




## Design Review Subcommittee (DRSC)

Meeting Date: April 29, 2015

**PLANNER:** John Ciampa, Associate Planner 

**SUBJECT:** **Cultural Heritage Permit 15-075, Andrews Duplex** a request to construct an addition to a legal nonconforming duplex to enlarge the garages, extend the second floor deck, new trellis, and façade modifications to bring the structure closer to a Spanish Colonial Revival Design. The project site is located at 304 Avenida Del Mar within the Residential Medium zoning district and Architectural and Coastal Overlays (RM-A-CZ).

### **BACKGROUND:**

#### *Project Description*

The site is a 3,800 square foot lot that contains a three story, 2,618 square foot duplex, built in 1977. The applicant proposes a 180 square foot addition to the garages, second story deck extension over the expanded garages, new trellis, and modifications to improve the façade closer to a Spanish Colonial Revival. Since the addition is less than 50 percent of the existing structure it will not be required to provide the additional parking to bring the duplex into compliance with the development standards for the Residential Medium zoning district.

The project is located within the Residential Medium zoning district and the Architectural and Coastal Zone overlays (RM-A-CZ). Surrounding land uses include two and three story multi-family residential units.

#### *Why DRSC Review is Required*

A Minor Cultural Heritage Permit is required because the project is an addition of less than 200 square feet in the Architectural Overlay and is an addition to a legal nonconforming structure. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Zoning Administrator.

#### *Development Standards*

Table 1 outlines the project's consistency with the development standards of the Residential Medium zone.

**Table 1 –Compliance with RM-A Zone**

	<b>Required</b>	<b>Provided/Proposed</b>
Required Parking (Minimum): Duplex	4 covered spaces	2 covered spaces*
Required Setbacks		
Front	15'	22'
Front to Garage	18'	26'
Side	5'	5'
Side entry to 2 <sup>nd</sup> unit	8'	8'
Rear	5'	13'
Lot Coverage (Maximum)	55%	39%
Height (Maximum)	25'	23.5'
Density (Maximum)	2 dwelling units	2 dwelling units

\* Legal nonconforming.

**ANALYSIS:**

The project modifies the 1970s architecture to bring the facade closer to Spanish Colonial Revival. The modifications include new garage doors, wood headers, wood trellis over the extended deck, roof tile along the edge of the roof, wood corbels, and painted wood fascia.

*Design Guidelines / Henry Lenny Design Guidelines / General Plan Consistency*

Staff evaluation of the project’s consistency with Design Guidelines, General Plan and its compatibility with the neighborhood, is provided in Table 2 below.

**Table 2 – Project consistency with Design Guidelines, Henry Lenny Design Guidelines and Centennial General Plan**

<b>Design Guideline or General Plan Policy</b>	<b>Project Consistency</b>
<i>Design Guidelines II.B.3. Building scale, mass, and form compatible w/ adjacent development.</i>	Consistent. The proposed garage addition, deck extension, trellis, and façade modifications will improve the scale and mass of the building and improve the design quality by bringing it closer to Spanish Colonial Revival.

<b>Design Guideline or General Plan Policy</b>	<b>Project Consistency</b>
<i>Design Guidelines II.C.3.b.</i> Reduce the perceived height and bulk of large structures by dividing the building mass into smaller scale components.	Consistent. The garage addition and the second story deck extension (length and width) helps divide the building mass. The addition of the trellis on the second floor further improves the building mass and helps to visually break-up the structure into smaller sections.
<i>Design Guidelines II.C.2.</i> Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture	Consistent. The architectural elements proposed for the façade modification bring the structure closer to a SCR design. Recommendations to improve the design of the building are provided in the recommendations section below.
<i>Design Guidelines II.C.3.</i> Incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards	Consistent. The second floor deck space is expanded in length and width to provide a larger outdoor living space. The addition of the trellis to the second floor also improves the outdoor space.
<i>Urban Design Policy 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.	Consistent. The garage addition and deck expansion improves the massing and scale with the stepped design. The enlarged deck breaks up the massing by locating the wider deck on the second level and the smaller deck on the third floor. Recommendations to further improve the design of the deck are provided in the section below.

