



## Design Review Subcommittee (DRSC)

Meeting Date: May 13, 2015

**PLANNER:** John Ciampa, Associate Planner

**SUBJECT:** **Cultural Heritage Permit 15-080, Hager Duplex** a request to construct a 2,797 square foot duplex located at 216 Avenida Victoria within the Residential Medium zoning district and Coastal Zone (RM-CZ). The project site is located adjacent to a historic house.

### **BACKGROUND:**

#### *Project Description*

The site is a 4,000 square foot lot with a 900 square foot house that was built in 1949. The applicant proposes to demolish the existing non-historic house and build a 2,797 square foot duplex.

The project is located in the Residential Medium zoning district and Coastal Zone Overlay (RM-CZ). Surrounding land uses include single and multi-family residential units. The property is located directly across the street from a historic house located at 215 Avenida Victoria. More information about the historic structure is provided as Attachment 2.

#### *Why DRSC Review is Required*

A Cultural Heritage Permit is required because the project is a new structure that is adjacent to a historic resource. The DRSC is tasked to ensure development is compatible and harmonious with the surrounding neighborhood, including the historic structure, and review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Planning Commission.

#### *Development Standards*

Table 1 outlines how the project complies with the development standards of the Residential Medium (RM) zoning district.

**Table 1 –Compliance with RM-A Zone**

	<b>Allowed</b>	<b>Provided</b>
Required Parking (Minimum): Duplex	4 covered spaces	4 covered spaces
Required Setbacks		
Front	15'	15'-1"
Front to Garage	18'	18'-1"
Side	5'	5'-1"
Side entry to 2 <sup>nd</sup> unit	8'	8'-1"
Rear	5'	5'-1"
Lot Coverage (Maximum)	55%	48.4%
Height (Maximum)	25'	24.9'
Density (Maximum)	2 dwelling units	2 dwelling units

**ANALYSIS:**

The project’s design is reviewed to ensure that it does not have a negative visual or physical impact to the adjacent historic house and is compatible with the pattern of development in the neighborhood. The project site is located out of the Architectural Overlay so Spanish Colonial Revival is not required. The design incorporates stucco, wood, and glass materials to create the modern architectural design. Staff is supportive of the modern design because the proposed duplex is not within the view corridor of the historic house. The project incorporates various plane brakes on the front elevation to break up the massing and provide architectural interest. The duplex has a tandem garages which gives the building the appearance of having a standard two-car garage.

*Design Guidelines / General Plan Consistency*

Staff evaluation of the project’s consistency with Design Guidelines, General Plan, and its compatibility with the neighborhood, is provided in Table 2 below.

**Table 2 – Consistency with Design Guidelines and Centennial General Plan**

<b>Design Guideline or General Plan Policy</b>	<b>Project Consistency</b>
<i>Design Guidelines II.B.3. Building scale, mass, and form compatible w/ adjacent development.</i>	Consistent. The project design is two-stories as are the other buildings in the neighborhood. The building has articulation on the front elevation to reduce massing.

	The project is located across the street from a historic resource and will not result in massing or visual impacts. The addition of a tree at both sides of the frontage will improve the screening of the project from the historic house.
<i>Design Guidelines II.C.3.b.</i> Reduce the perceived height and bulk of large structures by dividing the building mass into smaller scale components.	Consistent. The second story mass is broken into separate components with multiple roof lines, varied wall planes and a second story deck.
<i>Design Guidelines II.C.3.</i> Articulate building forms and elevations by dividing building mass into smaller-scale components.	Consistent. Separate building components create shadow and recess thereby adding architectural interest to the building.
<i>Design Guidelines II.C.3.</i> Varied roof heights are encouraged.	Consistent. Multiple roof elements and second story deck add architectural interest to the building.
<i>Design Guidelines II.C.3.</i> Incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards	Consistent. The second story covered deck and the roof deck provide outdoor living areas for the project.
<i>Urban Design Policy 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.	Consistent. The second floor deck and varied wall planes reduces the massing for the front elevation.

**RECOMMENDATIONS:**

Staff supports the project with The recommendation that two trees be added to the front of the property to comply with Section 16.86.050.b of the Zoning Ordinance. Staff seeks DRSC concurrence and requests any additional comments.

