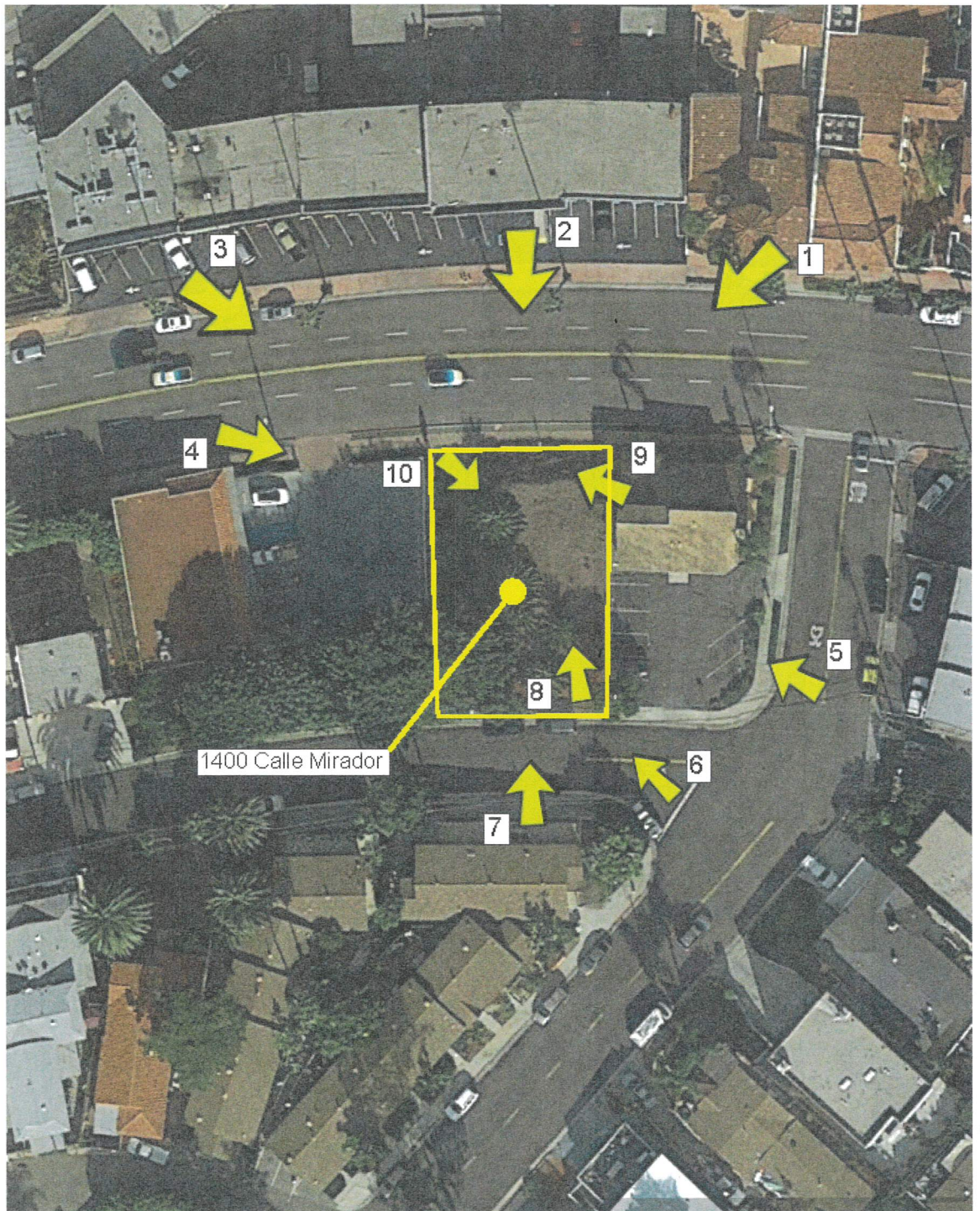
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1



2



3



4



5



6



7



8



9



10

ATTACHMENT 3



E1	7/8" EXTERIOR PLASTER OR APPROVED METAL LATH, WHITE, APPLIED W/ STEEL HAND TROWEL, SMOOTH MESSON FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULLNOSSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE), WITH NO CONTROL EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, 100# ESR-1077, AGED SOLAR RES. OF 0.42 THERMAL EMITTANCE OF 0.8, CFCR ID# 0942-0129) SHALL BE USED W/ BOOSTER TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY ROPE AND REGLINE AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SETBACK AS BRIDGERS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 4 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS
E5	METAL CLAD FRENCH DOORS PER PLAN
E10	2 x 4 BORAL TRU EXTERIOR TRIM - PAINTED
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	EXT. PLASTER or SHAPED FOAM
E17	WOOD CORBEL - PAINTED
E19	LOW BOWL, CLAY POT
E22	8 x 8 RAFTER TAILS - PAINTED
E23	GRANITE FINISH W/ WROUGHT-IRON BRACKETS (PAINTED BLACK)
E25	WOOD GATE
E30	METAL CLAD FRENCH SLIDING DOORS PER PLAN
E40	2x BORAL TRU EXTERIOR TRIM - PAINTED
E43	PRECAST CONCRETE OR GFRG FINISH
E45	8x8 WOOD POST - PAINTED
E46	DECORATIVE SOLID WROUGHT-IRON IRON BALCONETTE, PAINTED BLACK
E47	WROUGHT IRON GATE - PAINTED BLACK
E48	2 x 6 V-GROOVE T & G SIDING - PAINT TO MATCH TRIM
E49	WOOD SHAKBLE DOOR/PART TO MATCH TRIM
E50	2 x 10 BORAL TRU EXTERIOR TRIM - PAINTED
E51	STUCCO RECESS
E52	STUCCO LOW WALL W/ PLASTER CAP AND DECORATIVE, 42" HIGH, WROUGHT-IRON RAILING (PAINTED BLACK)
E53	8 X 10 WOOD TRELLIS BEAM-PAINT TO MATCH TRIM

Front Elevation (Calle Mirador)

SCALE: 1/4" = 1'-0"



Left Elevation

SCALE: 1/4" = 1'-0"

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Architect

Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title

Exterior
Elevations-
color

Stamp



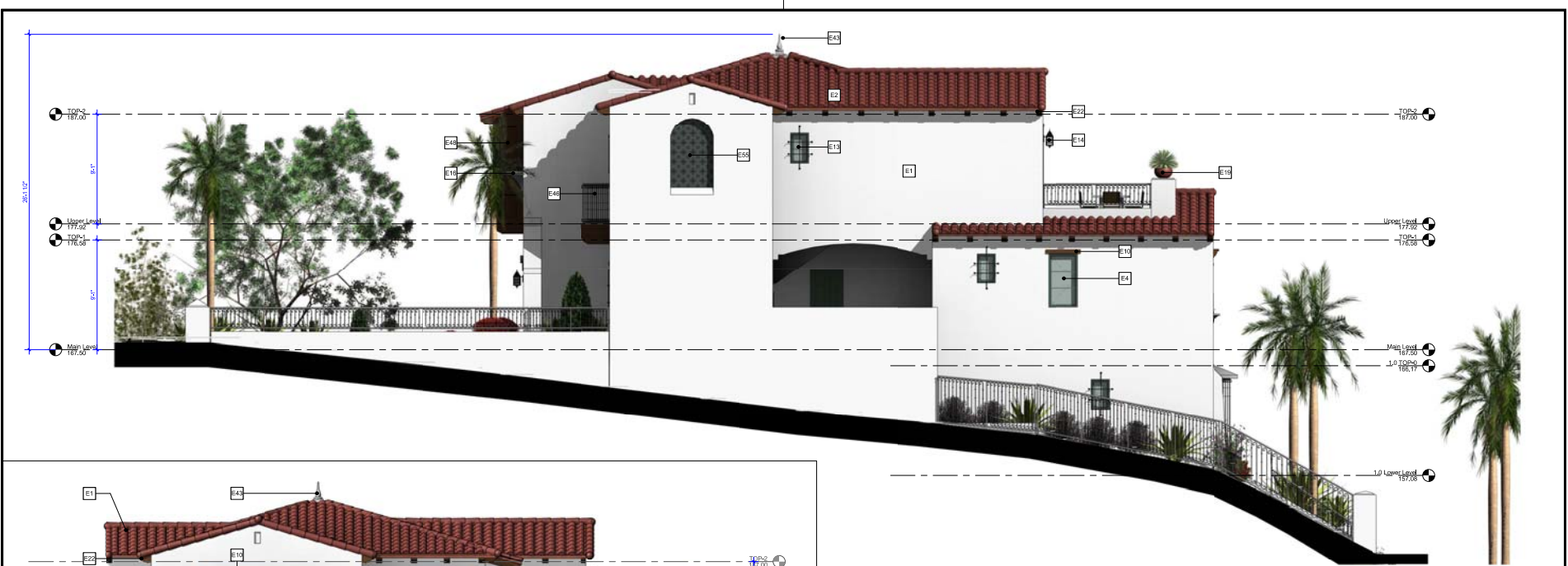
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Revision	▲

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Revision	▲
Revision	▲
Revision	▲



Right Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation (El Camino Real)

SCALE: 1/4" = 1'-0"

Keynotes

E1	1/2" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL. SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BRUSH COAT) AND BILLBOARD CORNERS AND EDGES INCLUDING ARCHWAYS (APPLIED DURING LATH), WITH NO CONTROL EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION, CLAY TILE ROOFING (US TILE BY BORAL, ICCI ESR-1017, AKA) SOLAR REF. OF 0.22. THERMAL BRITANNES OF 0.55. CRIC (OR 90424/19) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BID STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS
E5	METAL CLAD TRENCH DOORS PER PLAN
E10	2 x 4 BORAL TRU EXTERIOR TRIM - PAINTED
E12	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	EXT. PLASTER w/ SHAPED FOAM
E18	DECORATIVE 1/2" BAW, GFRC COLUMN w/ SQ. BASE AND CAP
E22	6 x 8 RAFTER TAILS - PAINTED
E27	6x8 WOOD RAFTER BEAM - PAINTED
E28	COMPOSITE WOOD SHUTTERS
E41	CLAY TILE SHELF w/ CATALINA TILE FINISH AT ALL SIDES
E43	PRECAST CONCRETE OR GFRC FINIA
E46	6x8 WOOD POST, PAINTED
E48	DECORATIVE SOLID WROUGHT-IRON BALCONETTE, PAINTED BLACK
E49	2" x 6" XIGROOVE T & C SIDING - PAINT TO MATCH TRIM
E51	STUCCO RECESS
E52	STUCCO LOW WALL, w/ PLASTER CAP AND DECORATIVE, 42" HIGH, WROUGHT-IRON RAILING (PAINTED BLACK)
E53	8" x 10 WOOD TRELIS BEAM - PAINT TO MATCH TRIM
E55	STUCCO RECESS w/ CATALINA TILE FINISH



BED & BREAKFAST INN AT NORTH BEACH

1400 Calle Mirador
San Clemente, CA

Planning Resubmittal 02/12/19

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Architect
Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title

Title Sheet

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Project No.	1811
Plan Date	02/12/19
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Revision	▲
Revision	▲

T.1

Sheet No.

PROJECT DIRECTORY

Owner:

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SAN CLEMENTE, CA 92672
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EMAIL: ericsprink@yahoo.com

Legal Description:

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LOT: 12
BLOCK: 1
APN: 693-363-08

Job Address:

1400 CALLE MIRADOR
SAN CLEMENTE, CA 92672

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SHEET INDEX

T.1 TITLE SHEET, PROJECT DIRECTORY, CODE DATA, TABULATIONS

Civil

C.1 TOPOGRAPHIC SURVEY
C.2 PRELIMINARY GRADING PLAN

Architectural

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A2.0 LOWER LEVEL FLOOR PLAN
A2.1 MAIN LEVEL FLOOR PLAN
A2.2 UPPER LEVEL FLOOR PLAN
A2.3 AREA ANALYSIS
A2.4 ROOF PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 3D VIEWS
A4.0 SECTIONS
A4.1 DETAILS

Landscape

L-1 PRELIMINARY LANDSCAPE PLAN

Scope of Work

CONSTRUCTION OF A NEW 3 BEDROOM
BED & BREAKFAST INN WITH 2-BEDROOM OWNER'S UNIT
ABOVE.

