




Design Review Subcommittee (DRSC)

Meeting Date: May 27, 2015

PLANNER: Amber Gregg, Associate Planner 

SUBJECT: **Variance14-388, Spencer Residence**, a request to construct a single-family residence with a reduced front yard setback on a vacant coastal canyon lot located at 200 W. Avenida San Antonio (future address will be changed to 234 W. Avenida San Antonio).

BACKGROUND:

The subject parcel is approximately 6,800 square feet; however its actual buildable pad area is much smaller because of the location, on a coastal canyon, and significant topographic challenges. The applicant is seeking a variance to reduce the required 20 foot front yard setback to four feet.

Per Section 17.12.020 of the Zoning Ordinance, DRSC review is required for the architectural review of the proposed home. Determination of the appropriateness of the requested reduced front yard setback is not within the purview of the DRSC. However, the site design and architecture are.

The project is located within the Residential Low zoning district and Coastal Zone overlay (RL-CZ). There are no historic homes abutting the parcel, and it is not located in an architectural overlay. Single family homes surround the property. The parcel is the last vacant property in the surrounding area, as shown on the location map provided as Attachment 1. The lot has a narrow pad area that ranges in 12-28 feet in width; minimum front yard setback for the RL zone is 20 feet. To reduce encroachment on the coastal canyon, the applicant is proposing a minimum front yard setback of four feet. A topographical survey of the site is provided in the plans.

ANALYSIS:

Development Standards

Table 1 outlines the development standards and how the project meets these requirements.

Table 1
Development Standards

	Code Requirements	Proposed Site Plan	Meets Code Req.
Building Height Maximum	25'	24.1'	Yes
Setbacks (Minimum):			
• Front	20'	4'	No*
• Side Yard	5.5'	5.5'	Yes
• Canyon Setback	30% of lot depth	44%	Yes
Lot Coverage (Maximum)	50%	30%	Yes
Required Parking (Minimum):	2 spaces	2 spaces	Yes
Landscaping Req. (Minimum):	50% of front yard setback	Greater than 50%	Yes
Street Trees	4	4	Yes

*Variance request to reduce front yard setback.

Architecture

The proposed architectural style is Modern. Architectural details include stained wood siding, beige stucco, cable wire railings, lattice privacy screens, and large open windows. The garage door will be a sectional roll up with frosted glass and aluminum frames. The existing neighborhood is an eclectic architectural mix of one- and two-story homes. The Modern style of the proposed project is a quality design, and is in character with the existing neighborhood. The rear elevation will blend with the canyon as a majority of it is wood siding. The orientation of the house allows it to be minimally viewed from the canyon.

Site Design

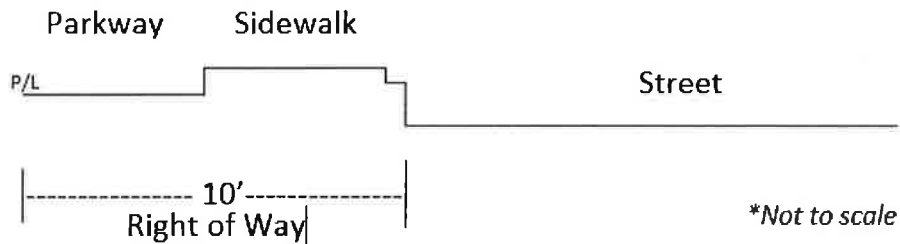
The single-family home is two-stories with an attached two-car garage. The first floor measures 1,411 square feet, and has four bedrooms. The garage is also on the first floor and is 518 square feet. The second floor measures 1,350 square feet and includes a great room, kitchen, office, and large deck. The size of the home is comparable to homes in the surrounding neighborhood.

The site plan shows the front yard setback varies from four feet to 15 feet. Although portions of the home are four feet from the front property line, the front design of the house provides noteworthy movement. Not having a solid mass four feet from the property line helps improve the streetscape and lessen massing impacts from the reduced setback.

The public right-of-way provides additional setback from the street. The ten foot right-of-way provides a five foot parkway adjacent to the sidewalk. The additional five feet of separation between the sidewalk (which will be landscaped) and the property line in this

location results in what will be a nine to 20 foot building setback from the back of sidewalk. See Exhibit 1 for details.

Exhibit 1
Cross Section of Public Right-of-Way



The garage is located along the south side property line. The required setback for the roll up garage door is 18 feet. For lots with grade differences of 5-10 feet within the first 25-35 feet, the Zoning Ordinance permits garages to encroach into the setback. The topography is challenging, but the project does not meet the requirement for the proposed encroachment so the variance is requested for the garage as well. The placement of the garage provides a driveway apron of 9.5 to 20 feet from back of sidewalk. This results in enough room for one car to park in the driveway and not overhang the sidewalk.

