



# Memorandum Planning

Wednesday, September 9, 2015

To: Design Review Subcommittee  
From: Sean Nicholas, Associate Planner *SN*  
Subject: Estrella Master Sign Program Phase II Follow Up  
Copies: Jim Pechous, City Planner

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As discussed at the Design Review Subcommittee meeting of August 26, 2015, the applicant has reduced the sign sizes for the non-major tenants consistent with the provisions of the Municipal Code. In particular, no sign for a non-major tenant exceeds 64 square feet. The applicant has also modified the font on the colored elevation for TJ Maxx to address massing concerns. Attachment 1 is the revised sign program. Staff seeks DRSC comments and recommendations.

**Attachments:**

- 1) Updated Master Sign Program

**MASTER SIGN PLAN**  
(SIGN CRITERIA)

FOR

**Estrella Signs - PHASE II B Master Sign Program**  
**SAN CLEMENTE PLAZA - PHASE II B**  
**SAN CLEMENTE, CA**

PREPARED BY:

For: Burnham USA Equities, Inc.  
1100 Newport Center Drive, Suite #200  
Newport Beach, CA 92660

WITH:

**Promotional  
Signs**  
3301 S. Susan St.  
Santa Ana, CA 92704  
(714) 540-5454 PHONE (714) 540-5959 FAX

# TABLE OF CONTENTS

## MONUMENT SIGN CRITERIA

MONUMENT SIGN DETAIL.....

MONUMENT SIGN DESIGN CRITERIA.....

MONUMENT SIGN PLAN.....

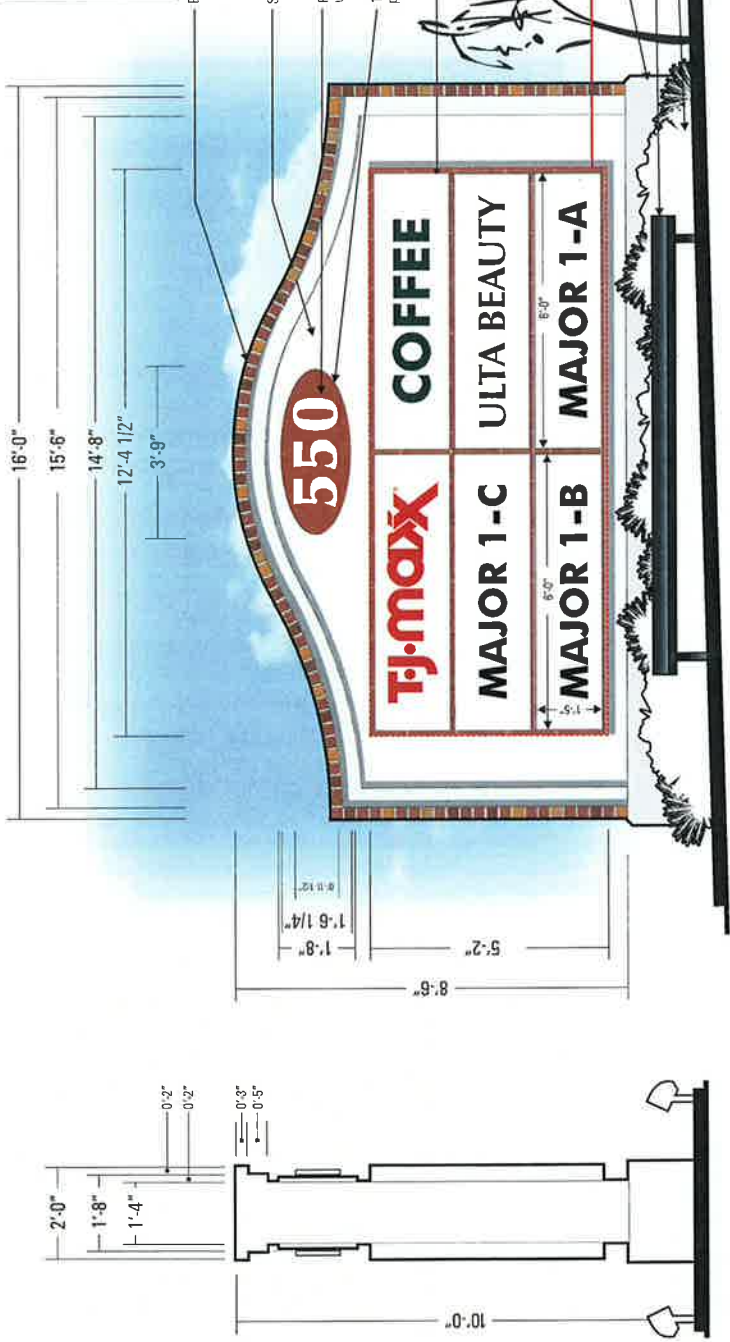
## TENANT SIGN CRITERIA

SIGN CRITERIA GENERAL REQUIREMENTS, TYPE OF SIGN.....

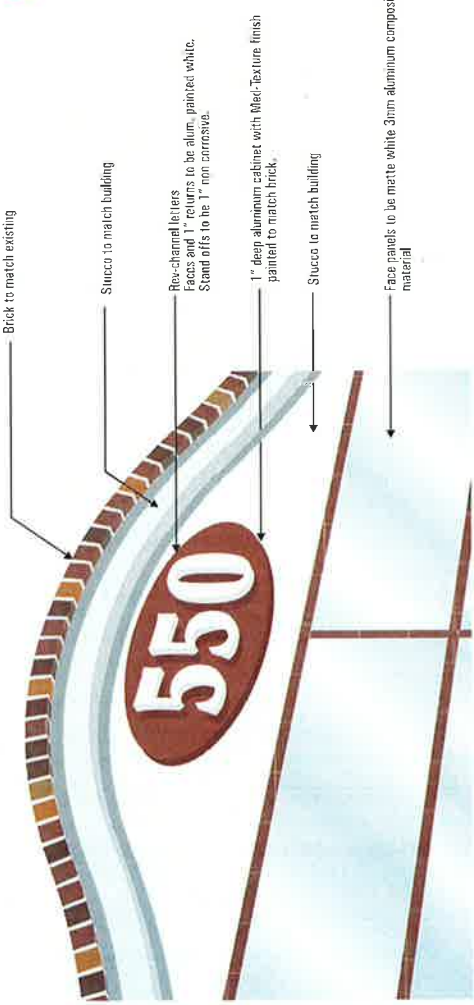
BUILDING SIGNAGE EXAMPLE & DETAILS.....

BUILDING SIGN BAND AREA AND EXAMPLE TENANT SIGNAGE.....

