



Design Review Subcommittee (DRSC)

Meeting Date: November 14, 2016

PLANNER: Jim Pechous, City Planner, Amber Gregg Senior Planner

SUBJECT: Cultural Heritage Permit 16-376/Conditional Use Permit 16-337/Minor Site Plan Permit 16-378, Miramar Events Center, a request to:

- Rehabilitate and adaptively reuse of the 8,200 square foot historic Miramar Theater into a performance and event center. This includes demolition of the non-contributing portion of the building (previously occupied by an Orange Julius) and replacing it with a new structure that will contain the bathrooms for the performance and event center.
- Rehabilitate and adaptively reuse the 5,200 square foot historic bowling alley with a 1,043 square foot addition into a culinary specialty restaurant structure, a new basement area and a 3,400 square foot outdoor courtyard eating area.
- Conditional Use Permit for:
 - 82 parking waiver with a preservation agreement.
 - Live entertainment permit with amplified sound.
 - Sale of onsite consumption of a full range of alcohol.

BACKGROUND:

The Miramar Theater and Bowling Alley are located in North Beach and are both on the City's list of historic resources. The Miramar Theater is also listed as eligible as a City Landmark. See the attached Historic Resource Report (Attachment A) and the DPR form (Attachment B) for more detail on the site's historic significance. The site is in the Mixed Use (MU1-A-P-CZ) General Plan land use designation, Mixed Use (MU1-CB-A-CZ) zoning district, and Architectural (A), Central Business District (CBD) and Coastal Zone (CZ) overlays. The site is bounded by West Avenida Pico, Boca De La Playa, and Calle Desecha. This historic Casino is located to the South, commercial uses are located to the north, east and west of the site. Historically the site have been used as a theater, bowling alley, café, Orange

Julius and Texaco gas station. The last active use of the Theater occurred in 1992 and both buildings have been vacant since then.

The site is also located within North Beach which is designated as a focus area in the General Plan. General Plan policy supports the North Beach area as a community- and visitor-oriented entertainment hub and recreational area. It is an important City gateway along the historic El Camino Real from beach cities to the north. The revitalization of North Beach is based on the community's desire to preserve and enhance its key assets. Policies for the area include preserving North Beach's historic resources and encourage the rehabilitation and adaptive reuse of the historic Miramar Theater.

In 2012 the City, through a grant provided by the State Office of Historic Preservation, contracted with a historic preservation consultant with expertise in restoring historic theaters to prepare a Historic Structures Report for the Miramar and Bowling Alley. The purpose of the report is to aid in the identification of options for the successful rehabilitations and adaptive reuse of these historic structures (Attachment A).

PROJECT DESCRIPTION

The applicant, El Camino Real LLC., is proposing to rehabilitate and repurpose the historic Miramar Theater and bowling alley. The rehabilitation of the 8,200 square foot theater (planned for a performance and Event Center) and the 5,200 square foot bowling alley (which will become several culinary specialty restaurants) will be accomplished in accordance with the Secretary of Interior Standards for Historic Structures and using the previously prepared Historic Structure Report for guidance.

Also proposed are two single story additions to the exterior of approximately 1043 square feet and 260 square feet. The proposal also includes adding a basement to the bowling alley. The purpose of these small editions is to accommodate modern day plumbing requirements, ADA requirements, and health code requirements.

In addition, an outdoor eating area/courtyard encompassing approximately 3,400 square feet will be constructed on the north side of the bowling alley. The applicant proposes to landscape the grounds with drought tolerant plants and install an irrigation system that will use a minimum water. The applicant has provided a detailed project description, see Attachment C.

ANALYSIS

Staff seeks DRSC input on whether the project meets the criteria for a Cultural Heritage Permit for architecture design of the additions and outdoor plaza areas being added to the site and for the rehabilitation and adaptive reuse of the historic and cultural resources on the site. The applicant is also requesting a Conditional Use Permit for parking waivers which proposes

an agreement between the City and property owner to adaptively reuse and maintain the two historic resources on the site in accordance with the Secretary of Interior Standards. This agreement would be structured similar to a City Historic Property Preservation Agreement, and mirror the Casino Historic Property Preservation Parking Waiver Incentive Agreement approved in 2010. The following discussion is an analysis of the project's compatibility with the criteria required for the approval of the Cultural Heritage Permit.