Parking

3 bed and breakfast units @ 1 space per unit
Spaces Provided: = 3 spaces @ main level
Owner's unit @ 2 spaces
Spaces Provided: = 2 spaces @ Owner's garage
Total Spaces Required: 5 Spaces
Total Spaces Provided: 5 Spaces

PROJECT SUMMARY TABLE

Zoning Standards			
DESCRIPTION	ALLOWED	PROPOSED	CONFORMS
ZONE		NC2-CZ	YES
LOT AREA		4,740 S.F.	
LOT WIDTH		47'-4" AVG.	
LOT DEPTH		100'	
MAX BLDG. HT.	33' T.O.R.	32.71'	YES
	26' top of plate	19'-6"	YES
SETBACKS (MIN.)			
FRONT TO PRIMARY STRUCTURE	0'	29'-5"	YES
LEFT SIDEYARD	0'	0'-2"	YES
RIGHT SIDEYARD	0'	0'-1"	YES
REAR	0'	11'-8"	YES
LOT COVERAGE (MAX)	60%	44% (2091 S.F.)	YES
FLOOR AREA RATIO	.5	.494 (2,343 S.F.)	YES
LANDSCAPE COVERAGE	10% (470 S.F.)	17.5% (828 S.F.)	YES

Project Data

	PROPOSED NEW AREA
LIVING AREA:	
B & B (LOWER LEVEL)	362 S.F.
B & B (MAIN LEVEL)	866 S.F.
OWNER'S UNIT (UPPER LEVEL)	1,115 S.F.
TOTAL LIVING AREA:	2,343 S.F.
GARAGE:	
OWNER'S GARAGE:	414 S.F.
GUEST GARAGE:	245 S.F.
TOTAL GARAGE AREA:	659 S.F.
DECK AREA:	
B&B DECK (LOWER LEVEL)	218 S.F.
B&B DECKS (MAIN LEVEL)	188 S.F.
OWNER'S UNIT DECK (UPPER LEVEL)	424 S.F.
TOTAL DECK AREA:	830 S.F.

CODE DATA

Occupancy Group:

R-3, U

Zoning Designation:

NC 2 (CZ)

Type of Construction:

TYPE VB, FIRE SPRINKLERED*

Number of Stories:

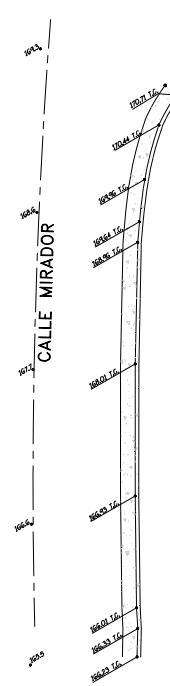
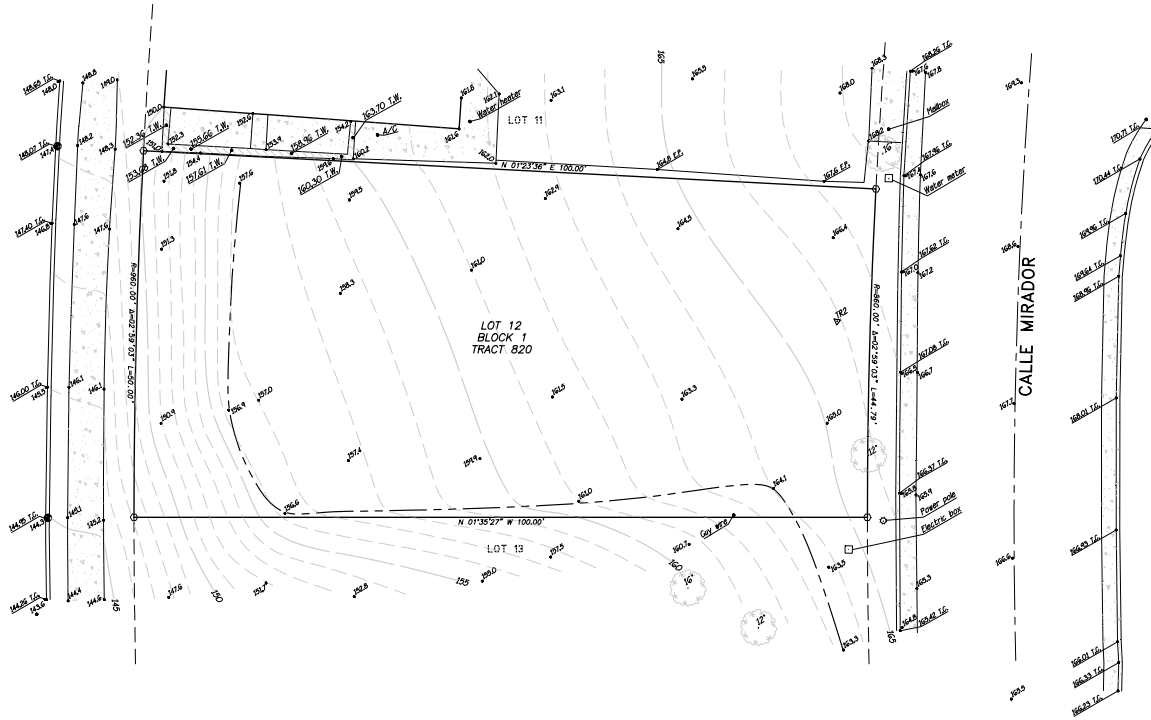
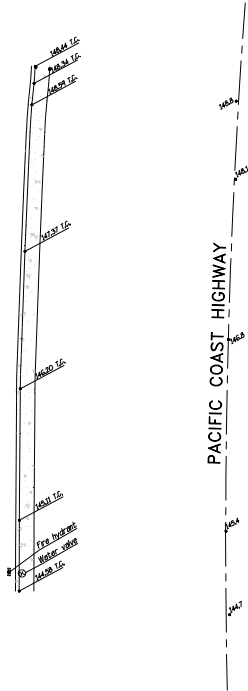
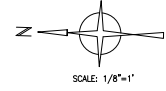
TWO STORIES IN A STEPPED BUILDING CONFIGURATION

Code Information:

2016 CRC - BASED ON 2015 IRC
2016 CBC - BASED ON 2015 IBC
2016 CEC - BASED ON THE 2008 NATIONAL ELECTRICAL CODE (NEC)
2016 CPC - BASED ON THE 2015 UPC
2016 CAC - BASED ON THE 2015 UMC
2016 CAL ENERGY CODE
2016 CRC - BASED ON 2009 IRC
2016 CAL GREEN BLDG. STDS. CODE

Vicinity Map





EASEMENT NOTE:
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.
UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

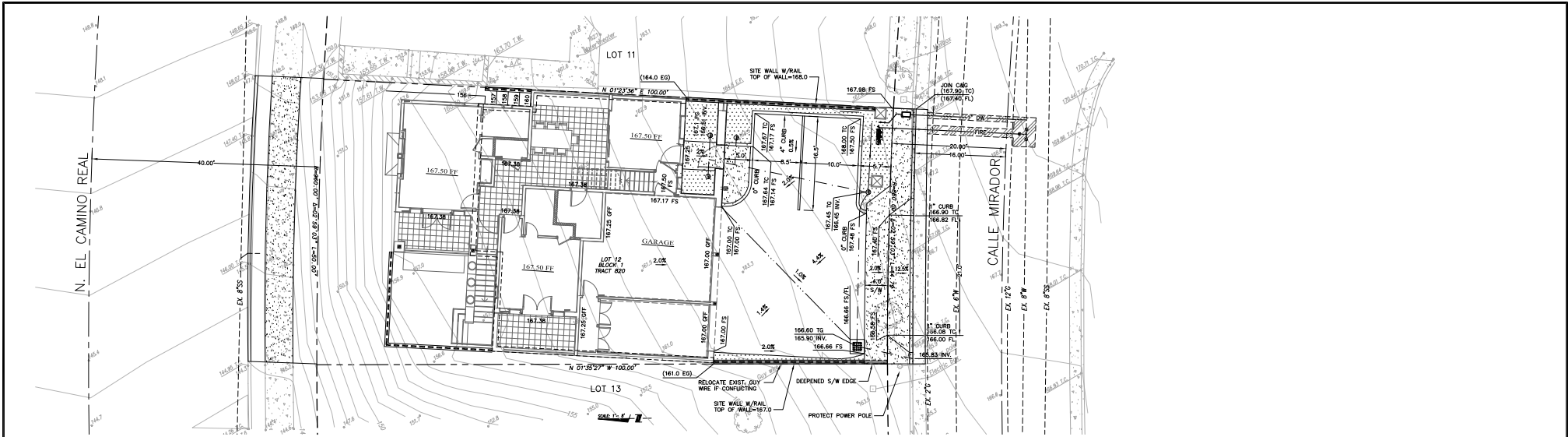
BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN
ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION
OF A BOUNDARY SURVEY.

TOPOGRAPHIC SURVEY
LOT 11, LOT 12, LOT 13
BLOCK 1 TRACT 820
SAN CLEMENTE, CALIFORNIA

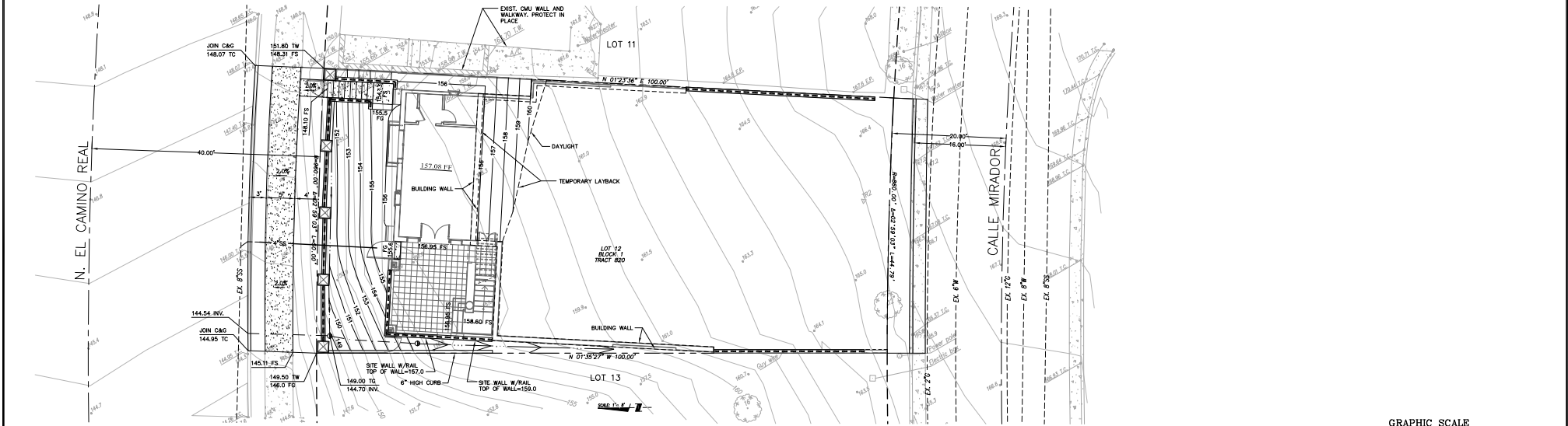
PREPARED FOR MR. ERIC SPINK

DATE	BY	APPD.	DATE	BY	APPD.
10-13-06					
10-10-06					
10-10-06					
10-10-06					

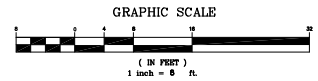
TOTAL ENGINEERING, INC.
Civil Engineers and Surveyors
139 Avenida de la Playa, Suite 200
San Clemente, CA 92672
Ph: 949-492-8586 Fax: 949-498-8625



