



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: April 8, 2015

PLANNER: John Ciampa, Associate Planner *JC*

SUBJECT: Cultural Heritage Permit 14-336, Donoso Residence, a request for an addition, façade remodel, and deck extension for a legal nonconforming house located adjacent to a historic house. The project is located at 434 Calle Gomez.

REQUIRED FINDINGS

Prior to approval of the proposed project, the following findings shall be made. The draft Resolution (Attachment 1) and analysis section of this report provide an assessment of the project's compliance with these findings.

Cultural Heritage Permit (CHP), Section 17.16.100, due to proximity to historic resource and addition to a nonconforming structure

- a. The architectural treatment of the project complies with the San Clemente General Plan.
- b. The architectural treatment of the project complies with the Zoning Ordinance including, but not limited to, height, setback, and color.
- c. The project's architectural treatment complies with the architectural guidelines in the City's Design Guidelines.
- d. The project's general appearance is in keeping with the character of the neighborhood.
- e. The project's is not detrimental to the orderly and harmonious development of the City.
- f. The proposed project will not have negative visual or physical impacts upon the historic structure.

BACKGROUND

The project site is 8,100 square feet and is located at the end of a single loaded street in the Residential Low (RL) zoning district. The existing development consists of a 1,524 square foot, single-story house, and a 737 square foot, in-bank garage that was constructed in 1975. Based on some preliminary analysis of the property, staff believes the garage was permitted to encroach into the required 18 foot setback to 10 feet due to the topography of the site. However, there is insufficient evidence at this time to show the site meets the standards for a setback reduction, therefore the structure is considered legal non-conforming. In 1999, the house was expanded by 297 square feet for the addition of the master bedroom and bathroom.

Development Management Team

The City's Development Management Team (DMT) reviewed the request and determined the project meets City standards and requirements. Recommended conditions of approval are included in the attached draft resolution (Attachment 1).

Noticing

Public notices were distributed and posted per City and State requirements. To-date no public comments have been received on the project.

Historic Resource Information

The historic structure is located across the street from the subject property at 429 Calle Gomez. The property is eligible as a contributor to a potential local historic district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea Period of Development (1925-1936). Additional information about the historic resource is provided under Attachment 3.

PROJECT DESCRIPTION

The project proposes to add 669 square feet to the 1,821 square foot house. The deck along the north elevation is proposed to be enclosed and a new covered deck would extend from the addition along the side of the house. The patio area along the south side of the house would be enclosed to enlarge the living room and add a laundry room. A new entrance would be added next to the garage. The project would also add a gable tile roof over the main portion of the house, new stucco finish, and wrought iron railings to modify the structure's contemporary Spanish design to a traditional Spanish design.

Development Standards

Table 1 outlines how the project meets the RL development standards:

Table 1 - Development Standards

Development Standard	Zoning Requirement	Existing/Proposed
Building Height Maximum	25'	18.8'
Setbacks (Minimum):		
Front (east)	20'	20'
Front (west)	18'	11'
Street Side Yard	10'	10'
Side Yard	6'	6'
Parking Spaces	2	3
Lot Coverage(Maximum):	50%	35%

Architecture

The project modifies the structure's contemporary Spanish architecture to bring it closer to a Spanish Colonial Revival design. The modifications to improve the facade include: adding two piece terra cotta tile to the new gable roof, wrought iron railings, large stucco beams and columns for the new covered porch, wood headers, Spanish style garage doors, and a new stucco finish. The proposed addition and modifications would maintain the house as a single story that would not exceed 18 feet in height.

PROJECT ANALYSIS

Cultural Heritage Permit

A Cultural Heritage Permit (CHP) is required because the project is adjacent to a historic residence and is an addition to a legal nonconforming structure. The CHP ensures the development does not have a negative physical or visual impact on historic structures, is compatible with the neighborhood, and consistent with the Design Guidelines, in regard to the historic resources. There should be no negative visual or physical impacts to the historic structure because the project site is located across the street from the historic resource and separated by 75 feet, the additions are located away from the historic house, and house is maintained as a single story to not create any massing impacts. The project is consistent with the Design Guidelines with the use of architectural elements like a covered deck, gable roof, and tower element that improves the building's form and massing.

