



Design Review Subcommittee (DRSC)

Meeting Date: April 29, 2015

PLANNER: Sean Nicholas, Associate Planner

A handwritten signature in blue ink, appearing to be "SN", is written over the name Sean Nicholas.

SUBJECT: Amendment to Site Plan Permit 97-16, Residential Architectural Amendments-Marblehead Coastal, a request to consider alternative elevations for 35 lots within the residential portion of Marblehead Coastal.

BACKGROUND:

The applicant, Marblehead Development Partners, have recently acquired approval of updated architectural designs for the residential side of Marblehead Coastal. These proposed modified elevations are for 35 lots in the development. The "alternative" floor plan was approved with the larger design amendment in August 2014, but the design of these alternative elevations were not a part of the amendment.

Design Review Subcommittee review is required per Section 17.12.020, Review Authorities, to provide architectural review of the proposed project.

The project site's land use designation is Residential Single Family. The applicant has provided a site plan associated with the 5000, 5500, and 6000 Series homes to identify where these alternative elevations are located.

ANALYSIS:

When staff started working with Marblehead Development Partners, staff recommended maintaining the same general building footprint and massing, but updating the exteriors and interior floor plans to meet current market demands. The applicant was successful in their revisions and received approval for a majority of the homes in August 2014. The alternative floor plans take advantage of ocean views by moving the master bedrooms forward to the front of the property. The applicant has completed the elevation design on 35 of the 309 homes.

For the most part, the alternative and standard elevations are very similar, and staff is supportive of the designs. The alternative designs utilizes the same aesthetics as the standard elevations, but some have different features to accommodate new window, door, and balcony placements. No heights are proposed to be different than what was originally approved by the City Council, previously reviewed by DRSC, and approved by the Zoning Administrator.

The applicant proposes 18 different color palettes to be used to mix and match amongst the various architectural plans to differentiate each home. Mixing in the alternative

elevations will further break up the various elevations to avoid facades from being overused within the development.

There are three residential products that will have alternative elevations: 5000 Series Product, 5500 Series Product, and 6000 Series Product. The 5000, 5500, and 6000 Series refers to lot sizes.

RECOMMENDATIONS:

As with the standard elevations, the standard conditions of approval associated with roofs, stucco application (including no expansion joints), and staff inspection and approval of all details will be included. The same requirement regarding the color palette from Coastal Commission applies. Staff is generally supportive of the designs, but staff has these recommendations:

1. **Metal Balconies on the 2nd Floor-** For the alternative elevations labeled: 5000 1AX, 5000 1CX, 5000 3BX, and 5500 1AX the design of the balcony needs to be reconsidered. The applicant is proposing a stucco balcony that has an awkward opening to a wrought iron Juliet balcony. Staff recommends utilizing either all stucco, a different stucco/wrought iron approach, or some other balcony design to improve the look of this feature. Here is an image of what is proposed and an example of a potential alternative meeting the same design goals.

Image 1: Proposed Alternative Balcony



PROPOSED 1A-X

Image 2: Potential Revised Balcony



2. **Massing-** For the alternative 5500 series elevations, a modification should be developed by the architect to break up the massing. Staff concern is that the originally approved architecture has good articulation and movement of the front elevations, and the alternatives are very flat with all of the massing on one plane at the street. The proposed alternative elevation detracts from the high quality materials and details. Staff has discussed this issue with the applicant and they are having the architect prepare some alternative designs for DRSC's consideration at the meeting.
3. **Window Details-**For the alternative elevations labeled 5500 1AX and 5500 2AX, the wood window treatment needs to be reconsidered because the feature seems to large and bulky, further exacerbating the mass of these elevations facing the street. Image 3 is the element that needs to be revised to help reduce the mass of the front elevation.

Image 3: Window Element to be Revised



4. **Balcony Modification**-For the alternative elevation labeled 6000 3BX the balcony should match the standard front elevation as the original balcony is a better design and provides consistency with the approved elevations.

Conclusion

Overall, the proposed elevations are similar to the previously approved architecture. One of the primary concerns staff had was the heights of the proposed alternative elevations, and the applicant and architect have indicated and staff has verified that they are identical to what was previously reviewed and approved for the standard elevations. It is staff's belief that with the recommendations listed above the alternative elevations are equal to or greater than the quality of the standard elevations. Staff seeks Design Review Subcommittee concurrence with staff's recommendation and any additional comments and recommendations.

Attachments:


1. Location Map
2. Alternative Elevations 5000 Series
3. Alternative Elevations 5500 Series
4. Alternative Elevations 6000 Series

