



## Design Review Subcommittee (DRSC)

Meeting Date: March 11, 2015

**PLANNER:** Adam Atamian, Associate Planner *AA*

**SUBJECT:** **Sign Exception Permit 14-512/ Amendment to Discretionary Sign Permit 06-044, Talega Village Center Master Sign Program Amendment,** a request to consider modifications and additional signage to the Master Sign Program of the Talega Village Center located at 831 Via Suerte.

**BACKGROUND:**

*Project Description*

The applicant proposes to modify the Master Sign Program (MSP) of the Talega Village Center to allow additional signage locations for a new tenant, the Mission Heritage Medical Group. The request is to add a new tenant sign location on the center's two monument sign structures, and to add a new wall sign location on a street-facing elevation of one of the tenant buildings. Table 1 provides a description of the total signage proposed for the tenant, including its existing signage, approved in 2014.

**Table 1 – Proposed Signage**

<b>Signage</b>	<b>Proposed Square Footage</b>	<b>Permitted by MSP</b>
New Monument Sign (two proposed)	34.7 square feet	Not permitted (14.3 square feet allowed for Ralphs' sign)
Existing Suite Frontage Wall Sign	49.12 square feet	85 square feet (based on lineal feet of suite frontage)
Existing Rear Elevation Wall Sign	61.66 square feet	85 square feet (based on lineal feet of suite frontage)
New Rear Elevation Wall Sign	61.66 square feet	Not permitted
<b>Total Signage for Tenant Suite</b>	<b>241.84 square feet</b>	<b>170 square feet</b>

*Why is DRSC Review Required?*

The DRSC is tasked to ensure signage is compatible with the surrounding neighborhood, and to review the project for consistency with applicable Design Guidelines. DRSC comments will be forwarded to the Planning Commission for review and recommendation. An Amendment to a Discretionary Sign Permit is required because the project involves modifying a previously approved MSP, and a Sign Exception Permit is required because the applicant is also requesting to exceed the maximum signage allowed for an individual tenant.

*Site Data*

The project site is the Talega Village Center, a commercial shopping center within the Talega Specific Plan area. The site includes seven commercial buildings, most of which are multi-tenant. The building where the Mission Heritage Medical Group is located is identified as “Shops 3” in the Master Sign Program, which is provided as Attachment 2. The building is single-story with 13,300 square feet of tenant space originally divided into seven suites. The Mission Heritage Medical Group has combined four of the suites into one 7,715 square foot medical office. There are also two monument structures for the center located along Avenida Vista Hermosa where it intersects Avenida Talega and Via Suerte.

**ANALYSIS:**

*Monument Signs*

The applicant proposes to add a new tenant sign location to each of the center’s monument sign structures. The monuments currently have a bronze center identification sign and an aluminum pin-mounted sign with a bronze finish for the Ralphs grocery store. The applicant is requesting to modify the permitted locations of signage on the monuments by adding another tenant sign location, as shown in the images below.

**Existing Monuments**



M1. Corner of Avenida Vista Hermosa and Avenida Talega



M2. Corner of Avenida Vista Hermosa and Via Suerte

**Proposed Monuments**



M1. Corner of Avenida Vista Hermosa and Avenida Talega



M2. Corner of Avenida Vista Hermosa and Via Suerte

The proposed signs for the monuments are aluminum pin-mounted cut-out letters with a duranodic bronze finish, the same as the Ralph's signs. The existing Ralph's sign and the bronze entry sign are both 2'-4" tall, and 6'-2" and 7'-0" wide, respectively. The proposed new sign for this location is 3'-0" tall 11'-6 3/4" wide.



*Wall Sign*

The applicant proposes to add a new wall sign location to the street-facing east elevation of the “Shops 3” building. This area of the development is a major entry way into the shopping center. The MSP specifically identifies the locations where signage is permitted on this façade, and this proposal is to modify the program to identify an additional location.

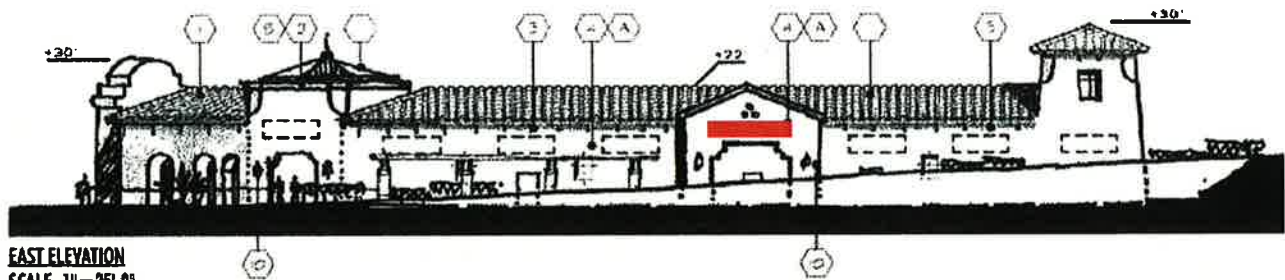
**Existing Signage**



Shops 3, East Elevation facing Avenida Talega

The illustration below shows the existing permitted locations (in dashed boxes) and the proposed location (red box) of signage in the MSP.

**Proposed Signage**



Shops 3, East Elevation facing Avenida Talega

The sign proposed in this location is a bronze-painted 61.66 square feet, 4'-0" tall and 15'-5" wide. The MSP specifies that rear elevation wall signs must be painted bronze. The tenant, Mission Heritage Medical Group, received approval for one bronze-colored sign on the rear elevation in 2014, located on the corner tower (far left location in the

above illustration). This request is for an additional sign on the rear wall elevation for the tenant.

Table 2 provides a description of the project’s consistency with the General Plan Urban Design Element, the City’s Design Guidelines, and the Talega Specific Plan’s Design Guidelines.

**Table 2 –  
Consistency with Applicable Design Guidelines**

<b>Design Guideline or Urban Design Element Policy</b>	<b>Project Consistency</b>
<p><i>General Plan UD-4.01. Long-Term Quality.</i> We require all public and privately owned structures, above ground infrastructure (including utilities), landscaping and property (including trails and easements) to be designed and maintained to ensure their long-term quality and appearance.</p>	<p>Partially Consistent. The proposed monument signage is generally consistent with the existing signage, with the exception of the size. However, the addition of signage on the rear wall elevation is not consistent with the architectural appropriateness of other wall sign locations and diminishes the importance of the arched wall projection. The space between the top of the arch and the terra cotta vent pipes does not provide enough space for additional signage that will not appear crowded on that façade.</p>
<p><i>City Design Guideline 2.C.3.e. Signage.</i> Carefully integrate signage with the design concept of the building and site. Signage should be consistent with the architectural character of the building.</p>	<p>Partially Consistent. See comments above.</p>
<p><i>Talega Design Guideline. 305.C.3.b. Origins of the elevation characteristics.</i> The facade treatment is directly related to the limiting characteristics of adobe construction and climatic considerations. The original adobe block or brick walls were thick, provided thermal insulation, structurally marginal, and required protection from weather erosion. These factors resulted in the following style characteristics: (1) Relatively massive blank load-bearing walls with minimal openings and penetrations for light and access. (2) Flat vertically continuous walls covered with light-colored reflective plaster or stucco.</p>	<p>Partially Consistent. See comments above.</p>

**RECOMMENDATIONS:**

Staff recommends the following project modifications to make the proposed MSP Amendment more consistent with the General Plan, and applicable Design Guidelines:

1. The size of the signs proposed at the new monument sign locations should be reduced so that they are similar in square footage to the Ralph's signs on the monuments.
2. The amendment should specify the minimum tenant suite square footage required to utilize the new monument sign locations. This will ensure that in the future, the monument signage is only utilized by anchor tenants.
3. The proposed rear elevation wall sign location should be omitted from the application. In addition to there already being a sign on the rear elevation for the tenant, this sign will exceed the tenant's permitted sign square footage on this elevation. Regardless of the current tenant's existing signage, staff is not supportive of the additional sign location because it does not provide an architecturally compatible sign location with the quality of signage specified in the MSP.

