



Design Review Subcommittee (DRSC)

Meeting Date: May 27, 2015

PLANNER: Adam Atamian, Associate Planner 

SUBJECT: Amendment to Discretionary Sign Permit 06-044, Talega Village Center Master Sign Program Amendment, a request to consider modifications to the Master Sign Program of the Talega Village Center located at 831 Via Suerte.

BACKGROUND:

The DRSC reviewed this project on March 11, 2015. At that meeting, the DRSC provided recommendations to improve the project's compliance with the Design Guidelines of the Talega Specific Plan. The DRSC requested that the project return for additional DRSC review prior to moving forward through the development review process. The staff report and draft minutes from that meeting are included as Attachments 2 and 3, respectively.

Project Description

The applicant proposes to modify the Master Sign Program (MSP) of the Talega Village Center to allow additional signage locations for a new tenant, the Mission Heritage Medical Group. The request is to add a new tenant sign location on the center's two monument sign structures, and to add a new wall sign location on a street-facing elevation of one of the tenant buildings in lieu of other currently permitted sign locations.

Why is DRSC Review Required?

The DRSC is tasked to ensure master sign programs are compatible with the surrounding neighborhood, and to review the project for consistency with applicable Design Guidelines. DRSC comments will be forwarded to the Planning Commission for review and recommendation. An Amendment to a Discretionary Sign Permit is required because the project involves modifying a previously approved MSP.

Site Data

The project site is the Talega Village Center, a commercial shopping center within the Talega Specific Plan area. The site includes seven commercial buildings, most of which are multi-tenant. The Mission Heritage Medical Group is located in the building identified as "Shops 3" in the MSP, see Attachment 1. The building is single-story with 13,300 square feet of tenant space originally divided into seven suites. The Mission Heritage Medical Group has combined four of the suites into one 7,715 square foot medical office.

There are also two monument structures for the center located along Avenida Vista Hermosa where it intersects Avenida Talega and Via Suerte.

DRSC RECOMMENDATIONS:

Table 1 summarizes the DRSC concerns identified at the meeting of March 11, and how the proposed modifications address these concerns.

Table 1 – DRSC Comments

DRSC Concerns	Project Modifications
Eliminate the other permitted wall sign locations on the back of “Shops 3” Building in exchange for the new location on the middle pop-out.	<i>Modified as requested.</i> The only sign locations proposed on this elevation are on the tower/ pop-out elements, not on the building walls.
Reduce the size of the new wall sign on the pop-out of “Shops 3” Building so that the sides of the sign do not extend beyond the sides of the arched door recess.	<i>Modified as requested.</i> The new wall sign has been reduced to fit between the sides of the opening.
Omit the new monument sign locations.	<i>Modified, but not as requested.</i> The applicant reduced the size of the monument signs to be consistent with the Ralph’s sign.
Revise the new “Management Signs” in the parking area to be consistent with the architectural style of the center, and include in the MSP, or remove if unpermitted.	<i>Modified as requested.</i> The applicant has removed these signs from the center, and is not proposing to replace them.

ANALYSIS:

Monument Signs

The applicant proposes to add a new tenant sign location on each of the center’s monument sign structures. The monuments currently have a bronze center identification sign and an aluminum pin-mounted sign with a bronze finish for the Ralph’s grocery store. The applicant is requesting to modify the permitted locations of signs on the monuments by adding a second tenant sign location, as shown in the proposed MSP Amendment (Attachment 4).

The DRSC was not supportive of the request to add new tenant signage to the monuments, finding that the intent of the monument signs are for center identification. However, the applicant is requesting to maintain these new signs as part of the project. The applicant has reduced the size of the signs to be similar to the Ralph’s sign.

Wall Sign

The applicant proposes to add a new wall sign location to the street-facing east elevation of the “Shops 3” building as shown in Attachment 4. This area of the development is a major entry way into the shopping center. The MSP specifically identifies the locations where signage is permitted on this façade, and this proposal is to modify the program to provide a new sign location to the middle pop-out of this elevation, and to remove the other sign locations currently permitted on the main building walls. This would provide for only three permitted sign locations located on this side of the building, those being on the tower elements and the middle pop-out. Attachment 5 includes a rendering of the proposed sign at the new sign location.

This aspect of the proposal is consistent with the DRSC recommendations.

Total Tenant Sign Area

Table 2 provides a description of the total signage proposed for the tenant, including its existing signage approved in 2014.

Table 2 – Proposed Signage

Sign Type	Proposed Square Footage	Permitted by MSP
New Monument Sign (two proposed)	15.5 square feet (each)	Not permitted (14.3 square feet allowed for Ralphs’ sign)
Existing Suite Frontage Wall Sign	49.12 square feet	85 square feet (based on lineal feet of suite frontage)
Existing Rear Elevation Wall Sign	51.81 square feet*	85 square feet (based on lineal feet of suite frontage)
New Rear Elevation Wall Sign	32.91 square feet	Not permitted
Total Sign Area for Tenant Suite	164.84	170 square feet

* The square footage of this sign was incorrectly calculated by the applicant previously (sign square footage was shown in excess of actual square footage). Staff has verified that these figures are accurate.

RECOMMENDATIONS:

Staff recommends the following project modifications to make the proposed MSP Amendment more consistent with the General Plan, and applicable Design Guidelines:

1. The proposed monument sign locations should be eliminated to maintain the intent of the monument signs to primarily provide center identification.

Staff seeks DRSC concurrence with these recommendations and welcomes any additional DRSC comments. Following DRSC review, this project will be forwarded to the Planning Commission for consideration.

Attachments:

1. Location Map
2. DRSC Staff Report, dated March 11, 2015
3. DRSC Minutes, dated March 11, 2015
4. Proposed Amended Master Sign Program Sections
5. Wall Sign Renderings



LOCATION MAP

AM DSP 06-044, Talega Village Center Master Sign Program Amendment,
831 Via Suerte





Design Review Subcommittee (DRSC)

Meeting Date: March 11, 2015

PLANNER: Adam Atamian, Associate Planner

SUBJECT: **Sign Exception Permit 14-512/ Amendment to Discretionary Sign Permit 06-044, Talega Village Center Master Sign Program Amendment,** a request to consider modifications and additional signage to the Master Sign Program of the Talega Village Center located at 831 Via Suerte.

