



Design Review Subcommittee (DRSC)

Meeting Date: September 9, 2015

PLANNER: Cliff Jones, Associate Planner *CJ*

SUBJECT: **MCUP 15-111 / MCHP 15-112, Tamarindo Restaurant**, a request to consider the remodel of a one-story commercial building and beer and wine for two future restaurant uses at 108-110 South El Camino Real.

BACKGROUND:

Project Description

The applicant proposes to remodel the building at 108-110 South El Camino Real to make it more compatible with Spanish Colonial Revival architecture and operate two restaurant uses within the building. A sit-down restaurant is proposed for 110 South El Camino Real and a take-out restaurant is proposed for 108 South El Camino Real. The building was previously occupied by a retail market at 110 South El Camino Real and women's clothing store at 108 South El Camino Real. The project is in the Mixed Use zone, Central Business, Architectural and Coastal Overlays (MU3.1-CB-A-CZ). Surrounding land uses include commercial and office uses.

Why is DRSC Review Required?

A Minor Cultural Heritage Permit is required because the project includes exterior modifications to a non-residential structure located within the Architectural Overlay and abuts historic properties to the west side, front and rear of the property at 100 South El Camino Real, 105-107 South El Camino Real, and 101-103 Avenida Del Mar respectively. Attachments 5-7 are descriptions of the historic properties. A Minor Conditional Use Permit is required because the project includes a request for indoor/outdoor on-site consumption of beer and wine for the restaurant at 110 South El Camino Real. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Zoning Administrator.

Prior DRSC Review

The project was previously reviewed by the Design Review Subcommittee (DRSC) on July 29, 2015. A copy of the staff report is provided under Attachment 2. Comments were provided to the applicant and the applicant has submitted the revised plans to

address the stated concerns. A more detailed account of DRSC’s review and their comments are provided later in this report.

ANALYSIS:

The following is a list of DRSC’s previous concerns and the applicant’s response. A letter from the applicant on how they modified the plans to address DRSC’s concerns is provided under Attachment 4.

Table 1 - DRSC concerns and project modifications

<i>DRSC Concerns</i>	<i>Project modifications</i>
1. A smooth white stucco finish should be applied to the entire building.	<i>Modified as requested.</i>
2. A cornice detail should be added to the front and rear parapets. Cornice detail should be simple in design.	<i>Modified as requested.</i> A cornice detail has been added to the front and rear of the building.
3. Wood doors/windows should be provided along the front elevation and they should have lites. Steel door and aluminum windows at the rear are acceptable provided their finish and detailing is consistent with a wood door/window. Steel door and aluminum windows should have traditional profiles and recessed. Aluminum windows should have lites. The bi-folding doors do not need to have lites.	<i>Modified as requested.</i> Wood doors/windows are proposed along the front elevation. Lites have been added to the west storefront. The aluminum windows at the rear now include lites and are recessed six inches. The steel door is recessed six inches.
4. The parapet wall and canopy are a modern design. Applicant should explore ways to screen this modern feature. Simply replacing the fabric awning could achieve this goal. Other options include the addition of a tile mansard roof, or replacing the canopy with a wood trellis.	<i>Modifications not made.</i>
5. The 8” white stucco columns supporting the canopy should be thickened to visually support the canopy mass above.	<i>Modifications not made.</i>


DRSC Concerns	Project modifications
<p>6. Staff recommends terra cotta paver flooring for the front courtyard. The cement tile flooring is a less traditional application and is more appropriate for the rear alley façade where it will have less visibility.</p>	<p>Modified. Cement floor tiles are proposed along the front elevation in a color and shape that match those at the Casa Romantica.</p>
<p>7. Traditional wrought-iron lighting should be provided for the project. Recessed lighting within courtyard canopy and outdoor patio floor is a modern design, not a traditional Spanish Colonial Revival feature and should be eliminated.</p>	<p>Modified. The recessed floor patio lighting was eliminated. Applicant requests to maintain and expand upon the existing recessed canopy lighting.</p>
<p>8. Traditional wrought-iron should be utilized for rear service entry handrails.</p>	<p>Unclear. Material of handrail is not specified on the plans.</p>
<p>9. The design details of the trash enclosure are unclear. The trash enclosure could benefit from a smooth stucco finish, traditional looking metal gates, and wood trellis atop.</p>	<p>Modified. Trash enclosure is finished with smooth white stucco and a steel door. A wood trellis was not added atop the enclosure.</p>
<p>10. Additional design emphasis should be added to the front and rear façade. This can be achieved by adding Catalina style ceramic tile, stone, traditional wrought-iron lighting, or other materials. In particular, Catalina style tile can be added below the fixed windows of the front façade and to the low planter walls facing the alley.</p>	<p>Modified. The applicant has made modifications to the front façade to add additional design emphasis. Major modifications include a low stucco wall around the outdoor dining area, decorative paving, and new wood storefront systems.</p>
<p>11. Signage should be traditional in appearance consisting of sand blasted wood, painted signage, or pinned metal letters. Goose neck lighting is a preferred exterior illumination type. The proposed goose neck lighting application is modern and should project off the face of the canopy to appear more traditional in design.</p>	<p>Modified as requested. Applicant intends to install traditional signage. The modern goose neck lighting application was eliminated.</p>

DRSC Concerns	Project modifications
12. Wheel chair lift should be finished in a black color.	Modified. Applicant proposes a bronze color that has a chocolate brown appearance.
13. A preliminary landscape plan should be prepared for the project.	Modifications not made.
14. The “stucco grates” proposed within the white stucco screen should be arranged in a traditional fashion or eliminated.	Modified. Stucco grates were removed.
15. Landscape proposed within sidewalk area should be eliminated.	Modified as requested.
16. Restaurant’s should use the City’s trash enclosure as opposed to building their own.	Modifications not made. Applicant proposes their own trash enclosure.

RECOMMENDATIONS:

Due to the project’s prominent location in the heart of the Central Business District and Architectural Overlay, and the precedent it may set, high quality architecture is required. The following comments provided in Table 2 are aimed at bringing the project further in line with the Design Guidelines and improve the project’s architectural quality.

Table 2 – Recommendations to Improve Architectural Quality

Recommendation	Sample Image
<p>1. The parapet wall and canopy are a modern design. Applicant should explore ways to screen this modern feature. Simply replacing the fabric awning could achieve this goal. Other options include the addition of a tile mansard roof, or replacing the canopy with a wood trellis.</p>	 <p>The 'Sample Image' column contains three photographs. The top-left photo shows a building with a prominent red fabric awning over the entrance. The top-right photo shows a white building with a red-tiled mansard roof. The bottom-center photo shows a storefront with a canopy made of wood trellis.</p>

Recommendation	Sample Image
<p>2. The 8" white stucco columns supporting the canopy should be thickened to visually support the canopy mass above.</p>	
<p>3. Traditional wrought-iron lighting should be provided and scaled appropriate for the project. Recessed lighting within courtyard canopy is a modern design and should be eliminated.</p>	
<p>4. Traditional wrought-iron should be utilized for rear service entry handrails.</p>	
<p>5. The design of the trash enclosure does not appear Spanish. The addition of a wood trellis and terracotta paver or red brick atop the wall similar to the enclosure built in the alley could improve the look of the trash enclosure.</p>	

Recommendation	Sample Image
<p>6. Additional design emphasis should be added to the front façade. This can be achieved by adding Catalina style ceramic tile, stone, traditional wrought-iron lighting, or other materials. In particular, Catalina style tile can be added to the planter walls facing the front elevation. This detail could be also replicated on the rear planter wall that faces the alley.</p>	
<p>7. The stucco screen wall facing the alley is finished with smooth stucco and painted green. It is recommended that the wall be finished in a white color similar to adjacent historical buildings.</p>	<p>No image available.</p>
<p>8. A preliminary landscape plan should be prepared for the project.</p>	<p>No image available.</p>

CONCLUSION

Staff seeks DRSC concurrence with the above recommendations and welcomes additional input. DRSC comments on the project's design will help ensure a project of the highest quality. DRSC comments will be forwarded to the Zoning Administrator for consideration.

Attachments:

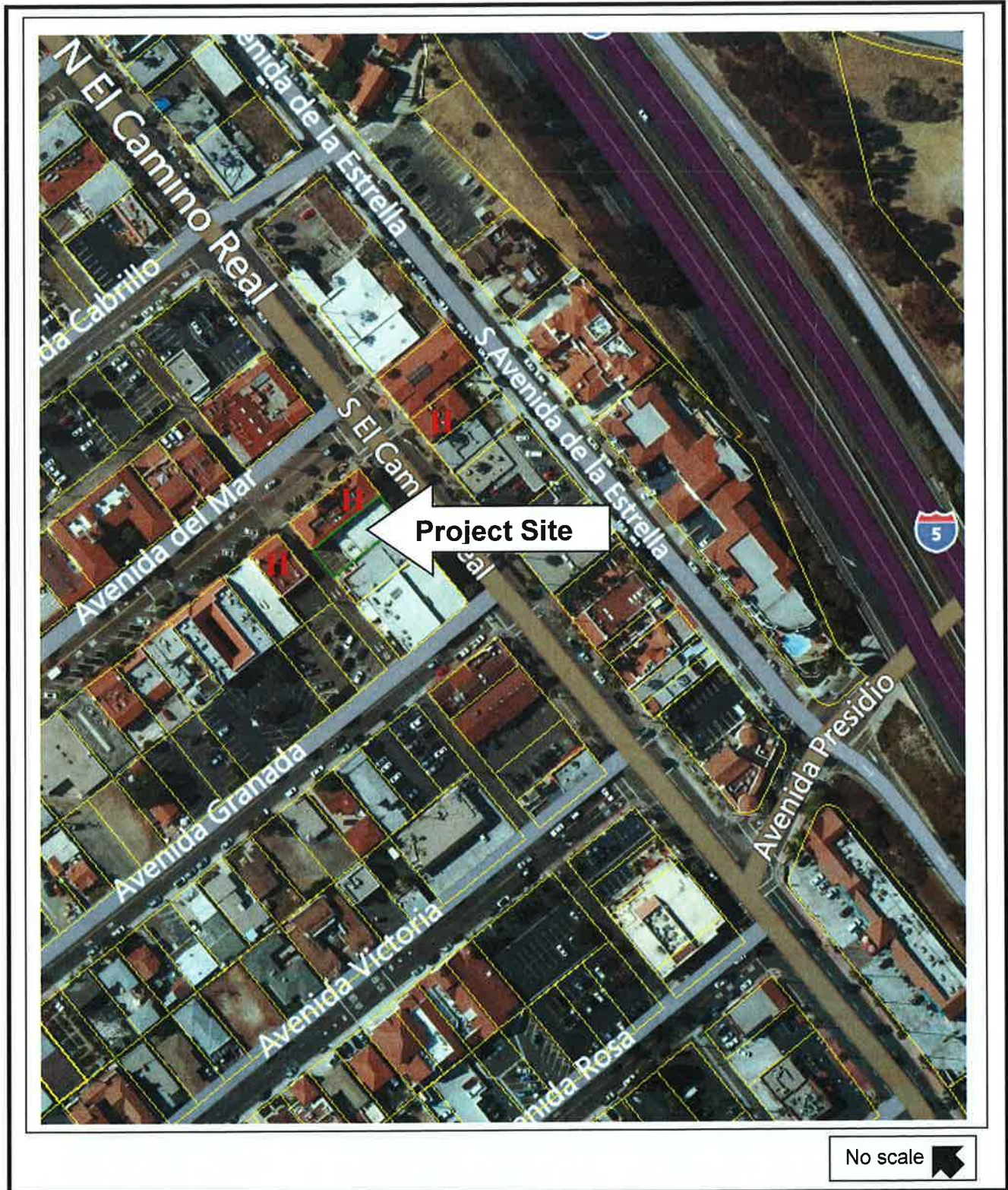
1. Location Map
2. DRSC Report July 29, 2015
3. DRSC Minutes July 29, 2015 (excerpted)
4. Letter from applicant, response to comments
5. DPR Form for 100 South El Camino Real
6. DPR Form for 105-107 South El Camino Real
7. DPR Form for 101-103 Avenida Del Mar

Plans



LOCATION MAP

CUP 15-111 / MCHP 15-112, Tamarindo Restaurant
108-110 South El Camino Real





Design Review Subcommittee (DRSC)

Meeting Date: July 29, 2015

PLANNER: Cliff Jones, Associate Planner 

SUBJECT: MCUP 15-111 / MCHP 15-112, Tamarindo Restaurant, a request to consider the remodel of a one-story commercial building and beer and wine for two future restaurant uses at 108-110 South El Camino Real.