Site Design and Architecture

The site is located in the North Beach Architectural (A) and Central Business (CB) Overlays. The purpose and intent of the A-Overlay is to create a visually distinct district that characterizes the City's traditional Spanish Colonial Revival style and pedestrian orientation. The CB-Overlay purpose and intent is to exemplify a commercial and mixed-use districts which encourages pedestrian uses activities along the streets and sidewalks. The Urban Design Element primary goal is to enhance our high-quality, built environment that protects our treasured natural and historical resources, maintains our small town beach character, provides accessibility to all and distinguishes San Clemente as the Spanish Village by the Sea.

The required findings for the approval of a Cultural Heritage Permit related to the projects site plan design and architecture are:

- Compliance with the City Design Guidelines and the General Plan Urban Design Element
- The appearance being in keeping with the character of the neighborhood
- The project strengthens the pedestrian orientation of the district and City historic identity as a Spanish Village

Note: Two additional findings related to the Historic Resource are provided in the Historic and Cultural Resource section below.

Proposed Architecture

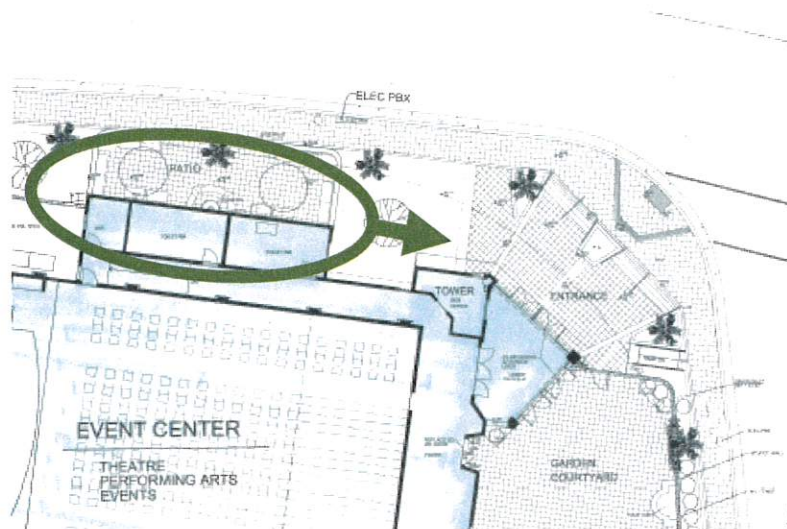
The proposed architecture for the additions to the site is characteristic of a Spanish Colonial Revival style. The outdoor plaza space proposed is a traditional element of Spanish Colonial Revival design and is encouraged in the design guidelines. Staff is comfortable that overall the project complies with the Design Guidelines, Urban Design Element of the General Plan and the CHP findings summarized above. However, there are some aspects related to the project design that can be improved, and if incorporated strengthen the projects compliance with the General Plan goals and City Design Guidelines. The following discussion focuses on the characteristics of the building elevations and site design that can improve the overall compliance with the City's General Plan.

Signs

The applicant's plans include a total of seven signs which are reviewed here in context of the project's architecture. A sign program with specifics on the sign sizes, materials, lighting and locations has not been submitted as part of this application and will require a Discretionary Sign Permit.

Site Plan

Staff is concerned that the patio located next to the bathroom addition to the theater lacks direct connectivity to the restaurant and event center. A similar outdoor space was installed next to the CVS building and was eventually removed due to problems with vagrants, trash and vandalism. To avoid a similar problem and increase the space's usability, staff recommends the patio space be located to the east and redesigned to be connected to the event center.



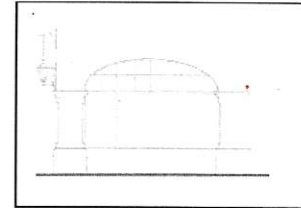
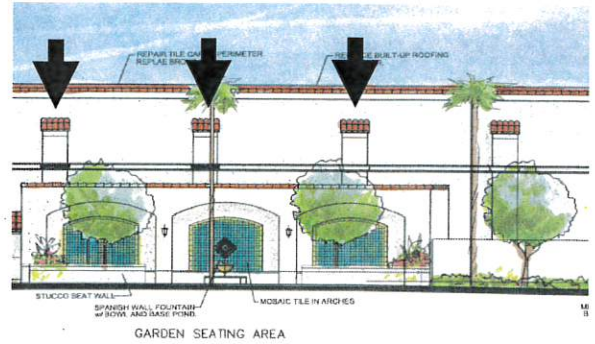
Landscaping Plan

The landscape plan is reminiscent of the succulent gardens commonly planted during the Ole Hanson era. Staff and Pat Murphy the City's landscape consultant has reviewed the landscape plan and has provided the following recommendations:

1. There are three different hardscape surfaces, four counting the public sidewalk proposed. Staff recommends that the hardscape pallet on site be reduced to the scored concrete in the more utilitarian areas and a traditional Spanish paver such as brick or Ole Hanson pavers in all the courtyard and public spaces.
2. Pat Murphy's landscape comments will be provided at the DRSC meeting.