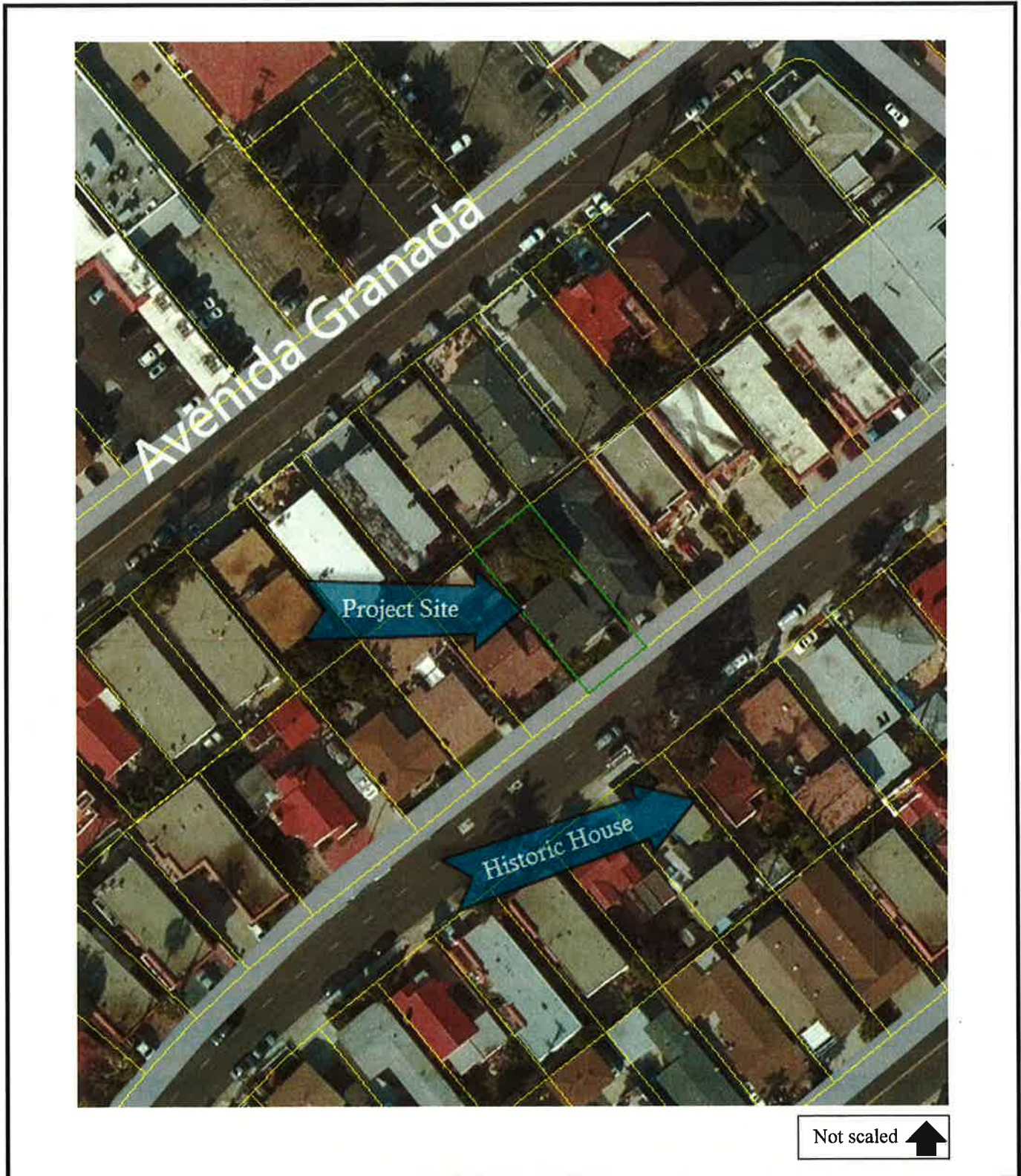
***Attachments:***

1. Location Map
2. DPR From for 215 Avenida Victoria
3. Photos  
Plans



## LOCATION MAP

CHP 14-514, Hagar Duplex  
216 Avenida Victoria



PRIMARY RECORD

Other Listings

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

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Resource Name or #: 215 AVENIDA VICTORIA

P1. Other Identifier:

P2. Location:  Not for Publication  Unrestricted a. County Orange  
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec ; B.M.

c. Address 215 Avenida Victoria City San Clemente Zip 92672

d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-101-08

P3a. Description:

The property contains a one-story single family residence with an L-shaped plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a flat roof with stepped a clay tile clad parapet. The exterior walls are clad with smooth stucco. A small entry porch occupies the ell of the primary (west) facade, and features a shed roof with asphalt shingles and an arched door opening. An original wood-frame rounded arch picture window occupies the northernmost portion of the primary elevation. The fenestration consists of non-original vinyl sliding windows throughout the residence. The residence is in good condition. Its integrity is fair.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other



P5b. Description of Photo:

North elevation, south view. May 2006.

P6. Date Constructed/Sources:

Historic  Both  
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Brophy, Edward Andrew & Brophy, Maria L.  
215 Avenida Victoria

P8. Recorded by:

Historic Resources Group, 1728  
Whitley Avenue, Hollywood, CA  
90028

P9. Date Recorded: 9/21/2006

P10. Survey Type:

City of San Clemente Historic  
Resources Survey Update

P11. Report Citation: None.

Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

# BUILDING, STRUCTURE, AND OBJECT RECORD

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NRHP Status Code 3D

Resource Name or #: 215 AVENIDA VICTORIA

- B1. Historic Name:** (Unknown)  
**B2. Common Name:** (Unknown)  
**B3. Original Use:** Single-family residential  
**B4. Present Use:** Single-family residential  
**B5. Architectural Style:** Spanish Colonial Revival  
**B6. Construction History:**

- B7. Moved?**  No  Yes  Unknown      **Date:** Original Location:  
**B8. Related Features:**

- B9a. Architect:** (Unknown)      **b. Builder:** (Unknown)  
**B10. Significance:** Theme Ole Hanson/Spanish Village by the Sea      Area City of San Clemente  
Period of Significance 1925-1936      Property Type Residential      Applicable Criteria A

This one-story single family residence was built in 1926. This property is a modest example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

- B11. Additional Resource Attributes:** 02 Single Family Property  
**B12. References:** Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

**B13. Remarks:** (none)

**B14. Evaluator:** Historic Resources Group, Hollywood, CA  
**Date of Evaluation:** 9/21/2006

(This space reserved for official comments.)



# CONTINUATION SHEET

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Resource Name or #: 215 AVENIDA VICTORIA

Recorded by: Historic Resources Group

Date: 9/21/2006

Continuation  Update

**Photographs of the Subject Property, Continued:**