BACKGROUND:

Project Description

The applicant proposes to remodel the building at 108-110 South El Camino Real to make it more compatible with Spanish Colonial Revival architecture and operate two restaurant uses within the building. A sit-down restaurant is proposed for 110 South El Camino Real and a take-out restaurant is proposed for 108 South El Camino Real. The building was previously occupied by a retail market at 110 South El Camino Real and women's clothing store at 108 South El Camino Real. The project is in the Mixed Use zone, Central Business, Architectural and Coastal Overlays, MU3.1-CB-A-CZ. Surrounding land uses include commercial and office uses.

Why is DRSC Review Required?

A Minor Cultural Heritage Permit is required because the project includes exterior modifications to a non-residential structure located within the Architectural Overlay and abuts historic properties to the west side, front and rear of the property at 100 South El Camino Real, 105-107 South El Camino Real, and 101-103 Avenida Del Mar respectively. Attachments 2-4 are descriptions of the historic properties. A Minor Conditional Use Permit is required because the project include a request for beer and wine for the restaurant at 110 South El Camino Real. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Zoning Administrator.

ANALYSIS:

The project site is located within the Architectural Overlay, which specifies Spanish Colonial Revival (SCR) architectural style. The Zoning Ordinance acknowledges that in certain cases, it may not always be practical, with minor changes, to convert a non-Spanish building into a true SCR building. Due to the buildings modern architectural style and the proposed exterior improvements are quite minor, it is not practical to do a full

conversion to SCR style. So in this case, given the project scope, the goal is to make the building more compatible with the design goals of the Architectural Overlay; not to make it into a SCR building. The design does incorporate traditional materials on the building that make it more compatible with the Architectural Overlay and abutting historic buildings.

Exterior building and site changes include:

- 1) repair and repaint existing stucco surface to a smooth white stucco finish;
- 2) remove the fabric awning along the front elevation;
- 3) thicken white stucco canopy along front elevation to add visual mass;
- 4) remove aluminum storefront and replace with wood doors and windows;
- 5) install potted plants to serve as barrier between outdoor dining area and sidewalk;
- 6) install recessed lighting in canopy ceiling and floor of outdoor dining patio;
- 7) install cement tile flooring in outdoor dining patio and rear entry;
- 8) extend white stucco parapet wall facing the alley to screen mechanical equipment from view;
- 9) install aluminum windows and doors along alley façade;
- 10) restripe parking spaces accessed from alley;
- 11) install landscape planter facing rear alley;
- 12) install bicycle parking facing alley;
- 13) construct a trash enclosure facing alley;
- 14) install wheel chair lift along alley façade;
- 15) construct a block wall at rear to screen service entry. Wall is finished with smooth white stucco and stucco grates; and
- 16) Install wall lighting along rear alley facade.

Design Guidelines / Henry Lenny Design Guidelines / General Plan Consistency

Staff evaluation of the project's consistency with Design Guidelines, Henry Lenny Design Guidelines, and the Centennial General Plan, is provided in Table 1 below.


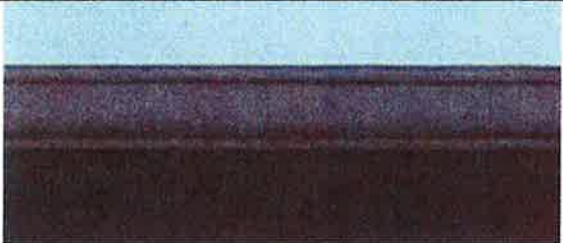

Table 1 – Project consistency with Design Guidelines, Henry Lenny Design Guidelines and the Centennial General Plan



Design Guideline or Centennial General Plan Policy	Project Consistency
<p><i>Design Guidelines II.C.2.</i> Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture</p>	<p>Partially consistent. As a partial remodel to a contemporary building there are limitations that prevent a full SCR form. The materials, colors and architectural details chosen are generally harmonious with SCR style. However, recommendations to improve the design of the building are provided within the Recommendations section below.</p>
<p><i>Design Guidelines II.C.3.</i> Incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards</p>	<p>Partially Consistent. A patio is provided that fronts South El Camino Real. However, it is covered and not a traditional outdoor courtyard, plaza, or patio space open to the sky.</p>
<p><i>Land Use Policy, Outdoor Dining. 11.04.</i> We encourage the development of outdoor dining and other similar uses which do not impede pedestrian use of the sidewalks.</p>	<p>Consistent. The project provides outdoor dining space fronting South El Camino Real, which is outside the pedestrian path of travel.</p>
<p><i>Mobility & Complete Streets Implementation Measure 7.</i> Update the Municipal Code to require end of trip bicycle facilities, as appropriate to the scale and use of the project, such as parking, lockers, and showers in new or major remodels of multi-family residential and non-residential sites.</p>	<p>Consistent. Bicycle parking is proposed at the rear of the building.</p>
<p><i>Historic Preservation, Standards & Regulations Goal.</i> Ensure the preservation, rehabilitation, restoration and adaptive reuse of buildings, sites, places, and districts with archaeological, historical, architectural, or cultural significance to San Clemente.</p>	<p>Consistent. The architectural treatment compliments the Spanish Colonial Revival architecture of the District and the historic buildings within the District. The restaurant use will attract a variety of customers who will see the historic resources of the District.</p>

RECOMMENDATIONS:

Due to the project’s prominent location in the heart of the Central Business District and Architectural Overlay, and the precedent it may set, high quality architecture is required. The following comments provided in Table 2 are aimed at bringing the project further in line with the Design Guidelines and improve the project’s architectural quality.

Table 3 – Recommendations to Improve Architectural Quality

Recommendation	Sample Image
<p>1. A smooth white stucco finish should be applied to the entire building.</p>	
<p>2. A cornice detail should be added to the front and rear parapets. Cornice detail should be simple in design.</p>	
<p>3. Wood doors/windows should be provided along the front elevation and they should have lites. Steel door and aluminum windows at the rear are acceptable provided their finish and detailing is consistent with a wood doors/window. They should have traditional profiles, recessed, and the aluminum windows should have lites.</p>	

Recommendation	Sample Image
<p>4. The parapet wall and canopy are a modern design. Applicant should explore ways to screen this modern feature.</p> <p>Simply replacing the fabric awning could achieve this goal. Other options include the addition of a tile mansard roof, or replacing the canopy with a wood trellis.</p>	 <p>The sample images for recommendation 4 show three different ways to screen a modern canopy. The top-left image shows a building with a red fabric awning over a walkway. The top-right image shows a building with a white fabric awning. The bottom image shows a building with a dark wood trellis structure over a walkway. The trellis structure has the text 'CHRISTOPHER LEE LTD' and 'HEAD CENTER' visible on its side.</p>
<p>5. The 8" white stucco columns supporting the canopy should be thickened to visually support the canopy mass above.</p>	 <p>The sample images for recommendation 5 show two examples of thickened stucco columns supporting a canopy. The left image shows a close-up of a thick, square stucco column supporting a wooden canopy structure. The right image shows a wider view of a building with several thick, square stucco columns supporting a canopy over an entrance.</p>
<p>6. Staff recommends terra cotta paver flooring for the front courtyard. The cement tile flooring is a less traditional application and is more appropriate for the rear alley façade where it will have less visibility.</p>	 <p>The sample image for recommendation 6 shows a courtyard area with terra cotta paver flooring. There are several outdoor tables and chairs set up in the courtyard, surrounded by lush greenery and plants.</p>

Recommendation	Sample Image
<p>7. Traditional wrought-iron lighting should be provided for the project. Recessed lighting within courtyard canopy and outdoor patio floor is a modern design, not a traditional Spanish Colonial Revival feature and should be eliminated.</p>	
<p>8. Traditional wrought-iron should be utilized for rear service entry handrails.</p>	
<p>9. The design details of the trash enclosure are unclear. The trash enclosure could benefit from a smooth stucco finish, traditional looking metal gates, and wood trellis atop.</p>	

Recommendation	Sample Image
<p>10. Additional design emphasis should be added to the front and rear façade. This can be achieved by adding Catalina style ceramic tile, stone, traditional wrought-iron lighting, or other materials. In particular, Catalina style tile can be added below the fixed windows of the front façade and to the low planter walls facing the alley.</p>	 <p>The sample images for recommendation 10 show three distinct architectural features. The top-left image shows a dark wood door with a decorative, possibly tiled or carved, frame. The top-right image shows an arched window with a wrought-iron grille, flanked by two traditional-style wall sconces. The bottom image shows a low, light-colored planter wall with a decorative border of colorful, square tiles.</p>
<p>11. Signage should be traditional in appearance consisting of sand blasted wood, painted signage, or pinned metal letters. Goose neck lighting is a preferred exterior illumination type. The proposed goose neck lighting application is modern and should project off the face off the canopy face to appear traditional in design.</p>	 <p>The sample images for recommendation 11 show two examples of signage and lighting. The left image shows a sign with the text 'Lavender Lounge' in a cursive font and 'TBA COMPANY' in a sans-serif font below it. The right image shows a close-up of a goose neck light fixture, which is a traditional-style lamp with a curved neck and a glass shade, mounted on a wall.</p>

Recommendation	Sample Image
12. Wheel chair lift should be finished in a black color.	No image available.
13. A preliminary landscape plan should be prepared for the project.	No image available.
14. The “stucco grates” proposed within the white stucco screen should be arranged in a traditional fashion or eliminated.	No image available.
15. Landscape proposed within sidewalk area should be eliminated.	No image available.

CONCLUSION

Staff seeks DRSC concurrence with the above recommendations and welcomes additional input. DRSC comments on the project’s design will help ensure a project of the highest quality. DRSC comments will be forwarded to the Zoning Administrator for consideration.

Attachments:

1. Location Map
2. DPR Form for 100 South El Camino Real
3. DPR Form for 105-107 South El Camino Real
4. DPR Form for 101-103 Avenida Del Mar Plans

C. **Conditional Use Permit 15-111/Minor Cultural Heritage Permit 15-112, Tamarindo Restaurant** (Jones)

A request to consider the remodel of a one-story commercial building and beer and wine for two future restaurant uses at 110 South El Camino Real.

Associate Planner Cliff Jones summarized the staff report.

Larry Culbertson, Historical Society member, indicated that he would like to see the storefront façade maintained.

The Design Review Subcommittee either individually or as a group discussed the following items:

- Expressed concurrence with staff's recommendations and suggested the applicant relook at the project design, consider staff's recommendations, and move the design further towards Spanish Colonial Revival architecture.
- Indicated that the design of the building should be in character with the adjacent Spanish Colonial Revival buildings.
- Indicated that the project is located at one of the most historically precious intersections in the community.
- The removal of the front storefront façade creates a blank canvas to move the building towards Spanish Colonial Revival architectural style.
- The bi-folding doors do not need to have lights.
- Appreciated the open appearance of the front façade.
- Suggested the applicant reconsider the use of potted plants as a physical barrier between the outdoor patio and sidewalk. A more traditional application would be a low stucco wall or solid wrought iron fence.
- Suggested the restaurant's use the City's trash enclosure as opposed to building their own.
- Indicated that the Subcommittee is only considering the project design but the decision making body may be concerned about parking and potential for overconcentration of the service of beer and wine in the area.