Staff seeks DRSC concurrence with these recommendations and welcomes any additional DRSC comments. Following DRSC review, this project will be forwarded to the Planning Commission for consideration.

***Attachments:***

1. Location Map
2. Approved Master Sign Program for Talega Village Center
3. Existing and Proposed Tenant Signage





# LOCATION MAP

SEP 14-512/ AM DSP 06-044, Talega Village Center Master Sign Program Amendment, 831 Via Suerte





# TALEGA VILLAGE CENTER



## COMPREHENSIVE SIGN PROGRAM

August 21st 2006  
Amended: April 23rd 2007



This is an original unpublished sign Criteria and set of drawings created by ADS Inc. Specifically for Talega Village Center. It is submitted for your personal use in conjunction with this project being planned for you by ADS Inc. It is not to be shown to anyone outside your organization other than prospective tenants nor is it to be used, reproduced, copied or exhibited in any fashion.

CITY OF SAN CLEMENTE  
PLANNING DIVISION  
APPROVED  
WITH CONDITIONS

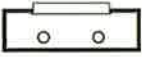
CHIEF ADMINISTRATOR	DATE
PLANNING COMMISSION	DATE
CITY COUNCIL	DATE

*[Signature]*

Resolution 06-27  
Condition 26  
Traffic sign posts



Graphic Examples



Rounded Pushed Through Copy



Halo Illuminated Letters and Rounded Pushed Through Copy on Cabinet



Metal Cut Out Panel with Halo Illumination



Halo Illumination



Halo Illumination

**SIGN STYLES**

Creative and imaginative signage is strongly encouraged and will be the standard for Developer's review/approval of all sign design submittals.

There are many acceptable sign treatments, however a mixed media three-dimensional approach combining several different fabrication and lighting techniques is preferred. Tenants are strongly encouraged to consider the specific architectural style of their facade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. Note that specific locations and surrounding architectural treatments can limit the maximum sign height and length, which may differ from the general guidelines proposed above. The Developer reserves the right to approve or reject any proposed sign on the basis of the size, placement, and/or design.

Acceptable sign styles include:

1. Halo illuminated letters, 3" deep minimum.
2. Dimensional geometric shapes.
3. Sandblasted, textured, and/or burnished metal-leaf faced letters, pin mounted from facade with gooseneck light fixtures.
4. Etched, polished, patina, copper or abraded materials.
5. Signs mounted to hard canopies, eyebrows or other projecting architectural elements.
6. Prismatic face letter forms with full faces strokes.
7. Rounded face letter forms with radius faces and eased edges.
8. Layered letterforms.

Note: All letters must be a minimum of 1 1/2" thick.

\*Mixed media signs are signs employing two or more illumination and/or fabrication methods.

Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. However, the cabinet sign should not exceed 50% of the total sign area.



Flat Cut Out Letters with Gooseneck Lamp illumination



Halo illumination



Halo illumination

## TYPE STYLES & LOGOS

The use of logos and distinctive type styles is encouraged for all Tenants signs. Sign lettering should be combined with other graphic and/or dimensional elements denoting the type of business. The Tenant may adapt established styles, logos and/or images that are in use on similar buildings operated by the Tenant, provided that these images are architecturally compatible and approved by the Developer. The typeface may be arranged in one (1), two (2) or three (3) lines of copy and may consist of upper and/or lower case letters. The Tenant should identify trademark protected type and marks in their sign submission to assist the Developer in the review process.

## SIGN MATERIAL

It is also the intention of this criteria to use creative materials that enhance the architectural feel of the project. Therefore all signs may be fabricated from various metals such as aluminum, steel (with a natural rust or hammered and painted finish), cast metal letters, etched polished, patina, copper or abraded materials. No channel letters with acrylic / plastic faces and trim caps will be allowed. The only acrylic / plastic that will be permitted for this project will be routed metal faces with backed up acrylic or pushed through acrylic letters as part of a mixed media\* treatment.

## LIGHTING

Tenant signs should be creatively illuminated, using a variety of lighting techniques. One or more of the following are allowed:

1. Halo illuminated pin-mounted reverse channel letters.
2. LED's.
3. Incandescent light bulbs.
4. Internally illuminated signs with seamless opaque cabinets and pushed-through lettering. (Only as part of a mixed media\* treatment)
5. Cove lighting.
6. Gooseneck lighting.
7. Exposed neon is not permitted.

All front lighting must be baffled and obscured from direct visibility with recessed channels, which are fully integrated into the building facade elements. Decorative surrounds or housings, custom designed and fabricated to maintain or enhance the architectural integrity of the building may be used to conceal "off the shelf" standard fixtures subject to Developer's approval.

## COLORS

The following guidelines are for selecting colors of Tenants signing. The Project and the individual building facade will consist of a variety of colors and materials. The Developer encourages the Tenant to consider these colors when choosing his sign color.

Sign colors should be selected to provide sufficient contrast against building background colors. Sign colors should provide variety, sophistication and excitement.

Neon halo illuminated colors should complement related signing elements.

It is also the intention of this criteria to limit bright colors, for example:

Red should be	Pantone #187 or similar	Duranodic Bronze
Yellow should be	Pantone #123 or similar	Copper
Green should be	Pantone #364 or similar	Brass
Blue should be	Pantone #308 or similar	



Pin set flat cut out letters and aluminum panel with flat cut out letters with gooseneck lamp illumination



Halo illuminated letters and internally illuminated aluminum cabinet



Halo illuminated letters



Awings with flat cut out letters and lamp lighting



Pin set flat cut out letters and with gooseneck lamp illumination



Dimensional letters with gooseneck illumination and signage on awning

## THE FOLLOWING SIGNS AND ELEMENTS ARE PROHIBITED.

- A. **Immoral or Unlawful Advertising.** Exhibiting, posting, displaying or causing to be exhibited, upon any sign, anything of obscene, indecent, or immoral nature or unlawful activity shall be prohibited.
- B. **Animated, Audible, or Moving Signs.** Signs incorporating moving, swinging, rotating, noise making, flashing, blinking, scintillating, fluctuating, or otherwise animated parts or lights, used to attract attention for the purpose of promoting (either directly or indirectly) the sale of products or identifying a tenant.
- C. **Outdoor Advertising Structure or Design.** Signs placed for the purpose of advertising products or services that are not produced, stored, or sold on the property upon which the signs are located shall be prohibited.
- D. **Common Area Signs.** No signs are permitted in the common area except as indicated within this Sign Program.
- E. **Vehicle Signs.** No vehicle, including trailers, shall be parked for the principal purpose or advertising or display. Vehicles or other signs or devices on private property or in the public right-of-way, when used as advertising devices or displays, shall be prohibited.
- F. **Light Bulb Strings and Exposed Tubing.** External displays that consist of unshielded light bulbs shall be prohibited unless part of an overall seasonal promotion e.g. Christmas Lights. Exposed neon or gaseous light tubing will not be allowed.
- G. **Roof Signs.** No roof signs or roof-mounted signs shall be permitted unless they are incorporated as an integral part of the design of the building's architecture.
- H. **Temporary Signs.** "A" frame signs, attraction boards, "human" signs, posters, balloons, and sandwich board signs (including signs such as "Lotto" signs) shall be prohibited at all times.