BACKGROUND:

Project Description

The applicant proposes to modify the Master Sign Program (MSP) of the Talega Village Center to allow additional signage locations for a new tenant, the Mission Heritage Medical Group. The request is to add a new tenant sign location on the center's two monument sign structures, and to add a new wall sign location on a street-facing elevation of one of the tenant buildings. Table 1 provides a description of the total signage proposed for the tenant, including its existing signage, approved in 2014.

Table 1 – Proposed Signage

Signage	Proposed Square Footage	Permitted by MSP
New Monument Sign (two proposed)	34.7 square feet	Not permitted (14.3 square feet allowed for Ralphs' sign)
Existing Suite Frontage Wall Sign	49.12 square feet	85 square feet (based on lineal feet of suite frontage)
Existing Rear Elevation Wall Sign	61.66 square feet	85 square feet (based on lineal feet of suite frontage)
New Rear Elevation Wall Sign	61.66 square feet	Not permitted
Total Signage for Tenant Suite	241.84 square feet	170 square feet

Why is DRSC Review Required?

The DRSC is tasked to ensure signage is compatible with the surrounding neighborhood, and to review the project for consistency with applicable Design Guidelines. DRSC comments will be forwarded to the Planning Commission for review and recommendation. An Amendment to a Discretionary Sign Permit is required because the project involves modifying a previously approved MSP, and a Sign Exception Permit is required because the applicant is also requesting to exceed the maximum signage allowed for an individual tenant.

Site Data

The project site is the Talega Village Center, a commercial shopping center within the Talega Specific Plan area. The site includes seven commercial buildings, most of which are multi-tenant. The building where the Mission Heritage Medical Group is located is identified as "Shops 3" in the Master Sign Program, which is provided as Attachment 2. The building is single-story with 13,300 square feet of tenant space originally divided into seven suites. The Mission Heritage Medical Group has combined four of the suites into one 7,715 square foot medical office. There are also two monument structures for the center located along Avenida Vista Hermosa where it intersects Avenida Talega and Via Suerte.

ANALYSIS:

Monument Signs

The applicant proposes to add a new tenant sign location to each of the center's monument sign structures. The monuments currently have a bronze center identification sign and an aluminum pin-mounted sign with a bronze finish for the Ralphs grocery store. The applicant is requesting to modify the permitted locations of signage on the monuments by adding another tenant sign location, as shown in the images below.

Existing Monuments



M1. Corner of Avenida Vista Hermosa and Avenida Talega

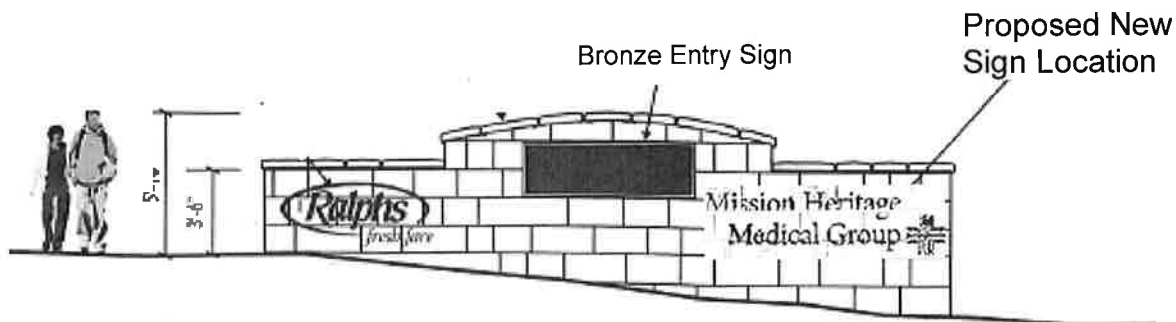


M2. Corner of Avenida Vista Hermosa and Via Suerte

Proposed Monuments



M1. Corner of Avenida Vista Hermosa and Avenida Talega



M2. Corner of Avenida Vista Hermosa and Via Suerte

The proposed signs for the monuments are aluminum pin-mounted cut-out letters with a duranodic bronze finish, the same as the Ralph's signs. The existing Ralph's sign and the bronze entry sign are both 2'-4" tall, and 6'-2" and 7'-0" wide, respectively. The proposed new sign for this location is 3'-0" tall 11'-6 3/4" wide.

Wall Sign

The applicant proposes to add a new wall sign location to the street-facing east elevation of the “Shops 3” building. This area of the development is a major entry way into the shopping center. The MSP specifically identifies the locations where signage is permitted on this façade, and this proposal is to modify the program to identify an additional location.

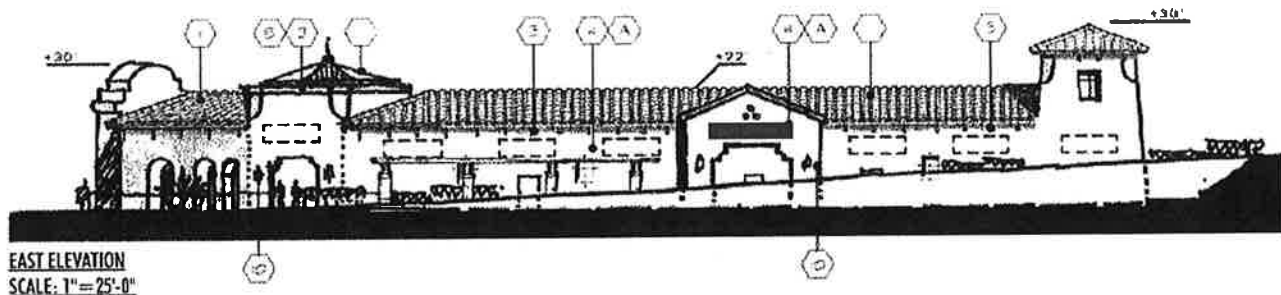
Existing Signage



Shops 3, East Elevation facing Avenida Talega

The illustration below shows the existing permitted locations (in dashed boxes) and the proposed location (red box) of signage in the MSP.

Proposed Signage



Shops 3, East Elevation facing Avenida Talega

The sign proposed in this location is a bronze-painted 61.66 square feet, 4'-0" tall and 15'-5" wide. The MSP specifies that rear elevation wall signs must be painted bronze. The tenant, Mission Heritage Medical Group, received approval for one bronze-colored sign on the rear elevation in 2014, located on the corner tower (far left location in the

above illustration). This request is for an additional sign on the rear wall elevation for the tenant.