The project was also evaluated because it proposes an addition to a legal non-conforming structure. The project must be found to be compatible with the neighborhood. The project's design is consistent with houses in the neighborhood, which consists of a mix of architectural styles, including Spanish Colonial Revival (historic house), modern, Mediterranean, and contemporary Spanish. The addition is compatible with the neighborhood character because of the modest size of the addition and the house is maintained as a single story to be in scale with the neighborhood. The façade remodel enhances the architectural style of the house and improves the overall quality of the neighborhood. The project complies with the Nonconforming Ordinance by proposing an addition that is less than 50 percent (42% proposed, 669 sq. ft.) of the existing house's square footage and modifies less than 50 percent of the exterior walls.

Cultural Heritage Subcommittee

The Cultural Heritage Subcommittee (CHSC) reviewed the project on February 11, 2015 and provided the following recommendations.

Table 2 – CHSC Comments

CHSC Concerns	Project Modifications
Eliminate the contemporary glass blocks in the tower of the west elevation to improve the Spanish design.	Agreed and is provide as Condition of Approval #5.
The existing white vinyl windows should be painted, if possible, to a traditional Spanish color or replaced with windows with a paintable surface so they improve the design of the project.	Agreed and is provide as Condition of Approval #5.
The corbels to the new patio should be modified to a traditional Spanish design to improve the architecture of the project.	Agreed and is provide as Condition of Approval #5.

GENERAL PLAN CONSISTENCY

Table 3 summarizes how the proposed use is consistent with adopted policies outlined in the City of San Clemente General Plan.

Table 3 - General Plan Consistency

Policies and Objectives	Consistency Finding
HP-2.06 <i>New Development</i> . We require that all new single-family and multi-family residential development abutting historic resources, and new commercial and multi-family development of three or more units within a 300-foot radius from a historic resource be compatible with the historic resource in terms of scale, massing, building materials and general architectural treatment.	The project is compatible with the adjacent historic resources in that the project maintains the structure as a single story house and the additions are located away from the historic house to avoid massing impacts.

ENVIRONMENTAL REVIEW/COMPLIANCE (CEQA):

The Planning Division completed an initial environmental assessment of the project per the California Environmental Quality Act (CEQA). Staff recommends the Planning Commission determine the project is categorically exempt from CEQA as a Class 1 exemption pursuant

to CEQA Guidelines Section 15301(e)(1) because the project does not result in an expansion of over 50 percent of the existing structure.

ALTERNATIVES; IMPLICATIONS OF ALTERNATIVES

1. The Planning Commission can concur with staff and recommended approval of the project.

This is the recommended action. This action would result in the adoption of Resolution No. PC 15-013.

2. The Planning Commission can, at its discretion, add, modify or delete provisions of the proposed project or conditions.

This action would result in any modifications being incorporated into the project, such as architectural modifications to improve the design or reduce the mass of the addition to improve the projects compatibility with the adjacent historic structures.

3. The Planning Commission can deny of the proposed project.

This action would result in the Planning Commission denying of the project. This would require staff to draft a new resolution for recommending denial of the project. The Commission should cite reasons or findings for its denial.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission approve CHP 14-336, Donoso Residence, subject to the attached Resolution and Conditions of Approval.

Attachments:

1. Resolution PC 15-013
Exhibit A: Conditions of Approval
2. Location Map
3. DPR form for 429 Calle Gomez
4. February 11, 2015 CHSC Minutes
5. Photographs
Plans

RESOLUTION NO. PC 15-013

A RESOLUTION OF THE PLANNING COMMISSION APPROVING CULTURAL HERITAGE PERMIT 14-336, DONOSO RESIDENCE, A REQUEST TO ALLOW A ADDITION, FAÇADE REMODEL, AND DECK EXTENSION FOR A LEGAL NONCONFORMING HOUSE THAT IS ADJACENT TO A HISTORIC RESOURCE, LOCATED AT 434 CALLE GOMEZ

