



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Date: September 17, 2014

PLANNER: Adam Atamian, Associate Planner

SUBJECT: Conditional Use Permit 14-266/ Minor Architectural Permit 14-267, Gratitude Garden Preschool, a request to consider a new preschool located at 92 Avenida La Pata in the Neighborhood Commercial zone of the Rancho San Clemente Specific Plan with a playground located on an adjacent 2,883 square foot portion of City-owned property zoned Open Space in the Forster Ranch Specific Plan.

REQUIRED FINDINGS

Prior to approval of the proposed project, the following findings shall be made. The draft Resolution, provided as Attachment 1, and analysis section of this report provide an assessment of the project's compliance with these findings.

Conditional Use Permit, Section 17.16.060, to allow a preschool use in the Neighborhood Commercial zone of the Rancho San Clemente Specific Plan, and to allow a playground in the Sector P Open Space zone of the Forster Ranch Specific Plan.

- a. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed.
- b. The site is suitable for the type and intensity of use that is proposed.
- c. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- d. The proposed use will not negatively impact surrounding land uses.

Minor Architectural Permit (MAP), Section 17.16.100, to allow exterior site modifications.

- a. The architectural treatment of the project complies with the San Clemente General Plan.
- b. The architectural treatment of the project complies with the Rancho San Clemente Specific Plan in areas including, but not limited to, height, setback, color, etc.
- c. The architectural treatment of the project complies with the architectural guidelines in the City's Design Guidelines.
- d. The general appearance of the proposal is in keeping with the character of the neighborhood.

- e. The proposal is not detrimental to the orderly and harmonious development of the City.

BACKGROUND

The project site is located on two lots. The first portion of the project is an 18,008 square foot lot located at 92 Avenida La Pata within the Neighborhood Commercial portion of the Rancho San Clemente Specific Plan. This lot is developed with a 3,700 square foot commercial building and 14 space parking lot. The second part of the project site is a 2,883 square foot portion of a 161,856 square foot City-owned lot directly north of 92 Avenida La Pata, which is located within the Open Space portion of the Forster Ranch Specific Plan. The proposed playground is located on both lots, as shown on the map below.



Adjacent properties consist of the Courtyards at Talega shopping center to the south, Plaza Pacifica shopping center to the southwest, Forster Ranch Specific Plan Open Space to the west and north, and Talega Specific Plan Open Space to the east.

Development Management Team Meeting

The City's Development Management Team (DMT) and Executive Development Management Team (ExDMT) reviewed the project multiple times. The applicants modified the proposal on numerous occasions to comply with the requirements and concerns of the Engineering, Building, and Planning divisions, and the Orange County Fire Authority (OCFA).

The DMT and ExDMT support the request as proposed, subject to the attached conditions of approval.

Noticing

Public notification was completed in accordance with State Law and Municipal Code regulations. Staff has not received input from the public on this request at the time this report was prepared.

PROJECT DESCRIPTION

The applicant proposes to establish a new preschool in an existing commercial structure previously occupied by a real estate office. The project involves the installation of a new playground area partially located on an adjacent City-owned parcel. A condition of approval requires the execution of a lease agreement for the use of the City-owned property. Site improvements include a new playground area consisting of small accessory structures made of natural materials, decomposed granite paths, new perimeter fencing, and new landscaping. No exterior modifications are proposed to the building.

The preschool proposes a maximum occupancy of 48 students and 6 employees. Additionally, state licensing requirements limit the total daily enrollment to be no more than 48 children. The preschool will be separated into two rooms and provide drop-in classes for children between the ages of three and five years old, Monday through Friday from 7:00 AM to 5:30 PM.

Development Standards

Table 1, below, outlines the Rancho San Clemente Specific Plan's Neighborhood Commercial development standards.

Table 1 - Development Standards

Standard	Code Requirements	Proposed Site Plan	Complies with Code Requirements
Building Height (Maximum)	35 feet, not to exceed 2 stories	23 feet, 1 story, No Change	Yes
Setbacks (Minimum): <ul style="list-style-type: none"> • Front • Others 	30 feet for bldgs. ≤ 20 feet tall 50 feet for bldgs. > 20 feet tall Determined through original Site Plan Permit review	30 feet approved with CUP, No Change 10 feet, No Change	Yes Yes
Floor Area Ratio (Maximum):	.35	.17, No Change	Yes
Required Parking (Minimum):	13 (1 per 2/employees, and 1 per 5/children)	14	Yes
Landscaping Req. (Minimum): <ul style="list-style-type: none"> • Boundary Landscaping: • Parking lot landscaping: • Street Trees 	1 Tree/ 30 lineal feet 3 Trees 1 Tree/ 25 lineal feet	1 tree/ 29.25 feet 11 Trees 1 Tree/ 24 feet	Yes Yes Yes
Landscape Buffer Yards	20 feet avg. at street frontage, 6 feet for other property lines	30 feet at street, 10 feet others	Yes

Table 2, below, outlines the Forster Ranch Specific Plan's Open Space development standards that apply to the portion of the project located on the City-owned property.