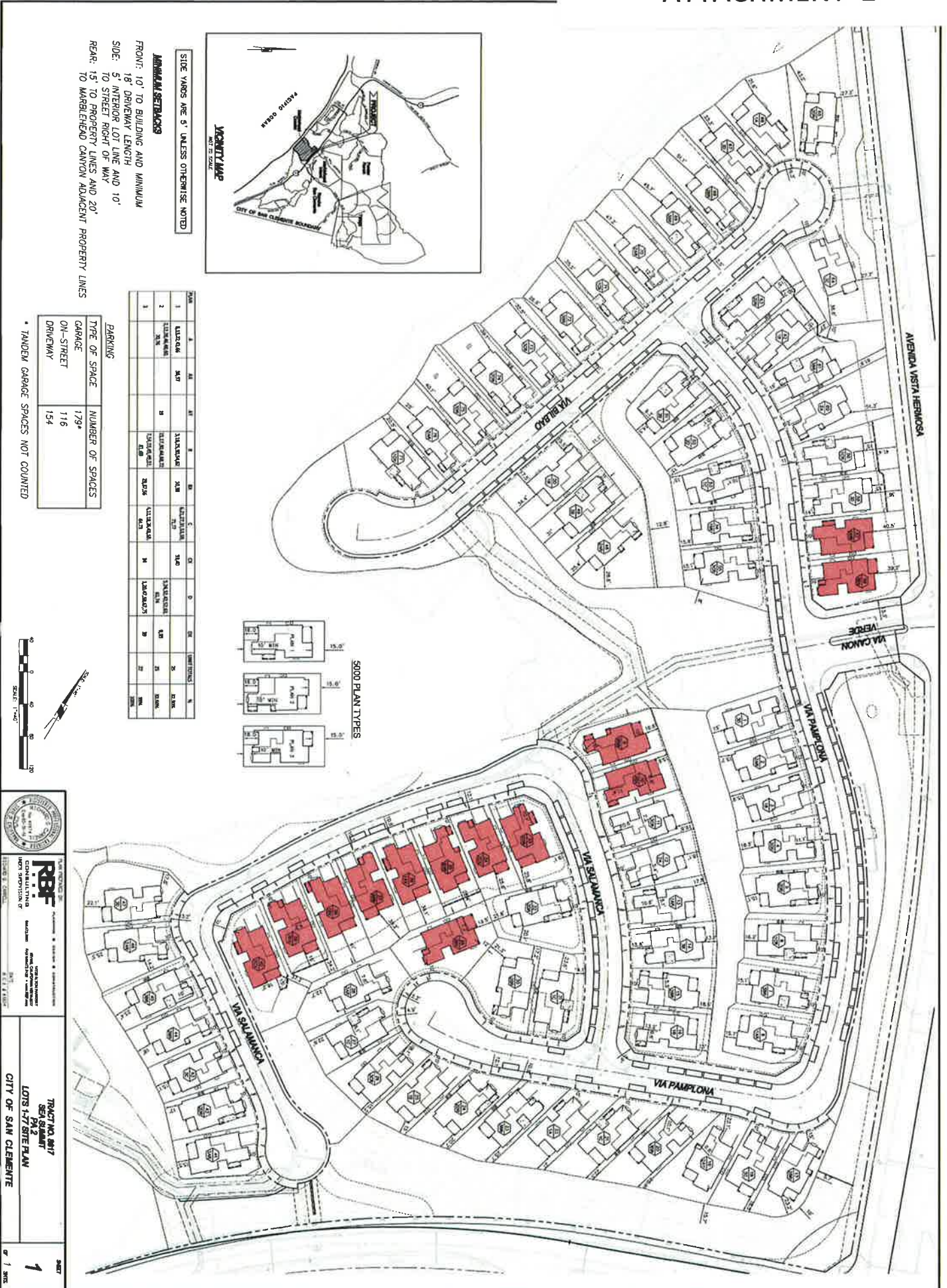


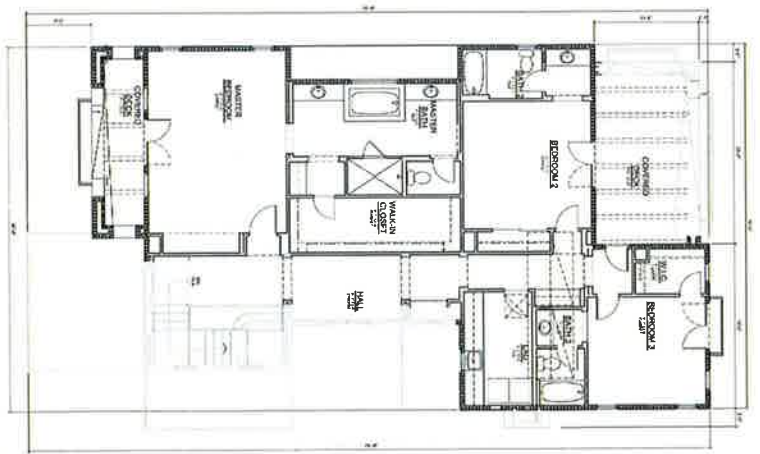
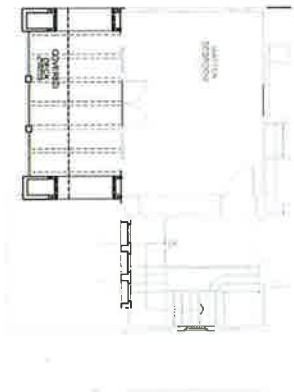
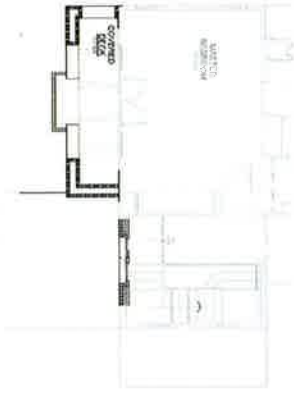
LOCATION MAP