## Fabrication

The Tenant must insure that his sign fabricator and installer understand their responsibilities before they begin the sign fabrication.

The Tenants sign contractor(s) are responsible for the following:

1. Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
2. Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally stainless steel fasteners shall be used to attach dissimilar metals.
3. Threaded rods or anchor bolts shall be used to mount sign letters which are held off the background panel. Angle clips attached to letter sides will NOT be permitted.
4. Colors, materials, finishes shall exactly match those submitted to and approved by the Developer.
5. Visible welds and seams shall be ground smooth and filled with auto body compound before painting.
6. No fasteners, rivets, screws or other attachment device shall be visible from any public vantage point.
7. Finished metal surfaces shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.
8. Reverse channel letters shall be pinned two (2") inches from the wall. The letter return depth shall be a minimum of three (3") inches and letters shall have a clear Lexan backing.
9. Double neon tube shall be used where the width of the letter stroke exceeds two and a half (2½") inches.

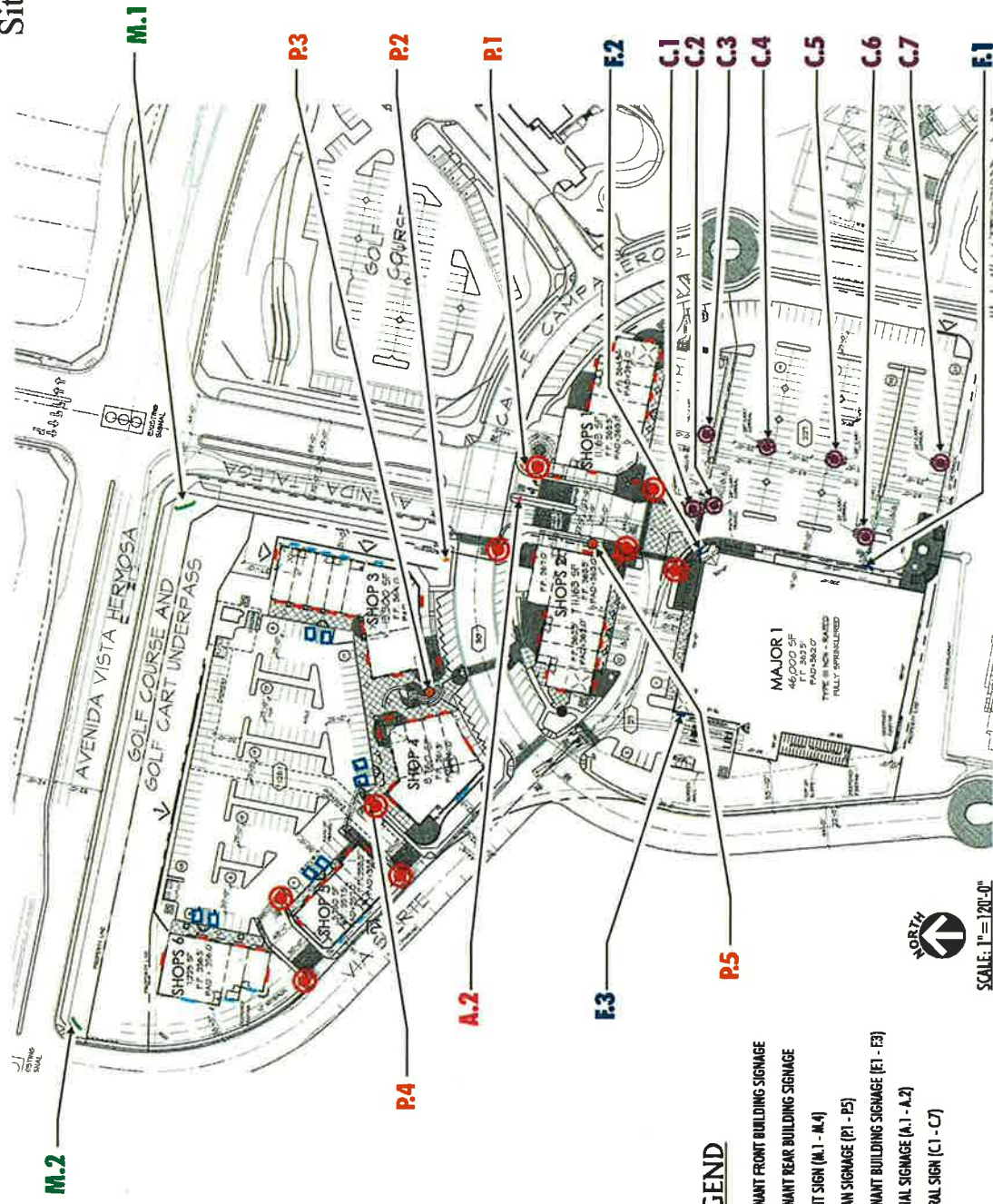
## INSTALLATION

The Tenants sign installer will provide the following:

- To provide the Developer with an original certificate of insurance naming the Developer (Hoprock San Clemente, LLC) and the City of San Clemente as additional insured for liability coverage in the amount of One Million Dollars (\$1,000,000) prior to beginning fabrication.
- Obtain all required permits from the City of San Clemente, and deliver copies to the Developer before installing the sign(s).
- Keep a Developer approved set of sign drawings on site when installing the sign.
- Warrant the sign against latent defects in materials and workmanship for a minimum of one (1) year.



# Site Plan



## LEGEND

- = IN-LINE TENANT FRONT BUILDING SIGNAGE
- = IN-LINE TENANT REAR BUILDING SIGNAGE
- = MONUMENT SIGN (M.1 - M.4)
- = PEDESTRIAN SIGNAGE (P1 - P5)
- = MAJOR TENANT BUILDING SIGNAGE (E1 - E3)
- = DIRECTIONAL SIGNAGE (A.1 - A.2)
- = CART CORRAL SIGN (C1 - C7)



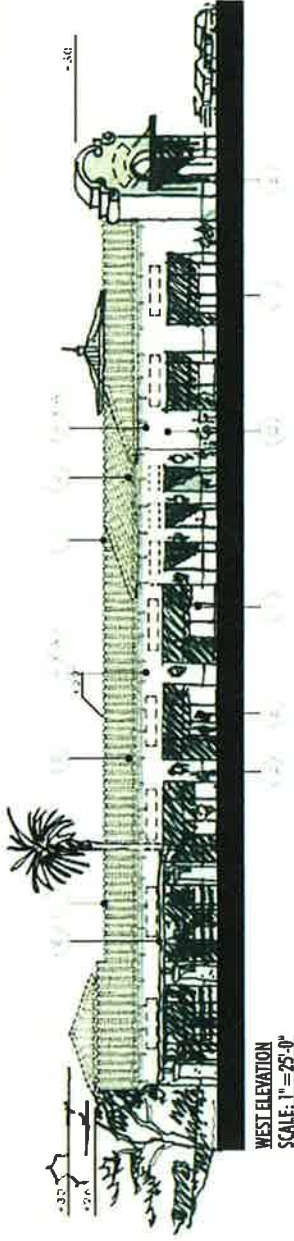
SCALE: 1" = 120'-0"