**RECOMMENDATIONS:**

The following are recommendations to improve the Spanish Colonial Revival design of the project, bringing it further in line with the Design Guidelines:

*Corbels*

1. The corbels under the second floor deck should not extend beyond the front of the deck and the corbels should have a decorative end that is typical of Spanish Colonial Revival architecture. Additional corbels should be added to give the appearance that they support the cantilevered deck. The last corbel on the left should be removed as it does not make sense coming out of the new trellis at the entry.

*Stucco*

2. The stucco should have a smooth finish if it is going to be re-surfaced. The building should be painted white consistent with color requirements from the Design Guidelines and the Architectural Overlay.

*Roof*

3. If the roof is not proposed to be replaced with all two piece terra cotta tile then no tile should be added on the roof. The placement of only two rows would give the project an unauthentic design.

*Deck and Trellis*

4. The design for the second floor deck could be modified with a wood or wrought iron railing along the front elevation or wood/wrought iron broken up with stucco columns to improve the massing of the structure and provide a more open design. The trellis should be incorporated into the design of the deck to have a more refined design, as provided in some of the design examples (Attachment 3).
5. The extension of the deck over the garage should be reduced slightly to improve the proportions for the cantilevered portion, so that it does not appear to extent too far. This could be achieved by having a maximum two foot cantilevered deck.

*Garage*

6. The framing of the garages shows wood siding. To improve the design the wood siding should be removed and replaced with stucco with a thick bull nosed corner.

**CONCLUSION**

Staff seeks DRSC concurrence with the above recommendations and welcomes additional input. DRSC comments on the project's design will help ensure the highest quality project.