**SCOPE OF WORK:**  
 Promotional Signs to manufacture and install 2 DIF externally illum. monument displays. All displays to be manufactured from stucco and brick with concrete bases. Tenant display to be internally led illum.  
**NOTE:**  
**NO VISIBLE FASTENERS**



**3** NEW DIF INTERNALLY ILLUM. TENANT DISPLAYS  
 QUANTITY: 1 MANUFACTURE & INSTALL  
 SCALE: 1/4" = 1'-0"



**TENANT**  
 Future tenant vinyls to have brand colors and copy on white background

# MONUMENT SIGN CRITERIA

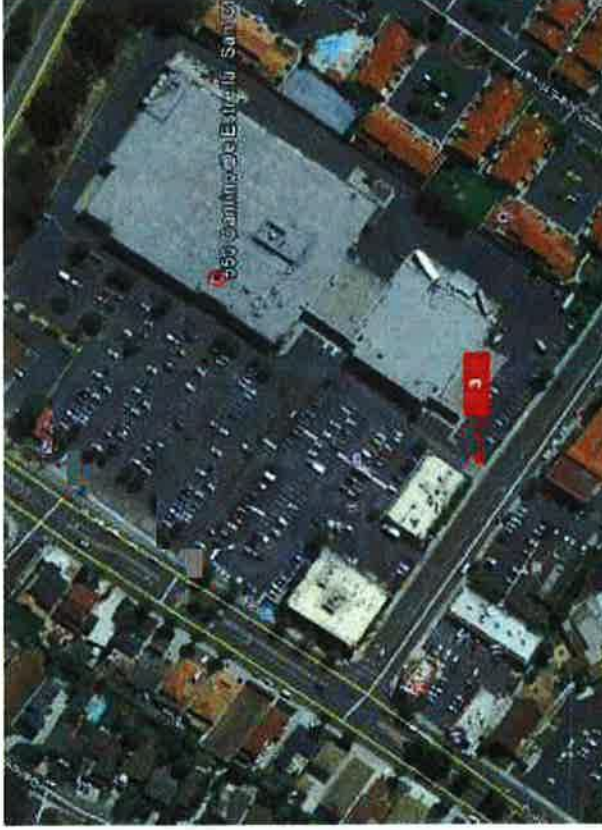
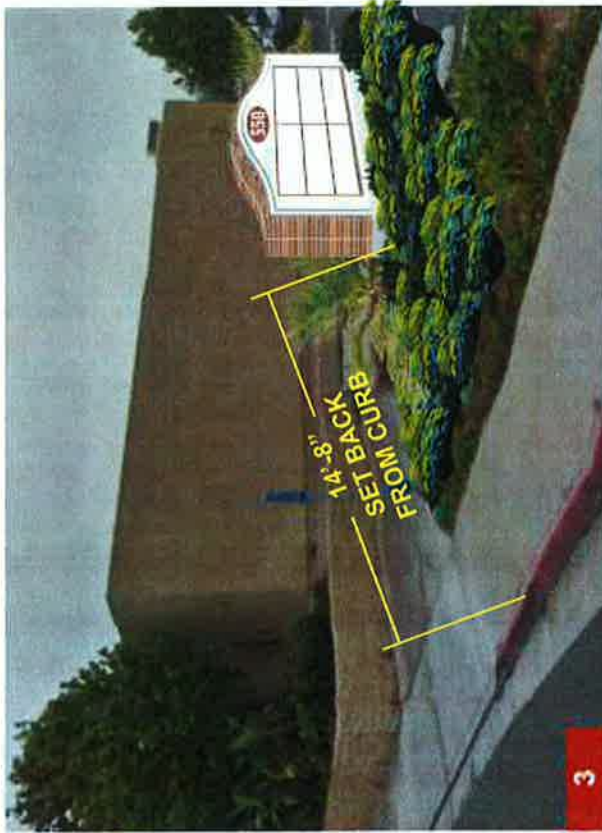
## SUBJECT TO CITY OF SAN CLEMENTE ZONING ORDINANCE – 17.84: SIGN REGULATIONS

**Purpose and Intent.** The purpose of these general regulations is to define the parameters for design, size, height and location of signs. The requirements related to the number, design type and size of signs outlined in this criteria are intended to be maximum standards which do not necessarily ensure compatibility with building architecture, the neighborhood and the community appearance. Consideration shall be given to the sign's relationship to the overall appearance of the subject property and surrounding area.