Table 2 - Development Standards

Standard	Code Requirements	Proposed Site Plan	Complies with Code Requirements
Accessory Structure Height (Maximum)	23 feet, same as primary building	10 feet, 8 inches	Yes
Setbacks (Minimum):	20 feet	27 feet	Yes
• Front			
• Others	Determined through discretionary review	0 to 4 feet	Staff supports proposed setbacks.
Required Parking (Minimum):	No additional parking required	0	Yes
Landscaping Req. (Minimum):			
• Boundary Landscaping:	1 Tree/ 30 lineal feet	0	No, City storm drain easement prevents planting any additional trees.
• Street Trees	1 Tree/ 25 lineal feet	0	No, City storm drain easement prevents planting any additional trees.
Landscape Buffer Yards	20 feet avg. at street frontage	20 feet	Yes

Architecture

The building is a Spanish-style commercial structure. The architecture was reviewed and supported by the Design Review Subcommittee in September, 2001. The building includes Spanish elements such as red tile roof, white stucco walls, and black metal details combined with contemporary commercial elements such as large, multi-paned glass windows and stone veneered base cladding. This project does not propose any exterior modifications to the building, however all new accessory structures and fencing are designed to be compatible with the approved architectural style. Views of most of the proposed accessory structures will be obscured from Avenida La Pata by the landscaping proposed along the fence. Approximately the top four feet of the gazebo and the top foot of the arbor will be visible from the public right-of-way.

Site Design

This project does not propose any major site modifications to the approved plans. The project only proposes to replace landscaping. The preschool will use the existing parking lot in its current configuration.

The project proposes multiple minor modifications to the portion of the City-owned lot where the playground will be located. The proposed playground area is part of a fuel modification zone required by the OCFA for the commercial building. This area also has a 26 foot-wide City easement for an underground storm drain. Because of these restrictions, the applicant is not permitted to significantly alter the land. The OCFA will not permit any major structures or potentially flammable landscaping, and the City's Engineering division will not permit any significant grading or trees on the easement. Working within the limitations, the applicant proposes the following playground features (landscaping is discussed in the landscaping section):

- The installation of decomposed granite (DG) paths directly over the existing grass. The DG would be compacted and a hardener applied to create a firm walking surface so that the majority of the playground area is accessible to all users.
- The installation of new playground equipment. These small accessory structures include a ten foot, eight inch tall black metal gazebo, a seven foot tall brushed iron garden arbor, and multiple playground items less than four and a half feet tall such as a garden area, log stumps, a rowboat, a short climbing wall, and art easels. Images of these structures are provided on Sheet L-6 of the plans.
- The installation of dark bronze tubular steel fencing. The fencing will match the five foot six inch tall fencing on site, extending it around the perimeter of the playground and connecting to the west corner of the building.
- The installation of low-voltage pathway and landscape lighting.

Traffic/Parking

The proposed preschool has a maximum occupancy of 48 students and 6 employees at any time. The parking requirement for preschools is one space for every five students and one space for every two employees. The parking requirement for the proposed use is 13 parking spaces. The site includes a parking lot which provides 14 parking spaces, leaving a surplus of one parking space.

The parking lot has a single access for entrance and exits. Access is only available by turning right into the site from Avenida La Pata, and turning right onto Avenida La Pata to exit.

The site is not anticipated to generate significant parking for most of the day. Preschool children cannot be dropped off similar to other schools. All parents must park, walk their children into the school, and sign them into a daily enrollment log. The pick-up and drop-off times in the morning and late afternoon are expected to be the busiest times. The applicant proposes to alleviate parking lot congestion and avoid incoming traffic lining up on Avenida La Pata by providing a morning drop-off period between 7:00 AM and 9:30 AM, and two pick-up times. The applicant expects that approximately half of the children will be picked-up before the 1:00 PM nap time, and the other half picked-up between 3:00 PM and 5:30 PM. These extended drop-off and pick-up times will eliminate traffic congestion that can occur in schools that have one drop-off and pick-up time which occur within a short period of time.