AM SPP 97-16, MHC Residential Alternative Elevations

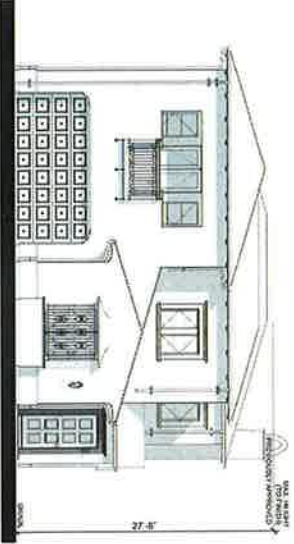


No scale 





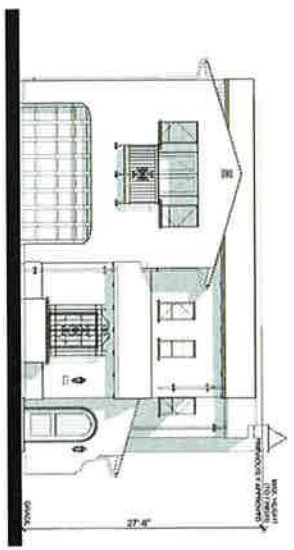
SECOND FLOOR PLAN
1XA



FRONT ELEVATION
1XC
OCCURS 2 TIMES



FRONT ELEVATION
1XB
OCCURS 2 TIMES



FRONT ELEVATION
1XA
OCCURS 2 TIMES

PLAN 1 X

BUILDING HEIGHTS - PLAN 1X			
STYLE	PROPOSED	PROPOSED	PROPOSED
1XA	27'-6"	27'-6"	27'-6"
1XB	27'-6"	27'-6"	27'-6"
1XC	27'-6"	27'-6"	27'-6"





APPROVED 1A



PROPOSED 1A-X



APPROVED 1B



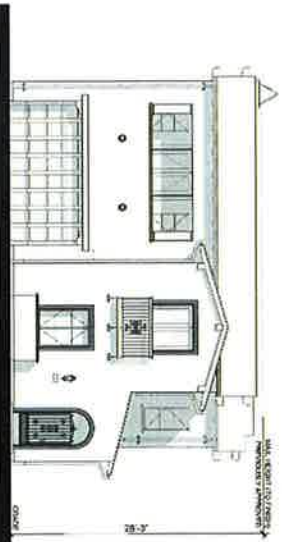
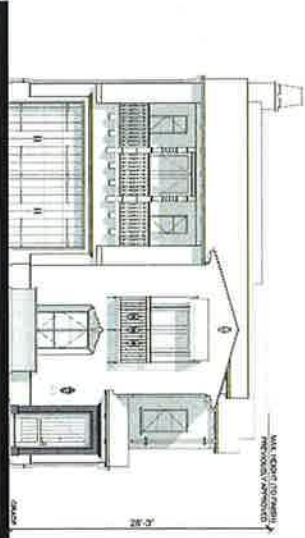
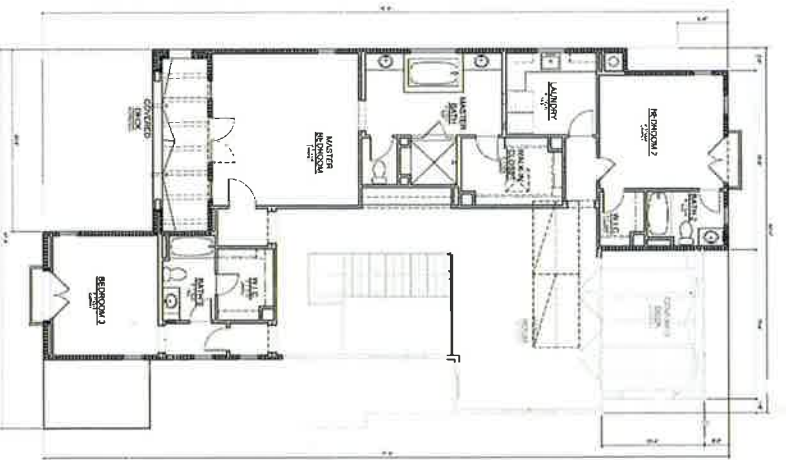
PROPOSED 1B-X



APPROVED 1C



PROPOSED 1C-X



FRONT ELEVATION 2X0 OCCURS 2 TIMES

FRONT ELEVATION 2X8 OCCURS 0 TIMES

FRONT ELEVATION 2X4 OCCURS 0 TIMES

PLAN 2 X

BUILDING HEIGHTS - PLAN 2X			
STYLE	PROPOSED	PREVIOUSLY APPROVED	
2X0	28'-3"	28'-3"	
2X8	28'-3"	28'-3"	
2X4	28'-3"	28'-3"	