Landscaping

The front yard will be landscaped with native, drought-tolerant, plantings. There will be four street trees (as required by code) as well as decorative paving. Behind the home, all non-native plants will be removed from the canyon and the slope will be replanted with "Coastal Sage Scrub." Temporary irrigation will be provided for the plants. Once the plants have been established the irrigation will be able to be turned off.

RECOMMENDATIONS:

The purposed single-family residence is a quality architectural design that blends well within the natural resources, and is in scale and character with the neighborhood. The site has a number of topographic challenges. The proposed site plan helps minimize massing at the front elevation, providing movement and variation along the public right-of-way. Staff supports the proposed design and has no recommendations. Staff seeks DRSC comments and welcomes any feedback.

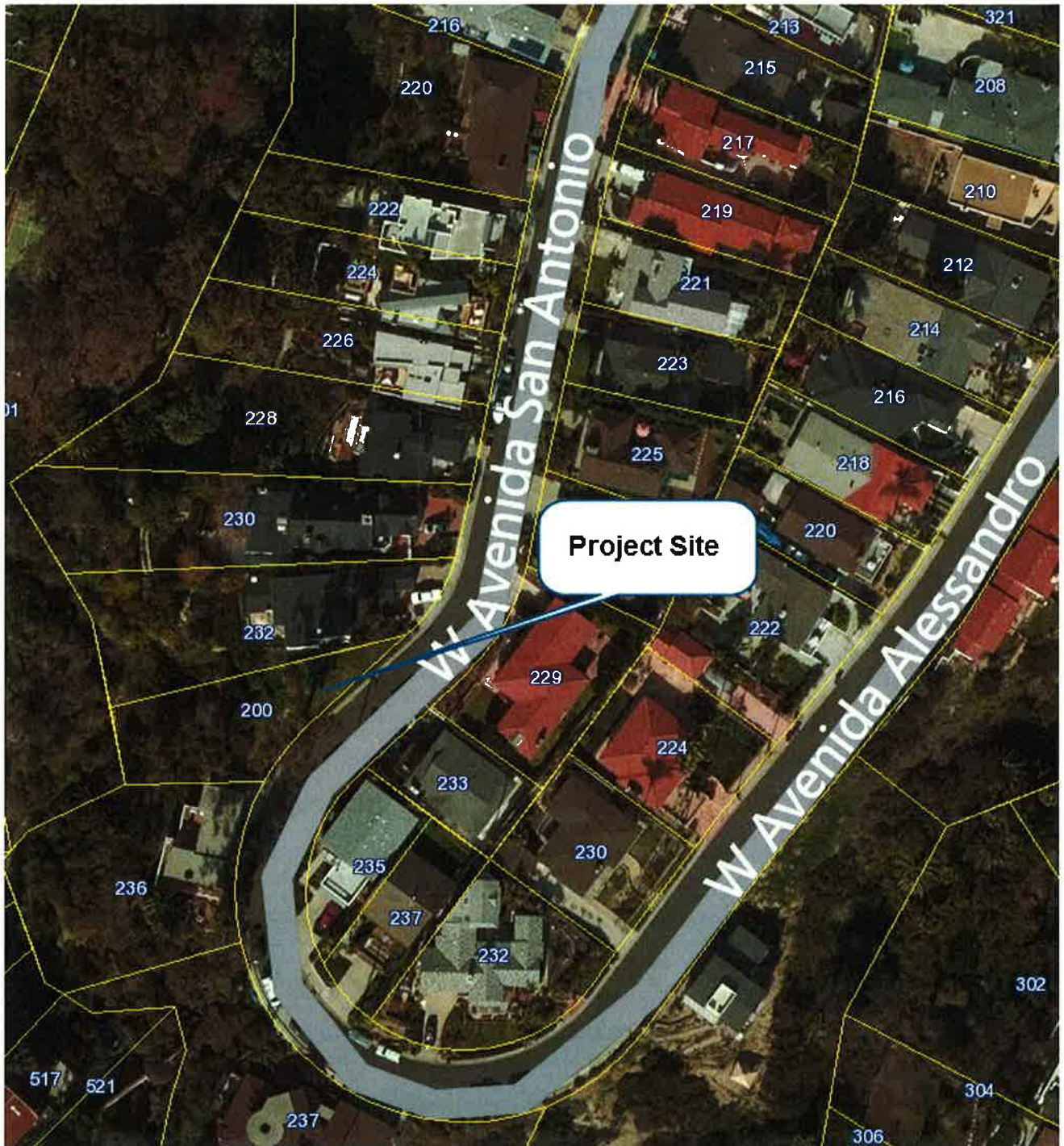
Attachments:

1. Location Map
2. Photos of project site
3. Photos of surrounding neighborhood



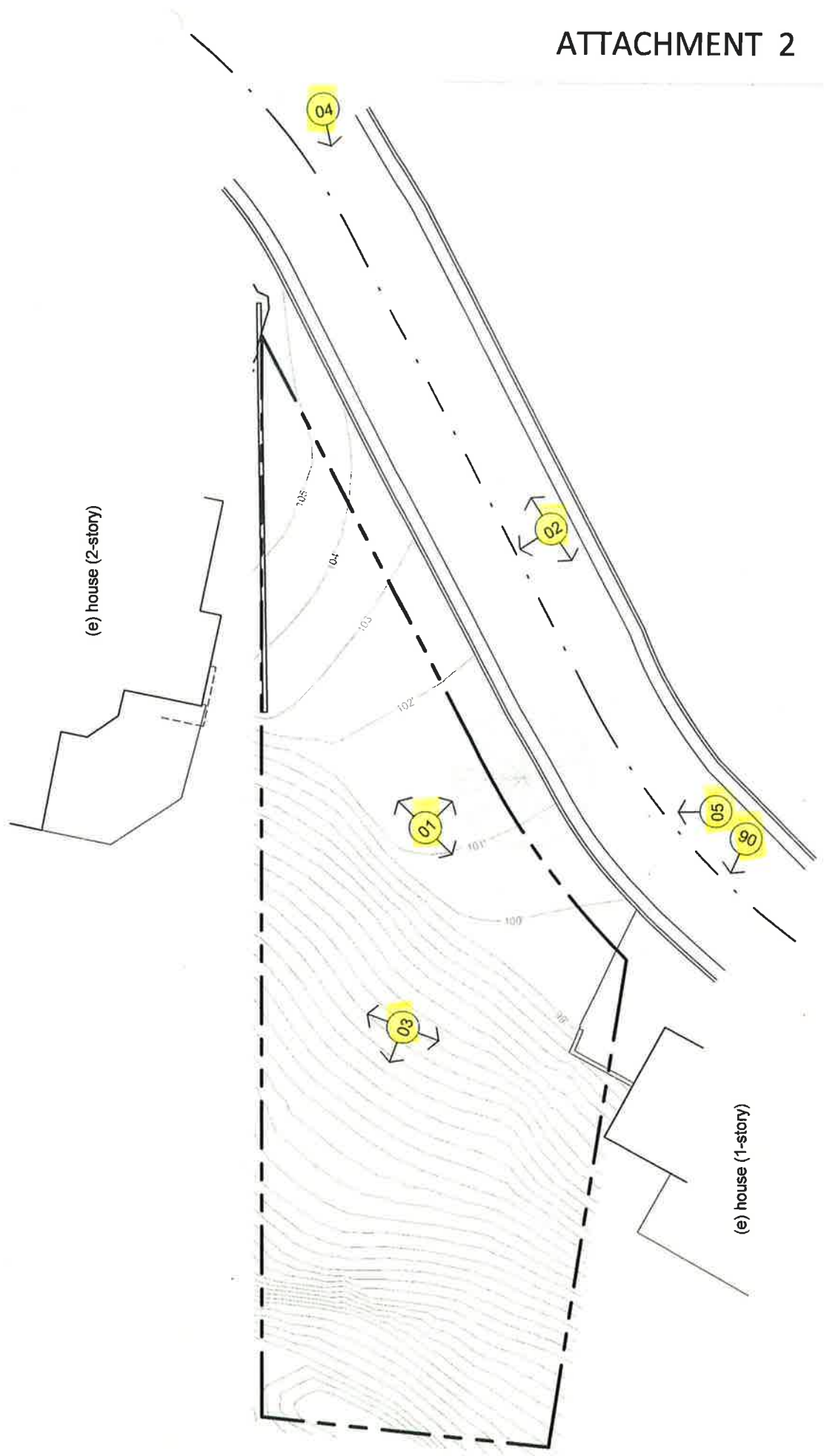
LOCATION MAP

VAR 14-388, Spencer Residence
200 West Avenida San Antonio
(future address 234 West Avenida San Antonio)



Not Scaled

Photo Location Map









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Going out ^{tomorrow} ~~next week~~ to
take photos of other
surrounding properties
that also are close to
the Property Line

PHOTOGRAPHS OF NEIGHBORHOOD