MAIN LEVEL PLAN



LOWER LEVEL PLAN



REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

REVISIONS

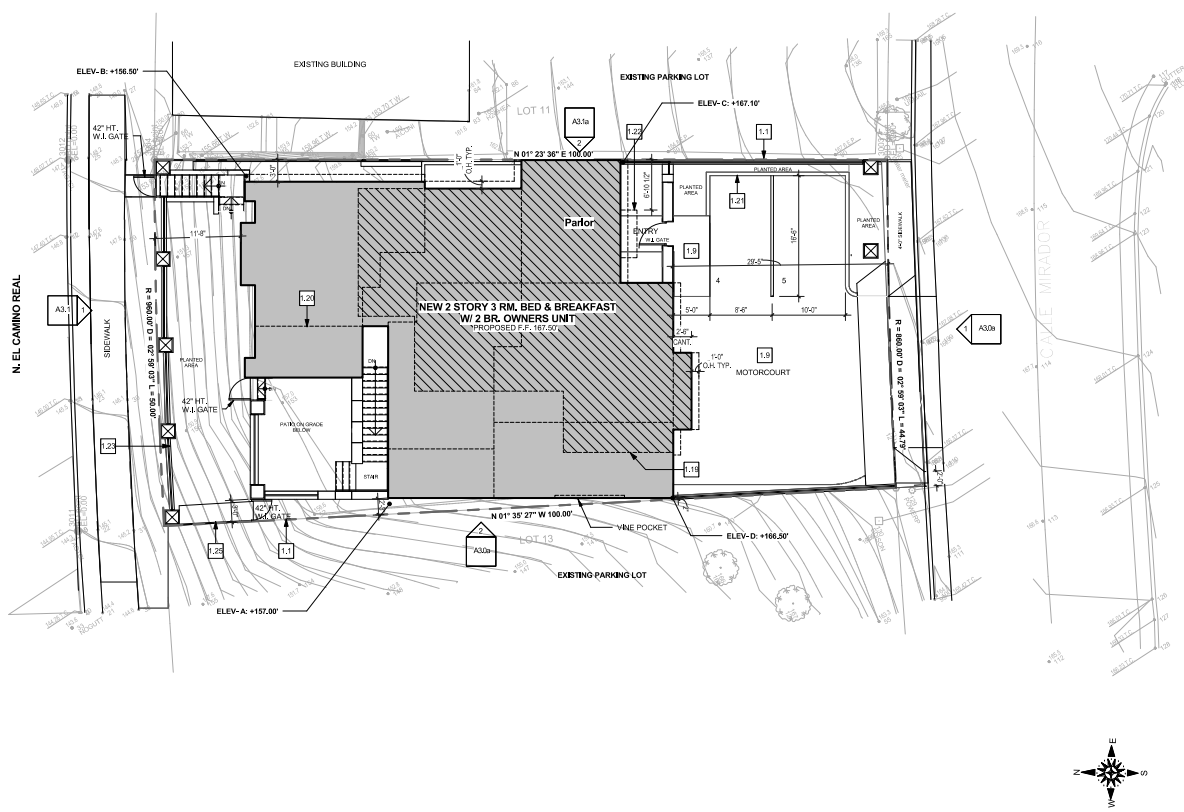
PLANS PREPARED BY:



SCALE:	DESIGNED:	DRAWN:	CHECKED:
AS NOTED	BM	BM	BM
ACAD FILE NO.			
PROJECT NO.			
	DESIGNER:		DATE:
	SHAWN S. MILANI		R.C.E. 65349
	ENGINEER OF WORK		EXP. 9-30-19

CITY OF SAN CLEMENTE
PRELIMINARY GRADING PLAN
BED AND BREAKFAST
1400 CALLE MIRADOR • SAN CLEMENTE, CA. 92672
LOT NO. 12, BLOCK 1, TRACT 820 (M.M. 24/42-43)
(APN: 692-362-08)

SHEET
1
OF
1



1.1	PROPERTY LINE - TYPICAL
1.9	NEW LANDSCAPE, REFER TO LANDSCAPE PLAN
1.19	LINE OF SECOND FLOOR ABOVE (OWNER'S UNIT)
1.20	LINE OF MAIN FLOOR
1.21	5' CURB
1.22	LINE OF BALCONETTE ABOVE
1.23	4" RETAINING WALL W/ 7/8" EXT. PLASTER FINISH @ APPROVED METAL LATH W/ PLASTER CAS. PAINT TO WHITE TO MATCH BLDG.
1.25	42" HT. WROUGHT IRON FENCE

Keynotes

1. ALL CONTOURS SHOWN INDICATE EXISTING GRADES.
2. HOUSE ADDRESS IS TO BE LOCATED SO THAT THE NUMBER IS VISIBLE AND LEGIBLE FROM THE STREET.
3. FINISH FLOOR ELEVATIONS ARE FOR BUILDING DEPARTMENT REFERENCE ONLY. REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ALL FINISH FLOOR ELEVATIONS.
4. FOOTING AT TREE LOCATIONS MUST BE BOARD FORMED TO ELIMINATE BOULDER OVER AND ALL EXTRANEOUS CONCRETE MUST BE REMOVED FROM THE SITE.
5. THESE PLANS AND THE OWNER SHALL COMPLY WITH ALL ORANGE COUNTY FIRE AUTHORITY COMMUNITY SAFETY AND EDUCATION BUREAU GUIDELINES FOR FUEL MODIFICATION PLANS AND MAINTENANCE.
6. REFER TO THE LANDSCAPE DRAWING FOR ALL GATES, GUARDRAILS, AND HANDRAILS.
7. ALL DOWNSPOUT (D.S.) LOCATIONS TO BE VERIFIED WITH EXTERIOR ELEVATIONS. ELEVATIONS TAKE PRECEDENT.
8. ALL ROOF AND REAR DRAINS SHALL CONNECT TO UNDERGROUND STORM DRAIN SYSTEM.
9. AUTOMATIC FIREPROOFING SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE CONTROLLED THAT ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER CONDITIONS.
10. FINISHED GRADE AROUND NEW STRUCTURE SHALL BE 1% SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN THE EASEMENTS.

SIGNATURE OF OWNER OR AUTHORIZED AGENT _____



SCALE: 1/8" = 1'-0"

Site Plan

Site Notes

OCCUPANCY CLASSIFICATION:

R-3, RESIDENTIAL

TYPE OF CONSTRUCTION:

TYPE VB W/ S13R SPRINKLERS

GRADE PLAN CALCULATION:

AVERAGE GRADE ELEVATION AT EACH EXTERIOR WALL:

NORTH: $(157.00' + 156.50') / 2 = 156.75'$
 EAST: $(156.50' + 167.10') / 2 = 161.80'$
 SOUTH: $(167.10' + 166.50') / 2 = 166.80'$
 WEST: $(166.50' + 157.00') / 2 = 161.75'$

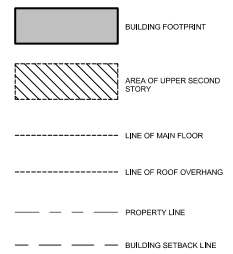
GRADE PLANE ELEV.: $647.10' / 4 = 161.78'$
 (SEE 2/ A4.0 FOR LINE OF GRADE PLANE)

BUILDING HEIGHTS AND AREAS:
 (PER TABLES 504.3 & 504.4)

ALLOWABLE BLDG. AREA: UL (UNLIMITED)
 ACTUAL BLDG. AREA: 2,370 SF

ALLOWABLE BLDG. HEIGHT: 4 STORIES/ 60' MAX.
 (ABV. GRADE PLANE)

ACTUAL BLDG. HEIGHT: 2 STORIES/ 32.71'
 (ABV. GRADE PLANE)



Code Data

Legend

Michael Luna & Associates
 1811 North El Camino Real, Suite A
 San Clemente, California 92673
 Phone: (949) 494-0201 Fax: (949) 494-0248
Architect
 Project

Planning Review

Bed & Breakfast Inn at North Beach

1400 Calle Mirador
 San Clemente, CA

Sheet Title

Site Plan



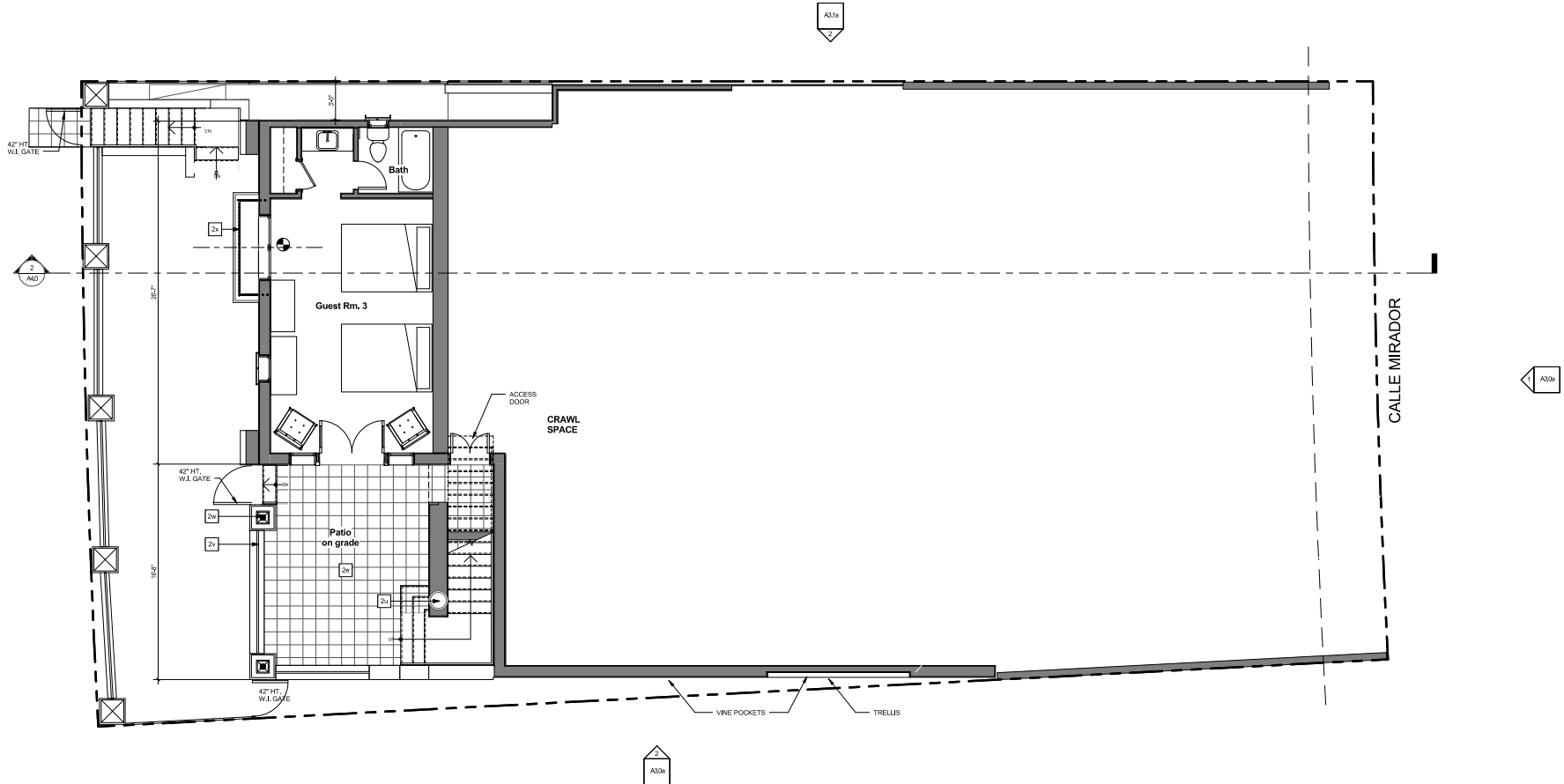
Project No.	1811
Plan Date	2.6.19
R.D. Submitted	
Blot Issue	
Cont. Issue	
Revision	
Revision	
Revision	

A1.0

Sheet No.