**TALEGA**  
VILLAGE CENTER

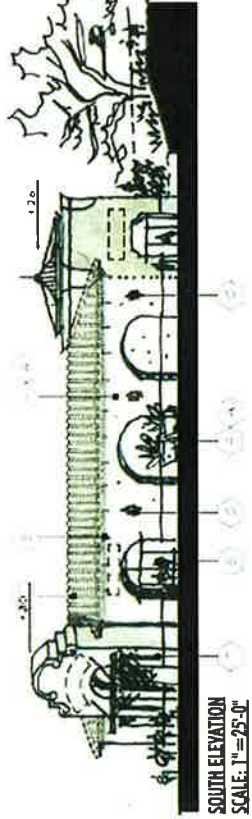
# Site Plan Details (M2)



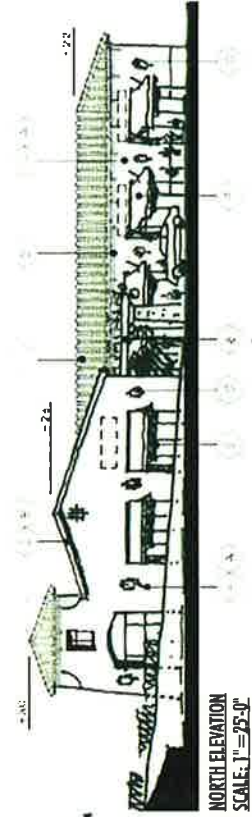
# Inline Tenant Elevations (Shops 3)



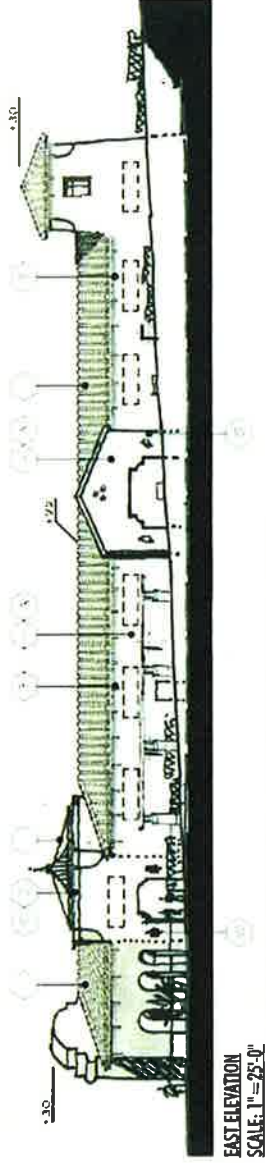
WEST ELEVATION  
SCALE: 1" = 25'-0"



SOUTH ELEVATION  
SCALE: 1" = 25'-0"



NORTH ELEVATION  
SCALE: 1" = 25'-0"



EAST ELEVATION  
SCALE: 1" = 25'-0"

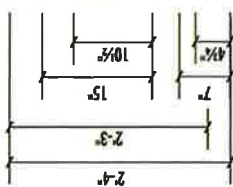
The maximum letter or logo height for this project may not exceed 30" in height.  
 The maximum sign area for each Tenant may not exceed 1 square foot per linear leased building frontage.  
 Maximum area allowed for any single sign shall not exceed sixty four (64) square feet.  
 Tenants with building elevations facing multiple exposures such as a parking lot or street, may incorporate signage on each additional elevation.  
 The overall width of any sign shall not exceed 75% of Tenants leased frontage.  
 Signs may identify the business name and a minimum generic word description of the service. No product, identify or specific service description may be displayed.  
 All signs to be fabricated out of aluminum or other metals. No plastic or other materials will be allowed.  
 NOTE: Tenants with signs on the rear elevations of buildings 3, 4, 5 and 6 will be allowed to have their signs on those elevations with the same square footage as is allowed on their front elevation. However, signs on the rear elevations must be fabricated or cut out letters and painted Duranodic Bronze.  
 For illumination of signs see "Lighting" on page 3.

**TALAGA**  
VILLAGE CENTER





# Monument Sign M.1

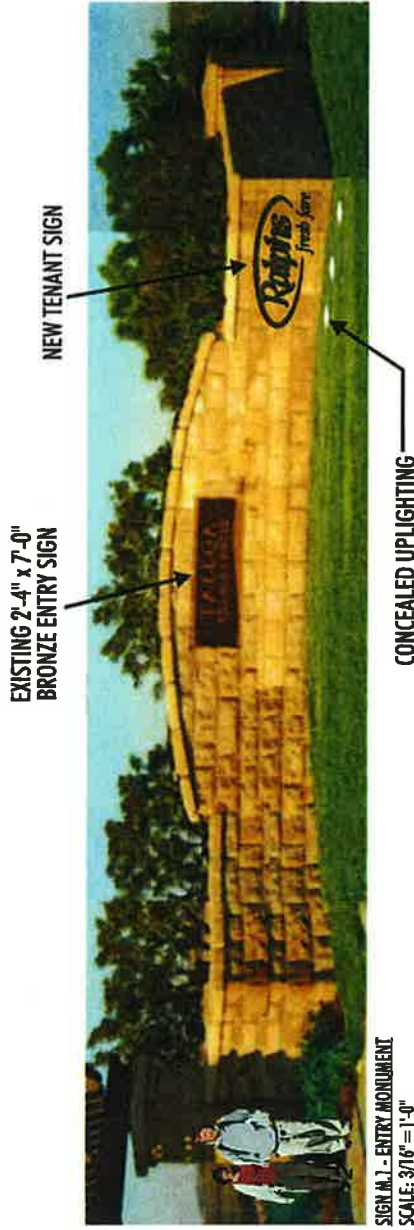
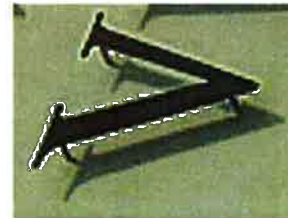
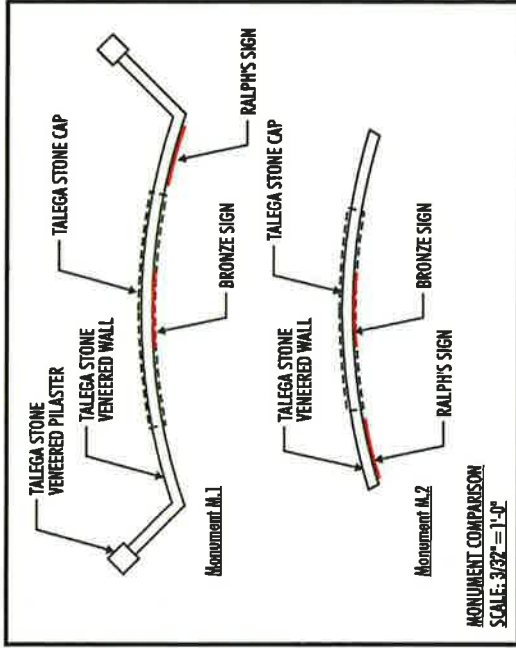
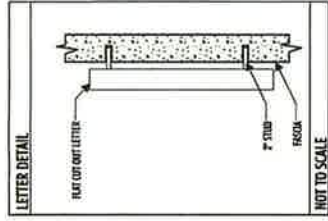


RALPHS SIGN  
SCALE: 3/4" = 1'-0"

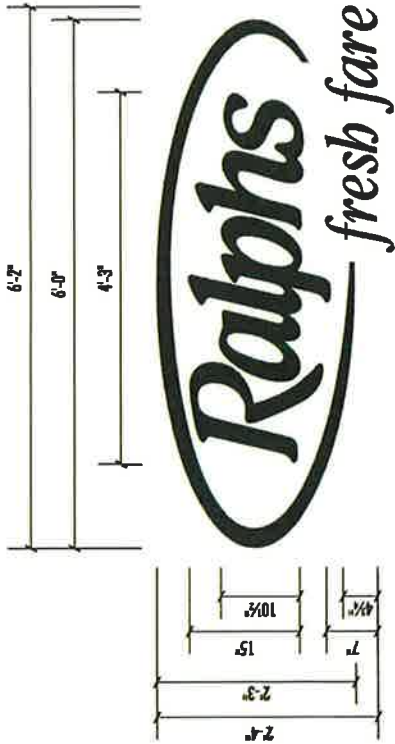
SPECIFICATIONS:  
- NEW TENANT COPY AND OVAL TO BE 1/2" THICK FLAT CUT OUT ALUMINUM.  
- COPY AND OVAL TO BE PIN SET 1/4" OFF WALL.