### A. GENERAL DESIGN STANDARDS

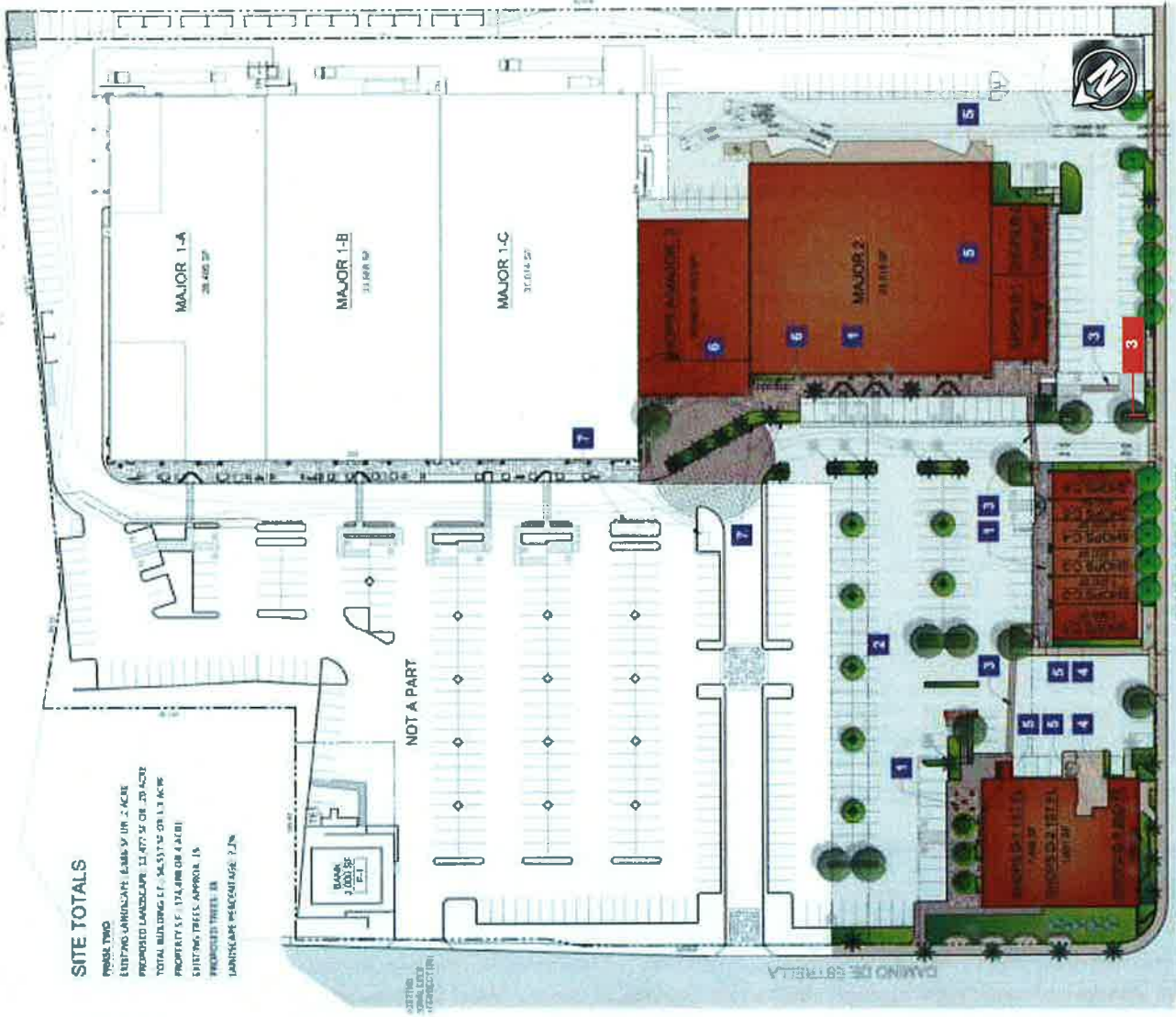
1. **General:** Monument signs shall be constructed as to not obstruct line of sight for pedestrians, bicyclists or vehicular drivers.
2. **Zoning:** Monument signs are permitted in the Community Commercial (CC-2) zoning district in accordance with the City of San Clemente sign code and as shown in the accompanying criteria.
3. **Area:** The maximum allowable area of monument signs in the CC-2 zone shall be sixty four (64) square feet. Only one (1) sign face of any monument sign shall count towards overall signage for the site.
4. **Density:** One (1) monument sign per street frontage is permitted. One (1) additional sign for sites with more than 150 feet of street frontage shall be permitted in accordance with the City of San Clemente sign code.
5. **Height:** The maximum height of a monument sign shall be ten feet (10') from grade in accordance with the City of San Clemente sign code.
6. **Separation:** A minimum one hundred foot (100') separation shall be maintained between monument signs. Monument signs shall be located near the shopping center ingress/egress drives as shown on the accompanying site plan.
7. **Design:** Monument signs shall be designed with colors and architecture that are compatible with the buildings which they identify. Supports shall have architectural coverings and design which complement the overall design scheme.
8. **Construction:** All permanent sign faces shall be constructed of permanent materials including, but not limited to, painted and/or sandblasted wood, ceramic tile, masonry, metal, or other compatible, durable and waterproof material. No material more combustible than treated wood shall be used in the construction of any permanent sign.
9. **Illumination:** Monument signs may be internally or externally lit in commercial zones. Exposed bulbs or neon tubes are not permitted on monument signs. All external lighting shall be directed away from any adjacent residential uses and public rights-of-way.
10. **Landscaping** near the base of any monument signs shall be in accordance with the City of San Clemente zoning code and as shown on the approved site plan drawings for the project.

MONUMENTS P



**SITE TOTALS**

PHASE TWO  
 EXISTING LANDSCAPE: 6,885.57 SQ. FT.  
 PROPOSED LANDSCAPE: 11,477.52 SQ. FT.  
 TOTAL BUILDING FT.: 36,537.52 SQ. FT.  
 PROPERTY SF: 174,400 SQ. FT.  
 EXISTING TREES: APPROX. 15  
 PROPOSED TREES: 28  
 LANDSCAPE RECOUPE: 7.2%



**Monument sign locations are to comply with set backs and clear view restrictions as required by code.**

## Sign Area Table

RETAIL	FRONTAGE	ALLOWED	SQ. FOOTAGE ALLOWED PER ELEVATION
Major 3	80	2.5	213.50
Major 2	170	2.5	335.00
Shop B-1	40	1	40.00
Shop B-2	64	1	68.00
Shops C-6	17.5	1	17.50
Shops C-6 Side Elevation	71.50	1	64.00 sq. ft. max.
Shops C-5	17.5	1	17.50
Shops C-4	21.5	1	21.50
Shops C-3	21.5	1	21.50
Shops C-2	21.5	1	21.50
Shops C-1	25.4	1	25.40
Shops C-1 Side Elevation	71.50	1	64.00 sq. ft. max.
Shops D-1 First Floor	60.33	1	60.33
Shops D-1 Side Elevation	116.00	1	64.00 sq. ft. max.
Shops D-2 First Floor	36.16	1	36.16
Shops D-3 Second Floor	31.00	1	31.00
Shops D-3 Side Elevation	117.00	1	64.00 sq. ft. max.
<b>TOTAL</b>			<b>1,164.89</b>





# SIGN CRITERIA GENERAL REQUIREMENTS, TYPE OF SIGN

The purpose of this Master Signage Plan is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Property. The total concept should give an impression of quality and professionalism, as well as, instill a good business image.

The following specifications shall be used for the design of all signage within the Property; however, in all cases, final written approval by Owner is required prior to manufacturing and installation of all signs.

For purposes of this Master Signage Plan, any reference herein to "Owner" shall also include all tenants, subtenants, licensees and other occupants of Owner's Parcel.

## PROCEDURE:

All signage drawing proposals will be submitted in three (3) copies to Owner for written approval, prior to application for sign permit from the City of San Clemente.

## NOTICE:

WRITTEN APPROVAL AND CONFORMANCE WITH THE REQUIREMENTS SET FORTH HEREIN DOES NOT IMPLY CONFORMANCE WITH APPLICABLE LAWS, CODES, RULES, AND REGULATIONS PROMULGATED BY THE CITY OF SAN CLEMENTE OR ANY OTHER APPLICABLE GOVERNMENTAL AGENCY OR BODY (COLLECTIVELY, THE "LAWS"). ALL SIGNAGE LOCATED WITHIN THE PROPERTY SHALL BE APPROVED IN WRITING BY OWNER, SHALL COMPLY WITH THE APPLICABLE LAWS AND RECEIPT BY OWNER OF A SIGN PERMIT MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ANY SIGNAGE.

## A. GENERAL PROVISIONS

1. All signs and signage programs must confirm to the requirements of this Master Signage Plan, the City of San Clemente, and all applicable Laws. Applications and submittals for signage permits shall be per the City of San Clemente's procedure and requirements.
2. Signs shall identify the person or company operating the use conducted on the Parcel. No off-premises advertising is permitted.