Project No.	1811
Plot Date	2.6.19
B.D. Submittal	
Bid Issue	
Contract Issue	
Revision	▲
Revision	▲
Revision	▲



Lower Level Floor Plan

SCALE: 1/4" = 1'-0"

2x	1 1/2" SQ. TERRA COTTA TILE PAVERS MUGSET w/ CONC. SLAB - SLOPE AWAY FROM BUILDING @ MIN. 1/8" PER FOOT
2x	LOW BOWL CLAY POT
2x	STUCCO LOW WALL w/ DECORATIVE, 42" HIGH, WROUGHT-IRON PAILING (PAINTED BLACK)
2x	EXTERIOR LIGHT - BLACK
2x	HINGED DECORATIVE WROUGHT IRON GRILL w/ QUICK RELEASE LATCH (PAINTED BLACK)

NEW WALL TO BE CONSTRUCTED

NEW 1-HOUR RATED WALL TO BE CONSTRUCTED

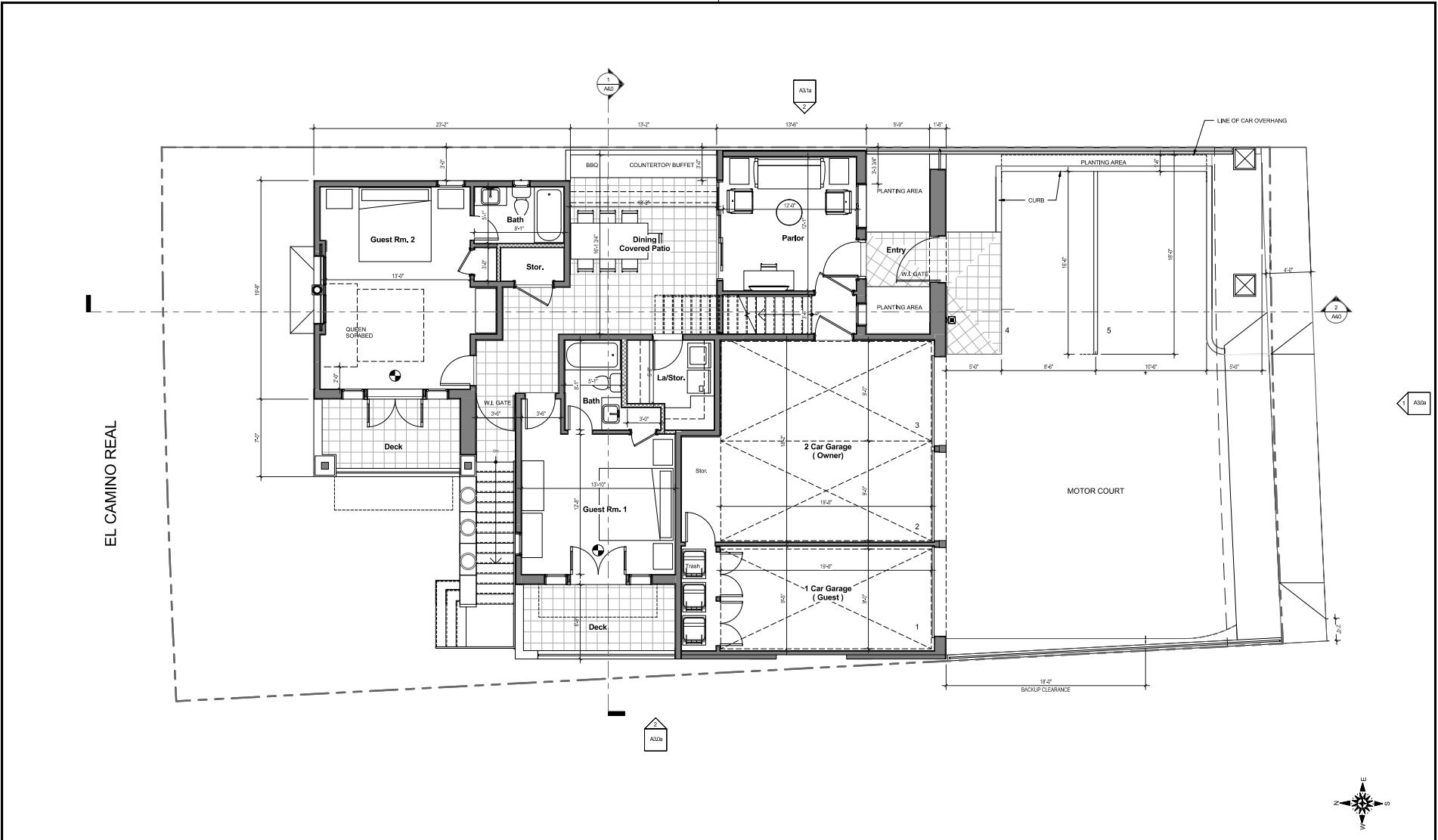
INDICATES EMERGENCY EGRESS WINDOW DOOR

Keynotes

Wall Legend & Notes



Project No.	1811
Plot Date	2.6.19
I.D. Submit	
Bid Issue	
Contract	
Revision	
Revision	
Revision	
Revision	



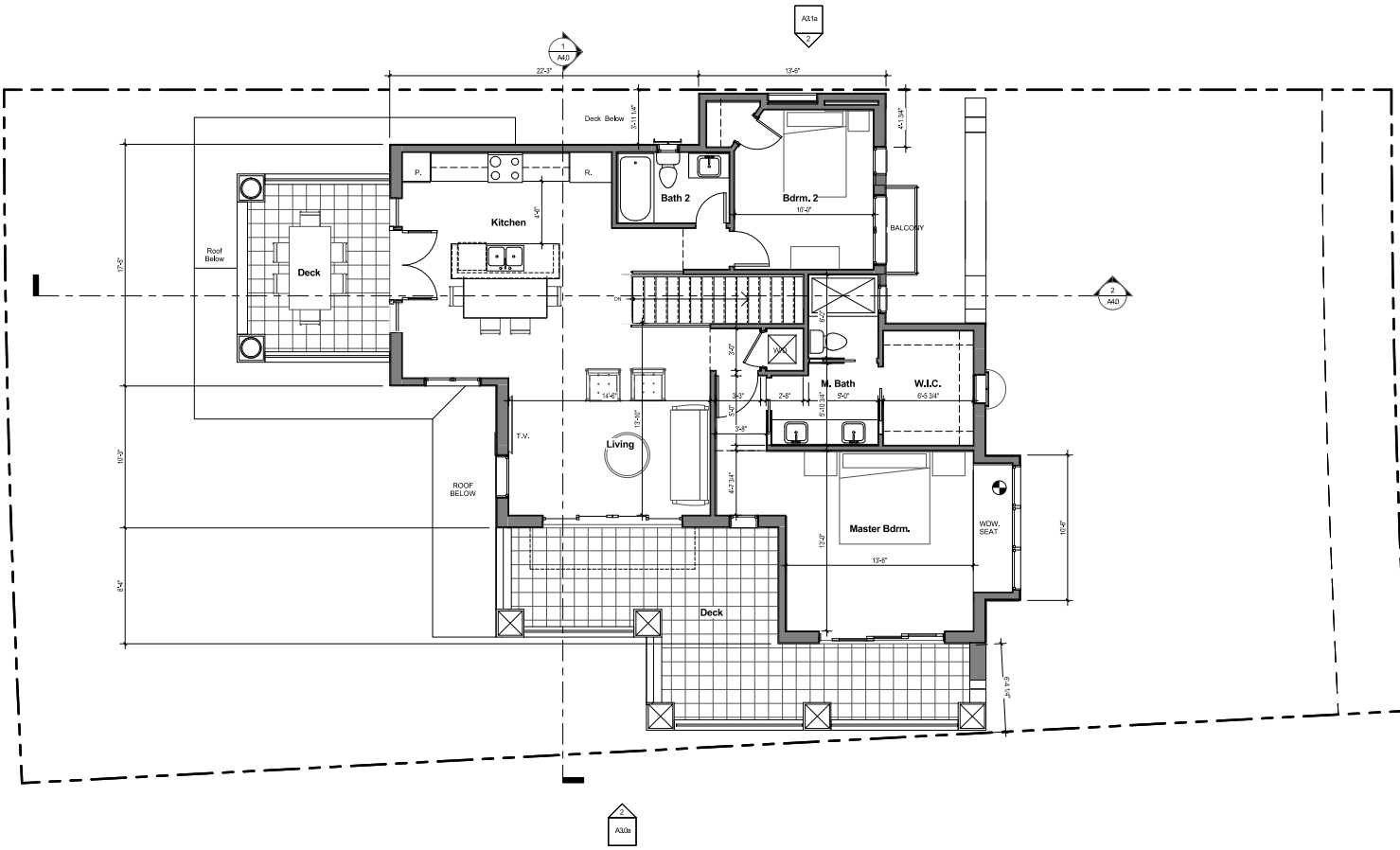
Main Level Floor Plan

SCALE: 1/4" = 1'-0"

- NEW WALL TO BE CONSTRUCTED
- NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
- INDICATES EMERGENCY EGRESS WINDOW/ DOOR

Keynotes

Wall Legend & Notes






Upper Level Floor Plan

SCALE: 1/4" = 1'-0"

Keynotes

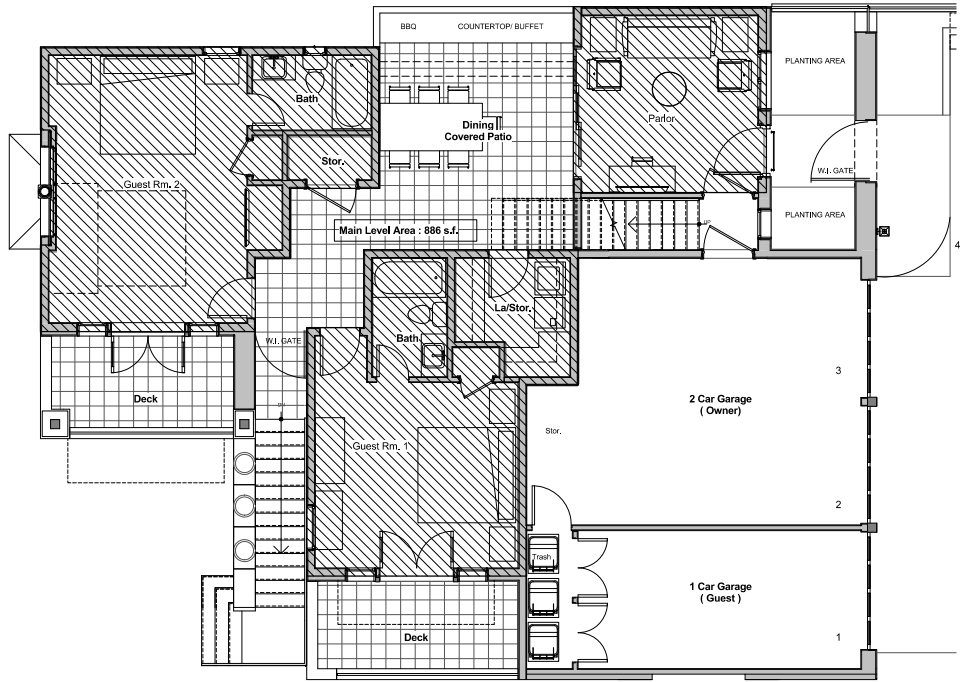
Wall Legend & Notes

-  NEW WALL TO BE CONSTRUCTED
-  NEW 1-HOUR RATED WALL TO BE CONSTRUCTED
-  INDICATES EMERGENCY EGRESS WINDOW DOOR

Project No.	1811
Plot Date	02/12/19
B.D. Submitted	
Bid Issue	
Contract Issue	
Revision	
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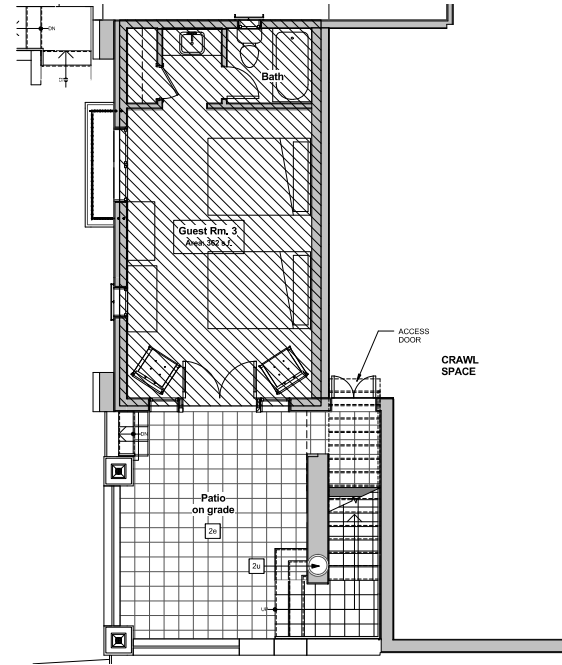
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Sheet No.



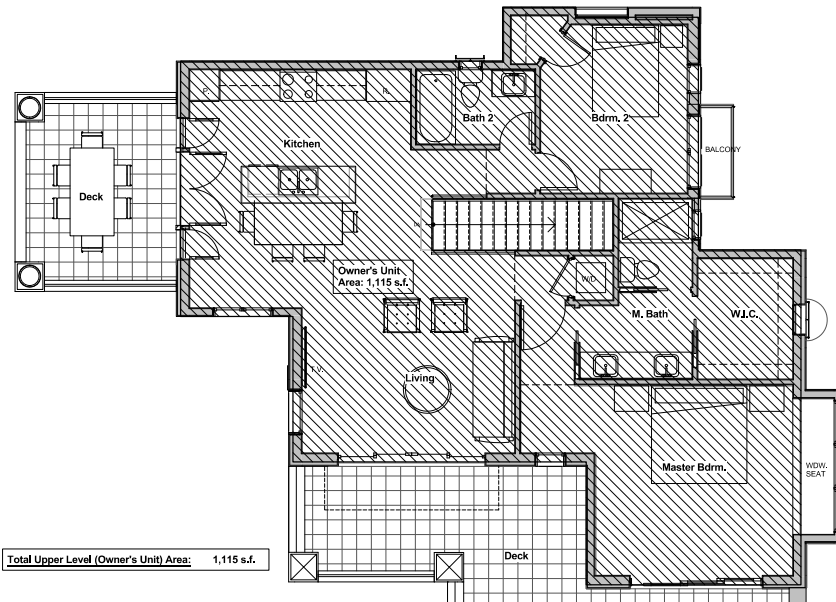
Total Main Level Area: 886 s.f.