Landscaping

The applicant proposes new landscaping in three areas. The first area is in the playground which consists of planting three trees: a California Sycamore, a Jacaranda, and an African Sumac. The existing plants, such as the bird of paradise, will be removed to make room for the playground.

The second area of landscaping is on the street side of the proposed fencing outside the playground area. This landscaping consists of tall shrubs such as Bush Anemone, Wild Lilac, and Orchid Rockrose, the perennial Red Yucca, and Deer Grass. These plants were selected for their low-water consumption, fire-resistant qualities, and their mature height to help screen views of the playground area from Avenida La Pata.

The third area of landscaping is on the 92 Avenida La Pata property. The original approvals included 24 trees, one of which was in the public right-of-way. At some point after this property was developed the trees were removed. The applicant is proposing to replace all but four of the trees. The original plans included seven Brisbane box trees around the rear of the building. The applicant is proposing to replace three of these trees with the species listed above, and omit the other four to provide better access to the playground for the children. Even with the omitted trees, the property meets the minimum landscaping requirements.

Design Review Subcommittee

The Design Review Subcommittee (DRSC) reviewed the project on August 13, 2014. Attachments 2 and 3 include the staff report and minutes of that meeting. The DRSC supports the proposed project with the following recommended modifications identified in Table 3.

Table 3 - DRSC concerns and project modifications

<i>DRSC Concerns</i>	<i>Project modifications</i>
The property at 92 Avenida La Pata should include more landscaping, especially street trees.	Modified as requested. The project includes the replacement of the majority of the originally-approved trees.
The project should include measures to eliminate potential back-up on Avenida La Pata.	Modified as requested. The project includes an extended pick-up and drop-off schedule to spread out the most impactful times of the day in terms of traffic. The property to the south with the access road is not part of this property and has an Orange County Flood Control District easement.

PROJECT ANALYSIS

Conditional Use Permit

Preschools are a conditionally permitted use in the Neighborhood Commercial portion of the Rancho San Clemente Specific Plan. The use complies with all development standards, including parking and landscaping. While site access is a concern during times of pick-up and drop-off, the applicants are proposing to provide two and a half hour drop-off and pick-up periods. Additionally, condition of approval number 14 limits the maximum number of children that can be dropped-off or picked-up within any 30 minute period to 24. This type of condition of approval has been placed on other preschool projects in the City with no problems. Because each child is logged in upon arrival, the applicant can monitor traffic flows and make any necessary adjustments to the preschool's operations to maintain compliance with the conditions of approval.

A CUP is also required for the playground, which is ancillary to, and required for, the preschool use. While the 92 Avenida La Pata lot consists of the commercial building, parking lot and the first 10 feet of the playground area, the portion of the City-owned lot is used solely for the playground use. The Forster Ranch Specific Plan conditionally permits "Parks, athletic fields, and recreation centers." The use as a playground is similar to that of a park as many parks typically include playgrounds. Additionally, as no new permanent buildings or large structures are proposed, the site meets the purpose of the Open Space zone to "provide for the use and preservation of open space."

The proposed location of the preschool and the accompanying playground is appropriate for the area. The site is not adjacent to any other developable land so noise generated from an outdoor playground will not be a concern. Should parking or traffic become an issue, conditions of approval numbers 13, 14, and 15 limit the occupancy of the site to comply with the parking standards of the Zoning Ordinance, and would require the applicant to modify their pick-up and drop-off program to eliminate any traffic issues that may arise.

Minor Architectural Permit

The Forster Ranch and Rancho San Clemente Specific Plans do not specifically discuss the architecture of accessory structures on commercial sites. The gazebo and the arbor are compatible with the Spanish architectural style of the building because they are decorative metal structures that resemble black wrought iron. The rest of the structures are made of natural materials such as wood and stone, though they will not be highly visible from the street.

Continuing the existing fencing maintains the site's compliance with both Specific Plans, which state, "view fences (e.g. wrought iron) should be used adjacent to scenic highways instead of wood fences." The proposed landscaping along the fence will obscure views into the playground area and also continue the Scenic Corridor landscaping provided along Avenida La Pata.

The project proposes to bring the site back into compliance with the landscaping requirements. Additionally, condition of approval number 20 requires that all landscaping be maintained, ensuring the future compliance with the approved landscaping.

GENERAL PLAN CONSISTENCY

Table 4 summarizes how the proposed use is consistent with adopted policies outlined in the City of San Clemente General Plan.