Table 2 provides a description of the project’s consistency with the General Plan Urban Design Element, the City’s Design Guidelines, and the Talega Specific Plan’s Design Guidelines.

**Table 2 –
Consistency with Applicable Design Guidelines**

Design Guideline or Urban Design Element Policy	Project Consistency
<p><i>General Plan UD-4.01. Long-Term Quality.</i> We require all public and privately owned structures, above ground infrastructure (including utilities), landscaping and property (including trails and easements) to be designed and maintained to ensure their long-term quality and appearance.</p>	<p>Partially Consistent. The proposed monument signage is generally consistent with the existing signage, with the exception of the size. However, the addition of signage on the rear wall elevation is not consistent with the architectural appropriateness of other wall sign locations and diminishes the importance of the arched wall projection. The space between the top of the arch and the terra cotta vent pipes does not provide enough space for additional signage that will not appear crowded on that façade.</p>
<p><i>City Design Guideline 2.C.3.e. Signage.</i> Carefully integrate signage with the design concept of the building and site. Signage should be consistent with the architectural character of the building.</p>	<p>Partially Consistent. See comments above.</p>
<p><i>Talega Design Guideline. 305.C.3.b. Origins of the elevation characteristics.</i> The facade treatment is directly related to the limiting characteristics of adobe construction and climatic considerations. The original adobe block or brick walls were thick, provided thermal insulation, structurally marginal, and required protection from weather erosion. These factors resulted in the following style characteristics: (1) Relatively massive blank load-bearing walls with minimal openings and penetrations for light and access. (2) Flat vertically continuous walls covered with light-colored reflective plaster or stucco.</p>	<p>Partially Consistent. See comments above.</p>

RECOMMENDATIONS:

Staff recommends the following project modifications to make the proposed MSP Amendment more consistent with the General Plan, and applicable Design Guidelines:

1. The size of the signs proposed at the new monument sign locations should be reduced so that they are similar in square footage to the Ralph's signs on the monuments.
2. The amendment should specify the minimum tenant suite square footage required to utilize the new monument sign locations. This will ensure that in the future, the monument signage is only utilized by anchor tenants.
3. The proposed rear elevation wall sign location should be omitted from the application. In addition to there already being a sign on the rear elevation for the tenant, this sign will exceed the tenant's permitted sign square footage on this elevation. Regardless of the current tenant's existing signage, staff is not supportive of the additional sign location because it does not provide an architecturally compatible sign location with the quality of signage specified in the MSP.

Staff seeks DRSC concurrence with these recommendations and welcomes any additional DRSC comments. Following DRSC review, this project will be forwarded to the Planning Commission for consideration.

Attachments:

1. Location Map
2. Approved Master Sign Program for Talega Village Center
3. Existing and Proposed Tenant Signage

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
March 11, 2015**

Subcommittee Members Present: Bart Crandell, Julia Darden, Jim Ruehlin

Staff Present: Cliff Jones and Adam Atamian

1. MINUTES

Minutes from February 25, 2015 meeting approved.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Sign Exception Permit 14—512/ Amendment to Discretionary Sign Permit 06-044, Talega Village Center Master Sign Program Amendment (Atamian)

A request to consider modifications and additional signage to the Master Sign Program of the Talega Village Center located at 831 Via Suerte.

Associate Planner Adam Atamian summarized the staff report.

Natalie Chavez, applicant and representative of the Talega Village Center property management company, spoke about the project and the reasoning for the increase in signage size and locations for the tenant, Mission Heritage Medical Group.

The DRSC asked staff about certain signage aspects of the site, including existing tenant unpermitted signage, new parking lot signs installed by the property management company, Equity One, the difficulties of installing signage on the monuments, and the possibility of removing currently permitted sign locations in the Master Sign Program in exchange for a new location. Mr. Atamian responded stating that staff will investigate the unpermitted signage, and that the applicant would need to propose all Master Sign Program modifications, such as removing current sign locations, as part of their application.

The DRSC discussed the project and stated the following concerns:

1. The amount of signage and the multiple sign locations appears out of scale with the medical office use. Medical office is not an impulse-type of business, nor does it require the kind of visibility that an urgent care would need.
2. Avenida Vista Hermosa is a Major Urban Corridor. Signage for tenants visible from the street should be minimized to maintain the

design aesthetic for scenic corridors. Additionally, the DRSC found that tenant signage on the monuments does not comply with the original concept of the monuments and is not consistent with the intent of the Talega Specific Plan design guidelines.

The DRSC recommended that the applicant propose an amendment that removes the permitted signage locations on the "Shops 3" building elevation that faces Avenida Talega (except for the two tower element sign locations on either side of that elevation), and replace them with the one sign proposed for the middle pop-out. The DRSC requested that modifications to the project be returned for additional review.

B. Amendment to Cultural Heritage Permit 14-168/ Amendment to Minor Exception Permit 14-249, Pearce Residence (Jones for Ciampa)

A request for an amendment to revise the design for an addition to a single family residence that is located adjacent to a historic house. The project site is located within the Residential Low (RL) zoning designation at 139 West Avenida Cadiz.

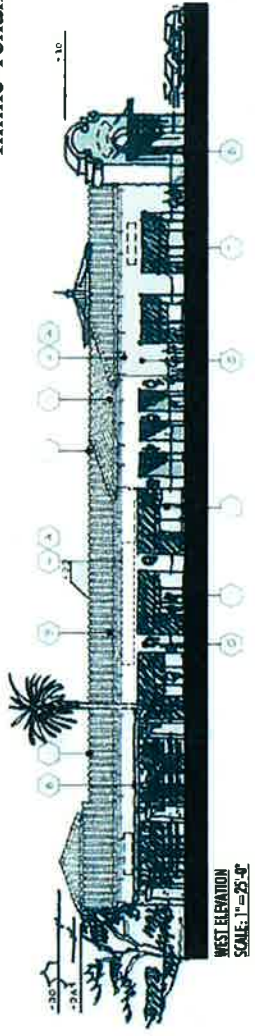
Associate Planner Cliff Jones summarized the staff report.