Main Level Area Analysis



Total Lower Level Area: 362 s.f.

Lower Level Area Analysis



Total Upper Level (Owner's Unit) Area: 1,115 s.f.

Upper Level (Owner's Unit) Area Analysis



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Architect
Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title:

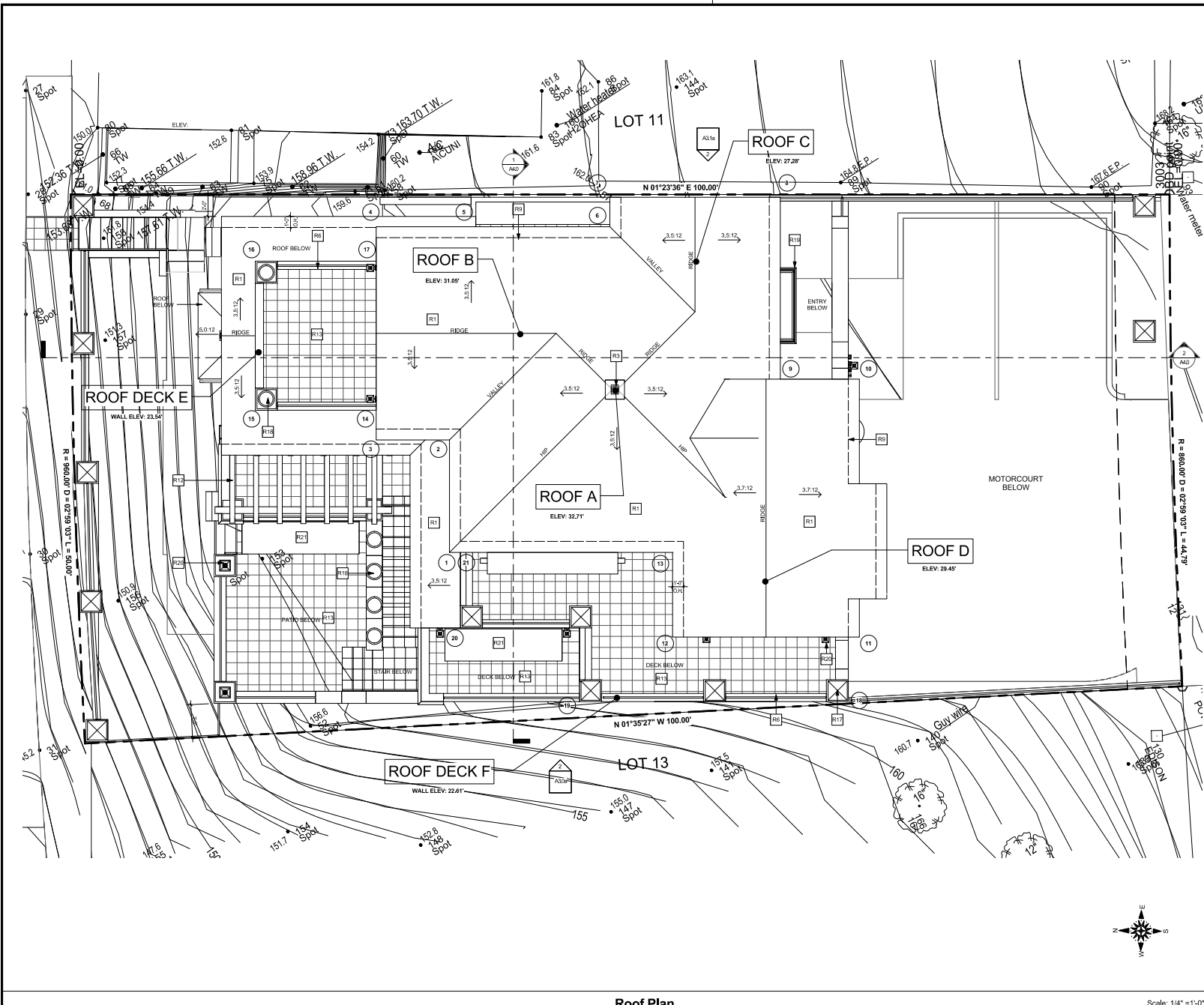
Area
Analysis

Stamp

Project No.	1811
Per Date	01/14/19
S.D. Submit	
Bid Issue	
Cont. Issue	
Revision	▲
Revision	▲
Revision	▲

A2.3

Sheet No.



R1 RED, TWO-PIECE MEXICAN CLAY TILE ROOFING US TILE BY BROWNS 1068 EPSA-1017 ADDED SOLAR REF. OF 0.68 THERMAL EMISSIVANCE OF 0.88. CSPIC FOR 0424-1291 SHALL BE USED W/ BRONZE TILES ON THE EDGES AND RIDGES W/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS GRID STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 1/4 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.

R2 PRECAST CONCRETE OR GFRG FINAL

R3 STUCCO LOW WALL W/ PLASTER CAP AND DECORATIVE, 42" HIGH, WROUGHT-IRON BALCONY (PAINTED BLACK)

R4 LINE OF WALL BELOW

R5 LINE OF WALL BELOW

R6 WOOD TRUSS BELOW - PAINTED

R7 1/2" TERZO TERRAZZO TILE PAVERS MUDSET OR "DECK-TEK" WEATHERWEAR WATERPROOF DECK SYSTEM (E826-1759) - SCUPERS TO DRAIN, SCUPERS OR AWAY FROM BUILDING @ MIN. 14" PER FOOT

R8 STUCCO GLEASTER CAP - PAINT TO MATCH BUILDING

R9 LOW BOWL CLAY POT

R10 DECORATIVE SOLID WROUGHT-IRON BALCONETTE, PAINTED BLACK

R11 EXTERIOR LIGHT - BLACK

R12 CANVAS AWNING W/ WROUGHT-IRON BRACKETS (PAINTED BLACK)

Keynotes

PROPOSED F.F. = 167.50 MAX ROOF HGT: 33'-0"

Roof Area	1	5	8	13
Roof Height	193.06	193.66	193.66	193.66
Original Grade	158.40	160.30	164.10	161.00
	35.26'	33.36'	29.56'	32.86'
130.84' W x 32.71'				
Roof B	2	3	4	6
Roof Height	190.75	190.75	190.75	190.75
Original Grade	159.00	158.30	159.50	162.00
	31.75'	32.45'	31.25'	28.75'
124.20' W x 31.85'				
Roof C	7	9	10	11
Roof Height	190.28	190.08	190.08	190.08
Original Grade	162.00	162.10	164.10	163.00
	28.08'	27.98'	25.98'	27.08'
109.12' W x 27.28'				
Roof D	14	15	16	17
Roof Height	191.25	191.25	191.25	191.25
Original Grade	163.40	162.30	160.50	161.00
	27.85'	28.95'	30.75'	30.25'
117.80' W x 29.45'				
Roof Deck E	18	19	20	21
Roof Deck	181.66	181.66	181.66	181.66
Original Grade	158.20	157.40	157.70	159.20
	23.46'	24.26'	23.96'	22.46'
94.14' W x 23.54'				
Roof Deck F	12	13	14	15
Roof Deck	181.91	181.91	181.91	181.91
Original Grade	161.10	156.10	158.30	158.70
	20.81'	22.81'	23.61'	23.21'
96.44' W x 22.61'				

Roof Height Analysis

ALL RIDGES, RIPS AND VALLEYS SHALL BE FINISHED TO MATCH CORNER FINISHES. CORNER FINISHES UNDER RUPS, EAVE AND NOTCH WALLS, CORNER FINISHES SHALL EXTEND UP 30" FROM FINISH GRADE TO 48" ABOVE FINISH GRADE. CORNER FINISHES SHALL BE FINISHED TO MATCH CORNER FINISHES. CORNER FINISHES SHALL BE FINISHED TO MATCH CORNER FINISHES.

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Architect

Project: **Planning Review**

Bed & Breakfast Inn at North Beach

1400 Calle Mirador San Clemente, CA

Sheet Title: **Roof Plan**

Scale: 1/4" = 1'-0"

A2.4

Project No.: 1811
 RFX Date: 2.6.19
 S.D. Submittal: _____
 Bid/Issue: _____
 Conc. Issue: _____
 Revision: _____
 Revision: _____
 Revision: _____

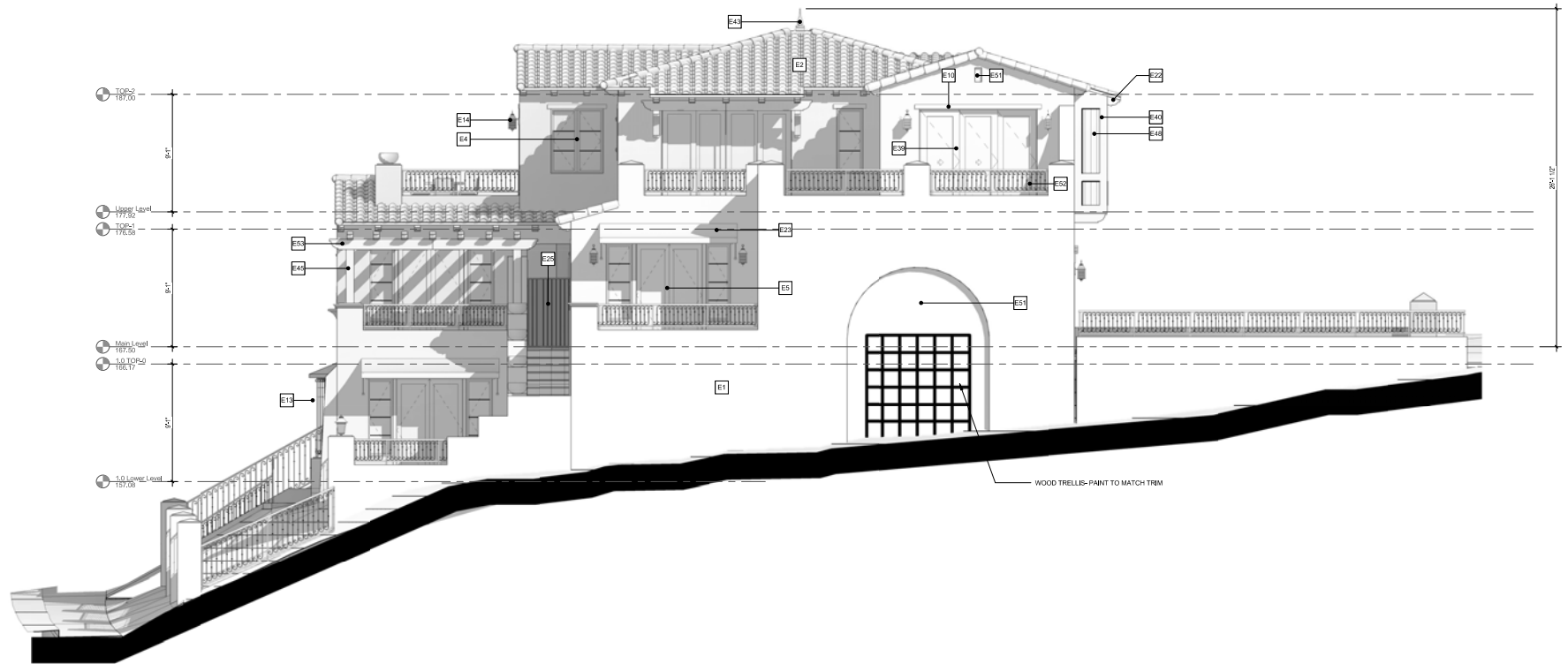


Front Elevation (Calle Mirador)

SCALE: 1/4" = 1'-0"