- DURANODIC BRONZE FINISH

QTY: ONE (1) SET



# New Monument Sign M.2

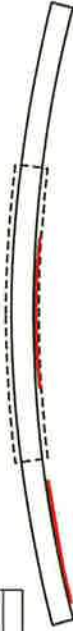
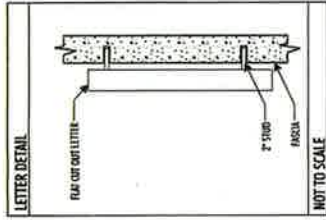


"RALPHS" SIGN  
SCALE: 3/4" = 1'-0"

**SPECIFICATIONS:**

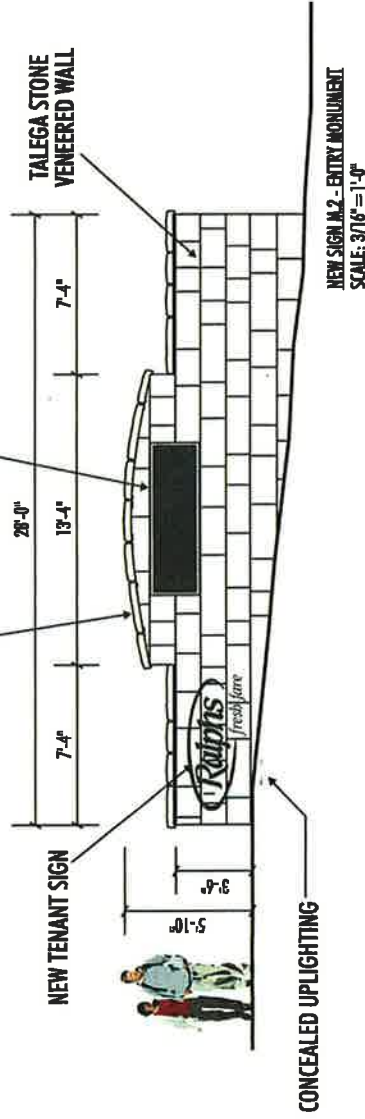
- NEW TENANT COPY AND OVAL TO BE 1/2" THICK FLAT CUT OUT ALUMINUM.
- COPY AND OVAL TO BE PIN SET 1/4" OFF WALL.
- DURANODIC BRONZE FINISH

QTY: ONE (1) SET



TALEGA STONE  
CAP - TYPICAL

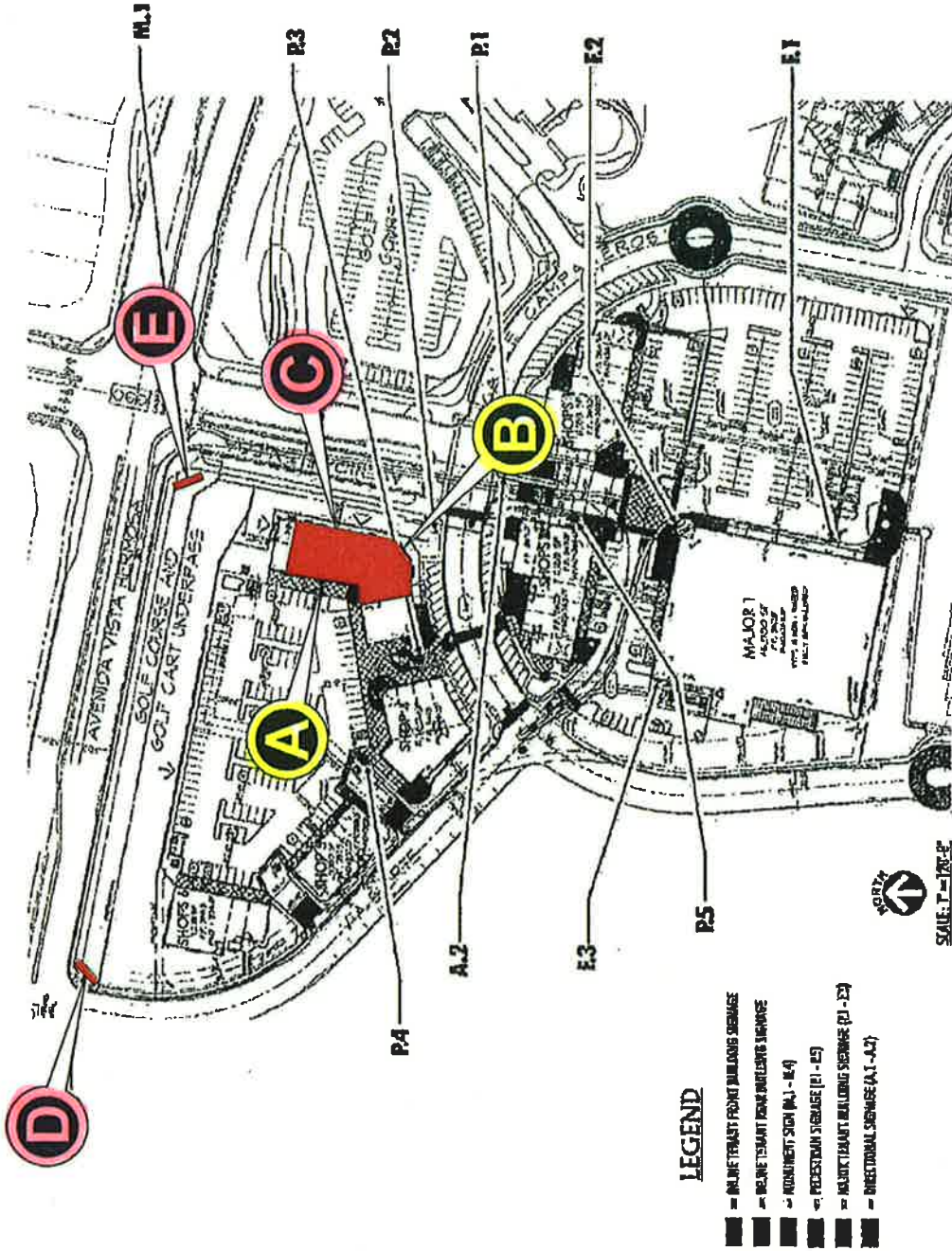
NEW 2'-4" x 7'-0"  
BRONZE ENTRY SIGN



**NOTE: LOCATION OF TENANT SIGN TO BE ON THE RIGHT AS SHOWN OR THE LEFT SIDE OF THE MONUMENT - FINAL POSITION TO BE DETERMINED BASED ON SITE CONDITIONS**

**TALEGA  
VILLAGE CENTER**





EXISTING  
PROPOSED

**LEGEND**

- IN LINE TRAFFIC FRONT BUILDING SIGNAGE
- IN LINE TRAFFIC FRONT BUILDING SIGNAGE
- ADJUTMENT SIGN (A1 - A2)
- PEDESTRIAN SIGNAGE (E1 - E5)
- MAINTENANCE BUILDING SIGNAGE (P1 - P5)
- DIRECTIONAL SIGNAGE (A1 - A2)



**SITE PLAN** SCALE: NTS

**NOTES:**  
 1. This sign is intended to be installed in accordance with the provisions of the California Electrical Code and other applicable codes and regulations. It is the responsibility of the contractor to prepare grounding and bonding of the sign.  
 2. This sign is intended to be installed in accordance with the provisions of the California Electrical Code and other applicable codes and regulations. It is the responsibility of the contractor to prepare grounding and bonding of the sign.  
 3. This sign is intended to be installed in accordance with the provisions of the California Electrical Code and other applicable codes and regulations. It is the responsibility of the contractor to prepare grounding and bonding of the sign.  
 CONTRACTOR'S LIC. #636512

**CUSTOMER / LANDLORD APPROVAL**  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

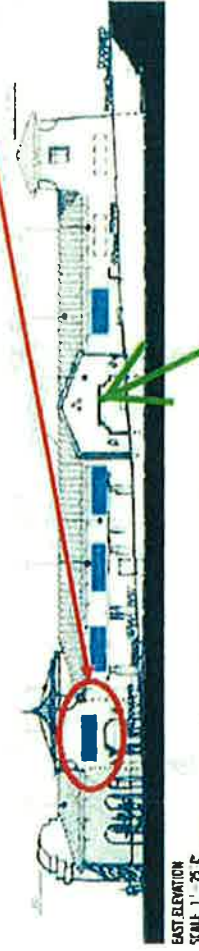
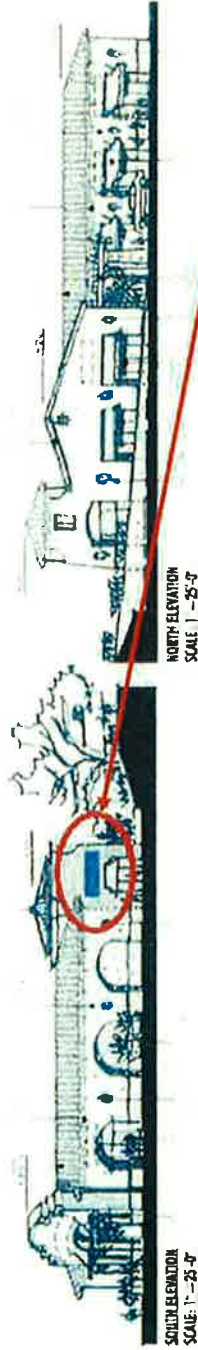
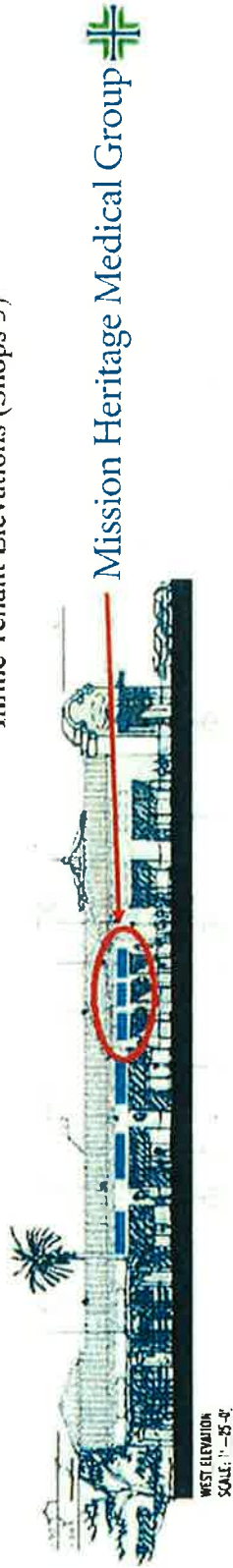
CLIENT	MISSION HERITAGE
ADDRESS	831 VIA SUERTE - SUITES 103-105
LOCATION	SAN CLEMENTE, CA.
DATE	08-22-14
CONCEPT	8187
SALES	SC
DRAWN BY	TB
OPTION	

**Promotional Signs**  
 3301 S. Susan St.  
 Santa Ana, CA 92704  
 (714) 540-5454 PHONE (714) 540-5959 FAX



# Building Signage Plan

## Inline Tenant Elevations (Shops 3)



The maximum letter or logo height for this project may not exceed 30" in height. The maximum sign area for each Tenant may not exceed 1 square foot per linear building footprint. Maximum area allowed for any single sign shall not exceed sixty (60) square feet. Signs shall be placed on the building facade in accordance with the following guidelines: The overall height of any sign shall not exceed 20% of the maximum height of the building. Signs may identify the business name and a minimum graphic word description of the services. No product identity or specific service description may be displayed. All signs to be fabricated out of aluminum or other durable material. No plastic or other materials will be allowed. NOT: Tenants with signs on the rear elevations of buildings 2, 4, 5 and 6 will be able to use the signs on those elevations with the same square footage as is allowed on their front elevations. However, signs on the rear elevations must be fabricated with a minimum of 1/2" aluminum and painted. Damascene Bronze. For illumination of signs see "Lighting" on page 1.

**TALEGA**  
VILLAGE CENTER



We are requesting a sign in this location in lieu of the other four (4) locations shown on the building wall in

Previously submitted sign package - NOTE - the signs on page 3 and 6 of this package will require a revision to the development Signage Program



EQ.

EQ.

49.12 SQ. FT.

PROPOSED FRONT ELEVATION

SCALE: 3/32"=1'-0"

RECEIVED  
DEC 17 2014  
CITY OF SAN CLEMENTE  
PLANNING DIVISION

**Promotional Signs**  
3301 S. Susan St.  
Santa Ana, CA 92704  
(714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT	MISSION HERITAGE		
ADDRESS	831 VIA SUERTE - SUITES 103-105		
LOCATION	SAN CLEMENTE, CA.		
DATE	08-22-14	CONCEPT	8187
	SALS	SC	
DRAWN BY	TB	OPTION	

CUSTOMER / LANDLORD APPROVAL  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

This sign is intended to be installed in accordance with the requirements of Article 16.04 of the City of San Clemente Code and all other applicable local laws. This includes, but is not limited to, the following and is subject to change without notice. Contractors Lic #638512

NOT: This sign is intended to be installed in accordance with the requirements of Article 16.04 of the City of San Clemente Code and all other applicable local laws. This includes, but is not limited to, the following and is subject to change without notice. Contractors Lic #638512

REASON:  
 08-26-14 TB  
 09-29-14 TB

PAGE 1 OF 6



6.25 SQ. FT.

42.87 SQ. FT.

**A** NEW INTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS

49.12 SQ. FT.

SCALE: 1/4" = 1'-0"

ONE (1) SET REQUIRED


TYPICAL REVERSE PAN CHANNEL LETTERS,


FACES AND 3" DEEP RETURNS TO BE

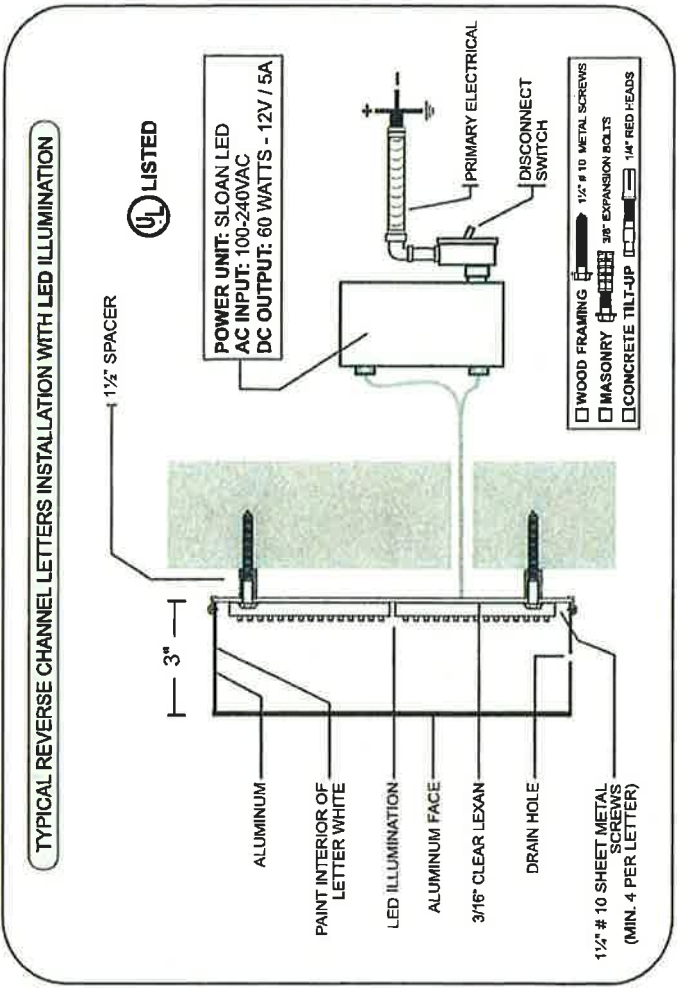
ALUMINUM PAINTED TO MATCH COLOR CALLOUTS,

WHITE LEDS TO HALO ILLUMINATE

PIN MOUNT OFF FASCIA.

 PMS #287 3630-8536

 PMS #363 3630-5638



**Promotional Signs**  
 3301 S. Susan St.  
 Santa Ana, CA 92704  
 (714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT	MISSION HERITAGE	DATE	08-22-14	CONCEPT	8187	SALES SC	SALES SC	DRAWN BY	TB	OPTION
ADDRESS	831 VIA SUERTE - SUITES 103-105									
LOCATION	SAN CLEMENTE, CA.									

**CUSTOMER / LANDLORD APPROVAL**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

This sign is intended to be installed in accordance with the top of the National Electrical Code and other applicable local codes. Proper grounding and bonding of the sign is required. Contractor's LIC #636512

NOTES: This sign must be removed from the site within 10 business days of the project's completion. The sign must be stored in a secure, dry location. The sign must be protected from damage. The sign must be removed from the site within 10 business days of the project's completion. The sign must be stored in a secure, dry location. The sign must be protected from damage.

REVISED: 08-26-14 TB 08-26-14 TB



EQ.

EQ.



61.66 SQ. FT.

SCALE: 3/32"=1'-0"

PROPOSED REAR TOWER ELEVATION

**B**

**Promotional Signs**  
 3301 S. Susan St.  
 Santa Ana, CA 92704  
 (714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT	MISSION HERITAGE		
ADDRESS	831 VIA SUERTE - SUITES 103-105		
LOCATION	SAN CLEMENTE, CA.		
DATE	08-22-14	CONTACT	8187
		PLAN #	TB
		VERSION	07/04

**CUSTOMER / LANDLORD APPROVAL**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

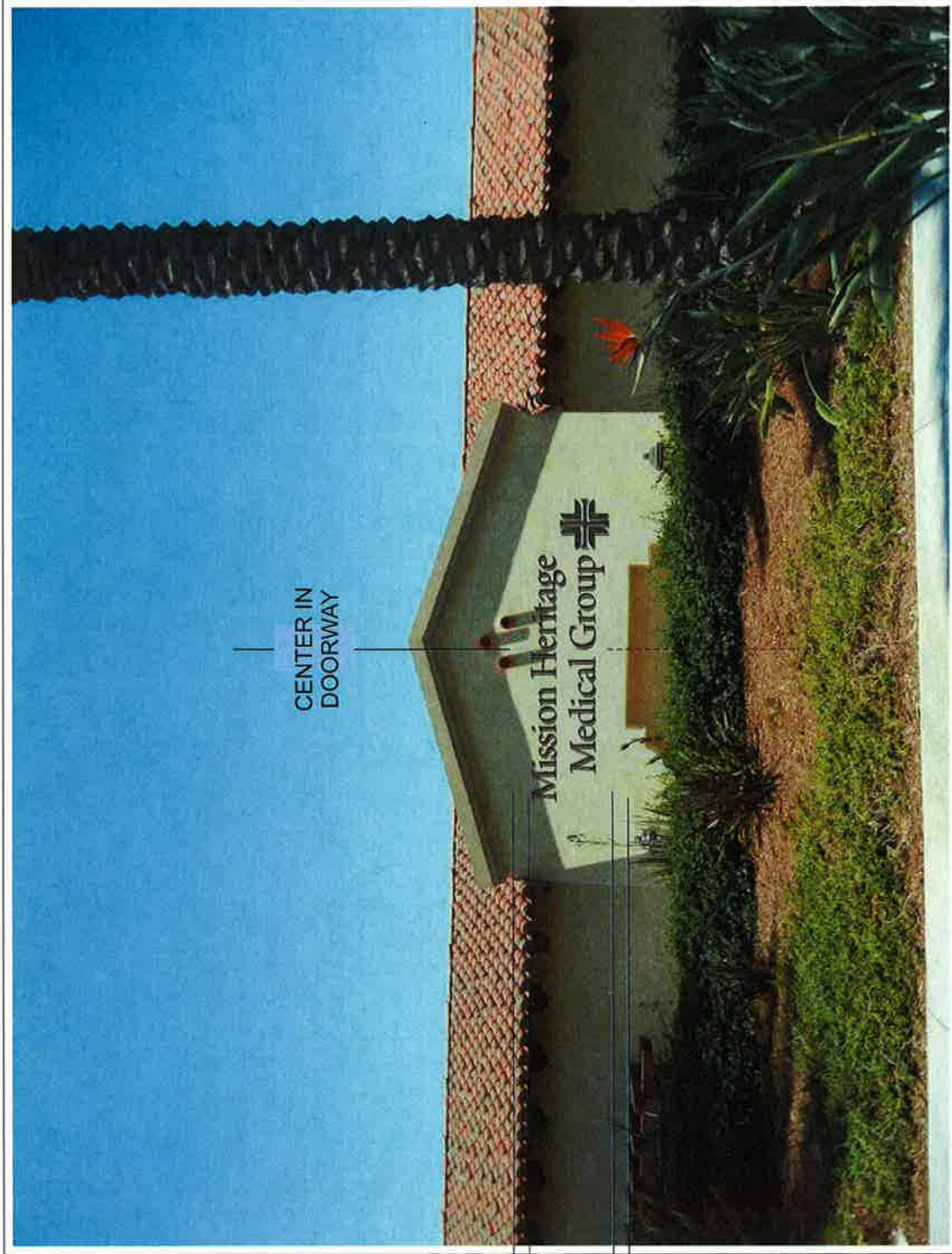
The sign is intended to be used in accordance with the rules and regulations of the City of San Clemente. The sign is intended to be used in accordance with the rules and regulations of the City of San Clemente. The sign is intended to be used in accordance with the rules and regulations of the City of San Clemente.