The applicant, Iain Buchan, stated that the revised design was based on the owner's needing to drive down the cost of the project to make it affordable. To reduce the cost the design was scaled back and modified to a single pitched roof with the elimination of the offset wall designs. He provided clarification stating that the area adjacent to the proposed second story addition is not adjacent to a courtyard and that the addition is next to the carport and the driveway to the detached garage and the back of the historic site. He also noted that the building pad of the historic house sits approximately three feet above the subject property and has a significant amount of mature landscaping that screens much of the property.

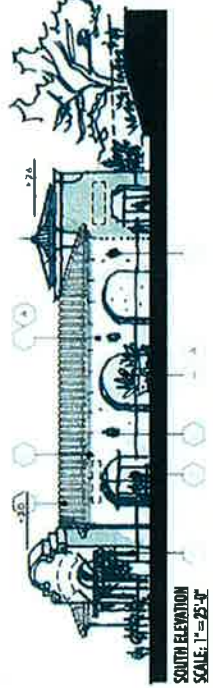
Historical Society Member, Larry Culbertson, stated that the project is compatible with the historic structure; however, he was concerned the house is growing in size and it only required to maintain the one car garage because it was built in 1961. He stated that by today's standards a two car garage would be required. He expressed his concern that projects without a two car garage have and impact on the neighborhood's street parking. He requested the City address these issues to resolve the parking problems.

Subcommittee Member Ruehlin stated that he does not have a concern with the project because the historic house sits at a higher elevation than the subject property and the addition is located towards the back of the house.

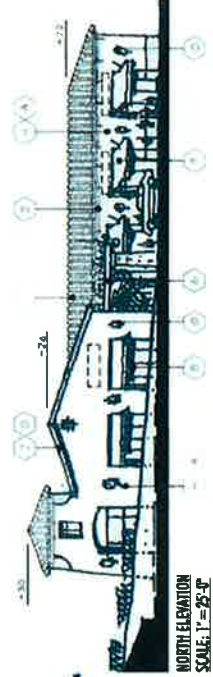
Inline Tenant Elevations (Shops 3)



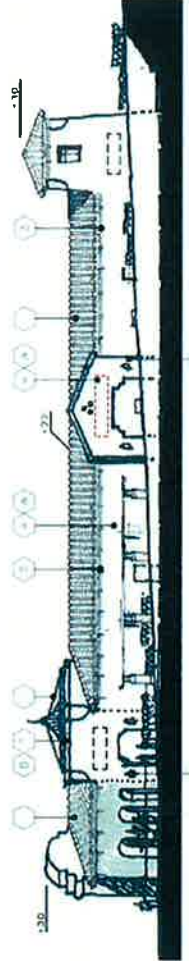
WEST ELEVATION
SCALE: 1" = 25'-0"



SOUTH ELEVATION
SCALE: 1" = 25'-0"



NORTH ELEVATION
SCALE: 1" = 25'-0"



EAST ELEVATION
SCALE: 1" = 25'-0"

The maximum letter or logo height for this project may not exceed 30" in height.
 The maximum sign area for each Tenant may not exceed 1 square foot per linear building frontage.
 Maximum area allowed for any single sign shall not exceed fifty four (54) square feet.
 Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation.
 The overall width of any sign shall not exceed 75% of Tenants leased frontage.
 Signs may identify the business name and a minimum generic word description of the service. No product identity or specific service description may be displayed.
 All signs to be fabricated out of aluminum or other metals. No plastic or other materials will be allowed.
 NOTE: Tenants with signs on the rear elevations of buildings 3, 4, 5 and 6 will be allowed to have their signs on those elevations with the same square footage as is allowed on their front elevation. However, signs on the rear elevations must be fabricated or cut out letters and painted Dramatic Bronze.
 For illumination of signs see "Lighting" on page 3.

TALEGA
VILLAGE CENTER

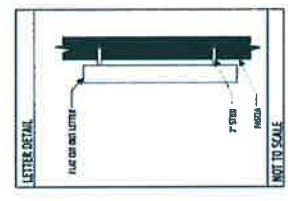
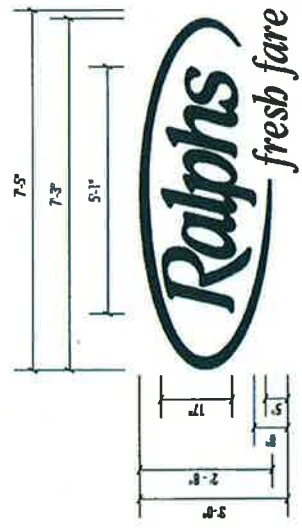


Mission Heritage ^{0'-5 1/2"}
 Medical Group ^{1'-3"} ^{2'-0"}

SPECIFICATIONS:
MAKE ONE

GRAPHICS AND LOGO TO BE FLAT CUT OUT ALUMINUM
 PIN MOUNT OFF WALL 1/4"
 DURONODIC BRONZE FINISH

Monument Sign M.1



TALPERS SIGN
SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

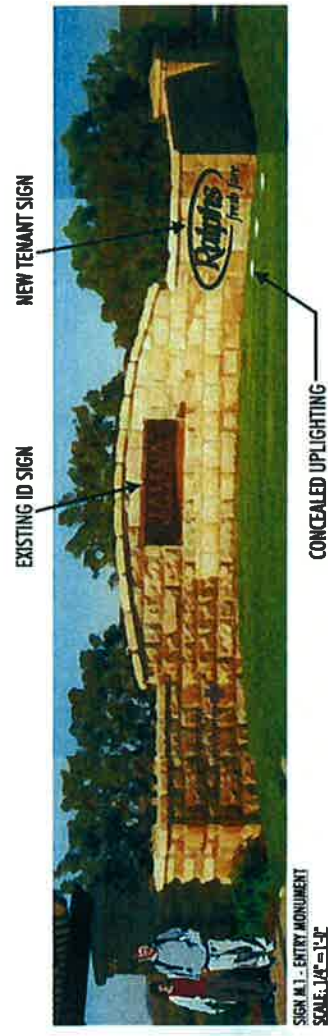
- NEW TENANT COPY AND OVAL TO BE 1/2" THICK FLAT CUT OUT ALUMINUM.
- COPY AND OVAL TO BE PIN SET 1/4" OFF WALL.
- DURONODIC BRONZE FINISH
- QTY: ONE (1) SET**



SAMPLE OF BRONZE LETTER



SAMPLE OF BRONZE LETTERS ON WALL



SIGN M.1 - ENTRY MONUMENT
SCALE: 1/4" = 1'-0"