E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND TROWEL, SMOOTH MISSION FINISH AND SLIGHT UNGLAZIERS (APPLIED DURING BROWN COAT) AND BULL-NOSE CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATH), WITH NO CONTROL-EXPANSION JOINTS
E2	RED, TWO-PIECE MISSION CLAY TILE ROOFING (US TILE BY BORAL, ICC# ESR-4017, AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CRIC ID# 1940-0729) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND ROOFLINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BID STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 4 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS
E5	METAL CLAD FRENCH DOORS PER PLAN
E10	2 x 4 BORAL TRU-EXTERIOR TRIM - PAINTED
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	EXT. PLASTER w/ SHAPED FOAM
E17	WOOD CORNELL - PAINTED
E19	LOW BOWL CLAY POT
E22	8 x 8 RAFTER TAILS - PAINTED
E23	CANVAS AWNING w/ WROUGHT-IRON BRACKETS (PAINTED BLACK)
E25	WOOD GATE
E39	METAL CLAD FRENCH SLIDING DOORS PER PLAN
E40	2x BORAL TRU-EXTERIOR TRIM - PAINTED
E43	PRECAST CONCRETE OR GFCR FINISH
E45	4x4 WOOD POST - PAINTED
E46	DECORATIVE SOLID WROUGHT-IRON IRON BALCONETTE, PAINTED BLACK
E47	WROUGHT IRON GATE - PAINTED BLACK
E48	2 X 8 V-GROOVE T & G SIBING - PAINT TO MATCH TRIM
E49	WOOD GARAGE DOOR - PAINT TO MATCH TRIM
E50	2 x 10 BORAL TRU-EXTERIOR TRIM - PAINTED
E51	STUCCO RECESS
E52	STUCCO LOW WALL w/ PLASTER CAP AND DECORATIVE, 42" HIGH, WROUGHT-IRON RAILING (PAINTED BLACK)
E53	8 X 10 WOOD TRELLIS BEAM - PAINT TO MATCH TRIM

Keynotes



Left Elevation

SCALE: 1/4" = 1'-0"

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Architect
Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title

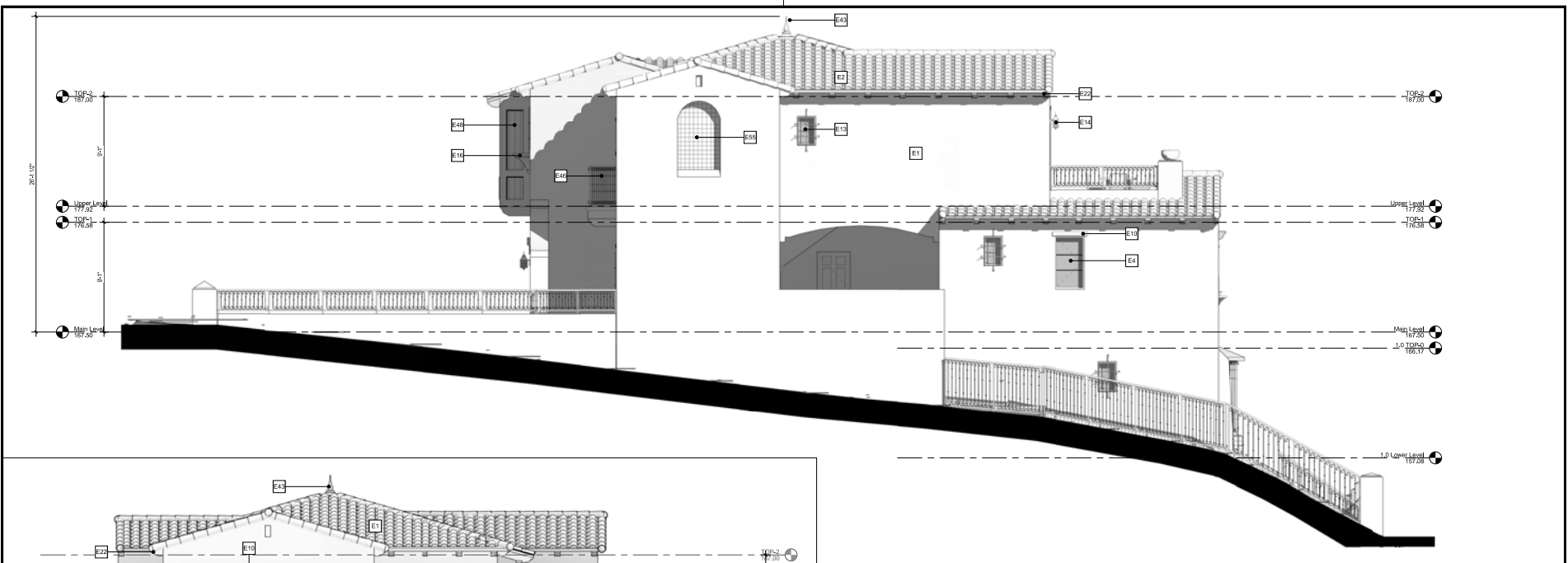
Exterior
Elevations

Stamp

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Rev. Date	11/29/18
R.D. Submitted	
Bid Issue	
Cont. Issue	
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Revision	▲
Revision	▲

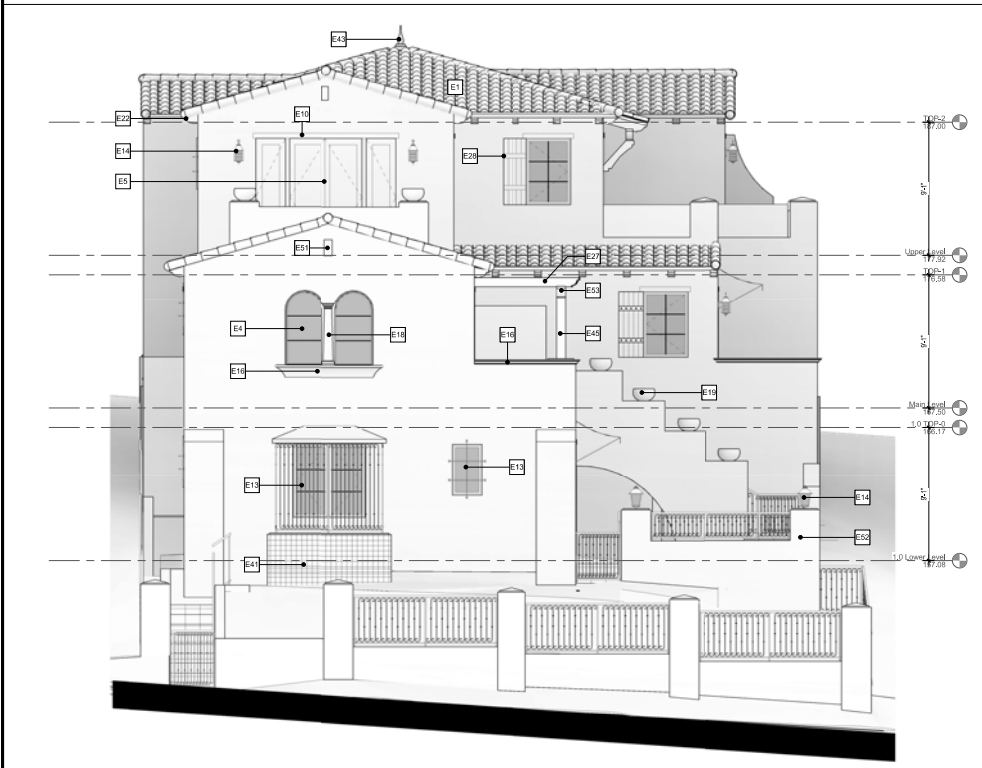
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Sheet No.



Right Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation (El Camino Real)

SCALE: 1/4" = 1'-0"

E1	7/8" EXTERIOR PLASTER w/ APPROVED METAL LATH, WHITE, APPLIED w/ STEEL HAND THROW, SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND ROUNDED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATH), WITH NO CONTROL/EXPANSION JOINTS
E2	RED TRIFURCATE MISSION CLAY TILE ROOFING (USE TILE BY SERIAL #G15R1017), AGED SOLAR REF. OF 0.42, THERMAL EMITTANCE OF 0.85, CIRC ID# 0M240120) SHALL BE USED w/ BOOSTER TILES ON THE EDGES AND RIDGES w/ RANDOM MORTAR PACKING, THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGELINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE.
E4	METAL CLAD WINDOWS PER PLAN, DIVIDED LITES PER ELEVATIONS
E5	METAL CLAD FRENCH DOORS PER PLAN
E10	2 x 4 BORAL TRU EXTERIOR TRIM - PAINTED
E13	DECORATIVE WROUGHT IRON GRILL (PAINTED BLACK)
E14	EXTERIOR LIGHT
E16	EXT. PLASTER w/ SHAPED FOAM
E18	DECORATIVE 10" DIA. CIRC COLUMN w/ SQ. BASE AND CAP
E19	LOW BOWL CLAY POT
E22	6 x 8 RAFTER TAILS - PAINTED
E27	6x6 WOOD RAFTER BEAM - PAINTED
E28	COMPOSITE WOOD SHUTTERS
E41	CLAY TILE SHELVE w/ CATALINA TILE FINISH AT ALL SIDES
E43	PRECAST CONCRETE OR GRC FINISH
E45	6x8 WOOD POST - PAINTED
E48	DECORATIVE SCREW THROUGH IRON IRON BALCONE TTS, PAINTED BLACK
E49	2 x 4 V-GROOVE T & G BEAMS - PAINT TO MATCH TRIM
E51	STUCCO RECESS
E52	STUCCO LOW WALL w/ PLASTER CAP AND DECORATIVE, 42" HIGH, WROUGHT-IRON RAILING (PAINTED BLACK)
E53	8 X 10 WOOD TRELIS BEAM- PAINT TO MATCH TRIM
E55	STUCCO RECESS w/ CATALINA TILE FINISH

Keynotes

Michael
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&
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Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title

3D Views

Stamp

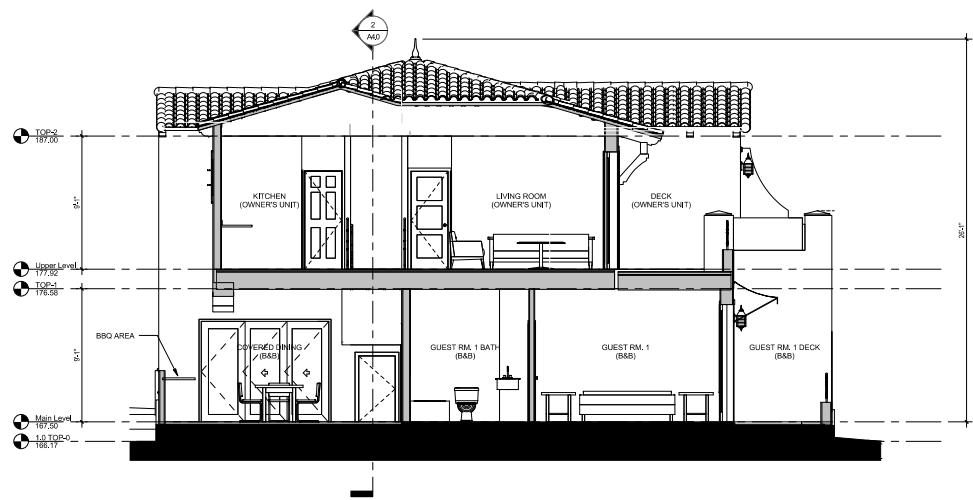


Project No.	1811
Plot Date	02/21/19
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Bid Issue	
Const. Issue	
Revision	▲
Revision	▲
Revision	▲
Revision	▲

A3.2

Sheet No.