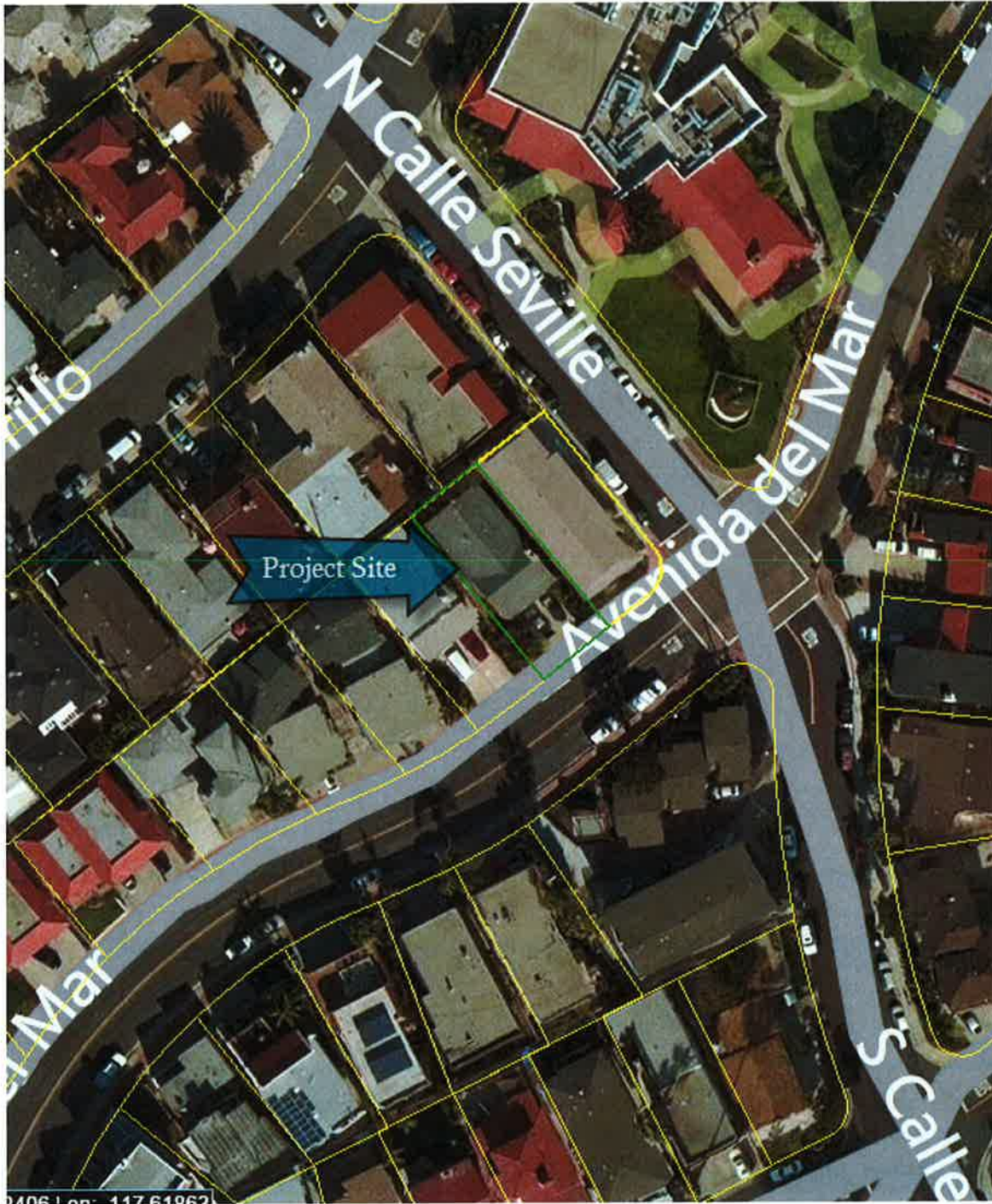
***Attachments:***

1. Location Map
2. Project rendering
3. Design Examples
4. Photographs  
Plans