Table 4 - General Plan Consistency

Policies and Objectives	Consistency Finding
<p><i>Child and Adult Day Care. We allow for the continuation of existing and development of new child and adult day-care facilities in any land use zone where they are compatible with adjacent uses. Policy LU-6.04</i></p>	<p>Consistent. The project consists of establishing a new child day care facility that is compatible with adjacent land uses.</p>
<p><i>Buffers and Setbacks. We require that new uses and buildings, characterized by differing functions, activities, density, scale and massing, to provide conditions of approval, landscaped buffers and/or setbacks between uses to prevent or reduce adverse impacts. Policy UD-3.03.</i></p>	<p>Consistent. The project involves the addition of landscaped buffers that meet the landscaping requirements for Scenic Corridors.</p>
<p><i>We require integration of outdoor spaces into the architectural and site designs by encouraging the use of courtyards, ... gardens, ... and other outdoor spaces enclosed by architectural or landscape elements. Policy UD-5.01.</i></p>	<p>Consistent. The project creates a usable outdoor area in an underutilized and under-landscaped space.</p>
<p><i>Open Space Preservation. We encourage and support the preservation of open space within and adjacent to the City. Policy BPR-4.01.</i></p>	<p>Consistent. The project maintains the city-owned portion of the proposal as open space, with accessory structures that are permitted by the Forster Ranch Specific Plan.</p>

ENVIRONMENTAL REVIEW/COMPLIANCE (CEQA):

The Planning Division processed and completed an initial environmental assessment for this project in accordance with the California Environmental Quality Act (CEQA). The Planning Division has determined the project is categorically exempt from CEQA as a Class 1, Class

3, and Class 4 exemption pursuant to CEQA Guidelines Sections 15301, 15303 and 15304, because the project consists of a commercial use in an existing commercial facility with no expansion of use, the installation of a limited number of small accessory structures, and the minor alteration of land that does not involve the removal of mature, healthy trees.

ALTERNATIVES; IMPLICATIONS OF ALTERNATIVES

1. The Planning Commission can concur with staff and approve CUP 14-266 and MAP 14-267.

This is the recommended action. This action would result in the applicant developing the project as proposed, pending the approval of the lease of the City-owned property by the City Council.

2. The Planning Commission can, at its discretion, add, modify or delete provisions of the proposed project or conditions.

This action would result in any modifications being incorporated into the project which could include limiting the number of occupants, altering the proposed class schedule, or modifying the proposed landscaping.

3. The Planning Commission can recommend denial of the proposed project.

This action would result in the applicant's proposed preschool and associated playground being denied. The applicant would have the option of appealing the denial to the City Council.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission approve Conditional Use Permit 14-266/ Minor Architectural Permit 14-267, Gratitude Garden Preschool, a request to consider a new preschool located at 92 Avenida La Pata with a playground located on an adjacent City-owned property, subject to the attached Resolution and conditions of approval.

Attachments:

1. Resolution No. PC 14-038
Exhibit A – Conditions of Approval
2. DRSC Staff Report, dated August 13, 2014
3. DRSC Minutes, dated August 13, 2014
4. Site Photographs
5. Location Map
Plans

ATTACHMENT 1

RESOLUTION NO. PC 14-038

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN CLEMENTE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 14-266/ MINOR ARCHITECTURAL PERMIT 14-267, GRATITUDE GARDEN PRESCHOOL, ALLOWING A NEW PRESCHOOL WITH A PLAYGROUND LOCATED ON AN ADJACENT CITY-OWNED PROPERTY LOCATED AT 92 AVENIDA LA PATA

WHEREAS, on July 2, 2014, an application was submitted, and deemed complete on August 4, 2014, by Chris Kuczinsky, Rose SoCal, LLC, 7040 Avenida Encinas, #104 – 277, Carlsbad, CA 92011, to allow a new preschool located at 92 Avenida La Pata in the Neighborhood Commercial zone of the Rancho San Clemente Specific Plan with a playground located on an adjacent 2,883 square foot portion of City-owned property zoned Open Space in the Forster Ranch Specific Plan. The legal descriptions are Parcel 2 on Page 4 of Assessor's Parcel Book 331, Assessor's Parcel Number 688-132-02, and a portion of Parcel 1 of Lot Line Adjustment Number LL 98-83 in the City of San Clemente located to the south of Avenida Vista Hermosa and east of Avenida La Pata, Assessor's Parcel Number 678-164-01; and

WHEREAS, the City's Development Management Team (DMT) reviewed the application for compliance with the General Plan, Zoning Ordinance, Rancho San Clemente Specific Plan, and Forster Ranch Specific Plan, and supported the project subject to the attached conditions of approval; and

WHEREAS, on August 13, 2014 the proposed project was reviewed by the Design Review Subcommittee, which supported the design of the project with recommended changes; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA). Staff recommends the Planning Commission determine this request is categorically exempt from CEQA as a Class 1, Class 3, and Class 4 exemption pursuant to CEQA Guidelines Sections 15301, 15303, and 15304, because the project consists of a commercial use in an existing commercial facility with no expansion of use, the installation of a limited number of small accessory structures, and the minor alteration of land that does not involve the removal of mature, healthy trees; and

WHEREAS, on September 17, 2014, the Planning Commission held a duly noticed public hearing and considered evidence and testimony presented by City staff, the applicant and other interested parties.