Miramar West/El Camino Real Elevation

1. Staff suggests that the addition alongside the theater (Orange Julius) be redesigned to align the arches between the buttresses on the Miramar.
2. Consider a simple Ole Hanson paver cap for the cornice rather than barrel tiles.
3. Consider using full arches as opposed to segment arches, segmented arches should be used sparingly. The proposed design is too contemporary in style, if used they should be designed consistent with the example provided here from the Henry Lenny Design guidelines.



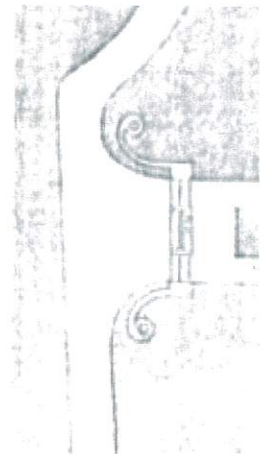
4. The mosaic tiles inside the arches should be a traditional decorative tile.
5. With the relocation of the patio suggested above, remove the fountain, and consider a wall fountain in the middle arch if there ends up being an odd number of arches in the redesign. If there is an even number of arches, then staff recommends not including a wall fountain.

Bowling Alley West/El Camino Real Elevation

1. For the addition change the two segmented arches to full arches or consider alternative style opening.
2. The small tower on the façade at the entrance to the bowling alley is very simple. To improve compatibility consider simplifying the tower element on the addition. A single inset vent would work better.



3. The arch entry to the courtyard patio has a contemporary style. In addition the walls around the outdoor patio make the space less inviting to pedestrians walking along the sidewalk. A more open inviting and less contemporary looking (as shown in the photo to the left) opening leading to the patio will make the entry from the sidewalk more inviting. This could be accomplished with curved walls as shown in the original site plan design for the Beach Club. Also the walls should provide more openings and be as low as possible to provide more visibility along El Camino Real.

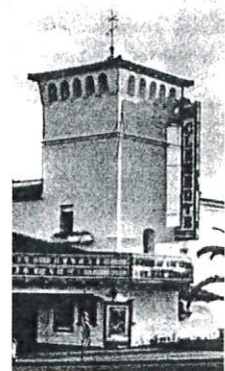


4. Staff recommends removing the wood trellis element from the walls. The walls should be simplified, there is too much variation in style. It would be better to have a consistent and traditional design theme with stucco walls, wrought iron fence and regularly placed columns.



Miramar East Elevation/Boca La Playa

This elevation restores the original building façade and for that reason staff is supportive. There was originally a spire atop the iconic theater tower, which staff recommends be restored. Staff also supports the applicant’s proposal to bring back a blade sign extending from the tower similar to the blade sign seen in this historic photo. The previous comment regarding the design of the wall also applies to this elevation. There are also historic preservation concerns related to the wall around the garden courtyard which is discussed in detail in the historic and cultural resource section of this report.



Bowling Alley West Elevation/Avenida Pico

1. Staff recommends the monument project design some decorative tiles as an accent in addition to the blue tile and pin mounted letters.
2. Staff is recommending a similar comment in regard to the arch entry to the courtyard patio and the walls explained above.
3. As stated earlier the tower on the addition should be simplified to not overshadow the front façade of the bowling alley.
4. It appears from the floor plan that the deep inset entrance to the bowling alley is being restored but it is not clear from the elevations. Staff recommends the entrance be restored to match the entrance as shown in this 1947 historic photograph.



5. Consider duplicating the original light over the entrance.
6. The proposal alters the appearance of the two windows on either side of the entrance to function better with the proposed adaptive reuse into a specialty culinary restaurant. Staff recommends that the design be altered slightly to give these openings a more vertical rather than horizontal appearance. This can be accomplished by removing the proposed wood eyebrows and replacing them with traditional style canvas awnings. Staff is also recommending removing the ramp and walls and to keep the original stairway that connects to the sidewalk. This is discussed in greater detail in the Historic and Cultural Resources section.