WHEREAS, on September 2, 2014, an application was submitted, and completed on February 25, 2015, by Victor Bejarano, P.O. Box 753, San Clemente, CA 92674, for a Cultural Heritage Permit to allow an addition, façade remodel, and deck extension for a legal nonconforming house that is adjacent to a historic resource. The project is located within the Residential Low (RL) zoning district at 434 Calle Gomez. The legal description being Lot 64, of Tract 938, Assessor's Parcel Number 060-061-01; and

WHEREAS, the Planning Division completed an initial environmental assessment of the above matter in accordance with California Environmental Quality Act (CEQA) and recommends the Planning Commission determine this project is categorically exempt from CEQA as a Class 1 exemption pursuant to CEQA Guidelines Section 15301(e)(1) because the project is an addition and exterior improvements that will not result in an increase of more than 50 percent of the floor area of the structure; and

WHEREAS, on October 2, 2014 and January 8, 2015 the City's Development Management Team reviewed the proposed project for compliance with the General Plan, Zoning Ordinance, and other applicable City ordinances and codes; and

WHEREAS, on February 11, 2015, the City's Design Review Subcommittee considered the project and supported it with some recommended modifications to the design; and

WHEREAS, on April 8, 2015, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by the applicant, City staff, and other interested parties.

NOW, THEREFORE, the Planning Commission of the City of San Clemente hereby resolves as follows:

Section 1: This project is categorically exempt from CEQA as a Class 1 exemption pursuant to CEQA Guidelines Section 15301 (e)(1) because the project is an addition and exterior improvements that will not result in an increase of more than 50 percent of the floor area of the structure.

Section 2: With respect to Cultural Heritage Permit 14-336, the Planning Commission finds as follows:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Cultural Heritage Permit and complies with the San Clemente General Plan in that the project is maintained as a house and the addition is located within the required setbacks for the zoning.
- B. The architectural treatment of the project complies with the Zoning Ordinance including, but not limited to, height, setback, color; in that the addition and exterior improvements will improve the design of the house and conforms to all of the development standards for the RL zone.
- C. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines in that the addition will improve the Spanish design of the house, and it will be in scale with the neighborhood, and the adjacent historic resource.
- D. The general appearance of the proposal is in keeping with the character of the neighborhood in that the house will have a modest addition and exterior that will improve the Spanish design of the house. The design of the house is consistent with the mix of architectural styles in the neighborhood.
- E. The proposed use will not be detrimental to the harmonious development of the City in that the project will remain a single family residence. The proposed addition will not have any massing impacts to the adjacent properties, including the historic house, and will comply with the height, lot coverage, and setback standards.
- F. The proposed project will not have negative visual or physical impact upon the adjacent historic structure in that the addition is located away from the historic house and maintains the house as a single story.

Section 3: The Planning Commission of the City of San Clemente hereby approves CHP 14-336, Donoso Residence, to allow the addition, façade remodel, and deck extension for a legal nonconforming house, subject to the above findings, and the conditions of approval attached hereto as Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of San Clemente on April 8, 2015.

Chair

TO WIT:

I **HEREBY CERTIFY** that the foregoing resolution was duly adopted at a regular meeting of the Planning Commission of the City of San Clemente on April 8, 2015, and carried by the following roll call vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:
ABSENT: COMMISSIONERS:

Secretary of the Planning Commission

EXHIBIT A**CONDITIONS OF APPROVAL
DONOSO RESIDENCE
CHP 14-336**

1. The owner or designee shall develop the approved project in conformance with the site plan, elevations, and any other applicable submittals approved by the Planning Commission on April 8, 2015, subject to these Conditions of Approval.