The Subcommittee recommended the project return to the Design Review Subcommittee for final review.

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7 August 2015

Cliff Jones, Associate Planner
Community Development Department
City of San Clemente
910 Calle Negocio, Ste. 100
San Clemente, California 92673

Dear Cliff,

We want to thank you again for your continued attention to 108-110 S. El Clemente Real. Please also share with Subcommittee Members Crandell, Ruehlin, and Eggleston our appreciation for their comments, feedback, and consideration of this project during the July 29th Design Review Subcommittee Meeting.

As you know, the building at 108-110 S. El Clemente Real has been a part of San Clemente for the past 75 years and the project we propose has no change in overall massing, height, materials, or expansion of the footprint of the existing building. The building was built 14 years after the Bartlett Building next door and the two buildings have coexisted for many years without any demonstrative adverse impact upon the public welfare, historic resources, or environment. The only changes the Applicants voluntarily propose are to elements of the 1940s building that were altered during the 1960s and 70s.

In response to Design Review Subcommittee comments, the Applicants and representatives from Stayner Architects look forward to meeting with the Subcommittee again at their next meeting on August 12, 2015. In preparation for this meeting, and in response to the Committee's wishes as presented at the July 29th meeting, the Applicants propose revisions the following items:

1. In response to DRSC comments, Applicants have revised the proposal to include genuine lites on the windows fronting the alleyway and in the storefront of the small take-out restaurant space. These are consistent with the illustrations provided in the Henry Lenny Design Guidelines. Please see attached revised elevation drawings (Attachment A).
2. In response to DRSC comments, the Applicants have revised the proposal so that the wheelchair lift in the rear of the building, required under California Building Code and the Americans with Disabilities Act, and the trash enclosure, as required by San Clemente Municipal Code, will be powder coated in a standard bronze color (Tiger Drylac

75/60014 "Medium Bronze 30 +/-5" or similar), as you indicated that bronze was equally acceptable to you as black.

3. In response to DRSC comments, the Applicants have included a cornice detail on the front and rear facades. This detail is borrowed from and contextual to the Avenida Del Mar facade of the Bartlett Building. Please see attached drawing (Attachment B).
4. In response to DRSC comments, the Applicants have removed the proposed gooseneck signage lighting from the front of the building.
5. In response to DRSC comments about not "San Clemente" colors, the Applicants have revised the front cement (encaustic) tiles to identically match the colors in the cement tiles original to Casa Romantica. The shapes (hexagon and squares) are also identical to those tiles found at Ole Hanson's home. The edge pattern proposed is a traditional Spanish Colonial Revival pattern and matches one in Casa Romantica. Please see attached drawing (Attachment C). They have also changed the color of the porch wall in the back of the building to match the accent color of the Historic City Hall building (Dunn, Edwards DE5718). both a green color
6. In response to Subcommittee Chair Crandell's request, the Applicants have added a fin wall to match those of the existing structure to produce a repetitive sequence of bays that have "a similar shape or feel to give a rhythm down the line." This returns the building to its original façade of three bays. Please see attached drawing (Attachment D).
7. In response to DRSC comments, the Applicants have removed the stucco grates from the alleyway planter wall. Please see attached drawing (Attachment E).
8. In response to DRSC comments, the Applicants have removed the pots from the front of the building. In its place they have enclosed the outdoor eating area with a stucco planter along the front property line. Like the terra cotta pots originally proposed, the planter also meets California ABC standards regarding height and separation of eating areas from the public right-of-way. In response to concerns from the DRSC regarding beer and wine sales as part of a bona-fide restaurant, this planter also separates the restaurant entry from the eating area on private property and meets OC Sheriff's requirements for sightlines into the restaurant. The planter will be finished in smooth stucco, consistent with the Planning Department's directive. Due to requirements under the California Building Code, we have included egress under CBC Chapter 10. The plaster will be sealed with an anti-graffiti coating. The plants will be selected from the list provided in the Design Guidelines. The planter addresses the DRSC's concerns regarding the connection between sidewalk pavers, concrete strip, and matching sidewalk paving for the approximately 1-foot section of City property, as noted on the drawing. Please see the attached drawing (Attachment F). white color

5. Increase the parapet to screen existing and new roof-mounted equipment, as required by the Municipal Code.

6. Restripe the parking lot to conform to the provisions of the Americans with Disabilities Act and the 2013 California Building Code. Add a wheelchair lift and rebuild the nonconforming stairs to meet current City, State, and Federal requirements. Add planted area to comply with Municipal Code. Replace existing vinyl doors and windows with those meeting the City's published standards. Replace existing exterior security lighting required under Municipal Code with dark sky-friendly lighting. At the request of Planning Department, add bike parking adjacent to the parking and alleyway.

Five copies of the revised drawings, as well as printed copies of the above, have been FedExed to your office and will arrive Monday morning.

Sincerely yours,

Stayner Architects

PROJECT
Tamaindo Restaurant
 100 E. El Camino Real
 San Mateo, CA 94402

CLIENT
 CLOUTIER DEVELOPMENT
 100 E. El Camino Real
 San Mateo, CA 94402
 PH: 650.571.1234

DESIGNER
Stayner Architects
 1000 California Street, Suite 200
 San Francisco, CA 94109
 PH: 415.774.4444

DATE
 08/15/2018



1 FRONT ELEVATION - FROM NORTH
 2 FRONT ELEVATION - FROM EAST
 3 FRONT ELEVATION - FROM SOUTH
 4 FRONT ELEVATION - FROM WEST
 5 REAR ELEVATION - FROM NORTH
 6 REAR ELEVATION - FROM EAST
 7 REAR ELEVATION - FROM SOUTH
 8 REAR ELEVATION - FROM WEST



1 Location, Vicinity, & Photographic Location Map
 2 SEE NOTES TO LOCATION DRAWING

NEARBY HISTORIC LANDMARKS

- 1 100 E. EL CAMINO REAL
- 2 101 E. EL CAMINO REAL
- 3 102 E. EL CAMINO REAL
- 4 103 E. EL CAMINO REAL
- 5 104 E. EL CAMINO REAL
- 6 105 E. EL CAMINO REAL
- 7 106 E. EL CAMINO REAL
- 8 107 E. EL CAMINO REAL
- 9 108 E. EL CAMINO REAL
- 10 109 E. EL CAMINO REAL

PRODUCT INFORMATION
 ALL MATERIALS AND FINISHES TO BE USED IN THIS PROJECT SHALL BE APPROVED BY THE ARCHITECT AND THE CLIENT. ALL MATERIALS AND FINISHES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL AT LEAST 14 DAYS BEFORE THE START OF CONSTRUCTION. ALL MATERIALS AND FINISHES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL AT LEAST 14 DAYS BEFORE THE START OF CONSTRUCTION.

PLANT SCHEDULE

TYPE	TYPE (CODE)
1	BRAND TONGUE
2	BRAND TONGUE
3	BRAND TONGUE
4	BRAND TONGUE
5	BRAND TONGUE
6	BRAND TONGUE
7	BRAND TONGUE
8	BRAND TONGUE
9	BRAND TONGUE

MATERIAL SCHEDULE

TYPE	COLOR	MATERIAL
1	WHITE	EXTERIOR WALLS
2	WHITE	EXTERIOR WALLS
3	WHITE	EXTERIOR WALLS
4	WHITE	EXTERIOR WALLS
5	WHITE	EXTERIOR WALLS
6	WHITE	EXTERIOR WALLS
7	WHITE	EXTERIOR WALLS
8	WHITE	EXTERIOR WALLS
9	WHITE	EXTERIOR WALLS

SYMBOLS

▲	WALLS TO BE REMOVED
○	DOOR REVISIONS - SEE DOOR SCHEDULE
□	WINDOW REVISIONS - SEE WINDOW SCHEDULE
△	SECURITY CAMERA

EXTERIOR LIGHTING SCHEDULE

TYPE	LOCATION	FINISH	MANUFACTURER	MODEL	SOLID TYPE	DIMENSIONS
1	FLOOR LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
2	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
3	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
4	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
5	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
6	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
7	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
8	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"
9	WALL MOUNTED LIGHT	BRONZE	OSRAM	LED	PIVOT	12" X 12" X 12"

DOOR SCHEDULE

MARK	SIZE	TYPE	FINISH	COMMENTS
1	3'-0" X 7'-0"	SLIPSTREAM	WHITE	
2	3'-0" X 7'-0"	SLIPSTREAM	WHITE	
3	3'-0" X 7'-0"	SLIPSTREAM	WHITE	

WINDOW SCHEDULE

MARK	SIZE	TYPE	FINISH	COMMENTS
1	3'-0" X 7'-0"	SLIPSTREAM	WHITE	
2	3'-0" X 7'-0"	SLIPSTREAM	WHITE	
3	3'-0" X 7'-0"	SLIPSTREAM	WHITE	

DISCRETIONARY SIGN PERMIT TO BE SUBMITTED AT A LATER DATE

PROJECT
Tamamundo Restaurant

118 S. El Camino Real
 San Clemente, CA 92672

OWNER
 TAMAMUNDO RESTAURANT
 118 S. El Camino Real
 San Clemente, CA 92672
 (714) 898-9371

ARCHITECT
 BRAYNER ARCHITECTS
 118 S. El Camino Real, Suite 100
 San Clemente, CA 92672
 (714) 898-9371

Brayner Architects

ARCHITECT
 118 S. El Camino Real, Suite 100
 San Clemente, CA 92672
 (714) 898-9371
 PROJECT NO. 1401
 DATE: 05/20/15