South Elevation for the Miramar and Bowling Alley/Deshecha

1. The Miramar Theater portion of this elevation restores the original building façade which staff supports.
2. Staff recommends that the proposed windows being added to the bowling alley be changed from a horizontal to a vertically orientation. The horizontal window shape is a contemporary application which is inconsistent with Spanish Colonial Revival design.
3. How the roof equipment is integrated into the barrel roof will need to be studied to reduce its impact both on the exterior and interior of the building. The equipment and ventilation pipes should be painted to match the roof color and designed in a way that bends in as best as possible. The problem with an equipment well solution is that it would impact of the look of the arched trusses in the interior. So both the interior and exterior will need to be considered in the design and placement of roof equipment.

Lighting & Safety

The plans do not indicate the location of light fixtures. Given the nature of the development, with all of the entry walkways leading from the street, staff's position is that it is important to properly evaluate the locations of both decorative and functional lighting. Decorative lighting should be in character with the building. Traditional light fixtures made of solid wrought iron are recommended. Safety lighting should be pedestrian scaled, but use the same materials as the decorative lighting. In addition, a combination of ground and wall mounted lighting could be used.

Architectural Details

Architectural details for the project include smooth trowel plaster walls, clay barrel tiled roof with mortar packing, wrought iron hand rails, wrought iron fence, wood window coverings, decorative lighting, wood doors and windows, traditional awnings and decorative paving. Overall, staff is supportive of the architectural details proposed for the project and with require further architectural detail sheets during the plan check process to ensure

compatibility with the Architectural Guidelines and for the historic resource components of the project in keeping with the Secretary of Interior Standards.

Historic and Cultural Resources

The Miramar Theater was designed by architect Clifford Balch in 1937 and opened to the public as the San Clemente Theater in 1938. During the 30's and 40's Mr. Balch designed a variety of Art Deco and Spanish Colonial Revival theaters across the State of California. The character defining features of the building include the 44 foot tall tower that marks the building entrance, ornamental balconies, rough-hewn timber beams with wrought-iron accents and arched openings, white stucco at the entrance and tall board-form concrete walls the buttresses along the alley and El Camino Real elevations.

The Bowling Alley structure was constructed by Strang-Smith in 1946 as a six-lane bowling center which contributed to the existing cluster of recreational facility already in North Beach including the San Clemente Theater, Casino San Clemente and the Ole Hanson Beach Club. The design is a modest example of Spanish Colonial Revival with the most distinctive features being the front face with its deep inset front entry and a stepped cornice with tower. See the Attachments A and B for more detail regarding the sites historic significance.

The required findings for the Cultural Heritage Permit related to the projects historic resources include:

1. The City finds that the proposed modifications, alterations, or additions are sufficiently in conformance with the Secretary of the Interior Standards for the Treatment of Historic Properties and the San Clemente Design Guidelines to substantially further the City's goals of historic preservation; or
2. For resources on the City's Landmarks List, the proposed rehabilitation, restoration, preservation, or reconstruction, including modifications, alterations, or additions, are found to be in conformance with the Secretary of the Interior Standards for the Treatment of Historic Properties and preserve to the extent feasible the character defining features.