Any deviation from approved submittals shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the City Planner or designee. If the City Planner or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain the approval of the Planning Commission, as appropriate. (PIng.)_____

2. The applicant or the property owner or other holder of the right to the development entitlement(s) or permit(s) approved by the City for the project, if different from the applicant (herein, collectively, the "Indemnitor") shall indemnify, defend, and hold harmless the City of San Clemente and its elected city council, its appointed boards, commissions, and committees, and its officials, employees, and agents (herein, collectively, the "Indemnitees") from and against any and all claims, liabilities, losses, fines, penalties, and expenses, including without limitation litigation expenses and attorney's fees, arising out of either (i) the City's approval of the project, including without limitation any judicial or administrative proceeding initiated or maintained by any person or entity challenging the validity or enforceability of any City permit or approval relating to the project, any condition of approval imposed by City on such permit or approval, and any finding or determination made and any other action taken by any of the Indemnitees in conjunction with such permit or approval, including without limitation any action taken pursuant to the California Environmental Quality Act ("CEQA"), or (ii) the acts, omissions, or operations of the Indemnitor and the directors, officers, members, partners, employees, agents, contractors, and subcontractors of each person or entity comprising the Indemnitor with respect to the ownership, planning, design, construction, and maintenance of the project and the property for which the project is being approved. The City shall notify the Indemnitor of any claim, lawsuit, or other judicial or administrative proceeding (herein, an "Action") within the scope of this indemnity obligation and request that the Indemnitor defend such Action with legal counsel reasonably satisfactory to the City. If the Indemnitor fails to so defend the Action, the City shall have the right but not the obligation to do so and, if it does, the Indemnitor shall promptly pay the City's full cost thereof. Notwithstanding the foregoing, the indemnity obligation under clause (ii) of the first sentence of this condition shall not apply to the extent the claim arises out of the willful misconduct or the sole active

negligence of the City. *[Citation – City Attorney Legal Directive/City Council Approval June 1, 2010]* (PIng.)_____

3. The owner or designee shall have the right to request an extension of CHP 14-336 if said request is made and filed with the Planning Division prior to the expiration date as set forth herein. The request shall be subject to review and approval in accordance with Section 17.16.160 of the Zoning Ordinance. *[Citation - Section 17.12.160 of the SCMC]* (PIng.)_____

4. CHP14-336 shall become null and void if the use is not commenced within three (3) year from the date of the approval thereof. Since the use requires the issuance of a building permit, the use shall not be deemed to have commenced until the date that the building permit is issued for the development. *[Citation - Section 17.12.150.A.1 of the SCMC]* (PIng.)_____

A use shall be deemed to have lapsed, and CHP 14-336 shall be deemed to have expired, when a building permit has been issued and construction has not been completed and the building permit has expired in accordance with applicable sections of the California Building Code, as amended. *[Citation - Section 17.12.150.C.1 of the SCMC]* (PIng.)_____

5. Prior to issuance of Building Permit the plans shall depict the elimination of the contemporary glass blocks in the tower on the west elevation, note that the existing white vinyl windows shall be painted, if possible, to a traditional Spanish color or replaced with windows with a paintable surface, and the corbels to the new patio should modified to a traditional Spanish design. ■■ (PIng.)_____

6. A separate Building Permit is required. Plans to construct new building, add or alter the existing building configuration, change in use, add or alter structural, mechanical, electrical or plumbing features of the project must be reviewed and approved through a separate building plan check / permit process. (Bldg.)_____ *[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]*

7. Project has not been reviewed for Building Code compliance. Prior to issuance of building permits, code compliance will be reviewed during building plan check. *[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]* (Bldg.)_____

8. Prior to issuance of building permits, applicant shall secure all utility agencies approvals for the proposed project. (Bldg.)_____ *[S.C.M.C – Title 15 Building Construction]*

9. Fire sprinkler system required throughout as follows:

All new Group R occupancies, including the attached garages;

All existing Group R occupancies and U-1 garages when the total floor area is increased by 50% of the existing area over a 2-year period;

All existing Group R occupancies and U-1 garages when the total area is increased by 750 square feet or more over a 2-year period;

All existing Group R occupancies and U-1 garages when an additional story is added to the structure regardless of the area involved;

An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the alteration or combination of an Addition and Alteration, within any two year period, is 50% or more of area of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Building/Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building;

Any addition to existing building that has fire sprinklers installed.