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

PLUMBING ENGINEER

LANDSCAPE ARCHITECT

ENVIRONMENTAL ENGINEER

SOILS ENGINEER

TRAFFIC ENGINEER

ACoustics ENGINEER

GENEAL ENGINEER

CONSTRUCTION ENGINEER

ASBESTOS ABATEMENT ENGINEER

ARCHITECTURAL HISTORIC ENGINEER

INTERIOR DESIGNER

SCULPTOR

PAINTER

LANDSCAPE ARCHITECT

PLUMBING ENGINEER

ELECTRICAL ENGINEER

MECHANICAL ENGINEER

STRUCTURAL ENGINEER

ENVIRONMENTAL ENGINEER

SOILS ENGINEER

TRAFFIC ENGINEER

ACoustics ENGINEER

GENEAL ENGINEER

CONSTRUCTION ENGINEER

ASBESTOS ABATEMENT ENGINEER

ARCHITECTURAL HISTORIC ENGINEER

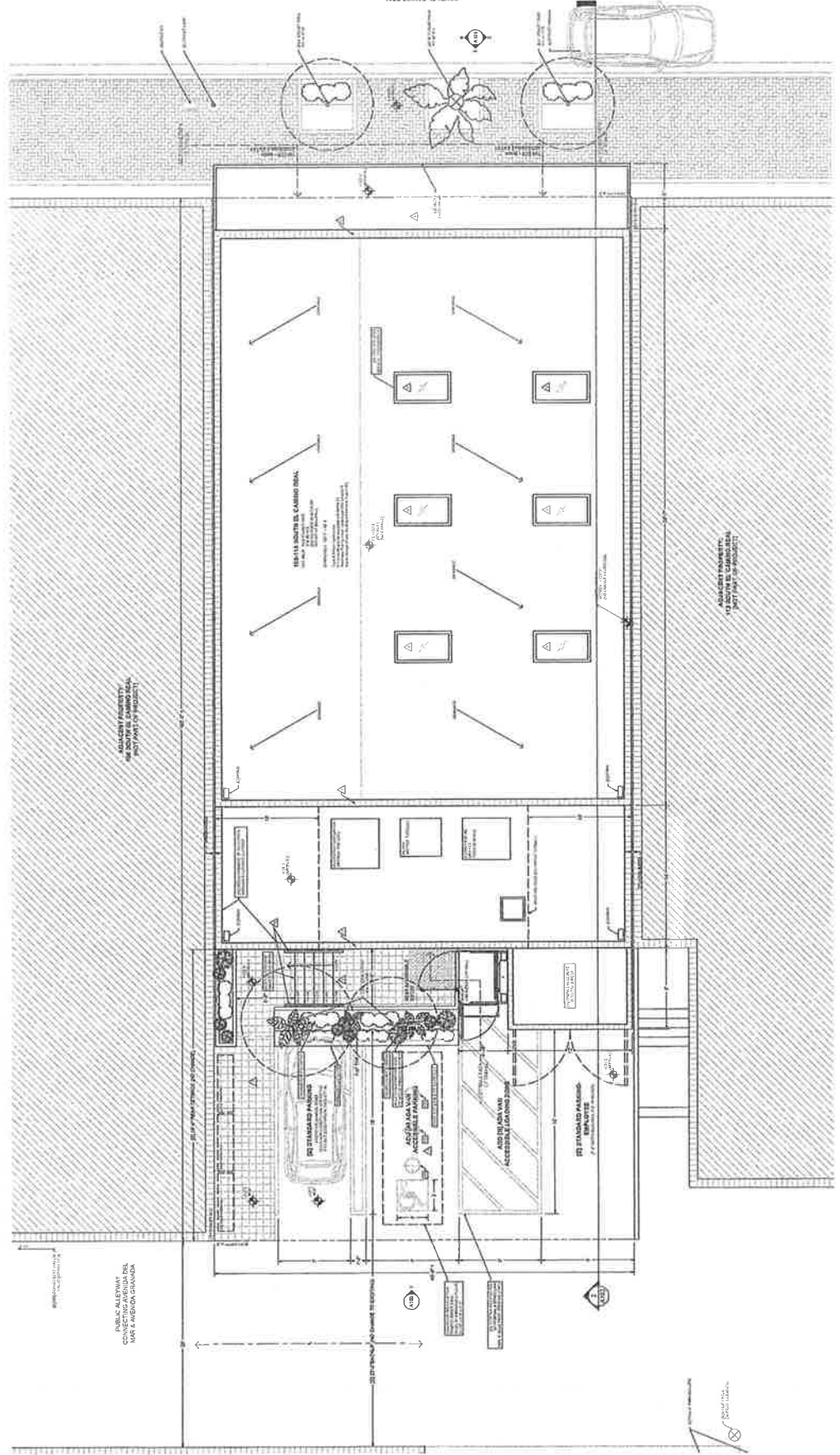
A101

Scale: 1/4" = 1'-0"

SITE PLAN

Project Number: SA - 1401
 Date: 05/20/15
 Drawn By: RM
 Checked By: GP

DO NOT SCALE FROM DRAWING. ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE CONSIDERED AS APPROXIMATE. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS DRAWING. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS DRAWING. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS DRAWING.



1 SITE PLAN
 1/4" = 1'-0"

Tamarindo Restaurant

PROJECT
1111
San Clemente, CA 92672

OWNER
1111
San Clemente, CA 92672
Tel: 949.341.1111

OWNER
1111
San Clemente, CA 92672
Tel: 949.341.1111

Stayner Architects
20000
San Clemente, CA 92672
Tel: 949.341.1111

PROJECT NO. 1111
DATE: 11/11/11

REVISIONS
1. 11/11/11

DATE: 11/11/11

SCALE: 1/4" = 1'-0"

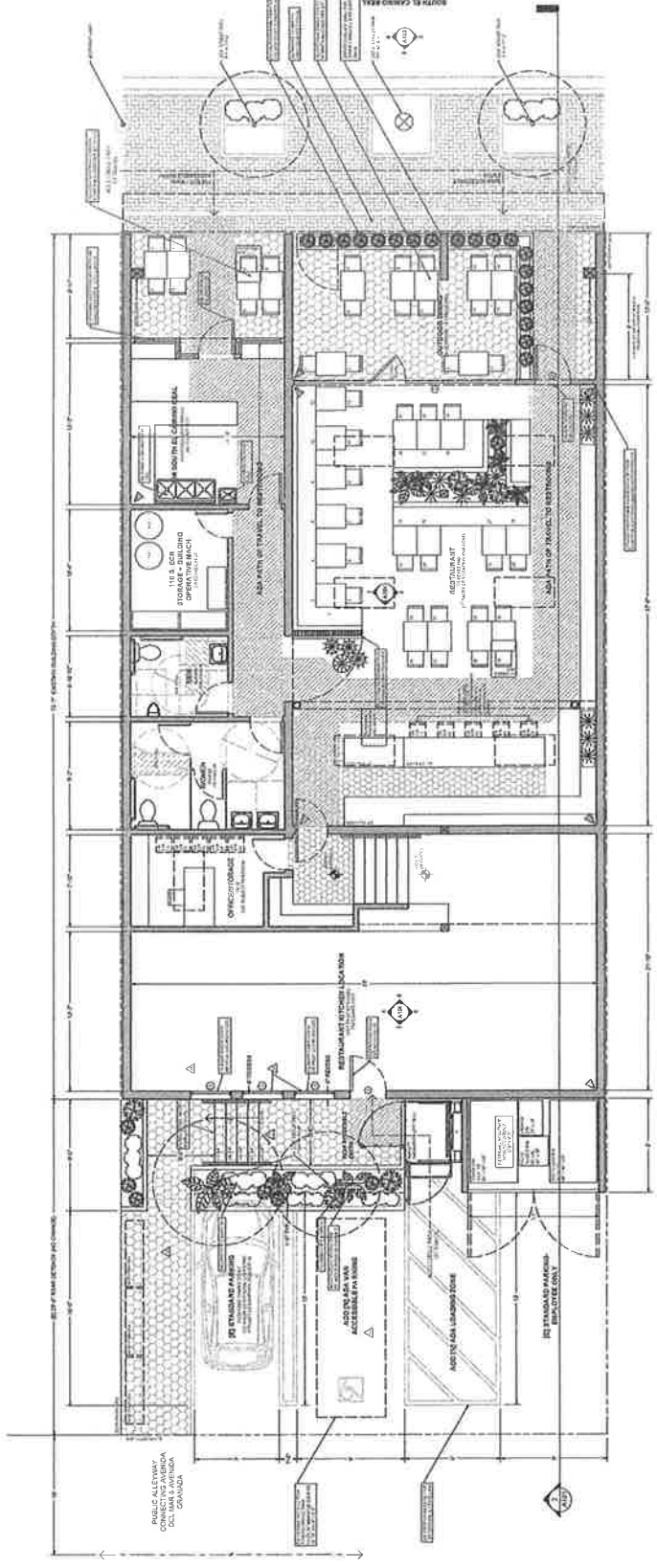
PROJECT NO. 1111

DATE: 11/11/11

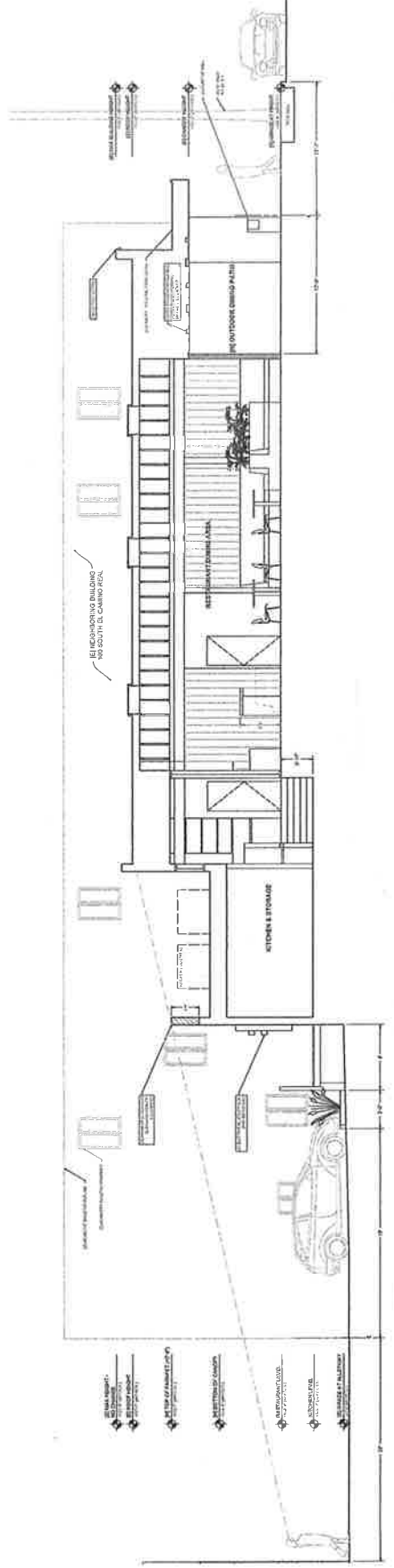
SCALE: 1/4" = 1'-0"

PROJECT NO. 1111

DATE: 11/11/11



1 FLOOR PLAN



2 SECTION

A102-MCUP

Scale: 1/4" = 1'-0"

Project Number: A102-MCUP

Drawn By: RM

Checked By: CS

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

SECTION - MCUP

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SECTION - MCUP

SECTION - MCUP

PROJECT
Tamarindo Restaurant
 1815 S. Bascom Avenue, Suite 100
 San Jose, CA 95128

ARCHITECT
Stagner Architects
 1815 S. Bascom Avenue, Suite 100
 San Jose, CA 95128
 (415) 922-1111
 www.stagner.com

CLIENT
 Tamarindo Restaurant
 1815 S. Bascom Avenue, Suite 100
 San Jose, CA 95128
 (415) 922-1111
 www.tamarindorestaurant.com

DATE
 08/15/2017

SCALE
 1/4" = 1'-0"

PROJECT INFORMATION
 PROJECT LOCATION: 1815 S. Bascom Avenue, Suite 100, San Jose, CA 95128
 PROJECT TYPE: Restaurant Renovation
 PROJECT STATUS: Construction Documents Preparation
 PROJECT VALUE: \$1,200,000
 PROJECT START DATE: 08/15/2017
 PROJECT END DATE: 08/15/2017

GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED AS SHOWN ON THE EXISTING CONDITIONS DRAWINGS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES NOT TO BE DEMOLISHED.
 7. ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA DEMOLITION ACT (CDA).
 8. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT AN APPROVED WASTE TREATMENT PLANT.
 9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

REVISIONS

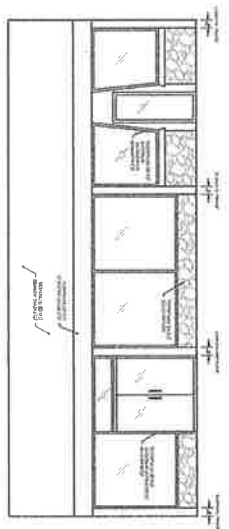
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/15/2017
2	REVISIONS TO PERMITS	08/22/2017
3	REVISIONS TO PERMITS	08/29/2017
4	REVISIONS TO PERMITS	09/05/2017
5	REVISIONS TO PERMITS	09/12/2017
6	REVISIONS TO PERMITS	09/19/2017
7	REVISIONS TO PERMITS	09/26/2017
8	REVISIONS TO PERMITS	10/03/2017
9	REVISIONS TO PERMITS	10/10/2017
10	REVISIONS TO PERMITS	10/17/2017