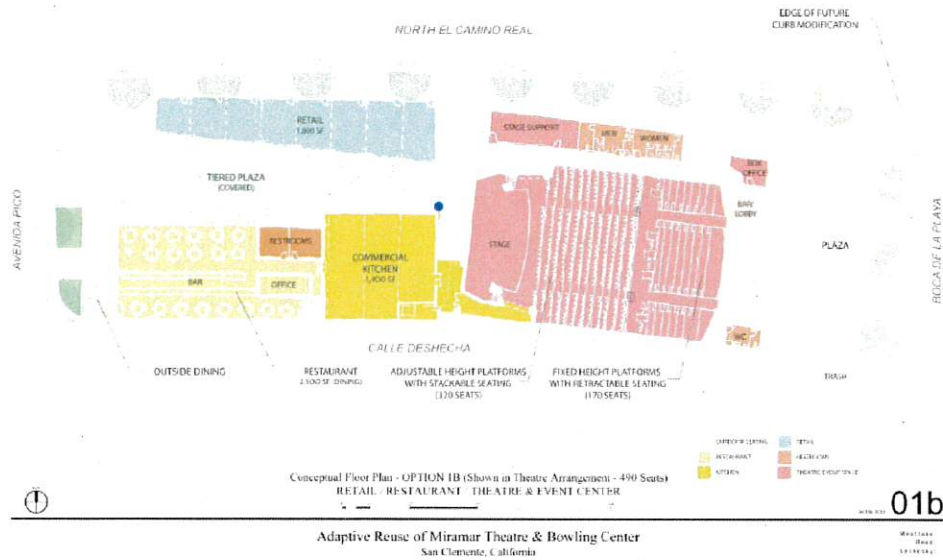
Adaptive Reuse

In 2013 the City received a grant from the State Office of Historic Preservation to prepare a Historic Structures Report for the Miramar and Bowling alley. The purpose of this architectural and structural survey of the Miramar Theater and Bowling Alley, was to create a roadmap that the property owner and City of San Clemente can utilize to aid in the identification of options on rehabilitation and adaptive reuse of the historic structures in accordance with the Secretary of the Interior's Standards for Rehabilitation (Attachment D).

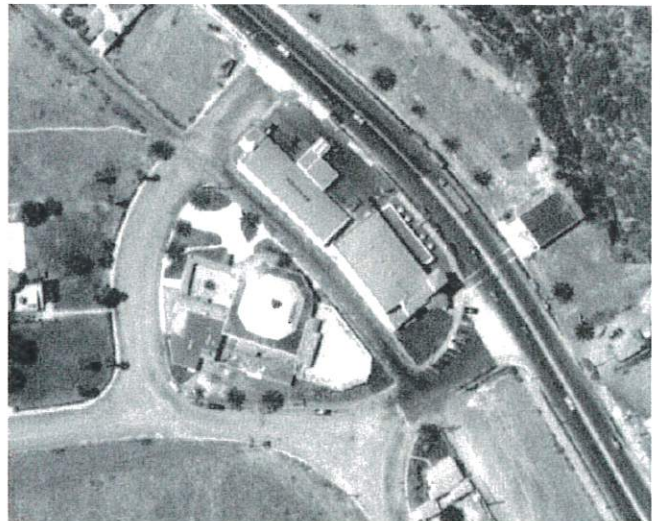
The Standard for Rehabilitation for reuse of a historic resource is:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The report lays out adaptive reuse options as examples on how to meet this Standard. The applicant’s proposal is similar and slightly less intense than option 1b from the report shown below.



The report suggest that the theater and bowling alley buildings provide distinctly different opportunities and can work in tandem to create a successful adaptive reuse on the site. The Theater provides the opportunity to retain is historic use as a theater and entrainment venue. The bowling alley however, due to its size only being able to accommodate six lanes, is unlikely to be refurbished successfully to meet the needs of a modern bowling center. Instead the report suggest that the programing for the bowling alley can provide a supportive space for the needs to the theater operations and provide complimentary uses that invigorate the site. This aerial photograph of the site, circa 1947, includes a café (later demolished and replaced with the Orange Julius building) next to the theater and the Texaco station next to the bowling alley. This sets both a historic precedent for a mix of uses on site and for accessory buildings that are complimentary and enhance the primary uses.



defining feature of the theater. The proposed 5-6 foot high wall around the Garden Courtyard area blocks a portion of the public view of the building. Staff is recommending that a wrought iron fence replace most of the wall to allow views of into the site. The portion of the wall along Dischecha should be retained to help buffer the residential areas located to the southeast of the site.

- 2. The applicant proposes to enclose the front entrance area with wood and glass doors to provide more usable area for the lobby. Staff is supportive of this concept so long as the doors and windows are installed in a way that does not impact this historic fabric and is reversible should a there be the desire to open the area back up at some future date.



- 3. The applicant should consider including some of the exterior painted details on the theater. If the original design and paint color maybe discovered as part of the restoration of the building.



- 4. The proposed redesign of the bowling alley west elevation shown below removes the historic stairway leading to the bowling alley entrance from the sidewalk and replaces it with a ramp and walls. This changes the context of the original entrance to the bowling alley and should be redesigned to preserve the stairway. An example of a more appropriate treatment is included as a design option in the Historic Structures Report, shown in the rendering below.



CONCLUSION

Based upon review of the proposed plans, it is staff’s position that the proposed project with some minor alterations recommended above meets the required findings for the Cultural Heritage Permit with good execution of Spanish Colonial Architecture and a successful

adaptive reuse of the theater and bowling alley buildings. Staff seeks DRSC concurrence and any additional input.

Attachments:

- A. Historic Resource Study
- B. DPR Forms
- C. Applicants Project Description
- D. Secretary of the Interior Standards for Rehabilitation

Plan Elevations



LOCATION MAP

TTM06-447/SPP06-445/CUP06-446/CHP06-444, Casino San Clemente
140 West Avenida Pico



No scale