APPROVED 2A



PROPOSED 2A-X



APPROVED 2B



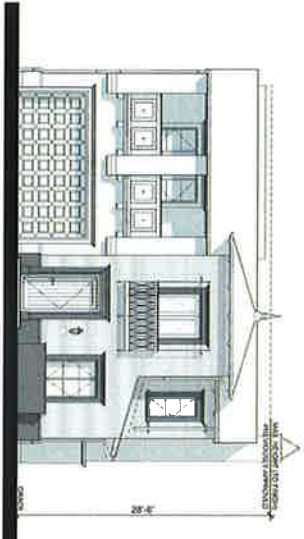
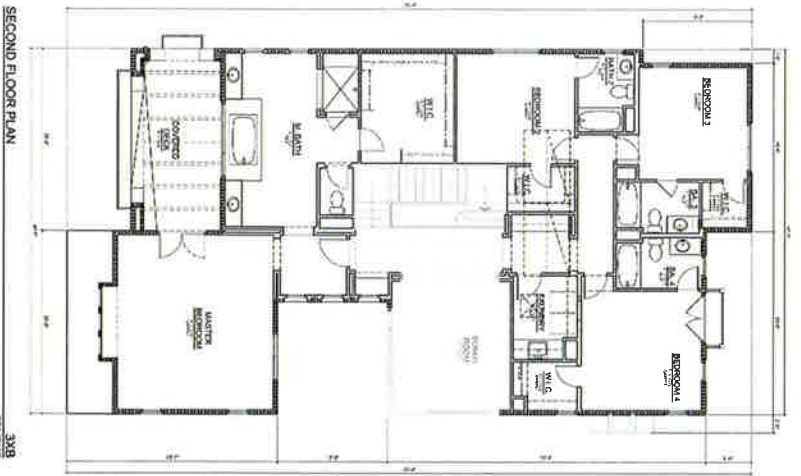
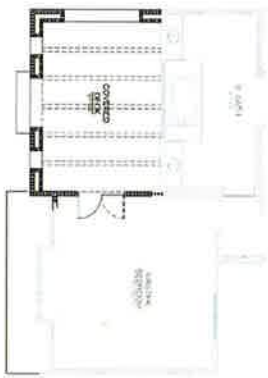
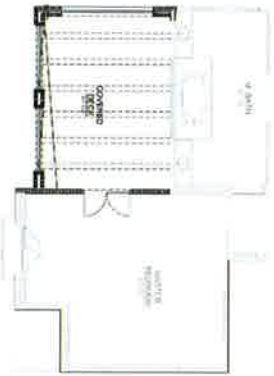
PROPOSED 2B-X



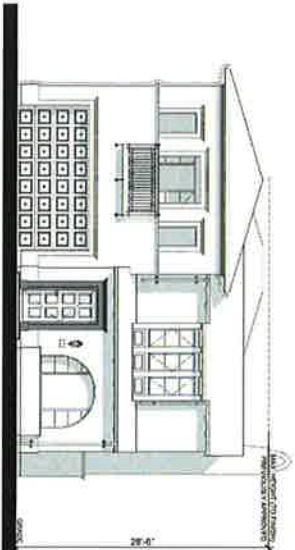
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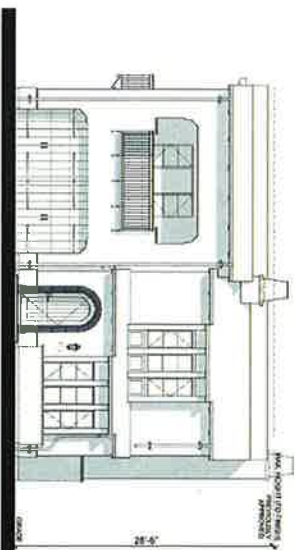
PROPOSED 2D-X



FRONT ELEVATION 3XD
OCCURS 1 TIME



FRONT ELEVATION 3XC
OCCURS 1 TIME



FRONT ELEVATION 3XB
OCCURS 3 TIMES

PLAN 3 X

Robert Hidey Architects

MARBLEHEAD 50'x100' LOTS

SAN CLEMENTE, CALIFORNIA

BUILDING HEIGHTS - PLAN 3X		
STYLE	PROPOSED	PREVIOUSLY APPROVED
3XB	28'-0"	28'-0"
3XC	28'-0"	28'-0"
3XD	28'-0"	28'-0"



Taylor Morrison

PROJECT NUMBER 1409 01/07/2015



APPROVED 3B



PROPOSED 3B-X



APPROVED 3C



PROPOSED 3C-X

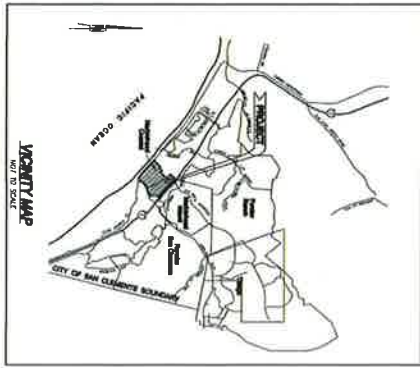


APPROVED 3D



PROPOSED 3D-X

ATTACHMENT 3



SIDE YARDS ARE 5' UNLESS OTHERWISE NOTED

MINIMUM SETBACKS

- FRONT: 10' TO BUILDING AND MINIMUM 18' DRIVEWAY LENGTH
- SIDE: 5' INTERIOR LOT LINE AND 10' TO STREET RIGHT OF WAY
- REAR: 15' TO PROPERTY LINES AND 20' TO MARBLEHEAD CANYON ADJACENT PROPERTY LINES

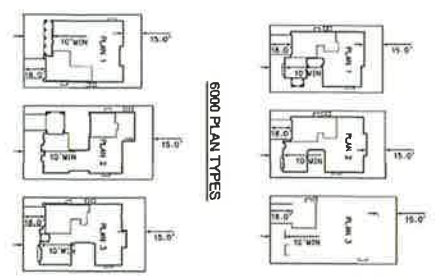


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2	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515	184,376.515

PARKING

TYPE OF SPACE	NUMBER OF SPACES
GARAGE	124*
ON-STREET DRIVEWAY	85
TOTAL	209

* TANDEN GARAGE SPACES NOT COUNTED

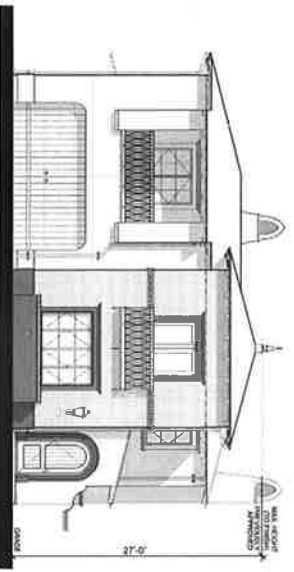
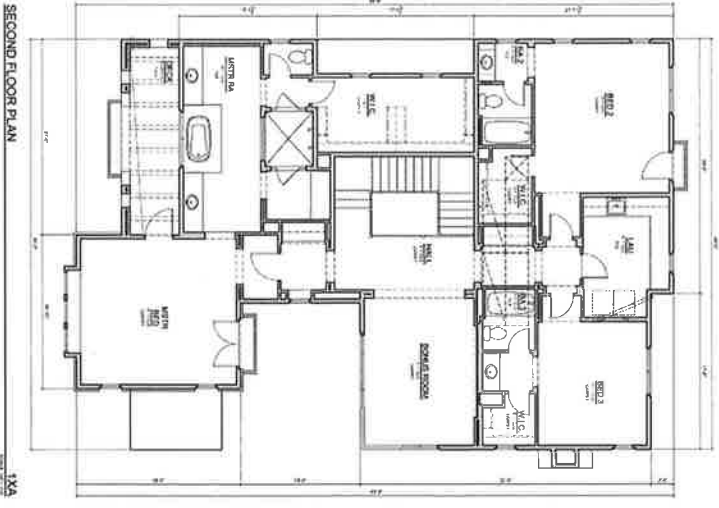
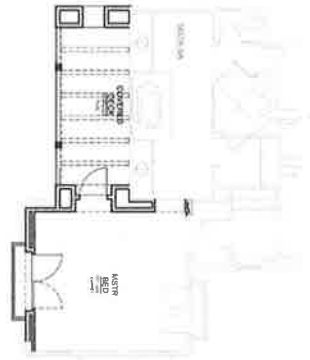
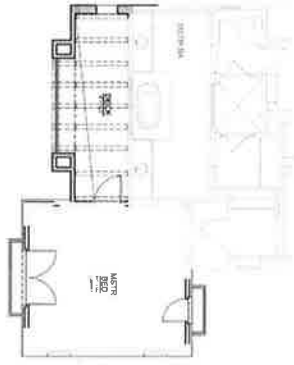


RBF CONSULTING
ARCHITECTS & ENGINEERS

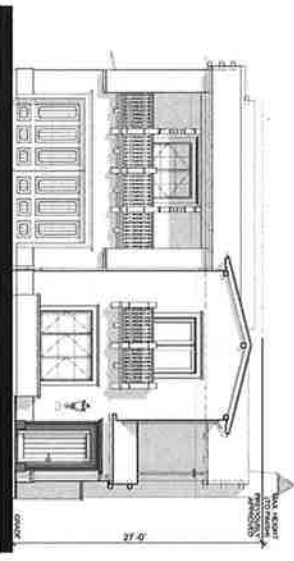
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SUN SITE PLAN
LOTS 124-162 SITE PLAN
CITY OF SAN CLEMENTE

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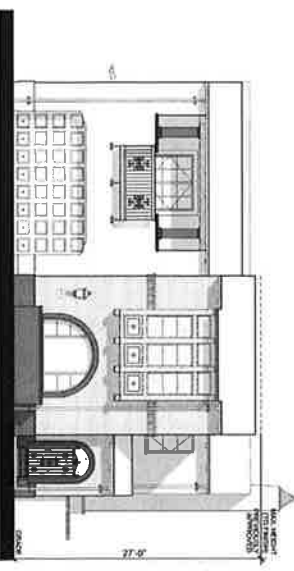
1 of 1 SHEET



OCCURS 4 TIMES



OCCURS 1 TIME



OCCURS 1 TIME

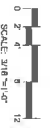
PLAN 1X

Robert Hidey Architects

MARBLEHEAD 55'x100' LOTS

SAN CLEMENTE, CALIFORNIA

BUILDING HEIGHTS - PLAN 1X			
STYLE	PROPOSED	PREVIOUSLY APPROVED	
11A	27'-0"	27'-0"	
11B	27'-0"	27'-0"	
11C	27'-0"	27'-0"	



TaylorMortison

PROJECT NUMBER: 1404 01/07/2015



APPROVED 1A



PROPOSED 1A-X



APPROVED 1B



PROPOSED 1B-X

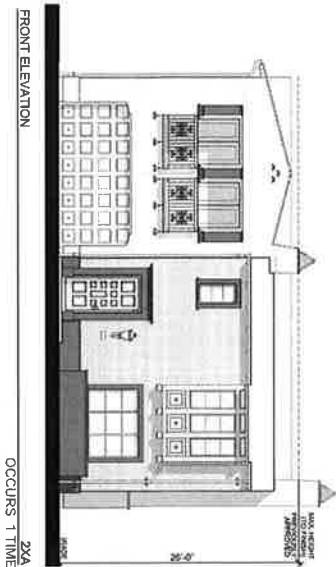
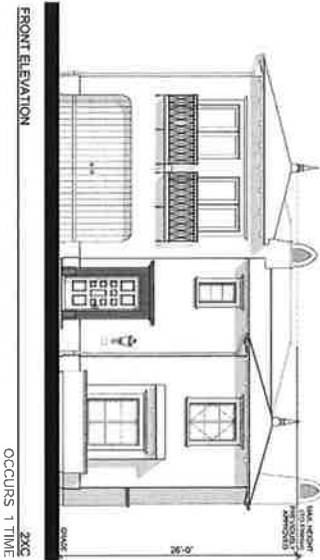
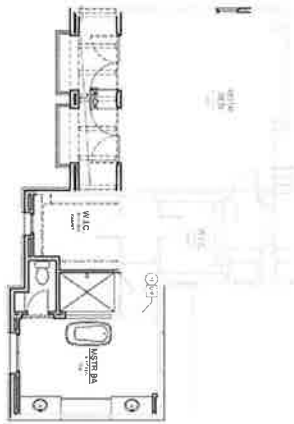
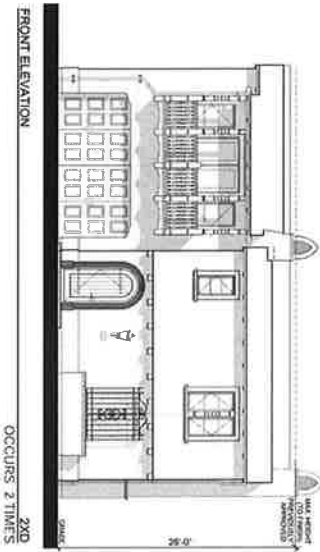
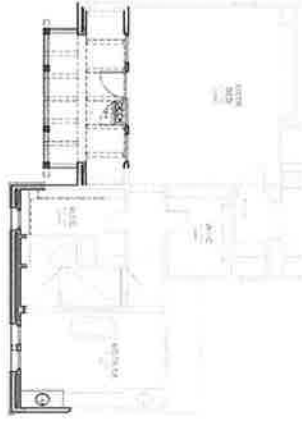


APPROVED 1C



PROPOSED 1C-X

PLAN 2 X



BUILDING HEIGHTS - PLAN 2X			
STYLE	PROPOSED	APPROVED	
2X4	36'-0"	36'-0"	
2X2	36'-0"	36'-0"	
2X0	36'-0"	36'-0"	





APPROVED 2A



PROPOSED 2A-X



APPROVED 2C



PROPOSED 2C-X



APPROVED 2D



PROPOSED 2D-X



SIDE YARDS ARE 3' UNLESS OTHERWISE NOTED

MINIMUM SETBACKS

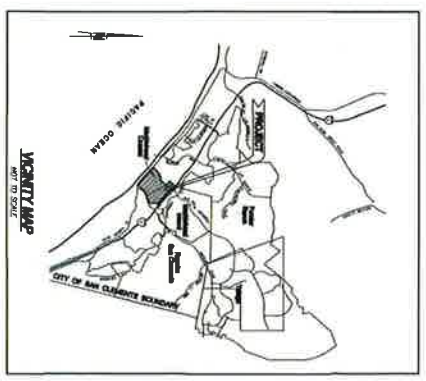
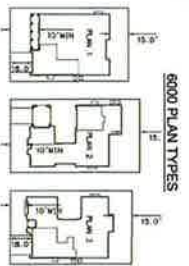
- FRONT: 10' TO BUILDING AND MINIMUM 18' DRIVEWAY LENGTH
- SIDE: 5' INTERIOR LOT LINE AND 10' TO STREET RIGHT OF WAY
- REAR: 15' TO PROPERTY LINES AND 20' TO MARBLEHEAD CANYON ADJACENT PROPERTY LINES


TYPE OF SPACE	NUMBER OF SPACES
GARAGE ON-STREET DRIVEWAY	86*
	53
	86

PARKING

TYPE OF SPACE	NUMBER OF SPACES
GARAGE ON-STREET DRIVEWAY	86*
	53
	86

* TANDEN GARAGE SPACES NOT COUNTED



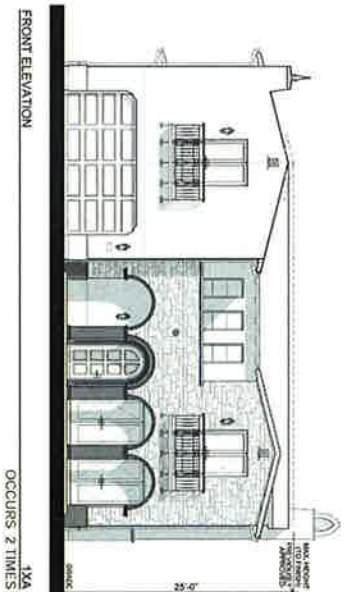
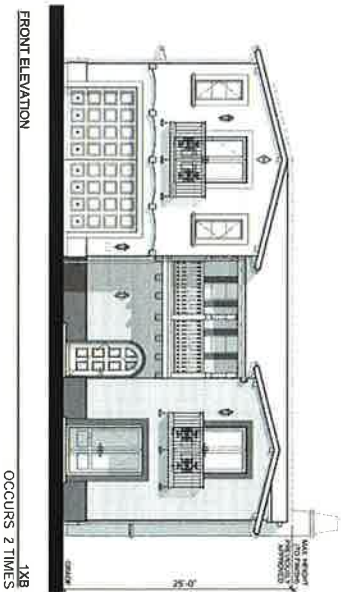
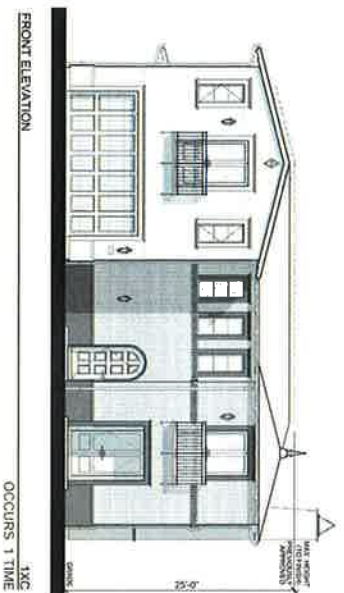
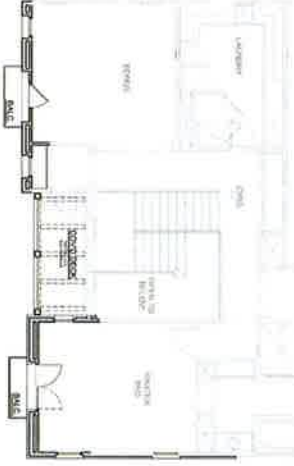
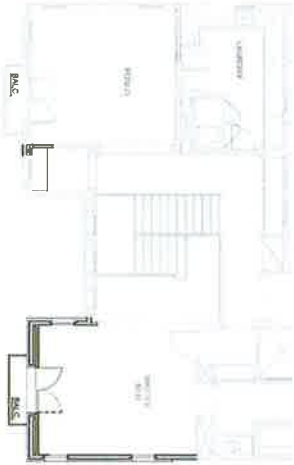


RBF
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERING
NO. 12345
STATE OF CALIFORNIA

TRACT NO. 8817
8817 SUBDIVISION
LOTS 78-120 SITE PLAN

CITY OF SAN CLEMENTE

1
OF 1 SHEET



PLAN 1X

BUILDING HEIGHTS - PLAN 1X			
STYLE	PROPOSED	FRANCISCO APPROVED	
1XA	25'-0"	25'-0"	25'-0"
1XB	25'-0"	25'-0"	25'-0"
1XC	25'-0"	25'-0"	25'-0"



Robert Hidey Architects

MARBLEHEAD 60'x100' LOTS

Taylor Morrison

SAN CLEMENTE CALIFORNIA

PROJECT NUMBER 1405 01/07/2015



APPROVED 1A



PROPOSED 1A-X



APPROVED 1B



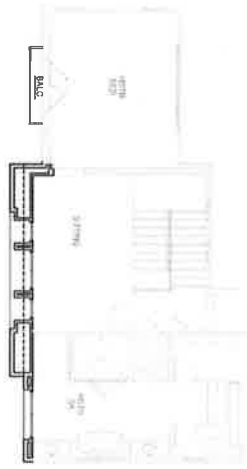
PROPOSED 1B-X



APPROVED 1C



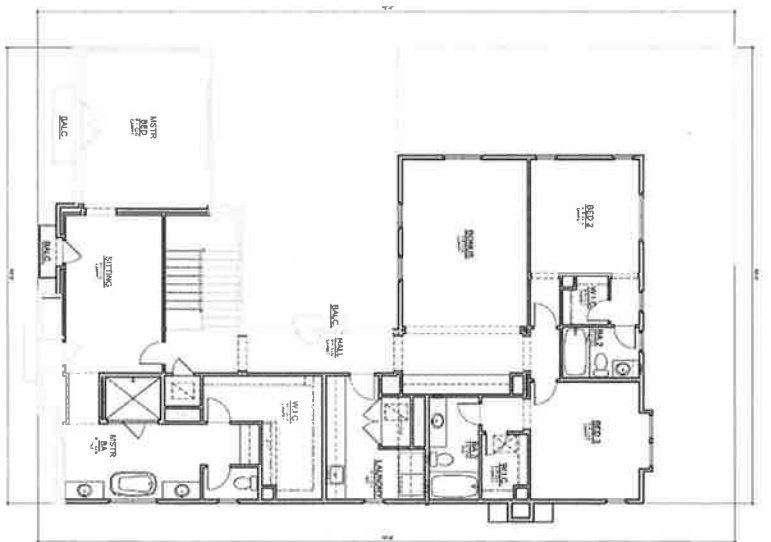
PROPOSED 1C-X



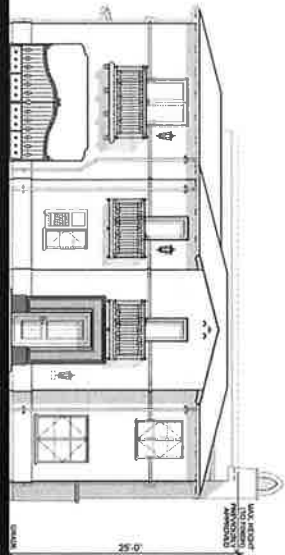
FRONT ELEVATION
2ND
OCCURS 2 TIMES



FRONT ELEVATION
2XC
OCCURS 1 TIME



SECOND FLOOR PLAN
2XA



FRONT ELEVATION
2XA
OCCURS 0 TIMES

PLAN 2 X

MARBLEHEAD 60'x100' LOTS

BUILDING HEIGHTS - PLAN 2X			
STYLE	PROPOSED	PREVIOUSLY APPROVED	
2XA	25'-0"	25'-0"	
2XC	25'-0"	25'-0"	
2ND	25'-0"	25'-0"	



TaylorMorrison

Robert Hidey Architects

SAN CLEMENTE, CALIFORNIA

PROJECT NUMBER 1406 01/07/2015



APPROVED 2A



PROPOSED 2A-X



APPROVED 2C



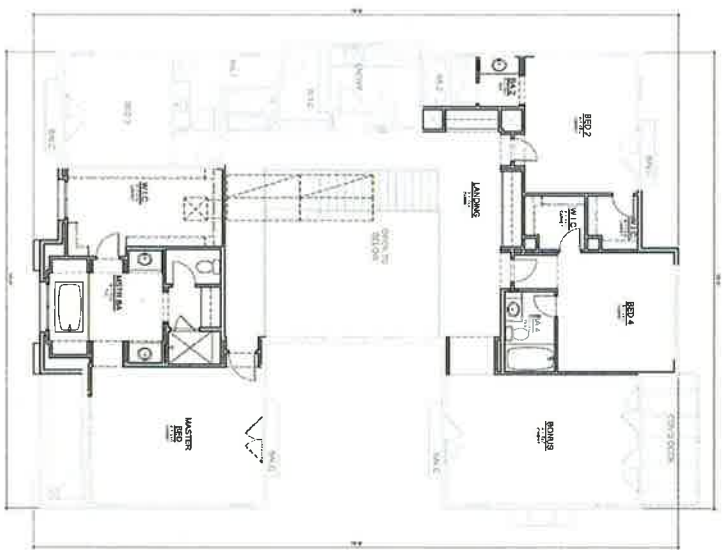
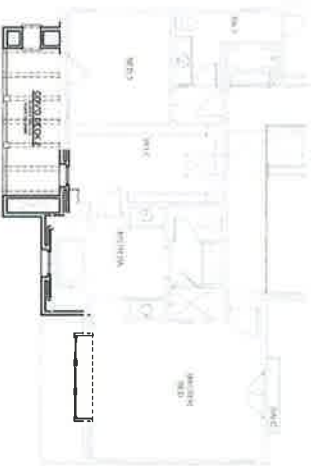
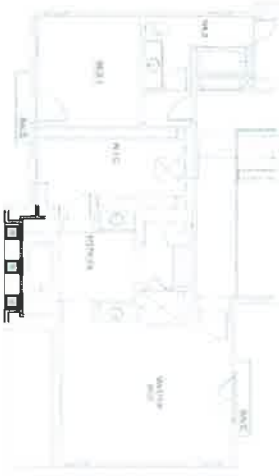
PROPOSED 2C-X



APPROVED 2D



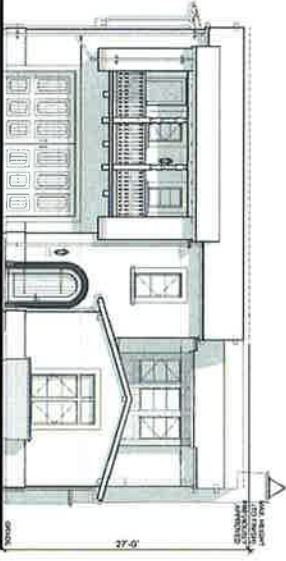
PROPOSED 2D-X



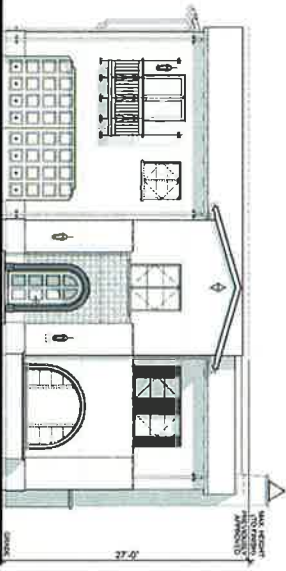
SECOND FLOOR PLAN 3XA



FRONT ELEVATION 3XC OCCURS 1 TIME



FRONT ELEVATION 3XB OCCURS 2 TIMES



FRONT ELEVATION 3XA OCCURS 1 TIME

PLAN 3 X

BUILDING HEIGHTS - PLAN 3X		
STYLE	PROPOSED	PREVIOUSLY APPROVED
3XA	27'-0"	27'-0"
3XB	27'-0"	27'-0"
3XC	27'-0"	27'-0"



Robert Hidey Architects

MARBLEHEAD 60'x100' LOTS

SAN CLEMENTE CALIFORNIA

Taylor Morrison

PROJECT NUMBER 14005 01/07/2015



APPROVED 3A



PROPOSED 3A-X



APPROVED 3B



PROPOSED 3B-X



APPROVED 3C



PROPOSED 3C-X