EXTERIOR ELEVATIONS - MCHP

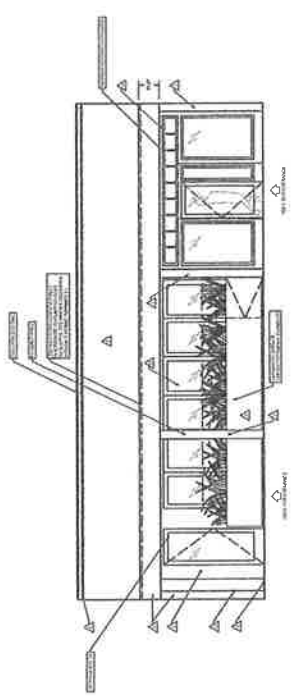
Project Number	SA - 1002
Date	8/15/2017
Drawn By	MM
Checked By	CS

A201 - MCHP

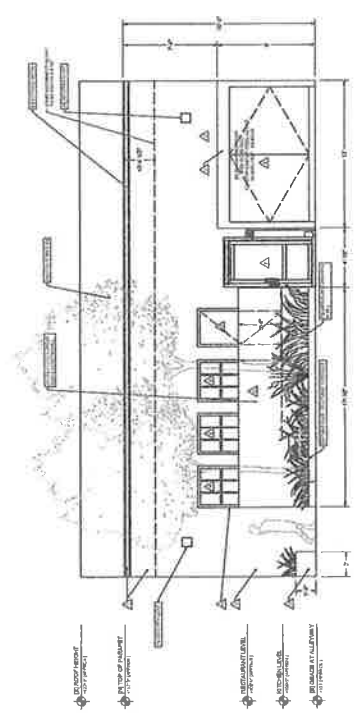
Scale 1/4" = 1'-0"



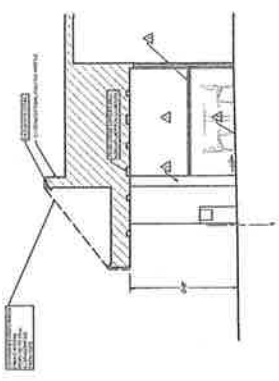
1 EXISTING EXTERIOR ELEVATION EAST
1/4" = 1'-0"



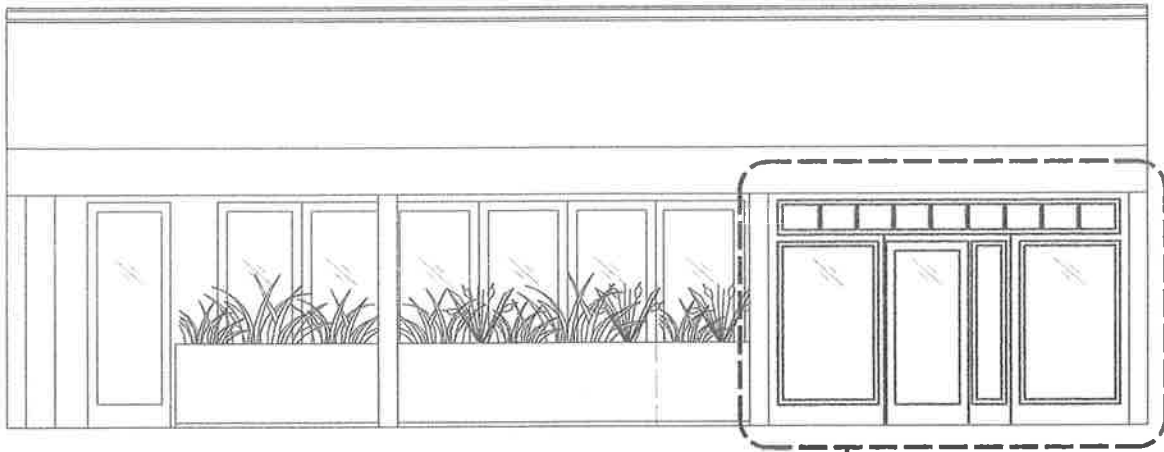
3 EXTERIOR - FRONT ELEVATION EAST
1/4" = 1'-0"



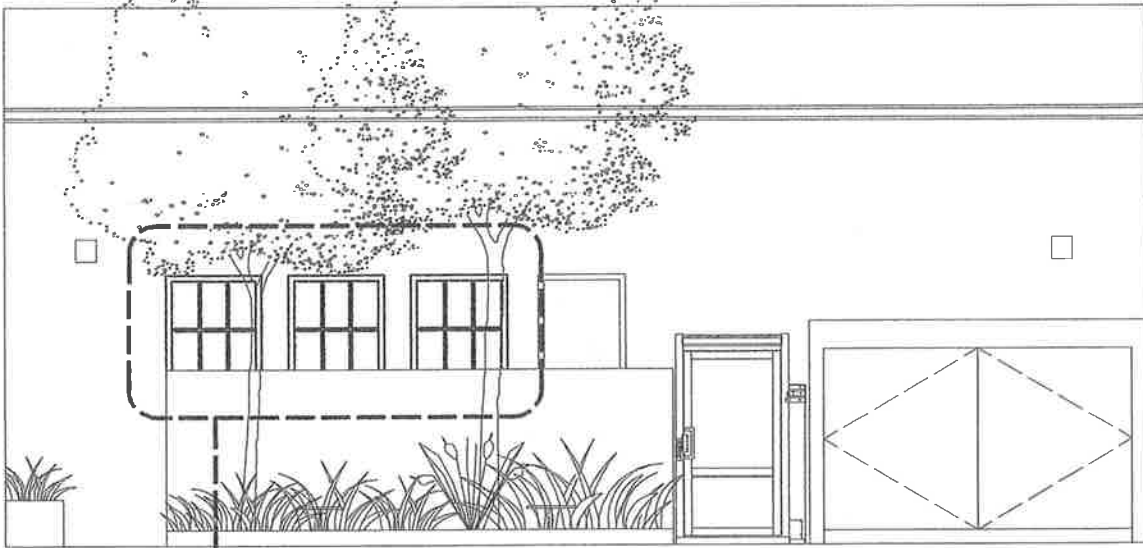
5 EXTERIOR - REAR ELEVATION WEST
1/4" = 1'-0"



2 EXTERIOR - FRONT ELEVATION SOUTH
1/4" = 1'-0"



[REVISED] WOOD WINDOWS WITH LITES



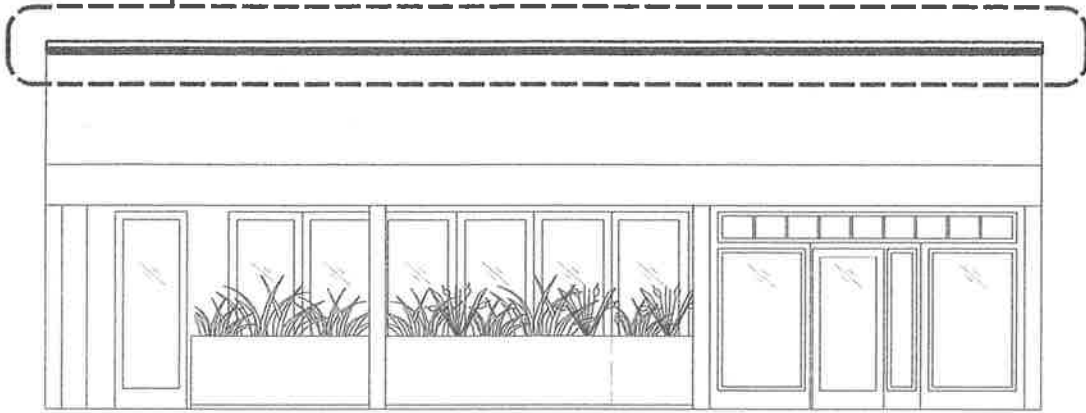
[REVISED] ALUMINUM WINDOWS WITH LITES



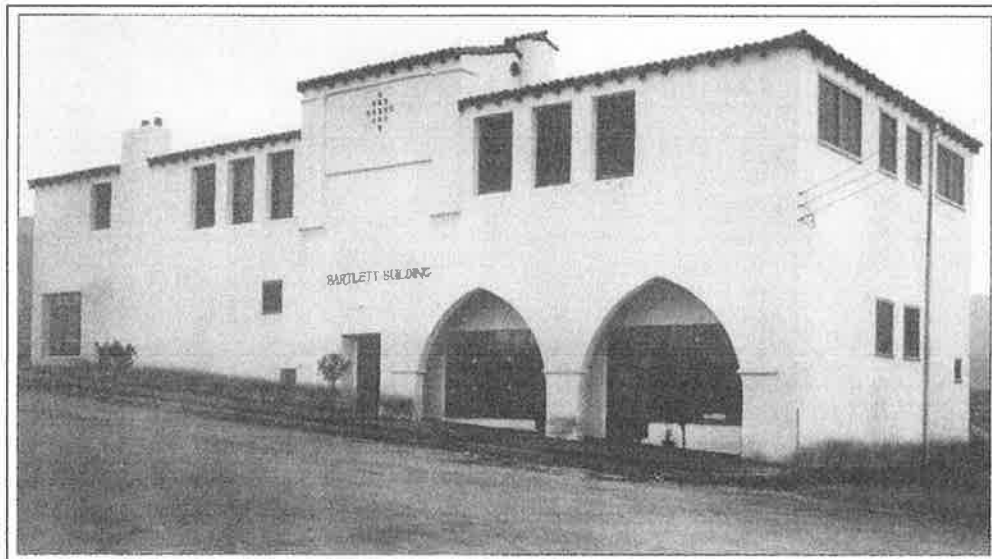
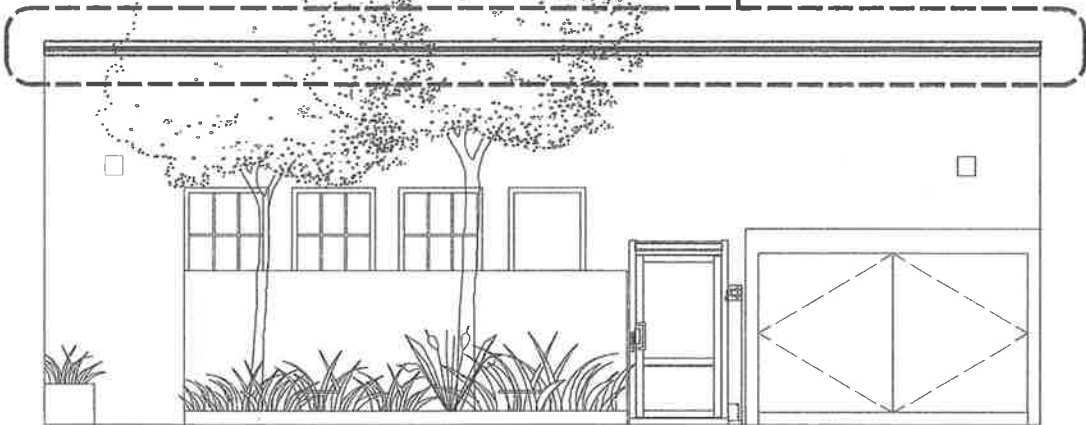
ATTACHMENT A