Continuum LLC  
 #266312

NOTES: This is a preliminary drawing. It is not intended for construction. It is for informational purposes only. The final drawing will be provided to the client for review and approval. The final drawing will be provided to the client for review and approval. The final drawing will be provided to the client for review and approval.

DATE: 08-25-14 TS  
 02:08:29-14 TB

PAGE 2 OF 6



**61.66 SQ. FT.**  
SCALE: PROPORTIONATE

**C** PROPOSED REAR ELEVATION

**Promotional Signs**

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Santa Ana, CA 92704  
(714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT:	MISSION HERITAGE		
ADDRESS:	831 VIA SUERTE - SUITES 103-105		
LOCATION:	SAN CLEMENTE, CA.		
DATE:	08-22-14	CONCEPT:	8187
	SALES:	SC	DRAWN BY: TB
			OPTION: PACKAGE B

CUSTOMER / LANDLORD APPROVAL
SIGNATURE _____
DATE _____

This sign is intended to be installed in accordance with the provisions of the California Building Code and/or other applicable local codes. This includes, but is not limited to, the following: and, if applicable, the sign shall be installed in accordance with the provisions of the sign.

Contractor: Lic #636512

NOTE: This is an original drawing created by Promotional Signs. It is submitted for your review and approval. It is not to be reproduced, copied or published in any manner. Any permission to copy, alter, or reproduce this drawing is hereby granted.

REVISED:	1 08-26-14 TB
	2 08-29-14 TB
	3 10-23-14 TB

# Mission Heritage Medical Group

4'-3"  
0'-11"

15'-5"

2'-6"  
4'-0"



## NEW INTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS

61.66 SQ. FT.

TWO (2) SETS REQUIRED

SCALE: 1/2" = 1'-0"

TYPICAL REVERSE PAN CHANNEL LETTERS.

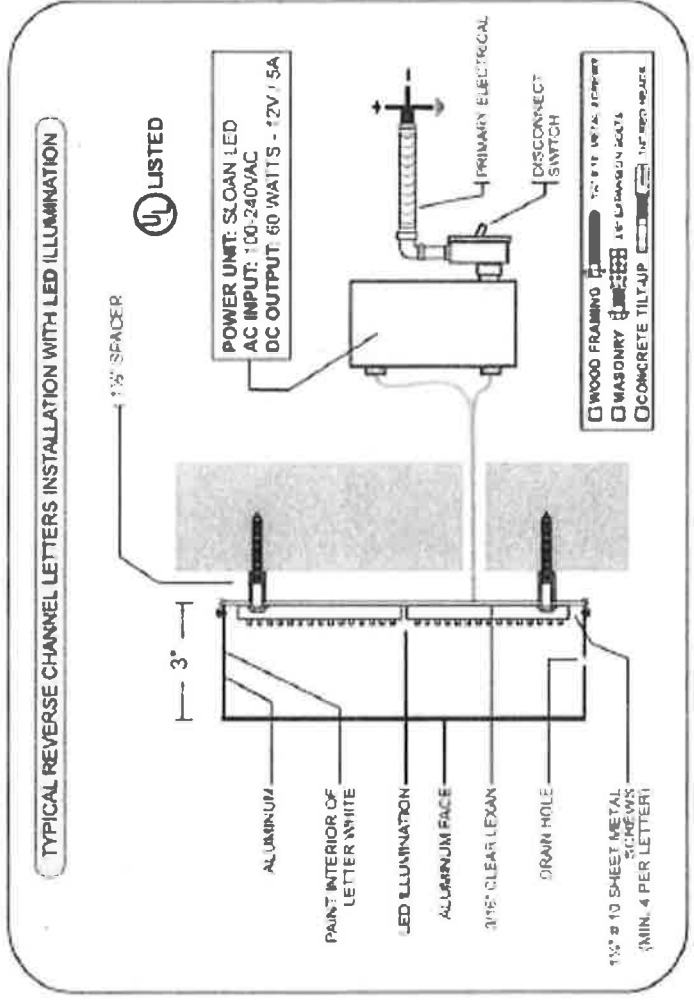
FACES AND 3" DEEP RETURNS TO BE

ALUMINUM PAINTED TO MATCH COLOR CALLOUTS.

WHITE LEDS TO HALO ILLUMINATE

PIN MOUNT OFF FASCIA.

DURANODIC BRONZE COLOR



DATE	MISSION HERITAGE
ADDRESS	831 VIA SUERTE - SUITES 103-105
CITY	SAN CLEMENTE, CA.
PHONE	08-22-14 (CITY) 8187
STATE	SC (STATE) TB (CITY)

CUSTOMER / LANDLORD APPROVAL

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT	MISSION HERITAGE
DATE	08-22-14 TB
SCALE	1/2" = 1'-0"
PAGE	5 OF 6

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 Santa Ana, CA 92704  
 (714) 540-5454 FAX (714) 540-5959 FAX



**\*\*VERIFY MEASUREMENTS PRIOR TO PRODUCTION\*\***



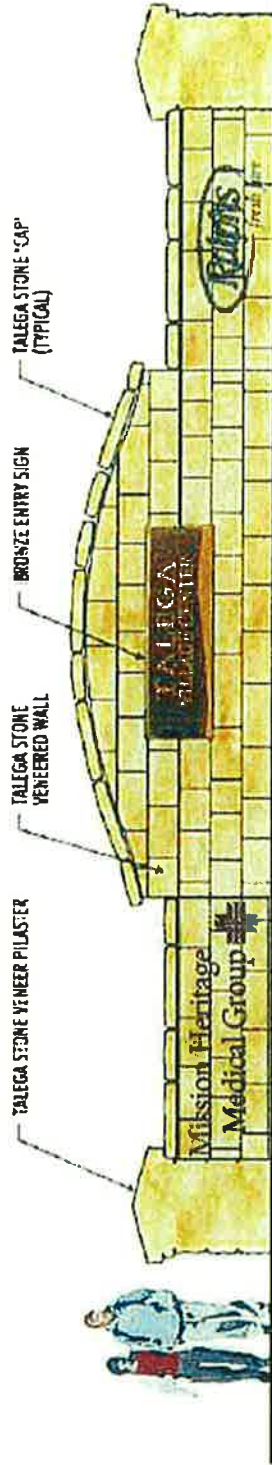
# Mission Heritage Medical Group

**DE** NEW FLAT CUT OUT 1/2" ALUMINUM PAINTED DURONODIC BRONZE, PIN MOUNT OFF MONUMENT 1/4"

TWO (2) SETS REQUIRED

SCALE: 1/2" = 1'-0"

The City of San Clemente Planning Department is requiring that a revision to the Sign Program for this development be submitted to and approved by the City prior to granting permission for these signs.



**D** SCALE: 1/8" = 1'-0" +/-

**Promotional Signs**

3301 S. Susan St  
Santa Ana, CA 92704  
(714) 540-5454 PHONE (714) 540-5959 FAX

CLIENT	MISSION HERITAGE	SALES SC	CONCEPT	8187	DATE	08-22-14	DRAWN BY	TB	OPTION
ADDRESS	831 VIA SUERTE - SUITES 103-105								
LOCATION	SAN CLEMENTE, CA.								

**CUSTOMER / LANDLORD APPROVAL**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

This sign is intended to be placed on a building owned by the National Electrical Contractors Association. Please ensure proper grounding and bonding of the sign.

Contractor's LIC #636512

NOTE: This sign is intended to be placed on a building owned by the National Electrical Contractors Association. Please ensure proper grounding and bonding of the sign.

REVISED:  
1 08-26-14 TB  
2 08-29-14 TB