TALEGA
VILLAGE CENTER

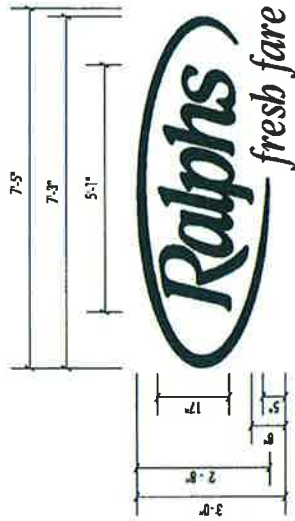
0'-8" 7'-9" 0'-5 1/2" 2'-0" 1'-3"

Mission Heritage
Medical Group

**SPECIFICATIONS:
MAKE ONE**

GRAPHICS AND LOGO TO BE FLAT CUT OUT ALUMINUM
PIN MOUNT OFF WALL 1/4"
DURONODIC BRONZE FINISH

Monument Sign M.2

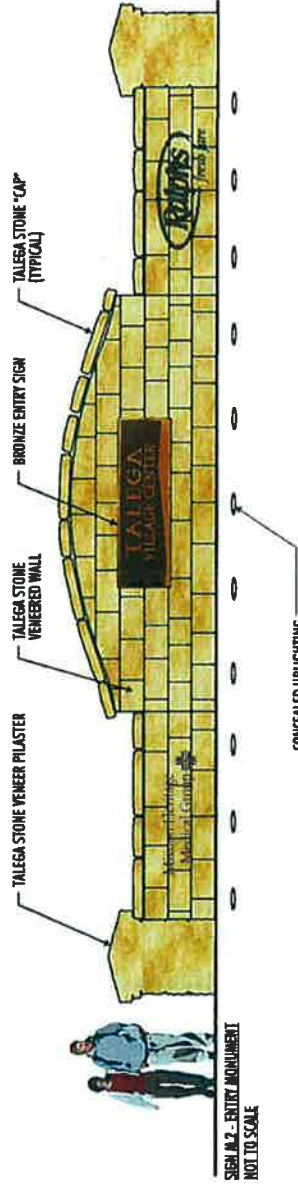
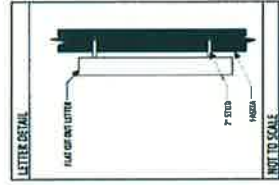


**RALPHS SIGN
SCALE: 1/2" = 1'-0"**

SPECIFICATIONS:

- NEW TENANT COPY AND OVAL TO BE 1/2" THICK FLAT CUT OUT ALUMINUM.
- COPY AND OVAL TO BE PIN SET 1/4" OFF WALL.
- DURONODIC BRONZE FINISH

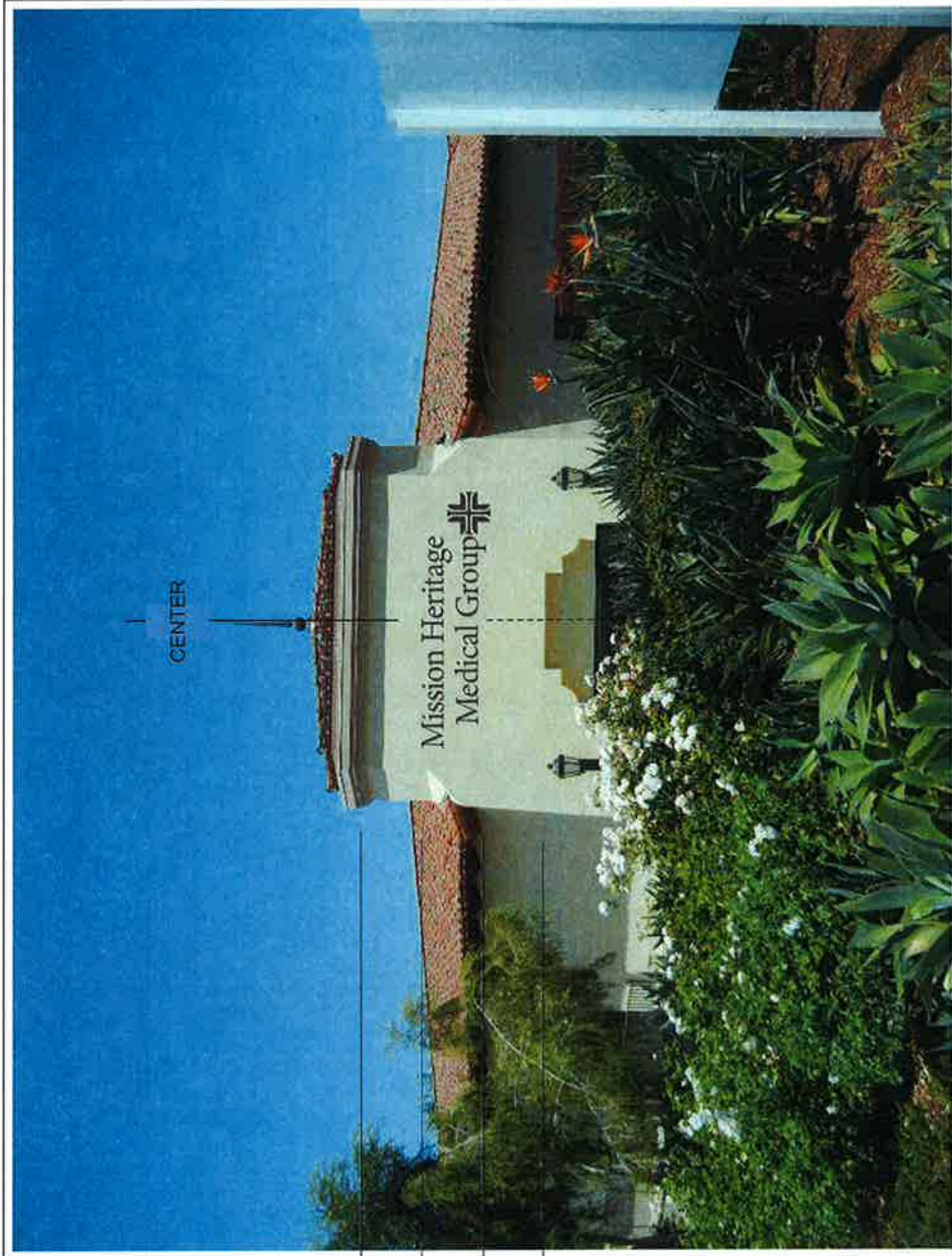
SITE ONE (1) SET



NOTE: FINAL LOCATION OF TENANT SIGNAGE TO BE VERIFIED UPON SURVEY OF WALL/MONUMENT AREA

**TALEGA
VILLAGE CENTER**





EQ.