NOW, THEREFORE, the Planning Commission of the City of San Clemente hereby resolves as follows:

Section 1: The Planning Commission determines the request is categorically exempt from CEQA as a Class 1, Class 3, and Class 4 exemption pursuant to CEQA Guidelines Sections 15301, 15303, and 15304, because the project consists of a

commercial use in an existing commercial facility with no expansion of use, the installation of a limited number of small accessory structures, and the minor alteration of land that does not involve the removal of mature, healthy trees.

Section 2: With regard to Conditional Use Permit (CUP) 14-266, the Planning Commission finds as follows:

- A. The proposed use of the preschool is permitted within the Neighborhood Commercial portion of the Rancho San Clemente Specific Plan, and the ancillary preschool playground is permitted in the Open Space portion of the Forster Ranch Specific Plan. The proposed use complies with all the applicable development standards of the Rancho San Clemente Specific Plan and the Forster Ranch Specific Plan. The project conforms to the purpose and intent of the Neighborhood Commercial zone by providing a service use to serve primarily the residents of nearby neighborhoods. The project conforms to the purpose and intent of the Open Space zone by providing for the use and preservation of open space as no permanent buildings or large accessory structures are proposed. The project meets the goals and objectives of the San Clemente General Plan because it is a new child day care facility that is compatible with adjacent land uses, provides landscaped buffers, and preserves the open space area.
- B. The site is suitable for the type and intensity of use that is proposed. The commercial portion of the project complies with the FAR requirements of the Rancho San Clemente Specific Plan. The attached conditions of approval limit the occupancy of the site to ensure the use maintains compliance with the parking requirements.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity as the proposal meets the development standards, and will be built according to all applicable building, fire and safety codes.
- D. The proposed use will not negatively impact surrounding land uses in that any noise generated by the preschool is not anticipated to be audible from adjacent developments, and the project is conditioned to require the applicant to maintain a class schedule and pick-up and drop-off time program to keep traffic from lining up on Avenida La Pata. The project is conditioned to require the applicant to eliminate any traffic issues that arise.

Section 3: With regard to Minor Architectural Permit (MAP) 14-267, the Planning Commission finds as follows:

- A. The architectural treatment of the project complies with the San Clemente General Plan, in that the Urban Design Element specifies that new uses provide conditions of approval, landscaped buffers and/or setbacks between uses to prevent or reduce adverse impacts. The project consists of establishing a new child day care facility that is compatible with adjacent

land uses providing landscaping to buffer the playground area from the adjacent street.

- B. The architectural treatment of the project complies with the development standards of the Rancho San Clemente Specific Plan and the Forster Ranch Specific Plan, in that the project meets all requirements in areas including, but not limited to, height, setbacks, and landscaping.
- C. The architectural treatment of the project complies with the design guidelines in the Rancho San Clemente Specific Plan and the Forster Ranch Specific, in that the existing building is a Spanish-style commercial building which conforms to the development standards for the zone, and all new accessory structures are compatible with the building.
- D. The general appearance of the proposal is in keeping with the character of the neighborhood, in that Avenida La Pata is a Scenic Corridor characterized by landscaped street frontages and areas of open space. The proposal includes to replace the majority of the originally approved landscaping and add new compatible landscaping and fencing to match the design of the rest of the block to the south.
- E. The proposal is not detrimental to the orderly and harmonious development of the City. The project meets the requirements of the Rancho San Clemente Specific Plan and the Forster Ranch Specific Plan and meets the purpose and intent of the General Plan. The project is sensitive to the surrounding neighborhood, and is appropriately designed for the property on which it is proposed. Additionally, the project preserves the open space zone, in that no new permanent buildings or large accessory structures are proposed.

Section 4: The Planning Commission of the City of San Clemente hereby approves Conditional Use Permit 14-266/ Minor Architectural Permit 14-267, Gratitude Garden Preschool, allowing a new preschool located at 92 Avenida La Pata with a playground located on an City-owned property, subject to the above Findings and attached Conditions of Approval.