[S.C.M.C – Title 15 – Chapter 15.08]

(Bldg.)_____

- 10. Building permits shall not be issued unless the project complies with all applicable codes, ordinances, and statutes including, but not limited to, the Zoning Ordinance, Grading Code, Security Ordinance, Transportation Demand Ordinance, Water Quality Ordinance, Title 24 of the California Code of Regulations as adopted by the City including, but not limited to the California Administrative, Building, Electrical, Plumbing, Mechanical, Energy, Green, and Fire Codes. (Bldg.)_____

[S.C.M.C – Title 8 – Chapter 8.16 – Fire Code, Title 15 Building and Construction Chapters 15.08, 15.12, 15.16, 15.20, 15.21, Title 16 Subdivisions, Title 17 Zoning

- 11. Prior to the issuance of building permits, the owner or designee shall pay all applicable development fees in effect at the time, which may include, but are not limited to, Regional Circulation Financing and Phasing Program (RCFPP), park acquisition and development, water and sewer connection, drainage, Public Facility Construction, transportation corridor, Avenida La Pata Supplemental Road Fee and school fees, etc. (Bldg.)_____

[S.C.M.C. – Title 15 Building and Construction, Chapters 15.52, 15.56, 15.60, 15.64, 15.68, 15.72]

- 12. Prior to the Building Division's approval to pour foundations, the owner or designee shall submit evidence to the satisfaction of the City Building Official or

designee that a registered civil engineer that is licensed to do surveying or land surveyor has certified that the forms for the building foundations conform to the front, side and rear setbacks are in conformance to the approved plans.

[S.C.M.C – Title 15 – Chapter 15.08, Title 17- Chapter 17.24] (Bldg.)_____

13. Prior to the Building Division's approval of the framing inspection, the owner or designee shall submit evidence to the satisfaction of the City Building Official or designee that a registered civil engineer that is licensed to do surveying or land surveyor has certified that the height of all structures are in conformance to the approved plans. (Bldg.)_____
[S.C.M.C – Title 15 – Chapter 15.08, Title 17- Chapter 17.24]
14. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, plan check fees shall be submitted for the Engineering Department plan check of soils reports and grading plans. *[Citation – Fee Resolution No. 08-81 and Section 15.36 of the SCMC]* (Eng.)_____
15. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner or designee shall submit for review, and shall obtain the approval of the City Engineer or designee for, a soils and geologic report prepared by a registered geologist and/or geotechnical engineer which conforms to City standards and all other applicable codes, ordinances and regulations. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
16. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the City Engineer shall determine that development of the site shall conform to general recommendations presented in the geotechnical studies, including specifications for site preparation, treatment of cut and fill, soils engineering, and surface and subsurface drainage. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
17. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner or designee shall submit for review, and obtain the approval of the City Engineer, a precise grading plan, prepared by a registered civil engineer, showing all applicable onsite improvements, including but not limited to, grading, building pad grades, storm drains, sewer system, retaining walls, water system, etc., as required by the City Grading Manual and Ordinance. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
18. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner shall demonstrate to the satisfaction of the City Engineer that

the project meets all requirements of the Orange County National Pollutant Discharge Elimination System (NPDES) Storm Drain Program, and Federal, State, County and City guidelines and regulations, in order to control pollutant run-off. The owner shall submit for review, and shall obtain approval of the City Engineer for, plans for regulation and control of pollutant run-off by using Best Management Practices (BMP's). *[Citation – Section 13.40 of the SCMC]*

(Eng.)_____

19. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner shall provide surety, improvement bonds, or irrevocable letters of credit for performance, labor and materials as determined by the City Engineer for 100% of each estimated improvement cost plus a 10% contingency, as prepared by a registered civil engineer as required and approved by the City Attorney or the City Engineer, for each applicable item, but not limited to, the following: grading earthwork, grading plan improvements, retaining walls, frontage improvements; sewer lines; water lines; storm drains; and erosion control. *[Citation – Section 15.36 of the SCMC]*

(Eng.)_____

20. Prior to issuance of any permits for applicable projects with building permit valuations exceeding \$50,000, the owner or designee shall submit for review, and shall obtain the approval of the City Engineer or designee for frontage improvement plans. The owner or his designee shall be responsible for the construction of all required frontage and onsite improvements as approved by the City Engineer including but not limited to the following: *[Citation – Section 15.36, 12.08.010, and 12.24.050 of the SCMC]*