## B. GENERAL REQUIREMENTS

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted or affixed in any manner to any part of the building exterior except as approved in writing by Owner.
2. Each electrical sign, and the installation thereof, shall comply with all applicable Laws. Double back connections must be utilized for all electrical connections through the building structure.
3. Tenant shall obtain all necessary permits for signs and the construction and installation of signs.
4. No labels shall be placed on the exposed surfaces of signs except those required by applicable Laws. Required labels shall be applied in inconspicuous locations.
5. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
6. Sign copy shall be limited to Tenant's proper firm name and shall not include the names of items, goods, or products.

7. Any sign that does not conform to the requirements of this Master Sign Plan or was not approved by the Owner as required hereby shall be immediately removed or brought into conformance at the Tenant's expense.
8. Any sign type not discussed or addressed herein shall be covered by the City of San Clemente sign code.

#### **C. TYPE OF SIGN**

1. All signs shall contain individual, reverse pan channel, halo illuminated, pin mounted letters. Letters shall not be mounted on an exposed raceway.

#### **D. SPECIFIC REQUIREMENTS FOR BUILDING SIGNAGE**

1. Each Tenant will be allowed a maximum of two and one-half (2.5) square feet of building sign area per lineal foot of business facade (calculated from the tenant's total leased premises dimension) along the front (north) building elevation facing Camino De Estrella.
2. The end-cap tenant with building elevation (east) fronting Interstate-5 will be allowed signage within the rear tower element with a maximum of one (1.0) square feet of building sign area per lineal foot of building length.
3. Elevations with sign band areas are being submitted as a part of this design criteria and shall be adhered to when developing individual tenant signage submittals.
4. The square footage for tenant signage shall be computed by enclosing such a sign with the smallest single continuous perimeter around the letters, numbers or emblems. Multiple line or secondary signage may be permitted with the cumulative area for additional rectangles encompassing any

text being added together and calculated towards the overall square footage.

5. Length: As shown in attached document  
75% of the total leased frontage as specified by lease.  
(Example: Maximum spread for a sign for a space thirty (30) feet wide will be twenty-two and one-half (22.5) feet).
6. Layout: All wording and letters shall be centered and mounted on the sign fascia so that all letters are contained within six (6) inches from the bottom of edge of the sign band area. The signage or letter groupings shall be centered in the horizontal and vertical space provided, or in an alternate area close to the Tenant's storefront as may be deemed appropriate by the Landlord. As no time will a sign or portion thereof be allowed to extend over, beyond or past the top and bottom edge of the sign band, or area provided.
7. Height: As shown in attached document
8. National chain businesses may be allowed to use their standard signage. This includes letter style, colors.

### E. LIGHTING

1. Electrical lines from buildings to signs shall be concealed from public view. Exposed raceways are prohibited.
2. All lighting shall be halo illuminated with LED's, Neon or Fluorescent's.
  - A. Neon must be 30MA and between 12mm & 15mm glass tubing
  - B. LED must be Slone or Gelcor brand.
  - C. Fluorescent lighting will be allowed. No exposed bulbs.
3. All electrical will be U.L. or equivalent approved. All UL and sign manufacturer's labels must be placed on top of the sign and no portion of the labels shall be seen from below.
4. Penetration of structure shall be kept to a minimum and must have proper insulation for voltage cable
5. Power supplies shall be concealed behind fascia and mounted in metal boxes.

### F. DETAIL DRAWING

1. Three copies of a complete and detailed drawing by Owner's sign company shall be submitted to Owner for final review and written approval.
2. Elevation of building fascia and sign shall be drawn using a minimum 1/4" to 1" scale.
3. Drawing shall indicate the following specifications:
  - a. Type, thickness, and color of Plexiglas type of material used for backs, returns, and trim caps, including color.
  - b. Finish used on returns.
  - c. Type of illumination and mounting method.
4. Drawing must include fascia cross section showing electrical connections.

### G. WINDOW SIGNAGE

Window signs must comply with The City of San Clemente Sign Code and must be approved by Owner in writing.

Window signs to be created in a professional manner.

### H. GRAND OPENING BANNERS

Grand Opening banners are allowed with Owner approval and in accordance with the City of San Clemente sign code.

### I. ADDRESS SIGNS

Each store is required to display a street address and suite number above storefront door and service door in compliance with the City of San Clemente sign code.

### J. THE FOLLOWING ARE NOT PERMITTED

- a. Roof signs.
- b. Cloth signs or streamers hanging in front of business.
- c. Exposed seam tubing.
- d. Animated or moving components.
- e. Intermittent or flashing illumination.
- f. Iridescent painted signs.
- g. Signs or letters painted directly on any surface.
- h. Signs will not be permitted to be installed or placed along perimeter of Property.
- i. Other uses defined by the City of San Clemente sign code

# BUILDING SIGNAGE EXAMPLE & DETAILS



NOT TO EXCEED 24"  
DOES NOT INCLUDE  
ASCENDERS OR  
DESCENDERS

## FABRICATE & INSTALL

TYPICAL SET OF HALO ILLUMINATED  
REVERSE PAN CHANNEL LETTERS

## CONSTRUCTION:

.090" ALUMINUM FACES  
.063" ALUMINUM 3" DEEP RETURNS  
3/16" CLEAR POLYCARBONATE BACKS  
COLOR AS PER TENANT

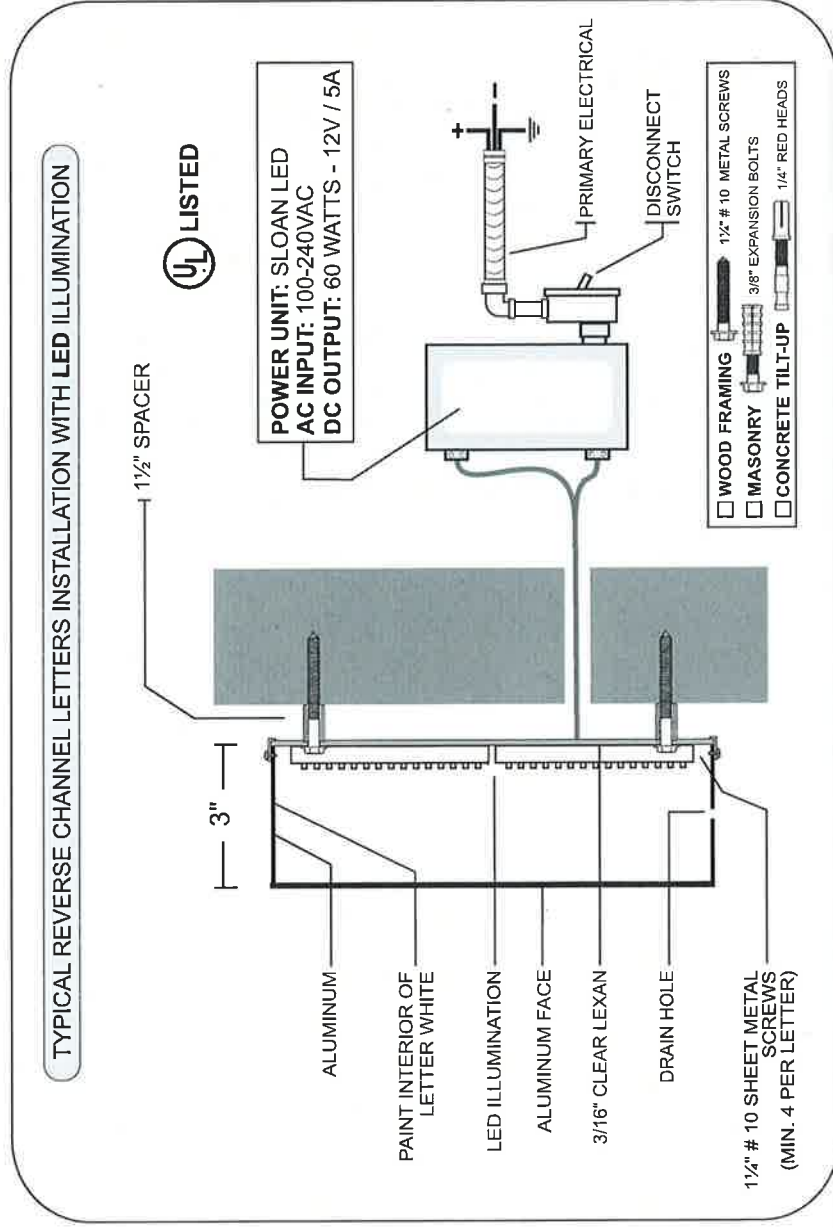
## MOUNTING:

1" NON-CORROSIVE STAND OFFS

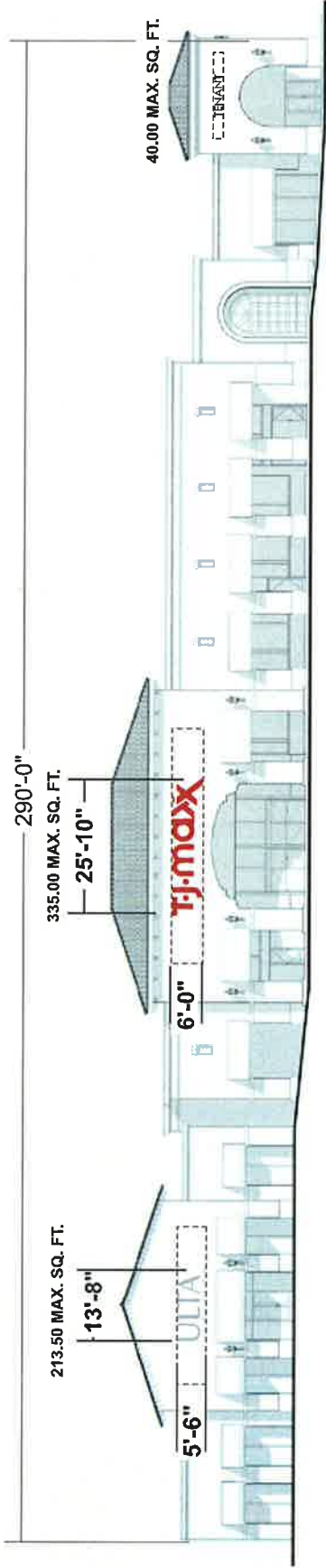
## ILLUMINATION:

SLOAN OR GEL-COR LED'S

WITH REMOTE OR SELF CONTAINED  
POWER SUPPLY'S



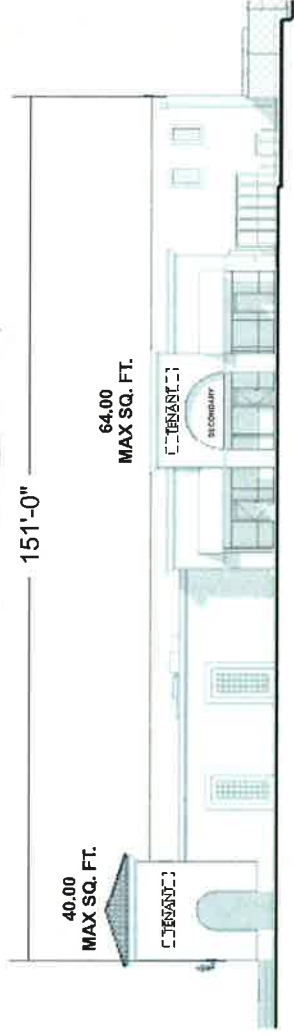
# BUILDING SIGN BAND AREA AND EXAMPLE TENANT SIGNAGE



588.50 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

SCALE: 1/32"=1'-0"

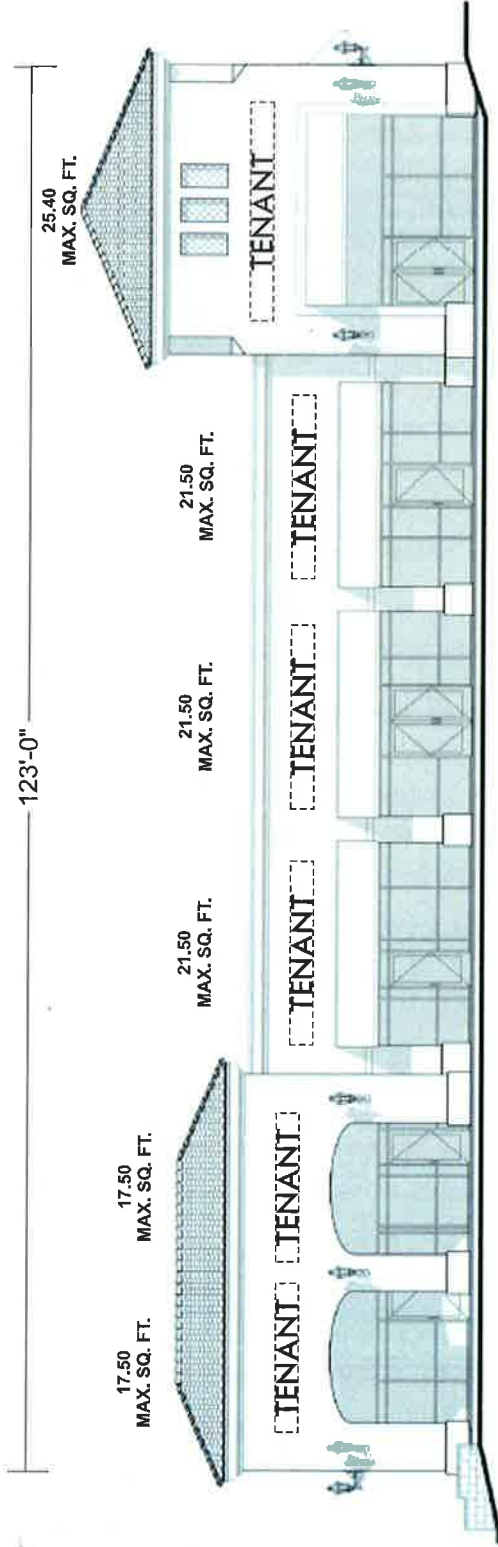
PARTIAL NORTH ELEVATION



148.00 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

SCALE: 1/32"=1'-0"