PASSED AND ADOPTED at a regularly scheduled meeting of the Planning Commission of the City of San Clemente on September 17, 2014.

Chair

TO WIT:

I HEREBY CERTIFY that the forgoing resolution was duly adopted at a regular meeting of the Planning Commission of the City of San Clemente on September 17, 2014, and carried by the following roll call vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:
ABSENT: COMMISSIONERS:

Secretary of the Planning Commission

EXHIBIT A

CONDITIONS OF APPROVAL*

Conditional Use Permit 14-266/ Minor Architectural Permit 14-267 Gratitude Garden Preschool

1. The applicant or the property owner or other holder of the right to the development entitlement(s) or permit(s) approved by the City for the project, if different from the applicant (herein, collectively, the "Indemnitor") shall indemnify, defend, and hold harmless the City of San Clemente and its elected city council, its appointed boards, commissions, and committees, and its officials, employees, and agents (herein, collectively, the "Indemnitees") from and against any and all claims, liabilities, losses, fines, penalties, and expenses, including without limitation litigation expenses and attorney's fees, arising out of either (i) the City's approval of the project, including without limitation any judicial or administrative proceeding initiated or maintained by any person or entity challenging the validity or enforceability of any City permit or approval relating to the project, any condition of approval imposed by City on such permit or approval, and any finding or determination made and any other action taken by any of the Indemnitees in conjunction with such permit or approval, including without limitation any action taken pursuant to the California Environmental Quality Act ("CEQA"), or (ii) the acts, omissions, or operations of the Indemnitor and the directors, officers, members, partners, employees, agents, contractors, and subcontractors of each person or entity comprising the Indemnitor with respect to the ownership, planning, design, construction, and maintenance of the project and the property for which the project is being approved. The City shall notify the Indemnitor of any claim, lawsuit, or other judicial or administrative proceeding (herein, an "Action") within the scope of this indemnity obligation and request that the Indemnitor defend such Action with legal counsel reasonably satisfactory to the City. If the Indemnitor fails to so defend the Action, the City shall have the right but not the obligation to do so and, if it does, the Indemnitor shall promptly pay the City's full cost thereof. Notwithstanding the foregoing, the indemnity obligation under clause (ii) of the first sentence of this condition shall not apply to the extent the claim arises out of the willful misconduct or the sole active negligence of the City. *[Citation – City Attorney Legal Directive/City Council Approval June 1, 2010]* (PInG.)_____

2. Thirty (30) days after project approval, the owner or designee shall submit written consent to all of these imposed conditions of approval to the Community Development Director or designee. *[Citation – City Attorney Legal Directive]* (PInG.)_____

3. Prior to the issuance of building permits, the owner or designee shall include within the first four pages of the working drawings a list of all conditions of approval imposed by the final approval for the project. *[Citation – City Quality Assurance Program]* (PInG.)_____ (Bldg.)_____

4. The owner or designee shall operate the approved preschool in conformance with the floor plan, site plan, landscaping plan and any other applicable submittals approved by the Planning Commission on September 17, 2014. Any deviation from the approved floor plan or other approved submittal shall require the owner or designee to submit modified plans and any other applicable materials as required by the City for review and approval of the City Planner or designee. If the City Planner or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain the approval of the Zoning Administrator or Planning Commission, as appropriate. (PIng.)_____

5. Prior to issuance of certificate of occupancy, the project shall be develop in conformance with the site plan, floor plans, elevations, details, and any other applicable submittals approved by the Planning Commission on September 17, 2014, subject to the Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, details, or other approved submittal shall require that the owner or designee submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the City Planner or designee. If the City Planner or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain the approval of the Zoning Administrator. *[Citation - Section 17.12.180 of the SCMC]* (PIng.)_____

6. Conditional Use Permit (CUP) 14-266/ Minor Architectural Permit (MAP) 14-267 shall become null and void if the use is not commenced within three (3) years from the date of the approval thereof. Since the use requires the issuance of a building permit, the use shall not be deemed to have commenced until the date that the building permit is issued for the development. *[Citation - Section 17.12.150.A.1 of the SCMC]*

7. The owner or designee shall have the right to request an extension of CUP 14-266/ MAP 14-267 if said request is made and filed with the Planning Division prior to the expiration date as set forth herein. The request may be subject to review and approval by the final decision making authority that ultimately approved or conditionally approved the original application. *[Citation - Section 17.12.160 of the SCMC]* (PIng.)_____