[REVISED] LITES AT FRONT STOREFRONT WINDOW AND REAR SERVICE ENTRY

[N] CORNICE DETAIL



[N] CORNICE DETAIL

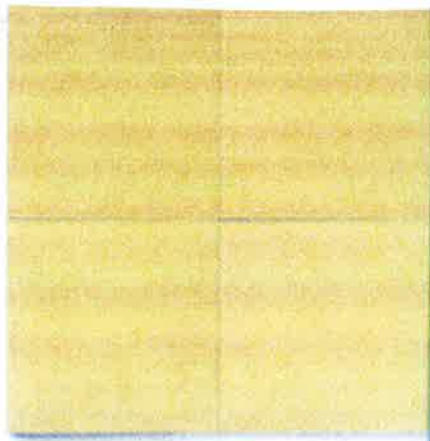


SOURCE: SAN CLEMENTE HISTORICAL SOCIETY

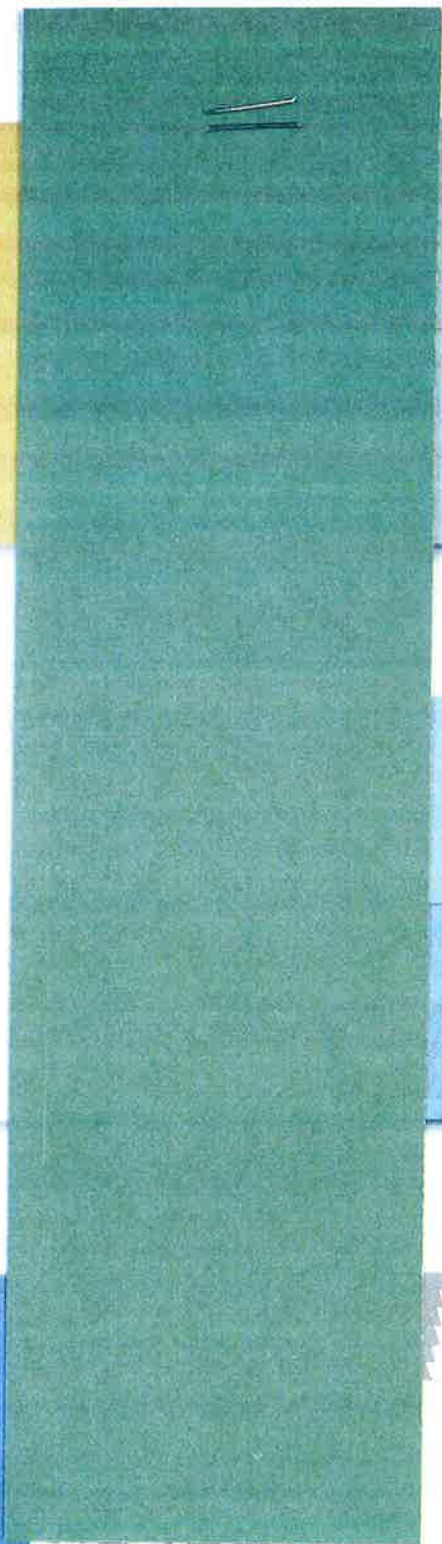
B

ATTACHMENT B

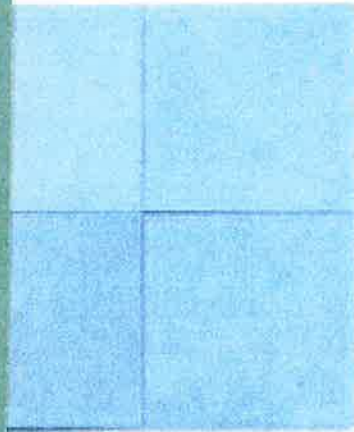
[N] ADDITION OF CORNICE DETAIL AT FRONT AND REAR PARAPETS



tan
(BM-194)



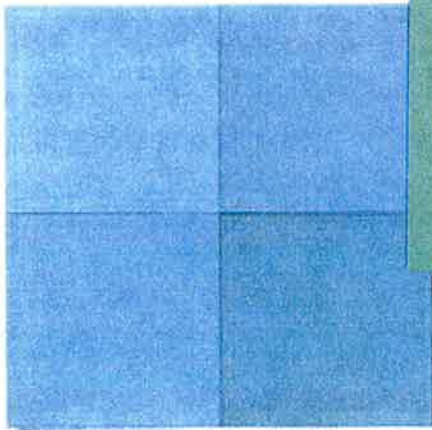
wool
(BM-1461)



pond
(BM-718)



white
(BM-968)



lake
(BM-1649)

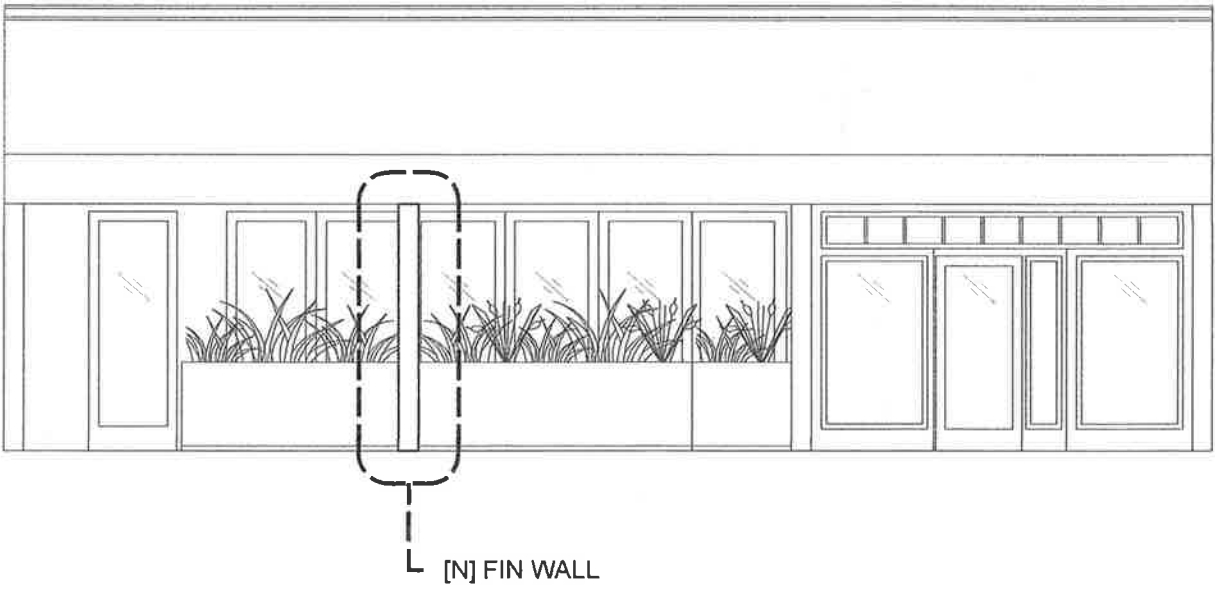
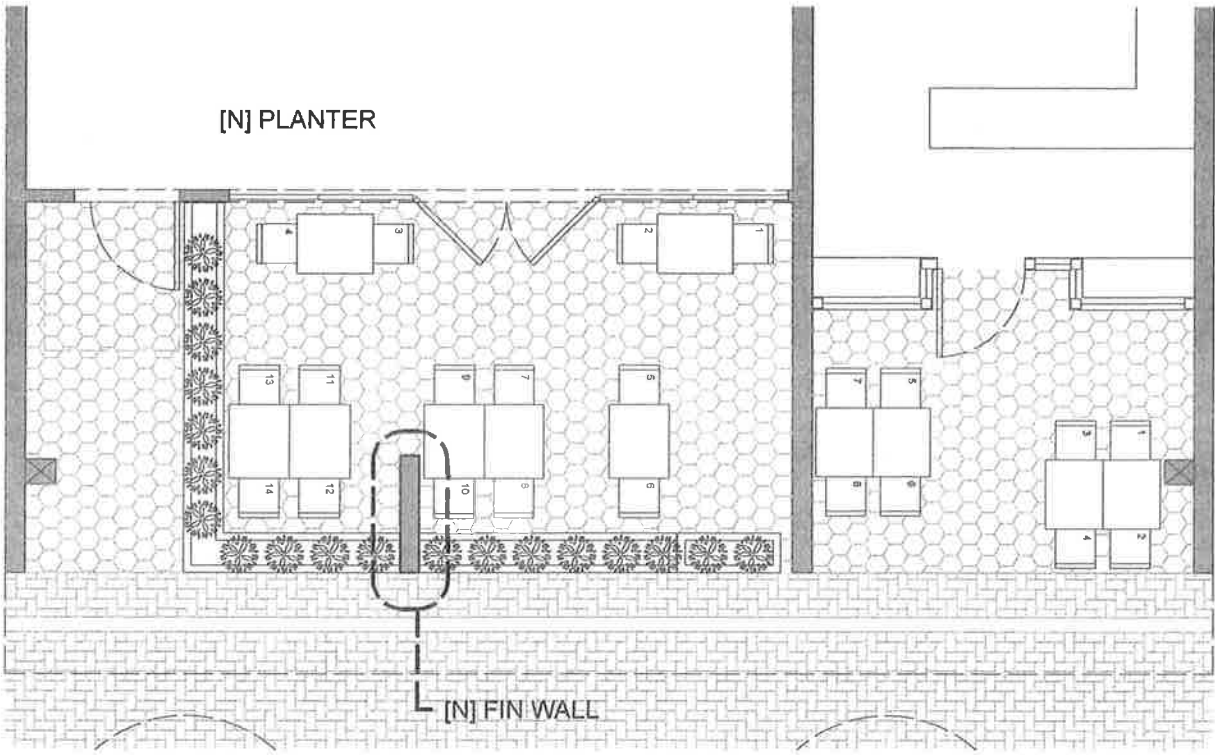


border tile



ATTACHMENT C

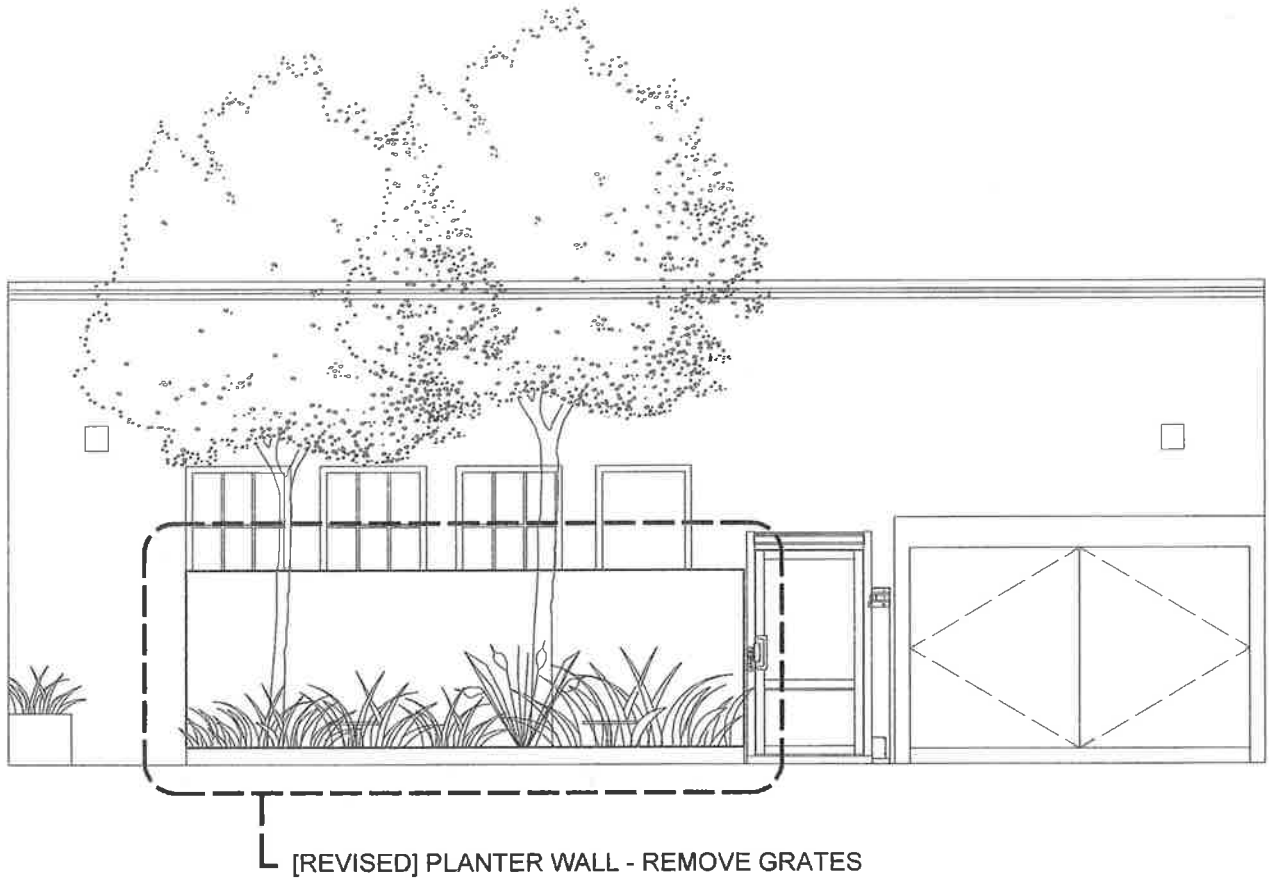
[REVISED] TILE AT FRONT OUTDOOR DINING AREA