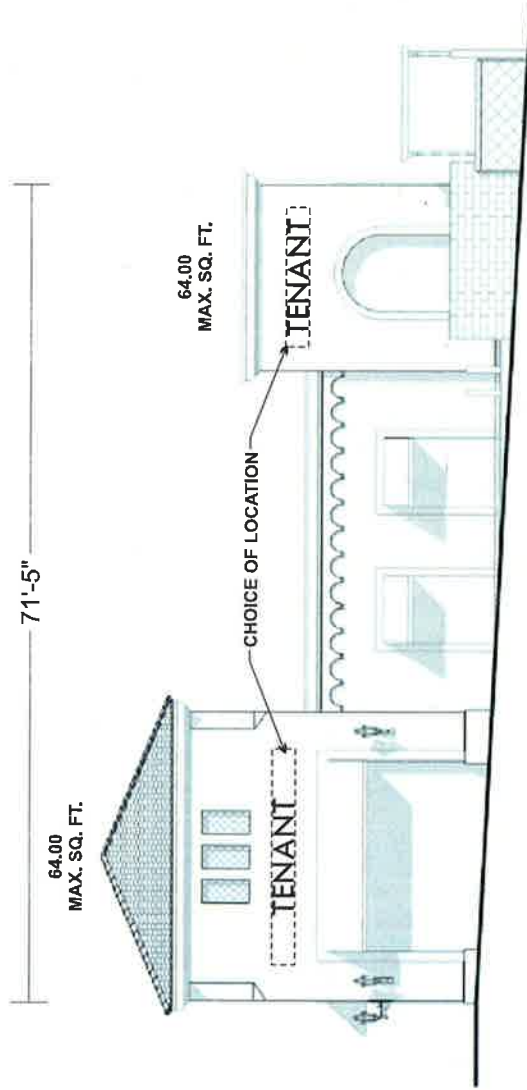
PARTIAL WEST ELEVATION



SCALE: 1/16"=1'-0"

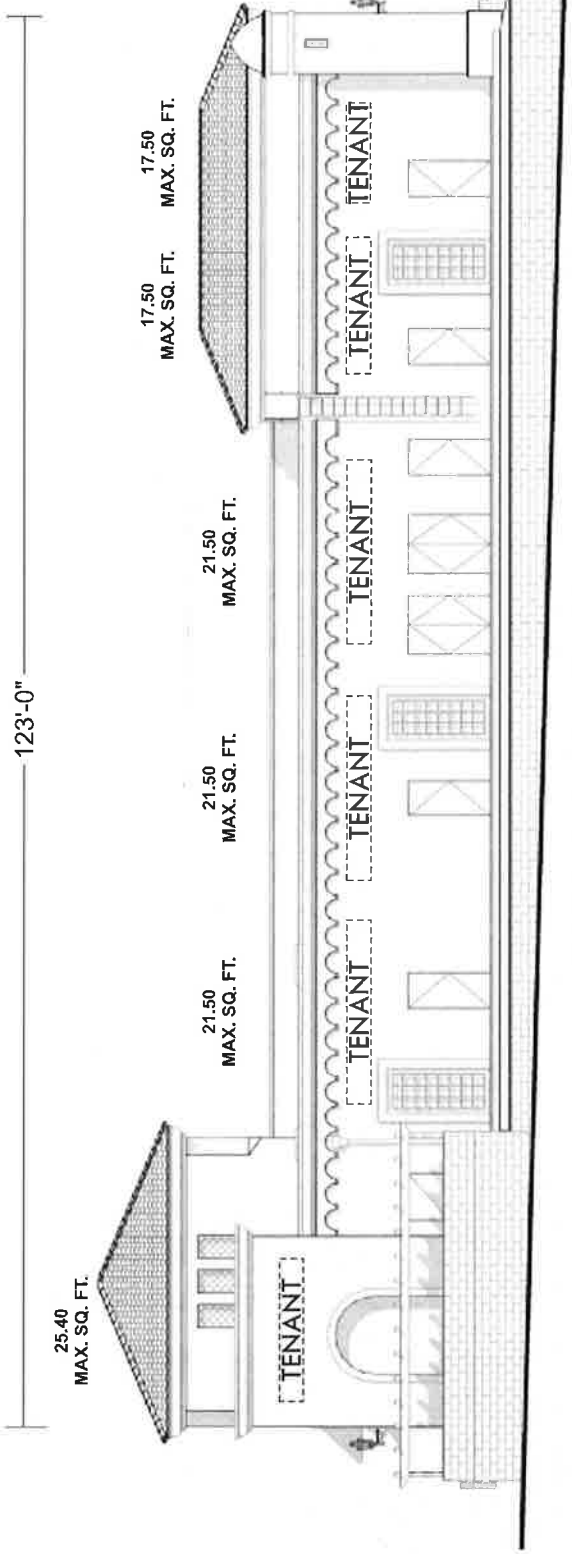
124.90 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

**PAD C EAST ELEVATION**



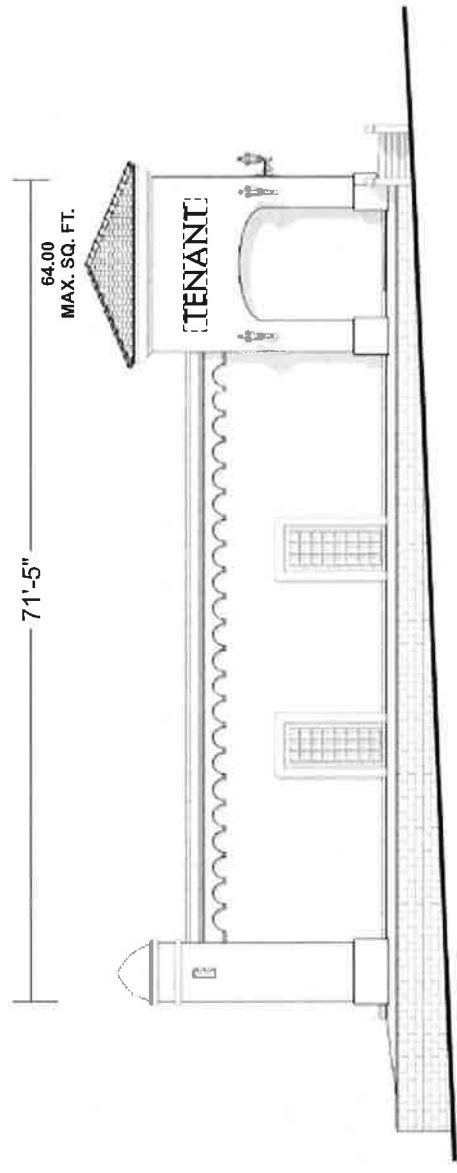
64.00 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