8. Prior to the issuance of building permits, the owner or designee shall submit for review, and shall obtain the approval of the City Council for a land lease agreement between the applicant, or preschool operator, and the City of San Clemente for the use of 2,883 square feet of City-owned parcel, APN 678-164-01. ■■(PIng.)_____

9. Signage is not part of this review. Any signage for this proposed development shall require the owner or designee to submit for review and obtain approval of a Sign Permit or Master Sign Program in accordance with the City's Sign Ordinance. *[Citation - Section 17.16.240.D& 17.16.250.D of the SCMC]* (PIng.)_____

10. Window and banner signage is not part of this review. Window or banner signage shall comply with Zoning Ordinance Table 17.84.030A & Section 17.84.030(H), and any applicable Master Sign Programs. *[Citation - Section 17.16.240.D of the SCMC]*
(Code Enforce.)_____ (PIng.)_____

11. Prior to issuance of grading and/or building permits, the owner or designee shall submit for review and approval by the Community Development Director and Director, Beaches, Parks and Recreation or designees, a detailed landscape and irrigation plan incorporating drought tolerant plants, for parkways, public right-of-way, fuel modification areas, the 2,883 square foot portion of City-owned property, and any other landscaped areas required or affected by this project, prepared by a registered landscape architect, and in compliance with all pertinent requirements including, but not limited to guidelines contained in the City's Master Landscape Plan of Scenic Corridors. *[Citation – Section 17.68.020.B.2 of the SCMC]*
■ (PIng.)_____ (B,P&R) _____

12. Prior to issuance of grading and/or building permits, the owner or designee shall prepare and submit a comprehensive landscaping plan according to the City of San Clemente's Guidelines and Specifications for Landscape Development submittal requirements for comprehensive landscape plans for the property located at 92 Avenida La Pata and all associated public right-of-way. This landscape plan shall be submitted concurrent with the application for any building permits and the owner or designee understands that no building permits will be finalized until the required landscaping is installed to the satisfaction of the City Planner. The approved comprehensive landscape plan shall take precedence over the submitted landscape plan reviewed by the Planning Commission on September 17, 2014. ■■(PIng.)_____

13. To ensure compliance with the parking requirements and to avoid an adverse impact to the surrounding businesses, the applicant shall not have more than 6 employees, including instructors, and 48 students, or any combination thereof at any given time at the preschool, including the playground area, which would exceed a total parking requirement of 14 parking spaces, based on the following parking requirements: 1 space per 2 employees, and 1 space per 5 children. ■■ (PIng.)_____

14. The owner or designee shall ensure that no more than 24 children are dropped off or picked up from the preschool within any 30 minute period. ■■ (PIng.) _____

15. In the event that traffic or parking become an issue on the site, as determined by the Community Development Director, or on Avenida La Pata, as determined by the Director of Public Works, the preschool operator shall adjust the pick-up and drop-off schedule, or use other best management practices, as determined by the City Planner, to eliminate the problem. ■■ (PIng.)_____

16. The preschool shall ensure all outdoor recreational uses will be restricted to the playground area located behind and to the north of the building and only during school operations. ■■ (PIng.)_____

- 17. The preschool shall only operate on weekdays (Monday through Friday) from 6:30 AM to 6:00 PM ■■ (PIng.) _____

- 18. The preschool may have occasional special events related to the preschool such as back to school nights, graduation ceremonies, parents nights, etc. with the prior approval of the City Planner or designee. Any special activities outside the normal business operations of a preschool may require a Special Activities Permit, as determined by the City Planner. ■■ (PIng.) _____

- 19. The applicant or designee shall prepare and submit a comprehensive landscaping plan according to the City of San Clemente's Guidelines and Specifications for Landscape Development submittal requirements for comprehensive landscape plans. This landscape plan shall be submitted concurrent with the application for any building permits and the owner or designee understands that no building permits will be finalized until the required landscaping is installed to the satisfaction of the City Planner. The approved comprehensive landscape plan shall take precedence over the submitted landscape plan reviewed by the Planning Commission on September 17, 2014. ■■(PIng.)_____

- 20. The applicant and property owner, or designee, shall maintain all landscaped areas as approved on the final landscape plans in an orderly, attractive and healthy condition. This shall include proper pruning, mowing of turf areas, weeding, removal of litter, fertilization, replacement of plants when necessary, and the regular application of appropriate quantities of water to all landscaped areas. The property owner or designee shall maintain all irrigation systems as approved on the final landscape plans in proper operating condition. Waterline breaks, head/emitter ruptures, overspray or runoff conditions and other irrigation system failures shall be repaired immediately. *[Citation - Section 17.68.060.A&B of the of the SCMC]* (PIng.)_____