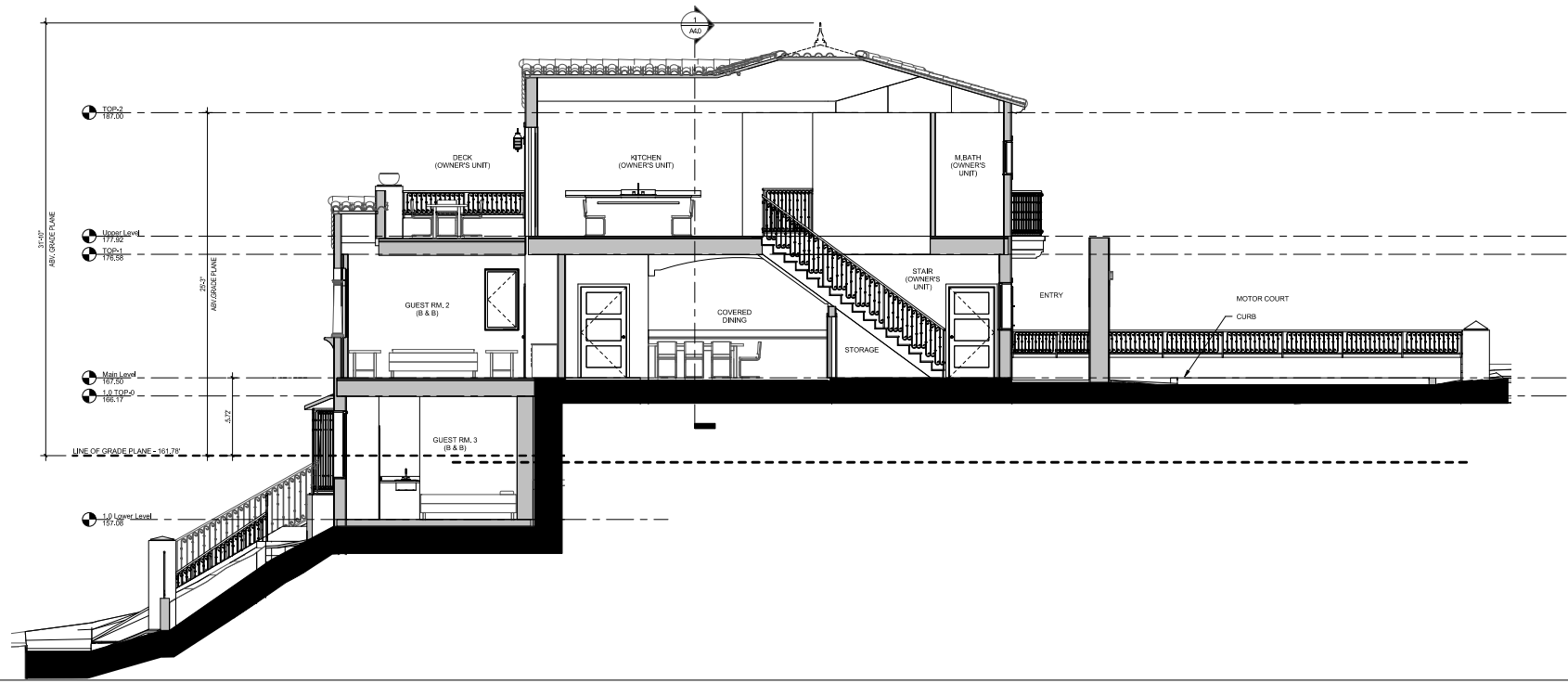




Section 1

SCALE: 1/4" = 1'-0"

1



Section 2

SCALE: 1/4" = 1'-0"

2

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Architect
Project

Planning Review

Bed &
Breakfast
Inn at North
Beach

1400 Calle Mirador
San Clemente, CA

Sheet Title

Building
Sections

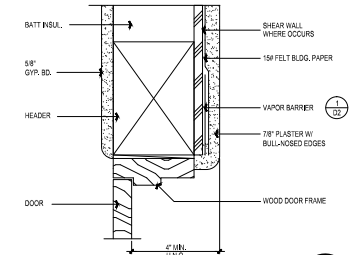
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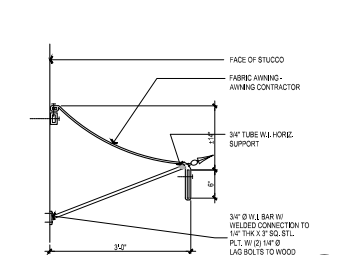
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Pkt Date	2.6.19
S.D. Submitted	
Bld Issue	
Cont. Issue	
Revision	▲
Revision	▲
Revision	▲

A4.0

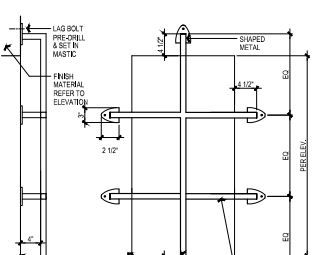
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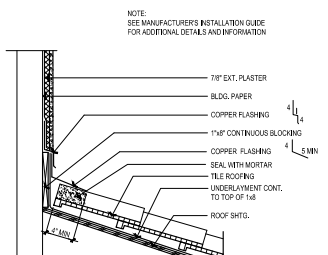
DOOR HEAD/JAMB @ EXT. 15
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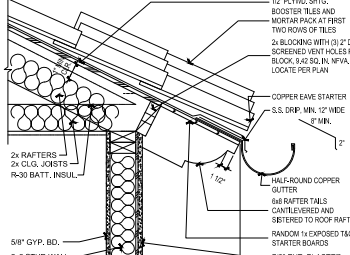
AWNING 13
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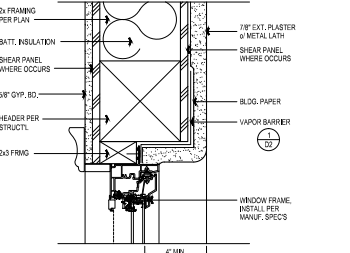
METAL GRILL 9
SCALE: 3/4"=1'-0"



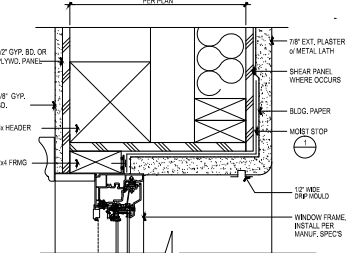
ROOF TO WALL 5
SCALE: 1/2"=1'-0"



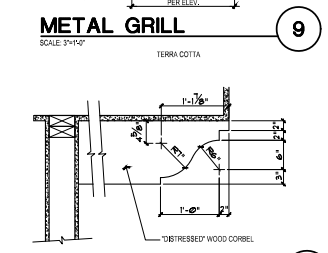
EAVE 1
SCALE: N.T.S.



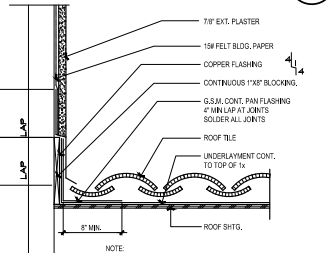
WINDOW HEAD 16
SCALE: 3/4"=1'-0"



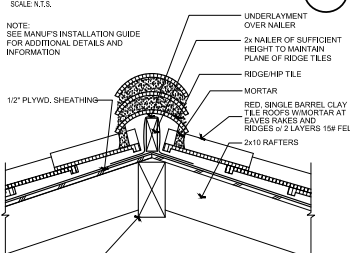
WINDOW HEAD 14
SCALE: 3/4"=1'-0"



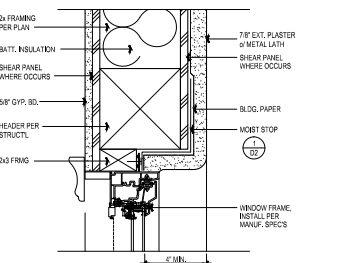
CORBEL 10
SCALE: 1/2"=1'-0"



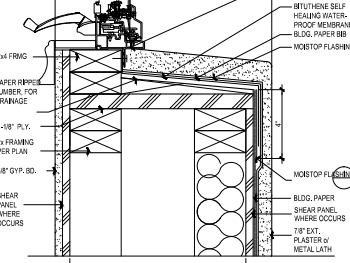
ROOF TO WALL 6
SCALE: 1/2"=1'-0"



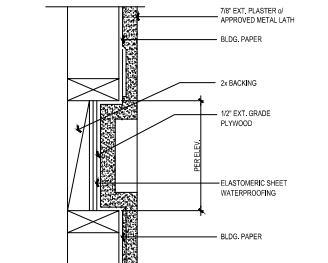
RIDGE/HIP 2
SCALE: 1/2"=1'-0"



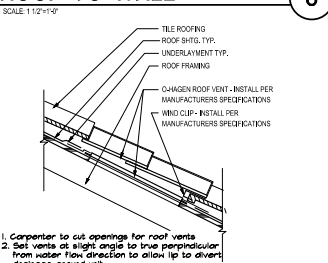
WINDOW JAMB 17
SCALE: 3/4"=1'-0"



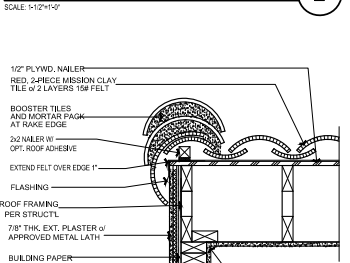
WINDOW HEAD/JAMB/SILL 14
SCALE: 3/4"=1'-0"



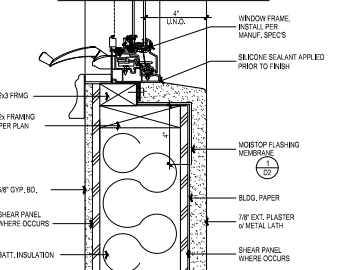
STUCCO RECESS 11
SCALE: 3/4"=1'-0"



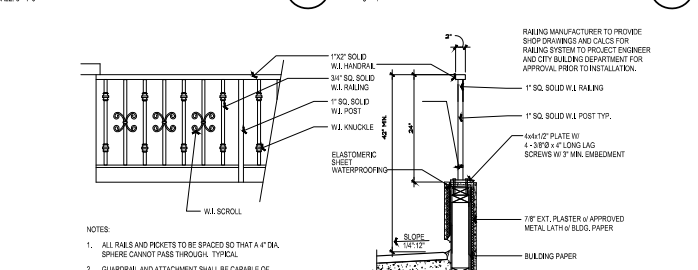
ROOF VENT 7
SCALE: 1/2"=1'-0"



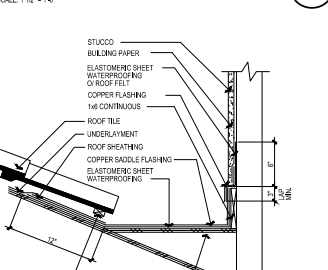
RAKE 3
SCALE: 1/2"=1'-0"



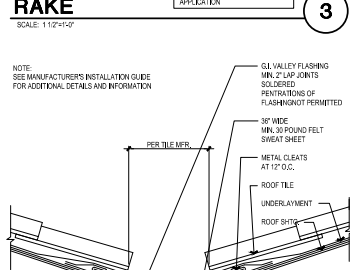
WINDOW SILL 18
SCALE: 3/4"=1'-0"



WROUGHT IRON GUARDRAIL 12
SCALE: 3/4"=1'-0"



SADDLE 8
SCALE: 1/2"=1'-0"



VALLEY 4
SCALE: 1/2"=1'-0"

NOTES:
1. ALL NAILS AND NICKETS TO BE SPACED SO THAT A #4 NAIL SPHERE CANNOT PASS THROUGH. TYPICAL.
2. GUARDRAIL AND ATTACHMENT SHALL BE CAPABLE OF RESISTING 20 PLF HORIZONTAL LOAD AT TOP OF RAIL. (TABLE 10-2)

1. Carpenter to cut openings for roof vents
2. Set vents at slight angle to true perpendicular from water flow direction to allow lip to divert drainage around unit.
3. Use sheet to be used to seal underlayment around vent unit.

NOTE: SEE MANUFACTURER'S INSTALLATION GUIDE FOR ADDITIONAL DETAILS AND INFORMATION

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Plot Date	11-20-20
B.D. Submitted	
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Coord. Issues	
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MIRADOR BED & BREAKFAST

PLANT MATERIAL PALETTE

ALL PLANT MATERIALS WERE SELECTED FROM "A GUIDE TO ESTIMATING IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN CALIFORNIA" PREPARED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. ALL PLANTS CHOSEN ARE LISTED IN SOUTHWEST REGION ZONE A, WITH WICKS WATER REQUIREMENTS.