**PAD C NORTH ELEVATION**



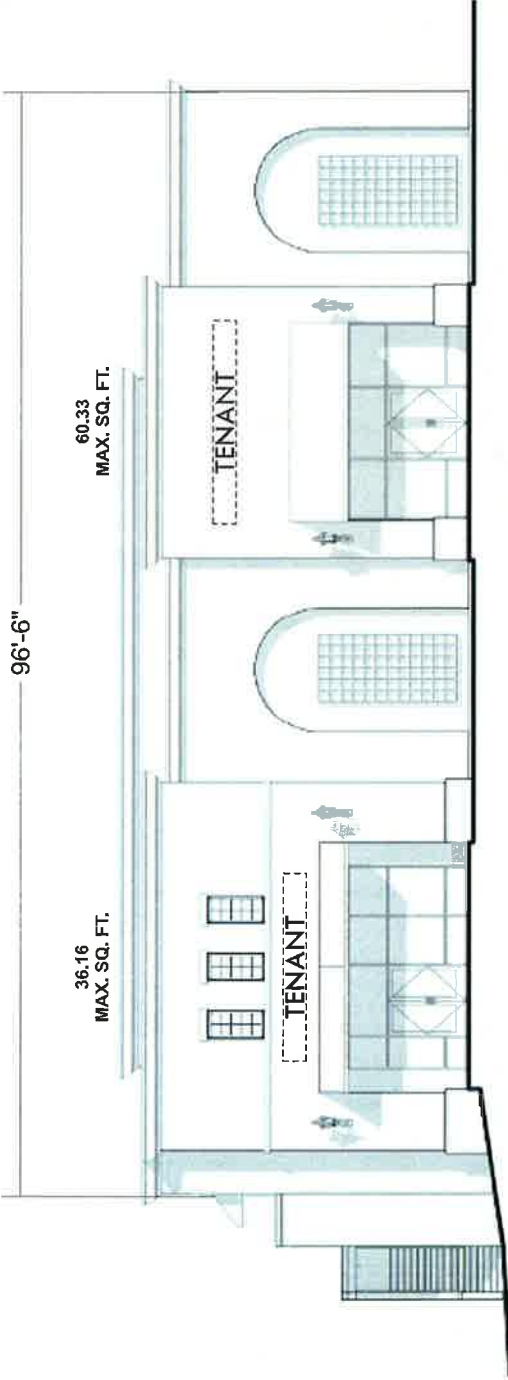
124.90 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