D

ATTACHMENT D

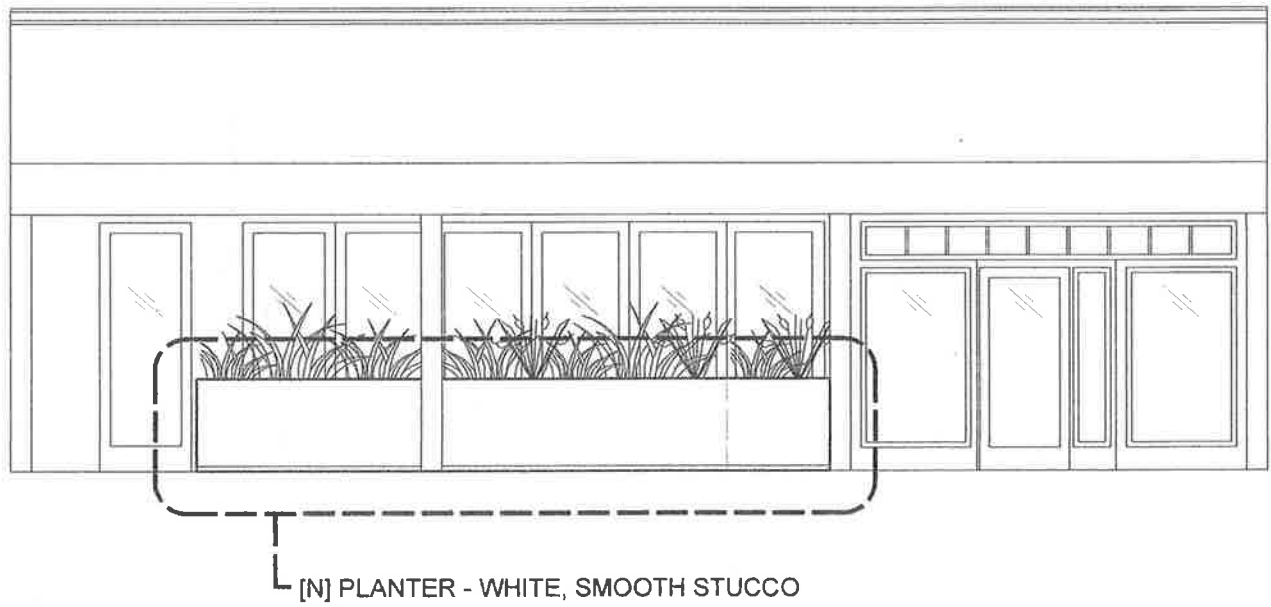
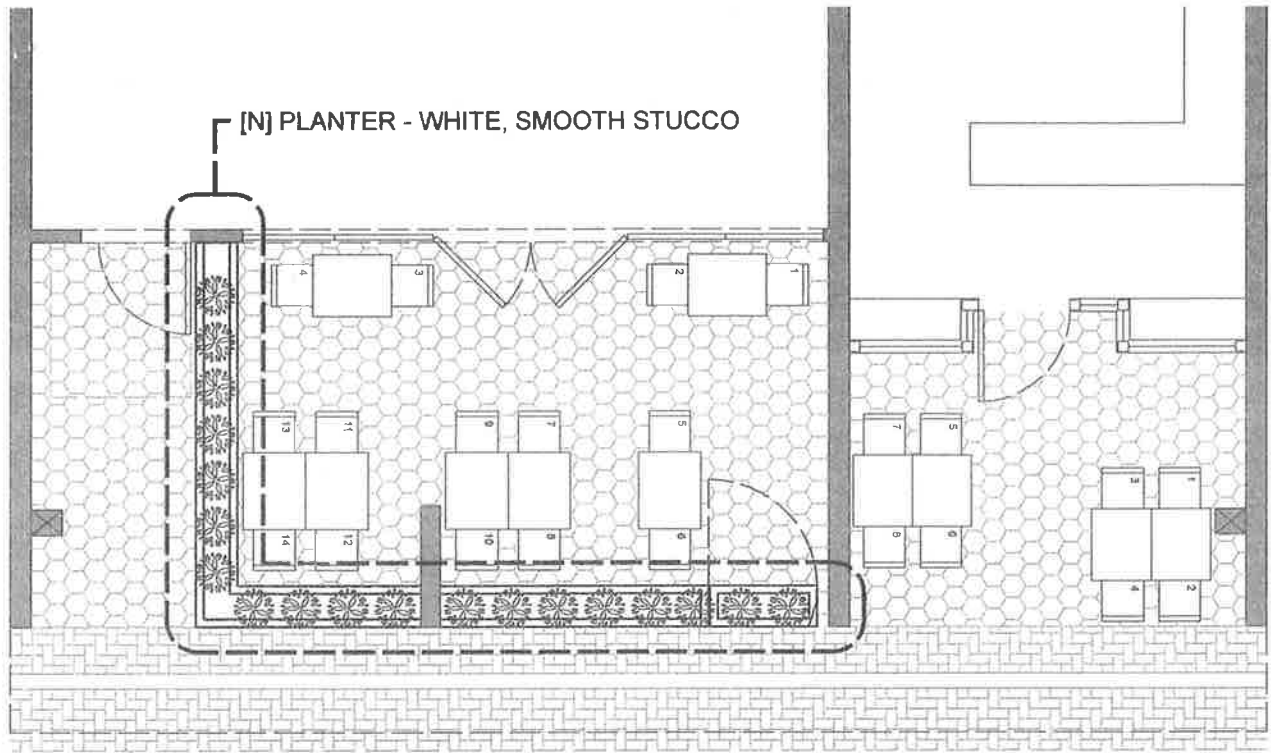
[N] FIN WALL ADDED TO FRONT FACADE



E

ATTACHMENT E

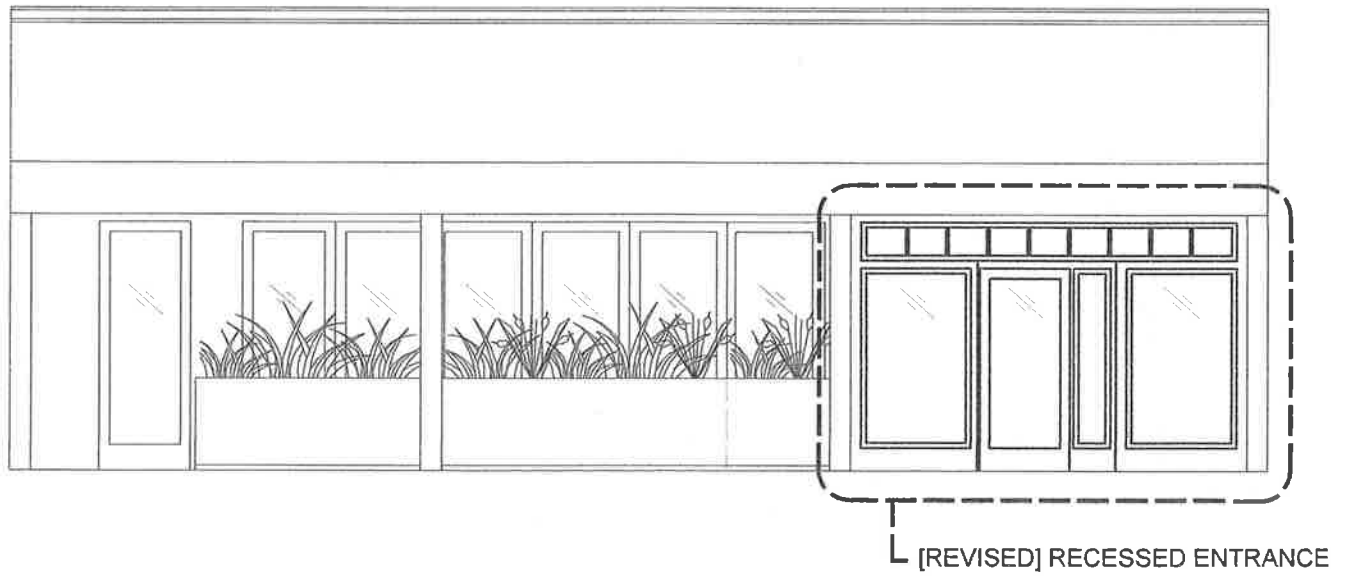
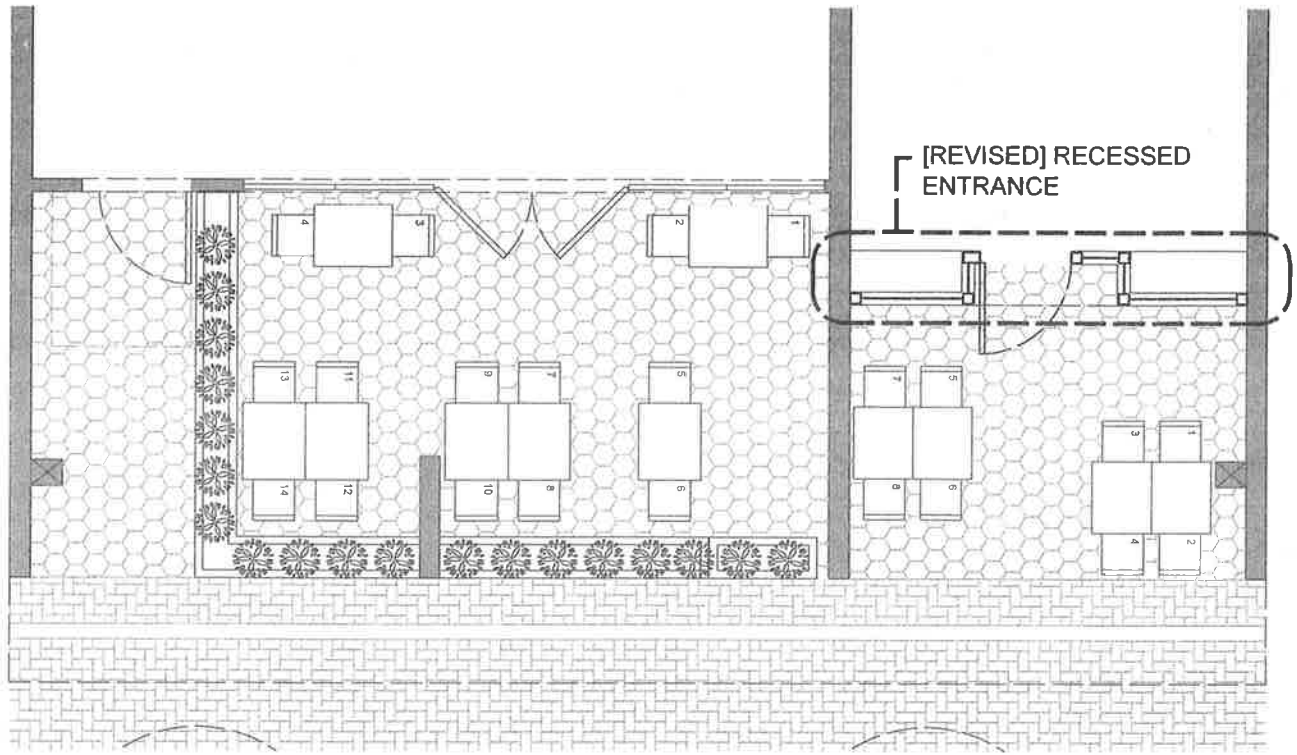
[REVISED] PLANTER - REMOVAL OF GRATES



