



Cultural Heritage Subcommittee (CHSC)

Meeting Date: November 14, 2016

PLANNER: Kirt A. Coury, Contract Planner *KC*

SUBJECT: **Minor Cultural Heritage Permit (MCHP) 16-326, Myhren Shed**, a request to place a pre-fabricated shed in the back yard of a historic resource located at 245 Avenida Del Poniente, in the Residential Medium (RM-CZ) coastal zoning district, Assessor's Parcel Number 692-081-02.

BACKGROUND:

Project Description

The property owner plans to construct a pre-fabricated Tuff Shed (see Attachment 3) in their back yard. The shed is to be located behind the home along the southwest perimeter of the property where it is not visible from public view.

Why is CHSC Review Required?

Cultural Heritage Subcommittee (CHSC) review is required because the project involves exterior modifications to a historic resource. The Minor Cultural Heritage Permit (MCHP) requires the CHSC evaluate the project to ensure it does not have negative impacts to the historic structure and the Design Guidelines.

Site Data

The project site is a 6,125 square foot lot located in the Residential Medium zoning designation and coastal zone overlay (RM-CZ) at 245 Avenida Del Poniente. The house was built in 1938, and is on the City's Historic Structures List and is eligible as a contributor to a potential local historic district under Criterion A for its association with San Clemente in the 1930's and 1940's.

ANALYSIS:

Cultural Heritage Permit

The Secretary of the Interior's Standards for Rehabilitation allow modifications to original features, structures and sites that are not on the primary elevation of historic buildings to allow for the continued use and function of historic resources. New structures on historic sites have been allowed in the past because the City understands that the original homes

MCHP 16-326, Myhren Shed

of the 1920s may be undersized for modern needs. Allowing the flexibility to historic sites ensures these resources maintain their value and not a burden to property owners.

The proposed shed would not be visible from the street as it is located at the rear of the property away from public view. The shed is proposed at 10 feet wide and 12 feet long, and stands approximately 10.5 feet in height. The structure is proposed as a white "frost" color, consistent with the color of the home, and the trim and door of the structure is a dark brown "ground coffee" color, also consistent with the trim of the home. Although the shed is not Spanish Colonial Revival, the shed design and colors are consistent with sheds constructed during that architectural style era. Staff is of the opinion that the wood shed design is consistent with that time. It would have been common for a property owner of that era to construct a wood shed in the rear portion of their property.

RECOMMENDATIONS:

The proposed shed will not impact the look or integrity of the historic structure, will be consistent in color and design from that era and is not visible from the street. Therefore, the request is supported by staff with one recommendation for improvement.

Staff recommends the applicant utilize Spanish Colonial Revival hardware (door handles, brackets, etc.) during construction if feasible. Staff seeks CHSC's concurrence and welcomes any additional comments or recommendations.

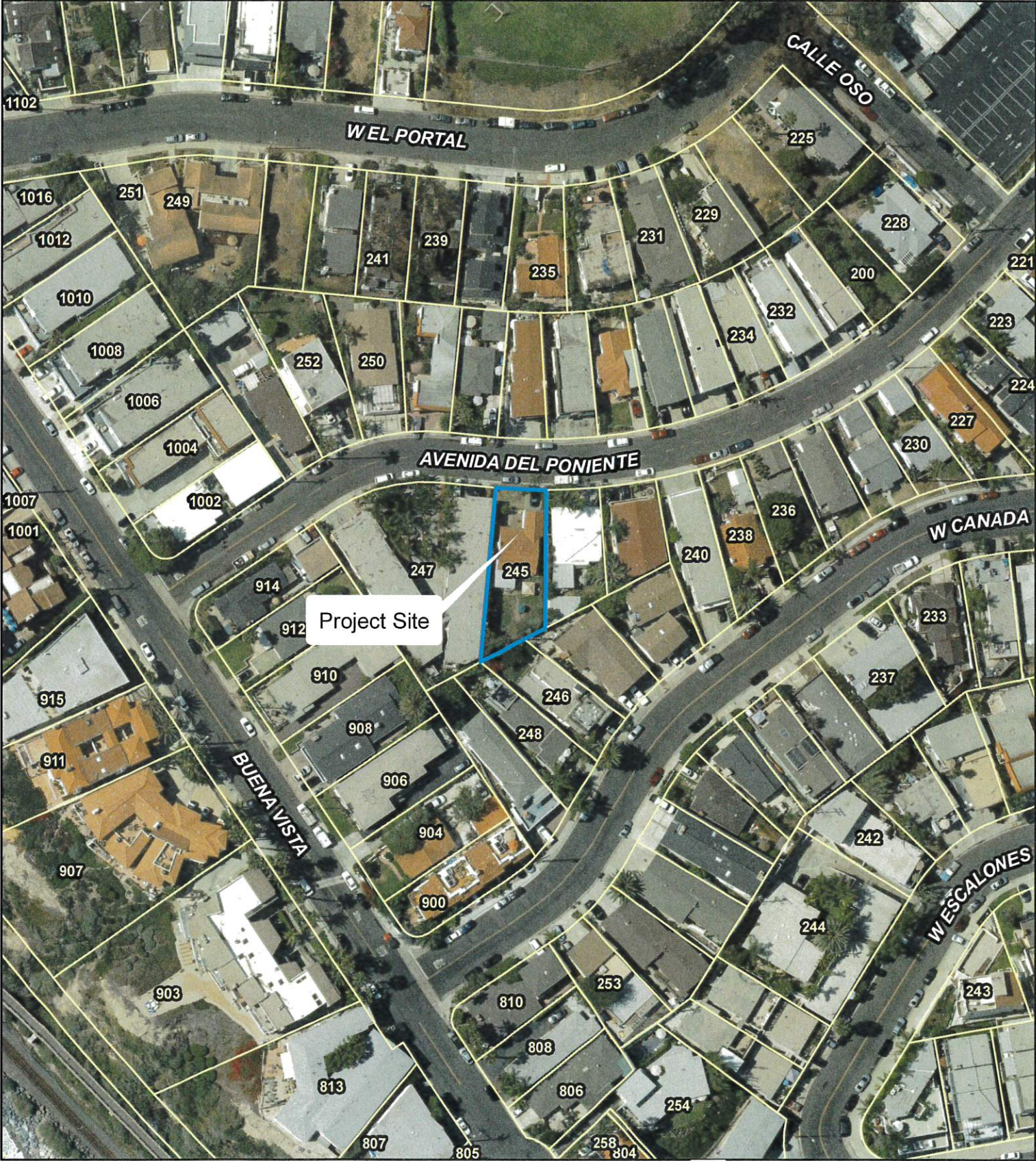
Attachments:

1. Location Map
2. Site Plan
3. Current Photos
Plans

LOCATION MAP



MCHP 16-326
Myhren Shed
245 Avenida Del Poniente

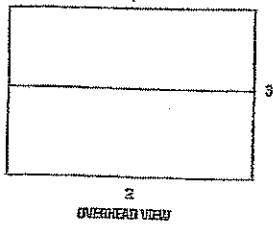
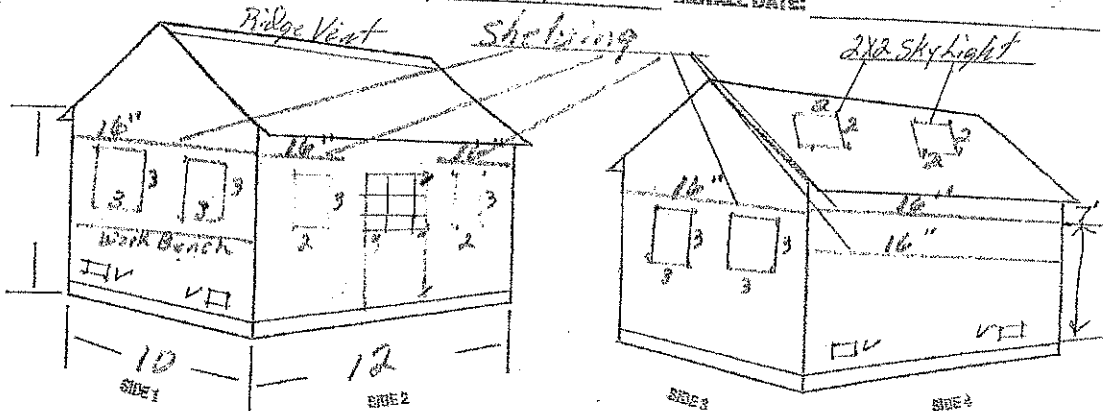


COTTAGE SHED

BUILDER'S HELP

Consultant: Clyde Wardhime Customer Name: Brett Myhren SO #: _____

RANCH MODEL: 10x12 Pro Tall Ranch INSTALL DATE: _____



- Base Paint:
- Trim Paint:
- Accent Paint (AP): _____
- AP Location: _____
- Shingle:
- Drip/Vent Color:

- Options (List):
- 12' Ridge Vent
 - 43 lb 16\" shelving
 - 70 lb Work Bench
 - (4) 3x3 Windows
 - (2) 2x3 Windows
 - (2) 2x2 Sky Lights
 - (1) 16\" x 8\" screen Vents
 - 9 Light Door

Customer or responsible individual will be at site at time of delivery? YES NO Initials _____

Is site clean and level? (Customer understands a leveling fee may apply if site is more than 4\" out of level) YES NO

Is there 18\" clearance around all 4 sides of the building? YES NO

Is there clear access to the building site? YES NO

Is there a 110-volt/20 AMP power outlet within 100'? YES NO

Customer understands building permits, fees and all related cost of site readiness are customer's responsibility? YES NO

Customer has been presented the "What to Expect" document? YES NO

Customer understands that changes, cancellations or postponement will result in restocking/rescheduling fee? YES NO

Is this a NO FLOOR option? YES NO

Does the Customer plan to insulate this building? YES NO

How close to the build site can we park our vehicle? YES NO

Special Instructions: _____

CUSTOMER APPROVAL:

Signature: _____ Date: _____