EQ.

B EXISTING REAR TOWER ELEVATION

51.81 SQ. FT.
SCALE: 3/32"=1'-0"

7	04-17-15
8	04-17-15
9	04-20-15
10	05-12-15
11	05-12-15
12	05-18-15

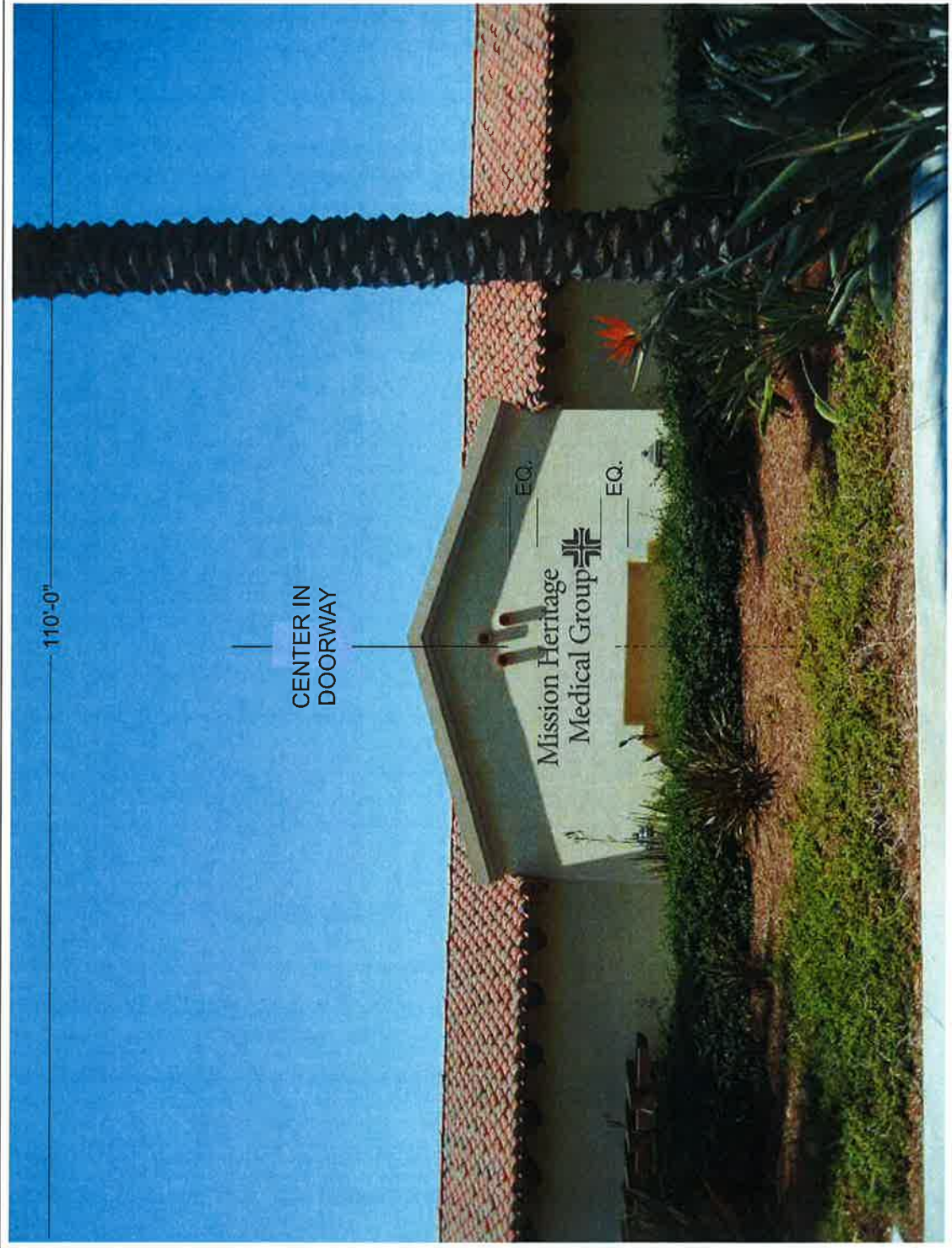
NOTE: This is an original drawing. It is not to be used for construction without the approval of the designer. Any changes to the project being shown to you by this drawing are to be shown in a separate sheet and approved by the designer. No field modifications, notes or alterations are allowed without the approval of the designer.

This sign is intended to be installed in accordance with the requirements of Article 16 of the National Electrical Code and the applicable local codes. This includes proper grounding and bonding of the sign.
Contractors Lic. #436512

CUSTOMER / LANDLORD APPROVAL
SIGNATURE _____
DATE _____

CLIENT:	MISSION HERITAGE
ADDRESS:	831 VIA SUERTE - SUITES 103-105
LOCATION:	SAN CLEMENTE, CA.
DATE:	08-22-14
CONCEPT:	8187
SALES:	SC
DRAWN BY:	TB
OPTION:	PACKAGE B

Promotional Signs
3301 S. Susan St.
Santa Ana, CA 92704
(714) 540-5454 PHONE (714) 540-5959 FAX



C PROPOSED SIDE/REAR ELEVATION
 32.91 SQ. FT.
 SCALE: 1/8"=1'-0"

Promotional Signs
 3301 S. Susan St.
 Santa Ana, CA 92704
 (714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT:	MISSION HERITAGE		
ADDRESS:	831 VIA SUERTE - SUITES 103-105		
LOCATION:	SAN CLEMENTE, CA.		
DATE:	08-22-14	CONCEPT:	8187
		SALES:	SC
		DRAWN BY:	TB
		OPTION:	PACKAGE B

CUSTOMER / LANDLORD APPROVAL

SIGNATURE _____ DATE _____

This sign is intended to be installed in accordance with the regulations of Article 600 of the National Electrical Code and other applicable codes. It is not to be installed on a structure or on a sign, ground rod or other part of the sign.

Contractors Lic. #636512

NOTE: This is an unapproved drawing, created by Promotional Signs, and is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.