■ ■ (Eng.)_____

- A. Per City Municipal Code Section 12.08.010 (A), when building permit valuations exceed \$50,000, unless a waiver is obtained from the City Manager, the owner or designee shall construct sidewalk along the property frontage. Although sidewalk does currently exist, this requirement includes construction of compliant sidewalk up and around drive approach or other obstructions to meet current City standards (2% cross fall) when adequate right-of-way exists. When adequate right of way does not exist, the City may require a Condition of Approval requiring a sidewalk easement in order to install compliant sidewalk. Since the street right-of-way is approximately 5 feet behind the curbface a sidewalk easement is anticipated to be required to be granted to the City for the sidewalk to go up and around the drive approach.
- B. An Engineering Department Encroachment Permit is required for any work in the public right-of-way.

All Conditions of Approval are standard, unless indicated as follows:

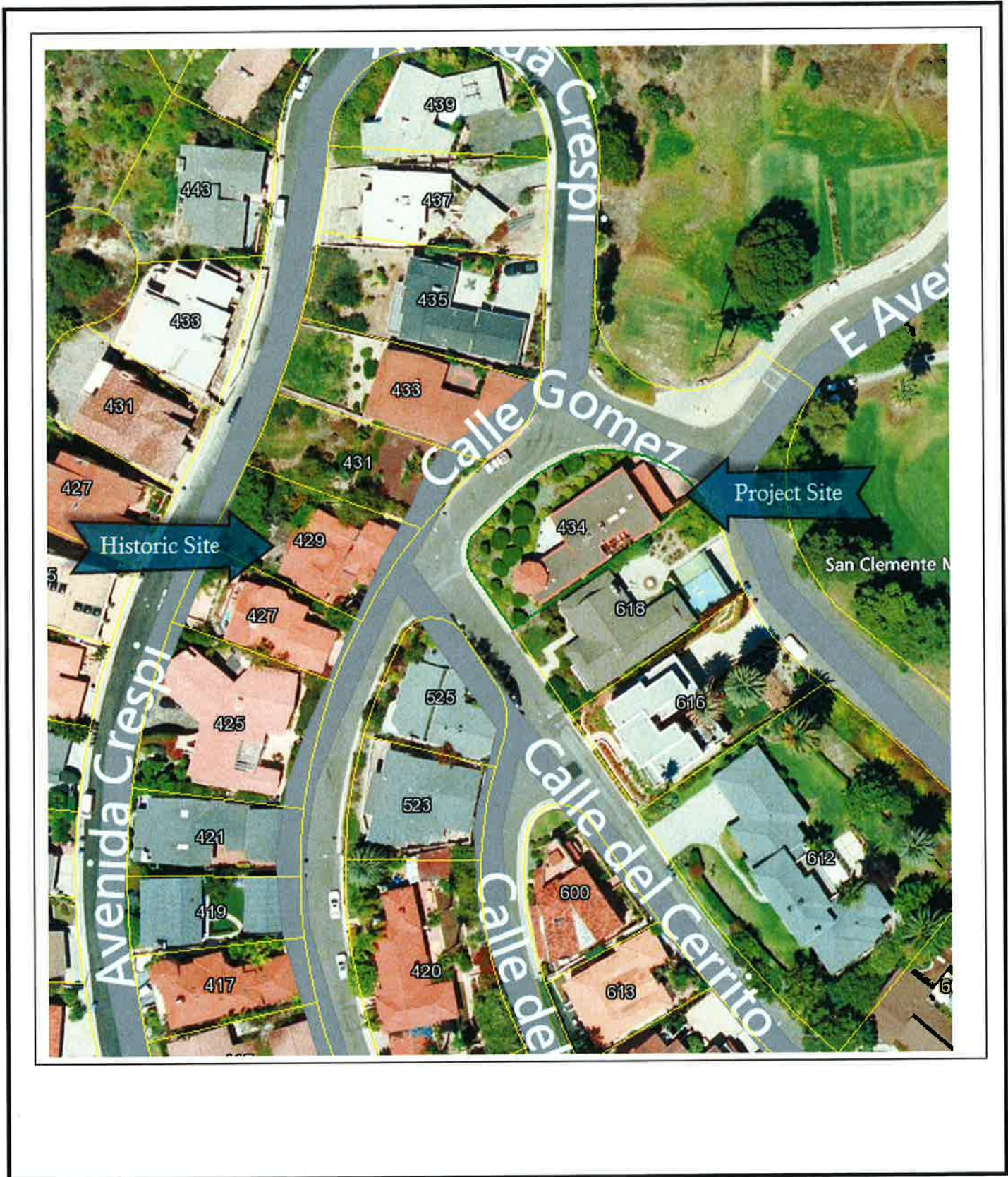
- Denotes a modified standard Condition of Approval.