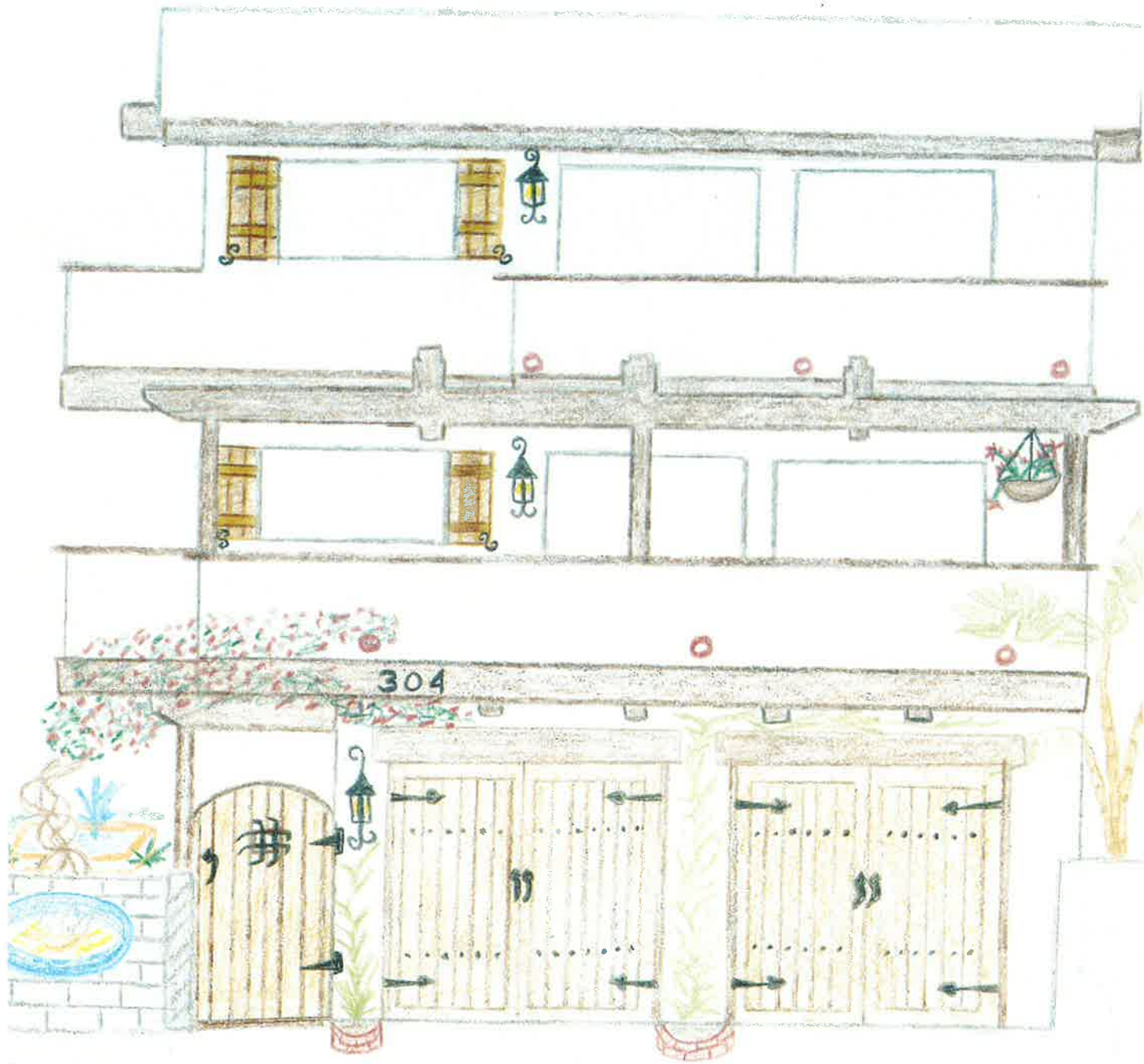
## LOCATION MAP

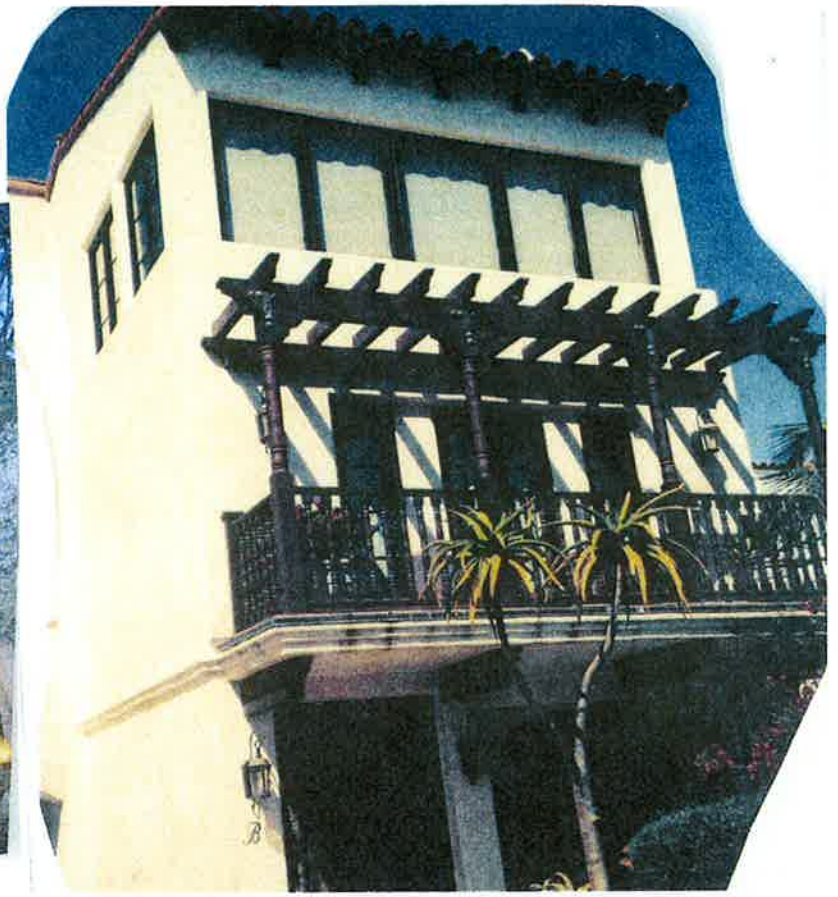
CHP 15-075, Andrews Duplex  
304 Avenida Del Mar



Not scaled













304