12'-7"

Mission Heritage Medical Group

1'-11" 24.12 SQ. FT.

2'-7"

1'-11"

21.24 SQ. FT.

6.45 SQ. FT.

19 2

11'-1"



EXISTING INTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS

ONE (1) SET REQUIRED

51.81 SQ. FT.

SCALE: 1/2" = 1'-0"

TYPICAL REVERSE PAN CHANNEL LETTERS,

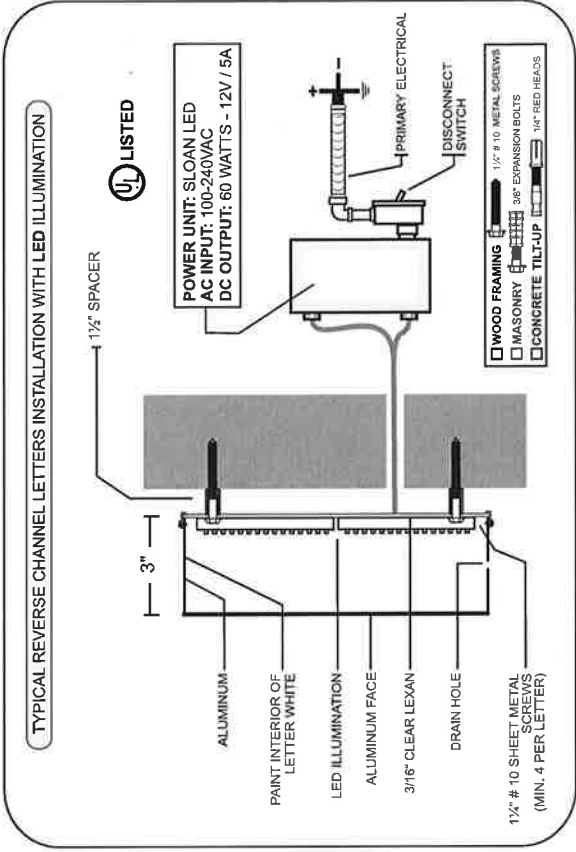
FACES AND 3" DEEP RETURNS TO BE

ALUMINUM PAINTED TO MATCH COLOR CALLOUTS,

WHITE LEDS TO HALO ILLUMINATE

PIN MOUNT OFF FASCIA.

DURONODIC BRONZE



Promotional Signs

3301 S. Susan St.
Santa Ana, CA 92704
(714) 540-5454 PHONE **(714) 540-5959** FAX

CLIENT:	MISSION HERITAGE
ADDRESS:	831 VIA SUERTE - SUITES 103-105
LOCATION:	SAN CLEMENTE, CA.
DATE:	08-22-14
CONCEPT:	8187
SALES:	SC
DRAWN BY:	TB
OPTION PACKAGE B	

CUSTOMER / LANDLORD APPROVAL

SIGNATURE _____ DATE _____

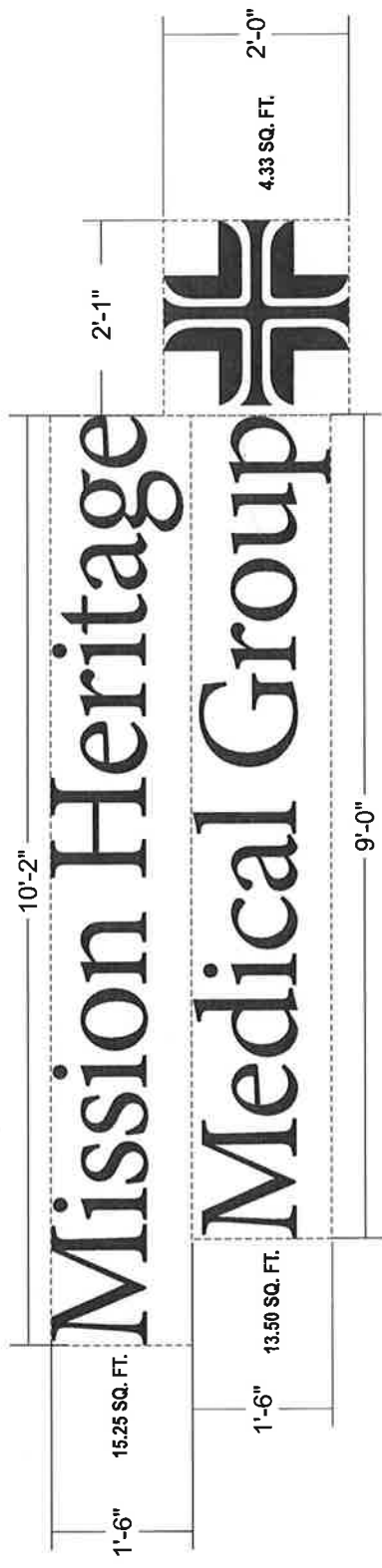
This sign is intended to be installed in accordance with the requirements of Article 800 of the National Electrical Code and/or other applicable codes. The contractor is responsible for proper grounding and bonding of the sign.

Contractors Lic. #626512

NOTE: This is an original drawing. The contractor is responsible for ensuring that the correct sign is being fabricated and installed. The contractor is responsible for ensuring that the sign is properly grounded and bonded.

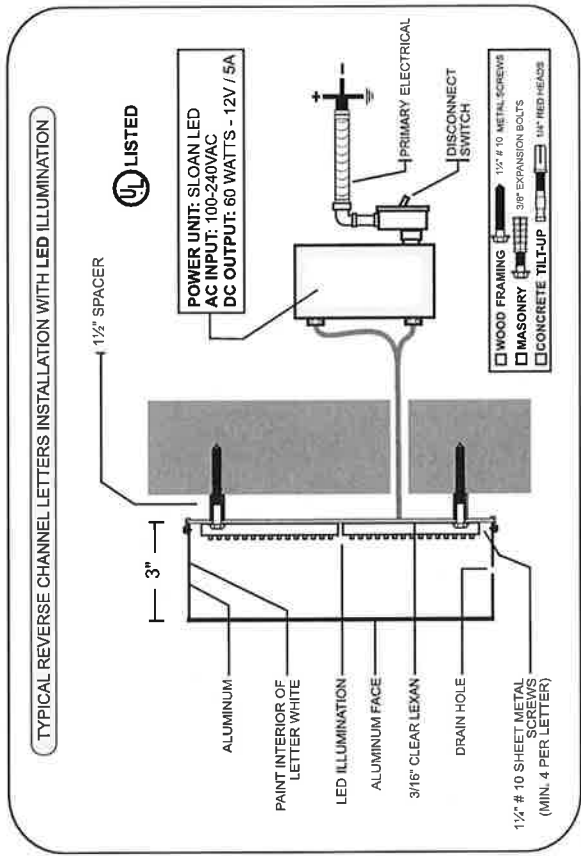
REVISIONS

04-17-15 TB
04-17-15 TB
04-20-15 TB
05-12-15 TB
05-18-15 TB



C PROPOSED INTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS **32.91 SQ. FT.**
 ONE (1) SET REQUIRED **SCALE: 1/2" = 1'-0"**