**PAD C WEST ELEVATION**



64.00 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

**PAD C SOUTH ELEVATION**

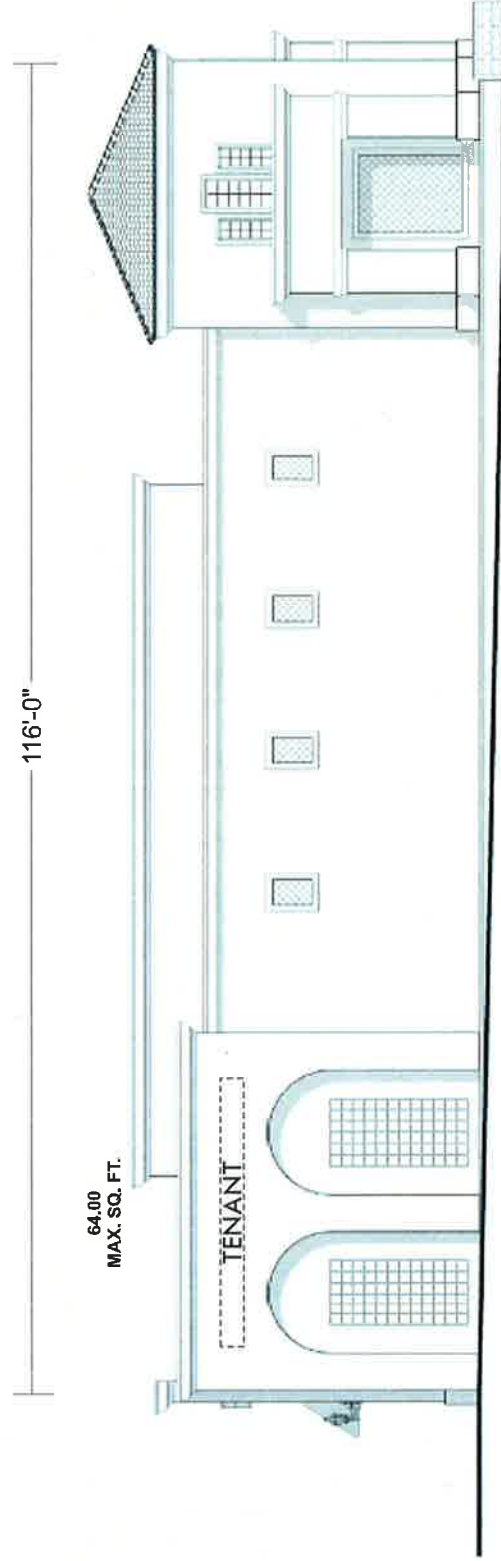


36.16  
MAX. SQ. FT.

60.33  
MAX. SQ. FT.

96.49 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

**PAD D EAST ELEVATION**

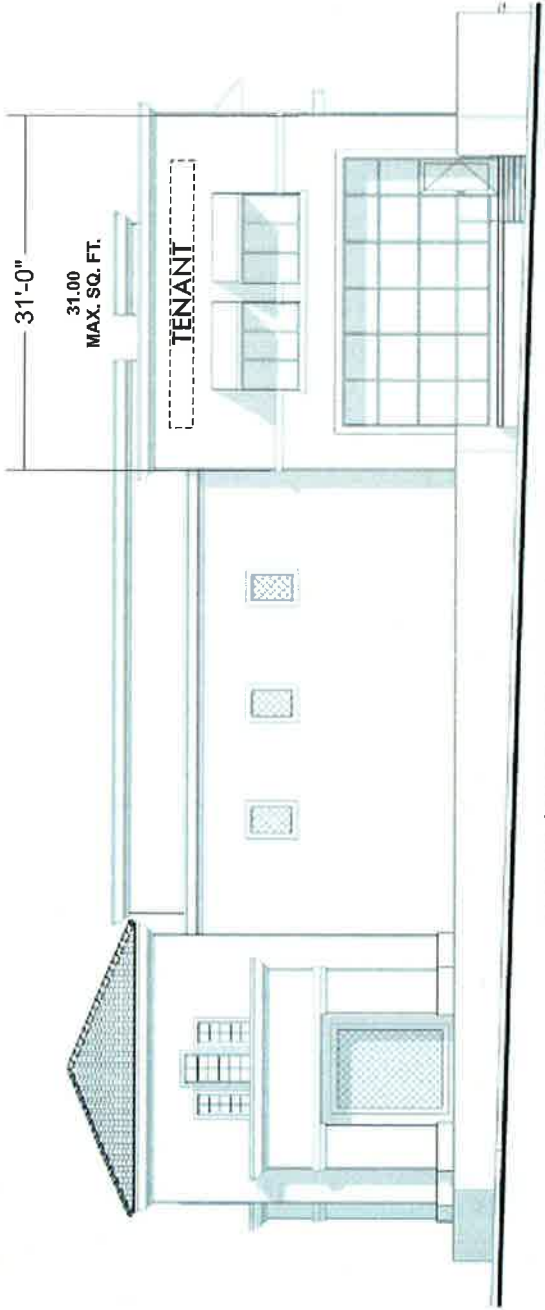


64.00  
MAX. SQ. FT.

64.00 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

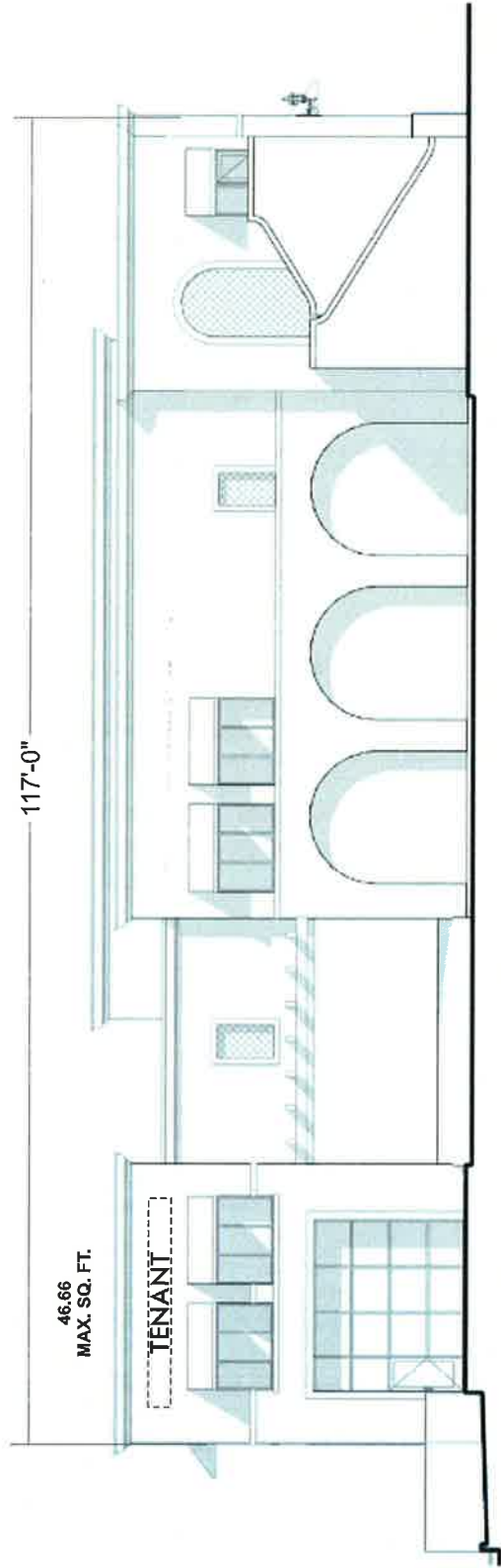
**PAD D NORTH ELEVATION**





31.00 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

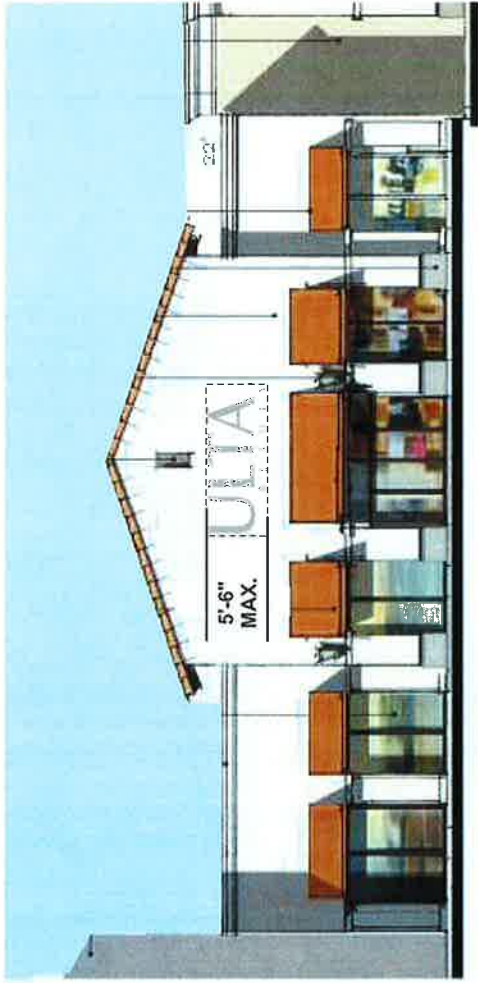
PAD D WEST ELEVATION



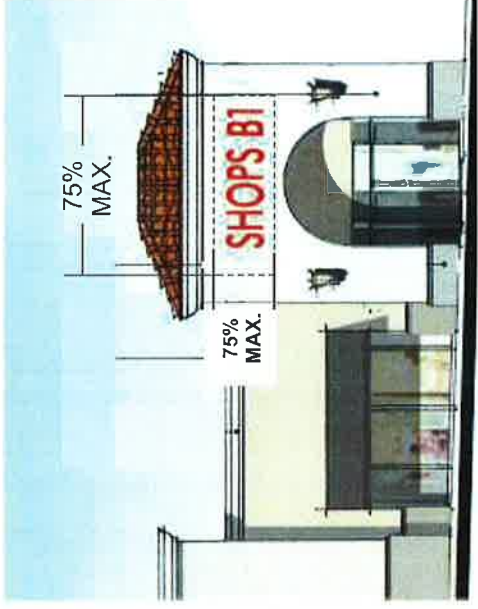
46.66  
MAX. SQ. FT.

46.66 MAX. SQUARE FOOTAGE FOR THIS ELEVATION

PAD D SOUTH ELEVATION



PARTIAL NORTH ELEVATION WITH SIGNAGE



PARTIAL NORTH ELEVATION WITH SIGNAGE