■ ■ Denotes a project specific Condition of Approval



LOCATION MAP

CHP 14-336, Donoso Residence
434 Calle Gomez



Prima
HRI#
Trinomial
NRHP Status Code 5D

PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

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Resource Name or #: 429 CALLE GOMEZ

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.
c. Address 429 Calle Gomez City San Clemente Zip 92672
d. UTM: Zone; mE/ mN

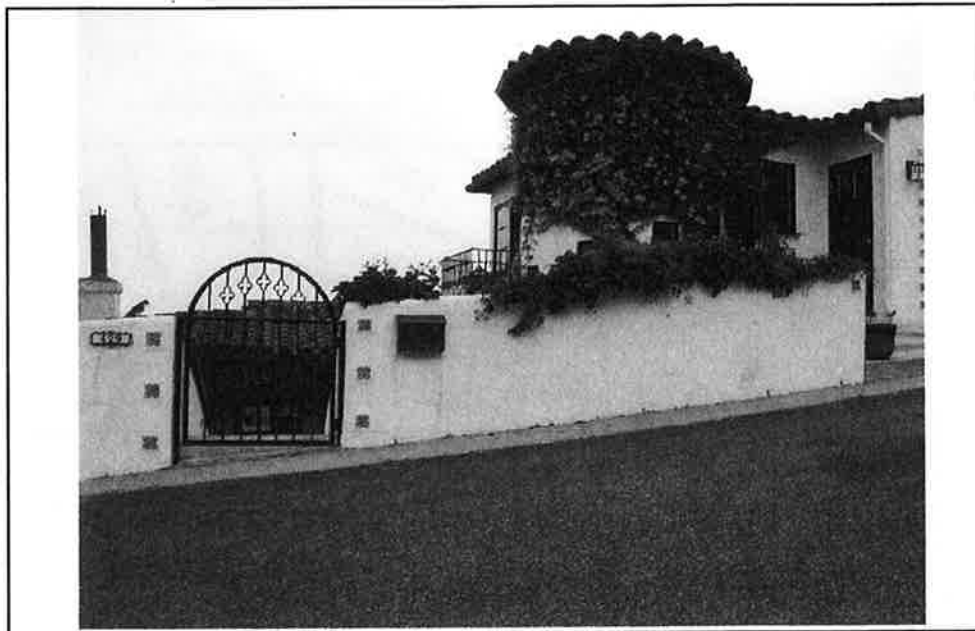
e. Other Locational Data: Assessor Parcel Number: 060-051-06

P3a. Description:

The property contains a two-story single family residence with a irregular plan and wood-frame construction. The garage to the residence is at the street level, while the residence itself sits below the street level. Designed in the Spanish Colonial Revival style, it has a front-gable roof with clay tiles as well as a shed roof with clay tiles over the covered porch. The exterior walls are clad with smooth stucco. The primary facade includes a covered porch with wood porch supports and non-original iron elements. Spanish Colonial Revival elements of the residence include exposed rafter tails and a balcony. The fenestration consists of non-original wood casement windows throughout the residence. The residence is in good condition. Its integrity is good.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:
East elevation, west view. May 2006.