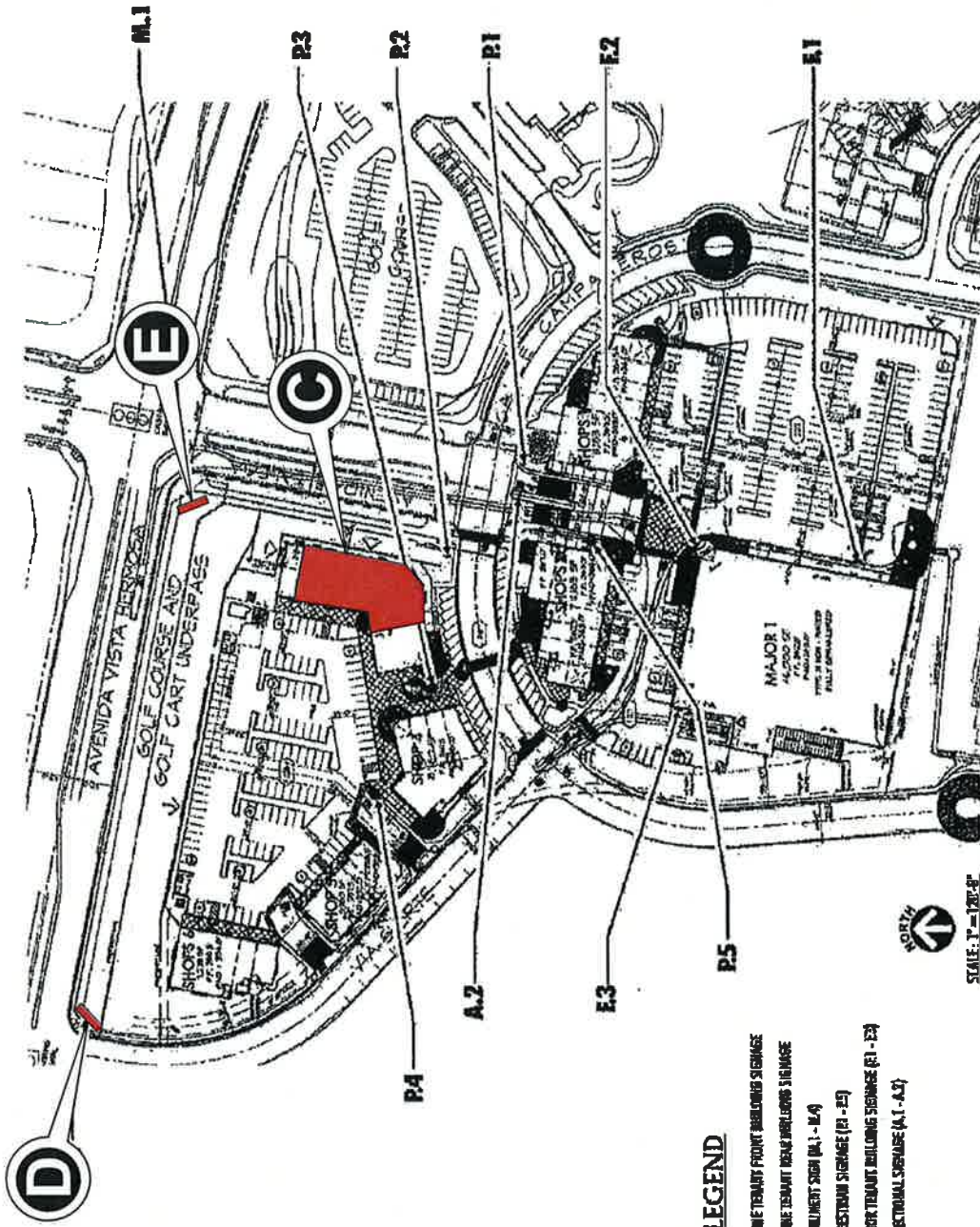
TYPICAL REVERSE PAN CHANNEL LETTERS,
 FACES AND 3" DEEP RETURNS TO BE
 ALUMINUM PAINTED TO MATCH COLOR CALLOUTS,
 WHITE LEDS TO HALO ILLUMINATE
 PIN MOUNT OFF FASCIA.
DURONODIC BRONZE



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CUSTOMER / LANDLORD APPROVAL
 SIGNATURE _____ DATE _____

CLIENT:	MISSION HERITAGE
ADDRESS:	831 VIA SUERTE - SUITES 103-105
LOCATION:	SAN CLEMENTE, CA.
DATE:	08-22-14
CONCEPT:	8187
SALES:	SC
DRAWN BY:	TB
OPTION:	PACKAGE B



LEGEND

- MAJOR TRUNK FRONT BUILDING SIGNAGE
- MAJOR TRUNK REAR BUILDING SIGNAGE
- BUILDING SIGN (A.1 - A.3)
- PROXIMITY SIGNAGE (E.1 - E.3)
- MAJOR TRUNK BUILDING SIGNAGE (P.1 - P.5)
- DIRECTIONAL SIGNAGE (M.1 - M.3)

SITE PLAN

SCALE: NTS



REVISIONS:	PAGE: 5
07-04-17-15 TB	OF 5
08-04-17-15 TB	
09-04-20-15 TB	
10-05-12-15 TB	
11-05-12-15 TB	
12-05-18-15 TB	

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This sign is intended to be installed in accordance with the requirements of Article 16.06 of the National Electrical Code (NEC) and the local electrical code. This includes proper grounding and bonding of the sign.

Contractors Lic. #436512

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Promotional Signs
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 Santa Ana, CA 92704
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