F

ATTACHMENT F

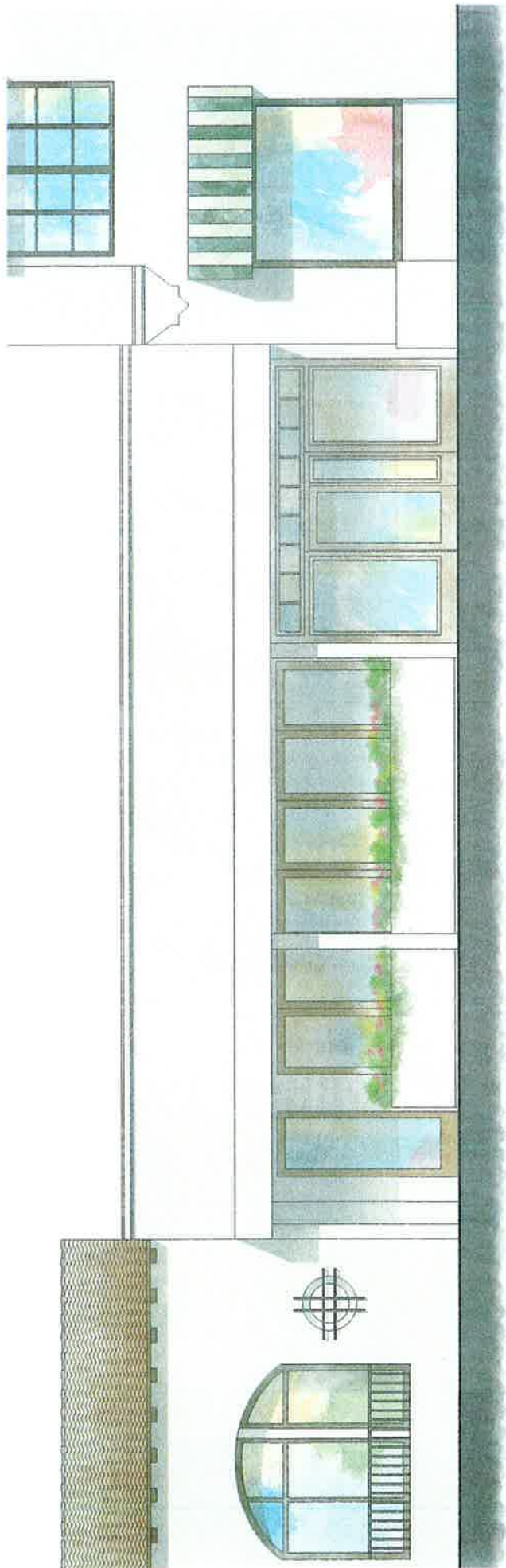
[N] CALIFORNIA ABC PLANTER - WHITE, SMOOTH STUCCO



G

ATTACHMENT G

[REVISED] STOREFRONT ENTRY TO BE RECESSED



PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource Name or #: 100 S EL CAMINO REAL

P1. Other Identifier: Bartlett Building

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 100 S El Camino Real/91-99 Avenida Del Mar City San Clemente Zip 92672

d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-082-19

P3a. Description:

The property contains a two-story commercial building with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a hip roof with clay tiles and exposed rafter tails. The exterior walls are clad with smooth stucco. The primary (east) facade is three bays wide and symmetrically arranged, with three regularly-spaced rectangular openings in each story. A stucco-clad turret with a clay tile-clad gable roof extends from the southernmost corner of the facade. Alterations include non-original doors, though the door openings appear original. The fenestration consists of original wood divided-light double-casement windows on the front and side elevations of the second level, and original storefront openings on the front and side elevations of the first level. Non-original canvas awnings shelter the openings on the street facade. The building is in good condition. Its integrity is good after a recent renovation to repair fire damage.

P3b. Resources Attributes: 06 Commercial Building, 1-3 stories

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

East elevation, west view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Pier Group Llc
6 Del Valle, Orinda Ca 94563- 2009

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/18/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

CONTINUATION SHEET

Page 3 of 3

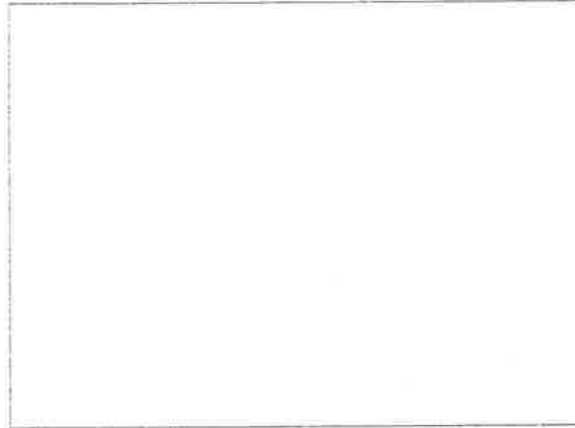
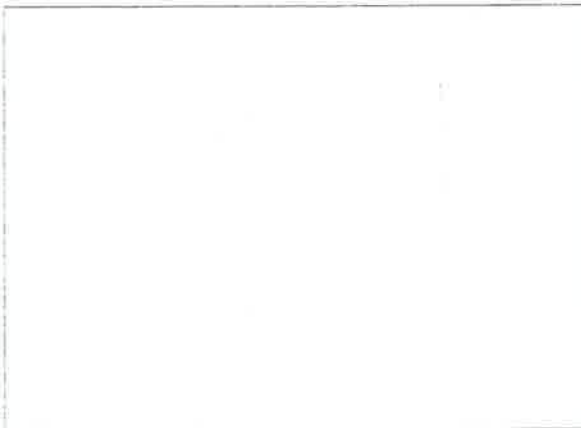
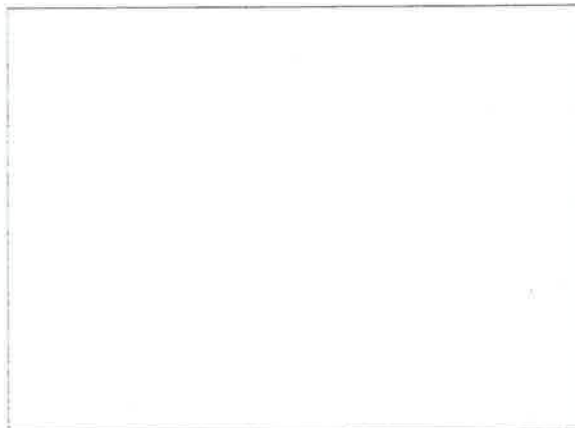
Resource Name or #: 100 S EL CAMINO REAL

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property, Continued:



PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 105-107 S EL CAMINO REAL

P1. Other Identifier: Sun West / Law Offices of Donald S Dench

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec ; B.M.

c. Address 105-107 S El Camino Real City San Clemente Zip 92672

d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 692-402-03

P3a. Description:

The property contains a two-story commercial building with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a low-pitch hip roof with clay tiles. The exterior walls are clad with smooth stucco. The primary (west) facade is three bays wide and symmetrically arranged. The ground level is characterized by a large recessed arched opening that contains the building's main entrance. The entrance is composed of a non-original projecting entry vestibule flanked by two non-original divided-light wood doors. The outer bays each contain a large fixed picture window. The upper level features a small centered window and two larger outer windows. The fenestration consists of non-original vinyl windows throughout the building. The building is in good condition. Its integrity is fair.

P3b. Resources Attributes: 06 Commercial Building, 1-3 stories

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

West elevation, east view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1929 (F) Building Permit

P7. Owner and Address:

Hook, John D.
105 S El Camino Real

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/18/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

CONTINUATION SHEET

Page 3 of 3

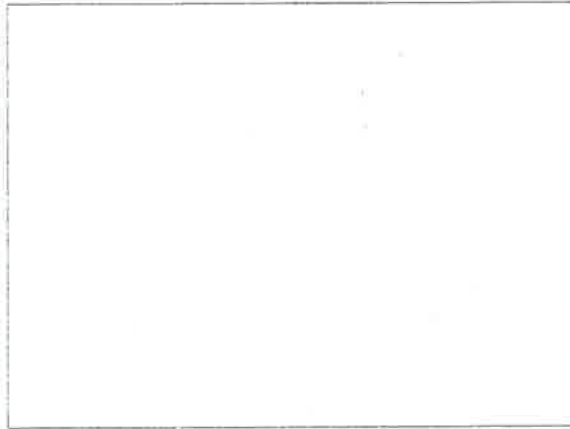
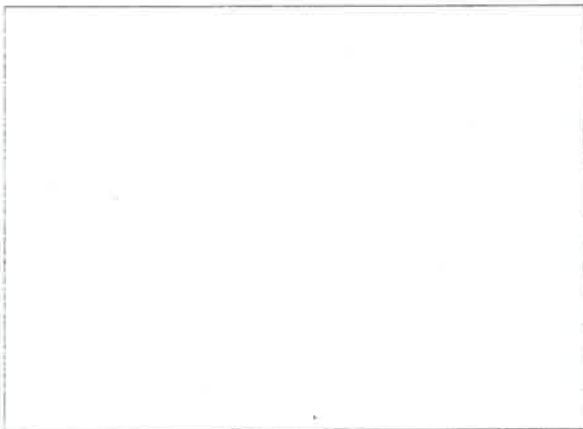
Resource Name or #: 105-107 S EL CAMINO REAL

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property, Continued:



PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 101-103 AVENIDA DEL MAR

P1. Other Identifier: Latham Building / Post Office Building

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 101-103 Avenida Del Mar City San Clemente Zip 92672

d. UTM: Zone; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-082-18

P3a. Description:

The property contains a one- and two-story commercial building with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a low-pitched gable-side roof over the two-story portion with clay tiles and exposed structural elements, including exposed rafter tails and projecting roof beams; the one-story portion has a flat roof. The exterior walls are clad with smooth stucco. The fenestration consists of both original and non-original wood and steel windows throughout the building. The street level facade is defined by two elongated rounded arched storefront openings, flanked by a rectangular window on the left and an arched opening to a stairwell. The second floor exhibits a slightly projecting, partial width balcony, covered by an extension of the side-gabled roof with stucco post supports and non-original metal balustrade. A stucco chimney with an arched cap exists at an end wall. The building is in good condition. Its integrity is good.

P3b. Resources Attributes: 06 Commercial Building, 1-3 stories

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

North elevation, south view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Scibelli, Dale M. P O Box 3443, San Clemente
Ca 92674- 3443

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/18/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

CONTINUATION SHEET

Page 3 of 3

Resource Name or #: 101-103 AVENIDA DEL MAR

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property:

