



## Design Review Subcommittee (DRSC)

Meeting Date: April 15, 2015

**PLANNER:** Cliff Jones, Associate Planner

**SUBJECT:** **Cultural Heritage Permit 14-514, Haft Duplex** a request to construct a 3,154 square foot duplex located at 227 Avenida Granada within the Residential Medium zoning district and Architectural and Coastal Overlays (RM-A-CZ).

### **BACKGROUND:**

#### *Project Description*

The site is 3,950 square feet and contains a 1,448 square foot home that was built in 1948. The applicant proposes to demolish the existing non-historic home and build a 3,154 square foot duplex designed in Spanish Colonial Revival architectural style.

The project is located within the Residential Medium zoning district and the Architectural and Coastal Zone overlays (RM-A-CZ). Surrounding land uses include multi-family residential units with the exception of the property located directly across the street which is a private parking lot.

#### *Why DRSC Review is Required*

A Cultural Heritage Permit is required because the project is a new structure in the Architectural Overlay. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Planning Commission.

#### *Development Standards*

Table 1 outlines how the project complies with the development standards of the Residential Medium Zone.

**Table 1 –Compliance with RM-A Zone**

	<b>Allowed</b>	<b>Provided</b>
Required Parking (Minimum): Duplex	4 covered spaces	4 covered spaces
Required Setbacks		
Front	15'	15'
Front to Garage	18'	18'
Side	5'	5'
Side entry to 2 <sup>nd</sup> unit	8'	8'
Rear	5'	5'
Lot Coverage (Maximum)	55%	54.9%
Height (Maximum)	25'	24.73'
Density (Maximum)	2 dwelling units	2 dwelling units

**ANALYSIS:**

The duplex is Spanish Colonial Revival architecture style and utilizes traditional design elements. The design includes smooth white stucco finish, single barrel tile roofing with random mortar packing, solid wrought-iron railing, and recessed wood windows and doors. The duplex has a two-car tandem garage which gives the building the appearance of having a single-family two-car garage.


*Design Guidelines / Henry Lenny Design Guidelines / General Plan Consistency*

Staff evaluation of the project’s consistency with Design Guidelines, Henry Lenny Design Guidelines, Centennial General Plan and its compatibility with the neighborhood, is provided in Table 2 below.

**Table 2 – Project consistency with Design Guidelines, Henry Lenny Design Guidelines and Centennial General Plan**

<b>Design Guideline or General Plan Policy</b>	<b>Project Consistency</b>
<i>Design Guidelines II.B.3. Building scale, mass, and form compatible w/ adjacent development.</i>	Mostly Consistent. The project design is two-stories as are the adjacent buildings. However, staff is concerned that the building maximizes the size of the lot. Staff seeks DRSC input on this issue of concern.



	The applicant should provide visual simulations that show the project in relationship to adjacent buildings fronting Avenida Granada.
<b>Design Guideline or General Plan Policy</b>	<b>Project Consistency</b>
<i>Design Guidelines II.C.3.b.</i> Reduce the perceived height and bulk of large structures by dividing the building mass into smaller scale components.	Consistent. The second story mass is broken into separate components with multiple roof lines and varied wall planes.
<i>Design Guidelines II.C.3.</i> Articulate building forms and elevations by dividing building mass into smaller-scale components.	Consistent. Separate building components create shadow and recess thereby adding architectural interest to the building.
<i>Design Guidelines II.C.3.</i> Varied roof heights are encouraged.	Consistent. Multiple roof lines and varied roof heights add architectural interest to the building.
<i>Design Guidelines II.C.2.</i> Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture	Mostly consistent. Building forms, materials, colors and architectural details generally follow SCR style. Recommendations to improve the design of the building are provided within the Recommendations section below.
<i>Design Guidelines II.C.3.</i> Incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards	Consistent. Defined outdoor patio spaces are provided at each unit entry and each unit has a roof deck.
<i>Henry Lenny Design Guidelines; Wall Openings.</i> Windows and doors should be set toward the interior allowing the wall thickness to be revealed on the exterior of the building. Walls should be no thinner than 12". An 18" wall is ideal.	Unclear. The windows and doors should be recessed a minimum of 12" to 18" as suggested and as shown in the image to the left below.




	
<p><b>Design Guideline or General Plan Policy</b></p>	<p><b>Project Consistency</b></p>
<p><i>Urban Design Policy 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.</p>	<p>Mostly Consistent. The two-story project is consistent with two-story developments permitted in the Downtown area. However, staff is concerned that the building maximizes the size of the lot. Staff seeks DRSC input on this issue of concern.</p>
<p><i>Historic Preservation, Standards &amp; Regulations Goal.</i></p> <p>Ensure the preservation, rehabilitation, restoration and adaptive reuse of buildings, sites, places, and districts with archaeological, historical, architectural, or cultural significance to San Clemente.</p>	<p>Consistent. The project is consistent with the Spanish Colonial Revival architectural style prescribed within the Architectural Overlay.</p>



**RECOMMENDATIONS:**

The following comments provided in Table 3 are aimed at bringing the project further in line with the Design Guidelines and improve the project’s architectural quality.

**Table 3 – Recommendations to Improve Architectural Quality**

Architectural Detail	Summary of Detail	Recommendations for Improvement	Example(s) of Suggested Detail
North Elevation	Wall plane close to front of building has a stucco niche and window that are unbalanced on the wall plane.	Provide visual balance on the wall plane.	
Roof deck	Roof deck perimeter walls are not articulated.	Perimeter walls can benefit from the addition of a cornice detail.	
Windows and Doors	Wood windows and doors are proposed.	<p>A sample of the wood windows/doors is needed for staff evaluation.</p> <p>Windows and doors should have lites.</p> <p>The windows and doors should be recessed a minimum of 12” to 18” as suggested in the Henry Lenny Design Guidelines.</p>	

Architectural Detail	Summary of Detail	Recommendations for Improvement	Example(s) of Suggested Detail
Stairs	Details of the stairs are not provided.	Applicant should consider adding Spanish tile to the stair risers facing Avenida Granada.	
Lighting	Lighting type and locations are not depicted on elevations.	Traditional wrought-iron lighting should be utilized and shown on the elevations.	
Gutters	Gutter details need to be provided.	Detail needs to be provided regarding the location of gutters, downspouts, and any applicable filters.	

Architectural Detail	Summary of Detail	Recommendations for Improvement	Example(s) of Suggested Detail
Chimney	Cardinal hat is provided atop chimney.	Detail needs to be provided related to chimney.	
Garage Doors	Garage Door material is not specified.	Wood garage doors are recommended.	

**CONCLUSION**

Staff seeks DRSC concurrence with the above recommendations and welcomes additional input. DRSC comments on the project’s design will help ensure the highest quality project.

***Attachments:***

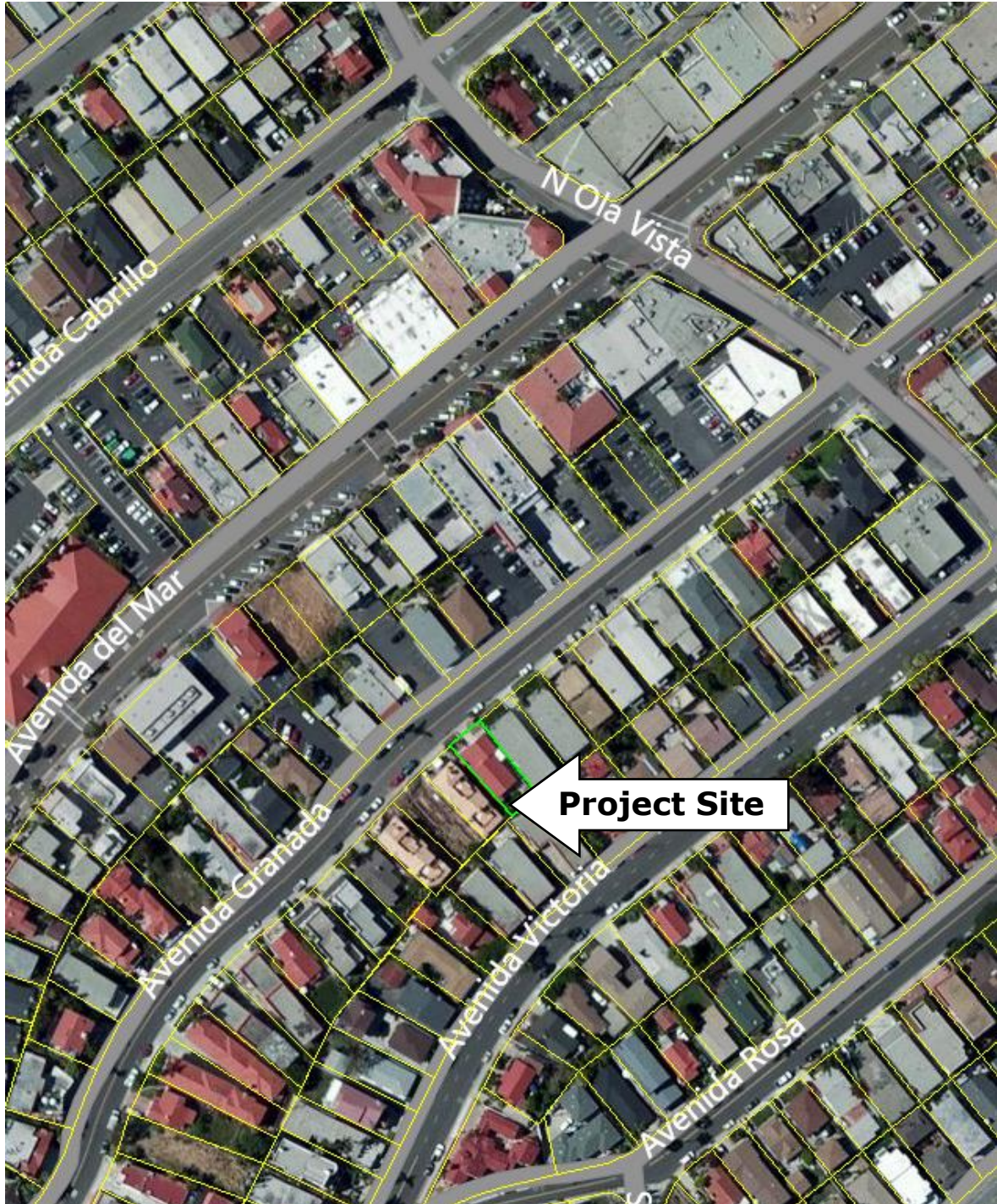
1. Location Map  
Plans





# LOCATION MAP

CHP 14-514, Haft Duplex  
227 Avenida Granada



Not scaled 