P6. Date Constructed/Sources:
 Historic Both
 Prehistoric
1929 (F) Building Permit

P7. Owner and Address:
Willett, David Glenn
429 Calle Gomez

P8. Recorded by:
Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/19/2006

P10. Survey Type:
City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

CONTINUATION SHEET

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Resource Name or #: 429 CALLE GOMEZ

Recorded by: Historic Resources Group

Date: 9/19/2006

Continuation Update

Photographs of the Subject Property, Continued:



traffic, and suggested that the applicant's work on incorporating bicycle parking facilities early in the design phase. He went on to reiterate the importance of the Gateway location, stressing that the area should exemplify the character of the City. He stated that the architecture should include additional detail and look for way to reduce the amount of right angles present on the renderings. He stated that the applicant should look at other towers in the city for inspiration on how to appropriately detail that feature. He noted that the location of the drive-through creates a "parking lot in front" feel to the lot, and that the City is trying to move away from that type of street presence. He agrees with staff that the sign facing the high school should be omitted. He said that the direction of the drive-through at the rear of the lot may create problems for people driving west on Avenida Pico due to an additional set of headlights facing east.

Subcommittee Chair Crandell stated that he sees many traffic concerns with the site design, especially over the next few years when Avenida La Pata is connected to San Juan Capistrano. He stated that the exit of the drive-through, being so close to Avenida Pico, creates a situation where the drive-through queuing will be blocked when there is only one car waiting on the lot to turn onto the street. He said that the long drive-way aisle reduces the opportunity for landscaping on the site, and that he suggested the applicant review options to shorten the drive-through aisle to allow more space for landscaping. He discussed the difficulty of trying to locate a functional drive-through on the subject lot, noting that ultimately, this project will need to demonstrate that the lot is suitable for this type of feature.

C. Cultural Heritage Permit 14-336, Donoso Residence Addition (Ciampa)

A request for an addition and remodel to a single family residence located adjacent to a historic house. The project site is located at 434 Calle Gomez.

Associate Planner John Ciampa summarized the staff report.

The property owner, Mr Donoso, was supportive of staff's recommendations.

Member of the Historical Society, Larry Culbertson, stated that he was in support of the project and that it would improve the appearance of the neighborhood.

Subcommittee Darden stated that the design has a little too much embellishment for a traditional Spanish Colonial Revival design, but based on the scope and design of the project, it should not have a negative impact on the adjacent historic structure.

The property owner asked the DRSC for advice on additional design modifications to improve the Spanish Colonial Revival design of the project. The DRSC responded stating that Spanish Colonial Revival architecture has a simplified design. They gave an example that columns are slightly thicker to give the appearance that they are constructed of adobe and not modern materials.

The DRSC was supportive of staff's comments on the project and recommended the project move forward to the Planning Commission.

D. Cultural Heritage Permit 14-107, McIlvian Addition (Ciampa)

A request to consider an addition, remodel and deck extension for a historic house located at 209 Avenida La Cuesta.

Associate Planner John Ciampa summarized the staff report.

The applicant, Kirk Bassett, stated the owner's desire for the addition at the front of the house is to gain volume and taking advantage of the ocean view. He stated that a lot of the design modifications to improve the compatibility of the project also have design and cost impacts to the inside of the space.

The applicant was provided a design option for the addition at the front of the house with a raised square roof design. He reviewed the design option and stated that it was viable solution to address the owner's and the DRSC's concerns with the project. The applicant stated that the alternative design places the walls and roof in a good geometric and structural location. The alternative would also improve the design and the ocean view.

The applicant also provided the DRSC with a modified design that dropped the roof of the addition to the same plate heights as the adjacent roofs.

Historical Society member, Larry Culbertson, stated that he liked the alternative design option with the squared roof element. He stated he was not pleased with the amount of additions made to the historic house but was in favor of the proposed design and how it corrected the incompatible 1972 addition.

Subcommittee Chair Crandell stated that the alternative design option clearly separates the old from the new. He stated that the owner's request for a large window is not necessary because the window would be located at eye level.

Subcommittee Member Darden stated that the raised square roof for the alternative design creates a separation from the existing structures and complies with Secretary of the Interior's Standard #9 by improving the