	SIZE	WICKS
PALMS		
P1 ARCHONTOPIHOENIX CUNNINGHAMIANA / KING PALM	24" BOX MULT.1	MEDIUM
TREES		
T1 LEPTOSPERMUM LAEVIGATUM / AUSTRALIAN TEA TREE	24" BOX	LOW

ACCENT SPECIMENS

A1 JUNIPERUS CHINENSIS "SKY ROCKET" / JUNIPER TOWER	15 GAL	LOW
A2 PODOCARPUS "ICEY BLUE" / BLUE PODOCARPUS	24" BOX	MEDIUM
A3 ALYOGYNE HUGELII / BLUE HIBISCUS	15 GAL	LOW

SHRUBS

S1 TEUCRIUM CHAMAEDRYS / GERMANDER	5 GAL	LOW
S2 NANDINA DOMESTICA "OBSESSION" / HEAVENLY BAMBOO	5 GAL	LOW
S3 BOEGAVANIA FLA "ORANGE" / BUREAU PALM	5 GAL	LOW
S4 ANGOZANTHUS FLAVIVISUS "BUSH PEARL" / KANGAROO PAW	5 GAL	LOW
S5 PHORMIUM TENAX "AMAZING RED" / RED FLAX	5 GAL	LOW
S6 PHORMIUM TENAX "TINY TREE" / DWARF VARIETATED FLAX	1 GAL	LOW
S7 LIMONIUM PEREZI / LAVENDER STATICE	5 GAL	LOW

GRINDCOVERS

G1 LANTANA MONTEVIDENSIS "NEW GOLD" / TRAILING LANTANA	5 GAL	LOW
G2 CORREA PULCHELLA "PINK EYES" / AUSTRALIAN FUCHSIA	5 GAL	LOW
G3 DYMONDIA MARGARETAE / DYMONDIA	FLATS	LOW
G4 DROSERIUM FLORIBUNDUM / ROSEA ICE PLANT	FLATS	LOW

SUCCULENTS

SS1 AGAVE "REIFER OHN" / REIF AGAVE	5 GAL	LOW
SS2 ALOE STRIATA / CORAL AGAVE	5 GAL	LOW
SS3 ALOE ARISTATA / LACE ALOE	1 GAL	LOW
SS4 ECHIVERIA VARIETIES / DWARF PURPLE E. LAVENDER	4" POTS	LOW
SS5 SEDUM CONFUSUM / NUSSBAUMERIANUM / SEDUM	4" POTS	LOW

PLANTING NOTES

PRIOR TO ANY PLANTING, LANDSCAPE CONTRACTOR TO TAKE SOIL SAMPLES FOR AGRICULTURAL ANALYSIS. A SOIL KIT IS AVAILABLE FROM GROPOWER INC. OR THE LANDSCAPE ARCHITECT.

FOR PLANTING PURPOSES ASSUME:

- SOIL PREPARATION: ALL SHRUB AREAS TO BE CULTIVATED WITH THE FOLLOWING AMENDMENTS:
 - GREENWAY BEST SOIL CONDITIONER OR EQUAL @ 3 YARDS PER 1000 SQ. FT.
 - GYPSUM SOILS PER 100 SQ. FT.
 - GROPOWER PREMIUM GREEN IRON
 - GROPOWER PLUS FERTILIZER SOILS PER 100 SQ. FT.
 - APPLY GROPOWER N-0-0 RELEASE 3 GRAM PLANTING TABLETS TO ALL NEW PLANTINGS.
- SUBMIT MANUFACTURER PHOTOGRAPHS FOR ALL DECORATIVE POTS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- INSTALL LINEAL ROOT BARRIERS TO ALL TREES WITHIN 6 FEET OF ANY PAVING.
- APPLY JUTE MESH EROSION CONTROL BLANKETS TO ALL SLOPED AREAS.
- APPLY A 2" LAYER OF FINE TEXTURED BARK MULCH TO ALL PLANTING AREAS AT COMPLETION OF PLANTING.
- CONTACT "BIG ALERT" PRIOR TO ANY EXCAVATIONS TO LOCATE ALL UNDERGROUND UTILITY LOCATIONS FOR GAS LINES, WATER LINES, SEWER LINES AND UNDERGROUND ELECTRICAL SERVICE.

PROPOSED METHOD OF IRRIGATION

AN IRRIGATION PLAN DETAIL SPECIFICATIONS AND WATER CALCULATIONS WILL BE PROVIDED PRIOR TO CONSTRUCTION.

FOR PLANTING PURPOSES ASSUME:

- THE IRRIGATION SYSTEM WILL BE COMPLETELY NEW & AUTOMATIC FOR 100% COVERAGE.
- IRRIGATION DESIGN WILL CONFORM TO ALL LOCAL AND STATE WATER USE REQUIREMENTS OF ARISEI AND WATER EFFICIENT LANDSCAPE ORDINANCE.
- PROVIDE "NET APM" DRIP IRRIGATION, MICRO-SPRAYS OR BUBBLERS FOR ALL PLANTING AREAS.
- ALL TREES AND PALMS WILL BE VALVED SEPARATELY WITH ADJUSTABLE DRIP BUBBLERS.
- ALL IRRIGATION COMPONENTS WILL BE MANUFACTURED BY "TORO IRRIGATION".
- ALL DRIP IRRIGATION VALVE ZONE RITS TO BE RECESSED IN VALVE BOXES PER MANUFACTURER SPECIFICATIONS.
- IRRIGATION SYSTEM TO BE PROTECTED WITH A PRESSURE REGULATOR AT THE POINT OF CONNECTION.
- NEW "SMART" CONTROLLER TO BE INSTALLED WITH A RAIN SHUT OFF DEVICE.
- ALL DECORATIVE POTS TO CONTAIN SELF WATERING INSERTS.
- BACKFLOW PREVENTION DEVICES TO BE INSTALLED PER CITY CODES.

PROPOSED MAINTENANCE PROGRAM AND RESPONSIBILITIES

- ALL ON SITE AND RIGHT OF WAY LANDSCAPE PLANTING AREAS AND IRRIGATION SYSTEMS WILL BE CONTINUOUSLY MAINTAINED BY PROPERTY OWNER.

MINIMUM INSPECTIONS REQUIRED BY THE CITY OF SAN CLEMENTE

- COMPLETE IRRIGATION INSPECTION.
- COMPLETE FIELD REVIEW OF LANDSCAPE GRADING AND DRAINAGE.
- INSTALLATION OF PLANT MATERIAL INCLUDING AGRONOMIC SOILS REPORT.

THE OWNER SHALL NOTIFY THE CITY LANDSCAPE ARCHITECTURAL CONSULTANT NOT LESS THAN 48 HOURS, (2) WORKING DAYS IN ADVANCE WHEN REQUESTING AN INSPECTION. A FIELD REPORT BY THE LANDSCAPE ARCHITECT SHALL BE FORWARDED TO THE LANDSCAPE CONSULTANT PRIOR TO FINAL LANDSCAPE INSPECTION AND ATTACHED TO THE FRONT COVER OF THE APPROVED PLANS.

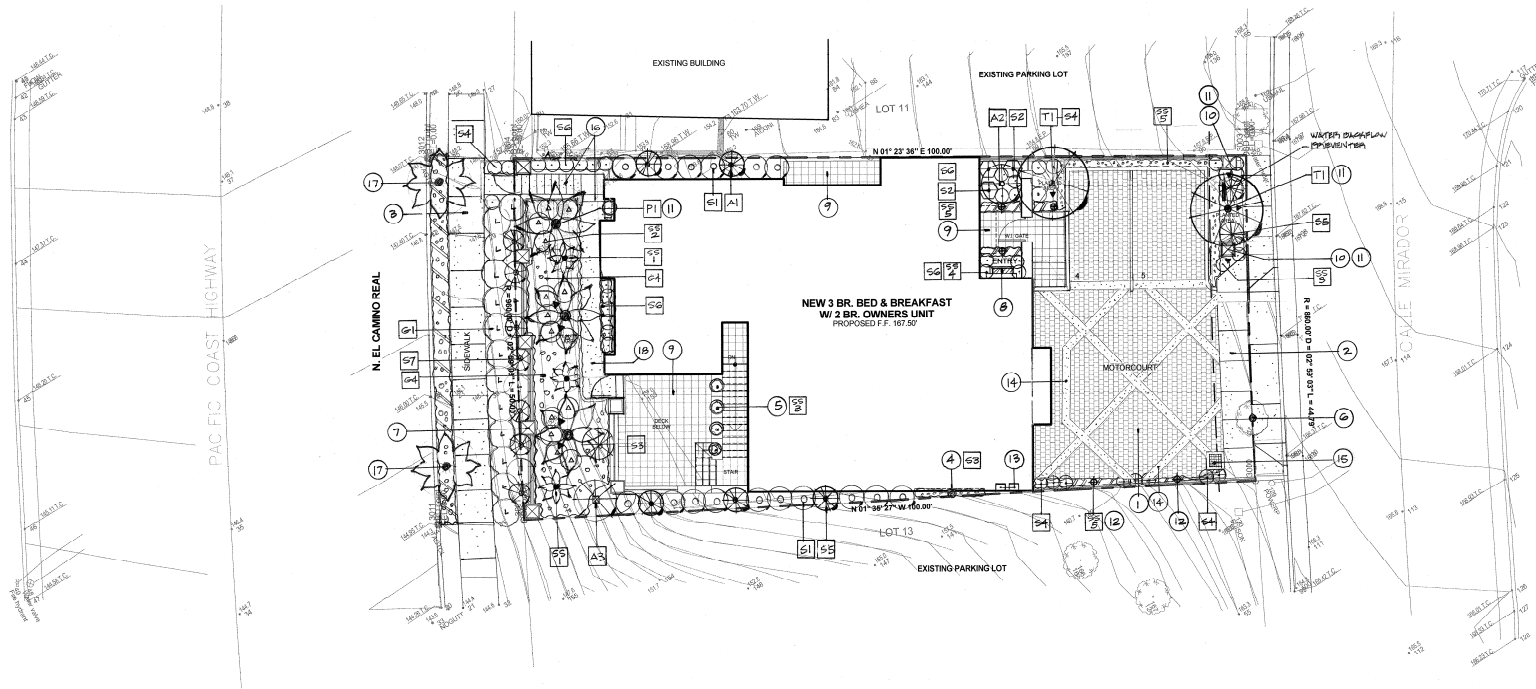
AT THE COMPLETION OF ROUGH GRADING, THE CONTRACTOR SHALL PROVIDE A SOILS ANALYSIS WITH RESULTS AND RECOMMENDATIONS FROM "GROPOWER". THESE SHALL BE INCORPORATED INTO THE SOIL PREPARATION AND BACKFILL MIX. PRIOR TO ANY PLANTING.

AREA CALCULATIONS:

LOT AREA:	4,790 SQ. FT.
LANDSCAPE AREA REQUIRED:	474 SQ. FT. 10%
LANDSCAPE AREA PROVIDED:	828 SQ. FT. 17.5%

LANDSCAPE FEATURES:

- MOTORCOURT VEHICULAR PAVING TO BE "BELGARD" INTERLOCKING PAVERS PER CIVIL DRAWINGS.
- ADA ACCESSIBLE CONCRETE SIDEWALK PER CIVIL DRAWINGS.
- EXISTING CONCRETE CITY SIDEWALK TO REMAIN.
- METAL VINE TRELLIS PER ARCHITECTURAL DRAWINGS.
- DRACOPHYTES: HERRA CUI IIA COLORED POTS WITH SELF WATERING INSERTS.
- EXISTING CAMPHOR TREES TO BE REMOVED.
- PLASTERED CONCRETE BLOCK RETAINING WALL, PLASTER & METAL FENCING PER ARCHITECTURAL DRAWINGS.
- DECORATIVE TILED WALL FOUNTAIN.
- DECORATIVE TILE PAVING PER ARCHITECTURAL DRAWINGS.
- DECORATIVE PROJECT ENTRY PLASTER PER ARCHITECTURAL PLANS, WITH ACCENT UPLIGHTING.
- LOW VOLTAGE LED UPLIGHTS FOR TREES AND PALMS.
- LOW VOLTAGE LED PATHLIGHTS.
- LOCATION FOR IRRIGATION CONTROLLER AND LOW VOLTAGE LIGHTING TRANSFORMER.
- HIGH QUALITY ARTERIAL TURF ACCENT DRIVEWAY BANDING, "THER TURF" OR APPROVED EQUAL.
- DRAINAGE STRUCTURE PER CIVIL DRAWINGS.
- CONCRETE STEPS & PLASTERED WALLS PER CIVIL DRAWINGS.
- RIGHT OF WAY LANDSCAPE IMPROVEMENTS TO INCLUDE:
 - PROVIDE (2) WASHINGTONIA ROBUSTA/MEXICAN FAN PALMS 20" BROWN TRUNK HEIGHT.
 - PROVIDE ROSMARINUS "HUNTINGTON CARPET" DWARF ROSEMARY GROUND COVER.
 - PROVIDE "NETIUM" DRIP IRRIGATION.
- MULCHED PEDESTRIAN PATHWAY FOR MAINTENANCE.



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Architect

Project

Construction Documents

Bed & Breakfast Inn at North Beach

1400 Calle Mirador San Clemente, CA

Sheet Title

Preliminary Landscape Plan

MICHAEL BUNGANICH LANDSCAPE ARCHITECT

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112 East Avenida, San Juan San Clemente, CA 92672
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