- 21. Prior to issuance of certificates of occupancy, the owner or designee shall submit a letter, signed by a registered landscape architect, to the Community Development Director or designee, stating that all materials for all landscaped areas have been installed in accordance with the approved plans, and shall demonstrate to the satisfaction of the Community Development Director or designee, in consultation with the Beaches, Parks and Recreation Director or designee, that all landscaped areas have been landscaped per the approved landscape plans. *[Citation – Master Landscape Plan for Scenic Corridors, May 1992]* (PIng.)_____ (B,P&R)_____

- 22. The applicant shall develop the project with all site modifications to be consistent with the existing site improvements, including existing parking lot areas and landscaped areas, in terms of materials, colors and finishes. ■■ (PIng.)_____

- 23. A separate Building Permit is required. Plans to construct new building, add or alter the existing building configuration, change in use, add or alter structural,

- mechanical, electrical or plumbing features of the project must be reviewed and approved through a separate building plan check / permit process. *[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]* (Bldg.)_____
24. Project has not been reviewed for Building Code compliance. Prior to issuance of building permits, code compliance will be reviewed during building plan check. *[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]* (Bldg.)_____
25. Prior to issuance of building permits, applicant shall secure all utility agencies approvals for the proposed project. *[S.C.M.C – Title 15 Building Construction]* (Bldg.)_____
26. Building permits shall not be issued unless the project complies with all applicable codes, ordinances, and statutes including, but not limited to, the Zoning Ordinance, Grading Code, Security Ordinance, Transportation Demand Ordinance, Water Quality Ordinance, Title 24 of the California Code of Regulations as adopted by the City including, but not limited to the California Administrative, Building, Electrical, Plumbing, Mechanical, Energy, Green, and Fire Codes. *[S.C.M.C – Title 8 – Chapter 8.16 – Fire Code, Title 15 Building and Construction Chapters 15.08, 15.12, 15.16, 15.20, 15.21, Title 16 Subdivisions, Title 17 Zoning]* (Bldg.)_____
27. Prior to the issuance of building permits, the owner or designee shall submit plans that identify the intended use of each building or portion of building and obtain approval of the Building Official. *[S.C.M.C – Title 15 – Chapter 15.08]* (Bldg.)_____
28. Prior to the issuance of building permits, the owner or designee shall pay all applicable development fees in effect at the time, which may include, but are not limited to, Regional Circulation Financing and Phasing Program (RCFPP), park acquisition and development, water and sewer connection, drainage, Public Facility Construction, transportation corridor, Avenida La Pata Supplemental Road Fee and school fees, etc. *[S.C.M.C. – Title 15 Building and Construction, Chapters 15.52, 15.56, 15.60, 15.64, 15.68, 15.72]* (Bldg.)_____
29. Individual temporary tents associated with special event or special activity permits not exceeding 120 square feet are exempt from a building permit provided individual tents are separated by at least 12 feet or groupings of individual tents without the required separation do not exceed an aggregate area of 700 square feet. *[S.C.M.C – Title 15 Building Construction]* (Bldg.)_____
30. Temporary stages and platforms associated with special event or special activity permits not more than 30 inches above adjacent grade with an aggregate area not exceeding 120 square feet are exempt from a building permit, provided the stage does not contain any overhead structures. *[S.C.M.C – Title 15 Building Construction]* (Bldg.)_____

31. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, plan check fees shall be submitted for the Engineering Department plan check of soils reports and grading plans. *[Citation – Fee Resolution No. 08-81 and Section 15.36 of the SCMC]* (Eng.)_____
32. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner or designee shall submit for review, and shall obtain the approval of the City Engineer or designee for, a soils and geologic report prepared by a registered geologist and/or geotechnical engineer which conforms to City standards and all other applicable codes, ordinances and regulations. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
33. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the City Engineer shall determine that development of the site shall conform to general recommendations presented in the geotechnical studies, including specifications for site preparation, treatment of cut and fill, soils engineering, and surface and subsurface drainage. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
34. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner or designee shall submit for review, and obtain the approval of the City Engineer, a precise grading plan, prepared by a registered civil engineer, showing all applicable onsite improvements, including but not limited to, grading, building pad grades, storm drains, sewer system, retaining walls, water system, etc., as required by the City Grading Manual and Ordinance. *[Citation – Section 15.36 of the SCMC]* (Eng.)_____
35. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner shall demonstrate to the satisfaction of the City Engineer that the project meets all requirements of the Orange County National Pollutant Discharge Elimination System (NPDES) Storm Drain Program, and Federal, State, County and City guidelines and regulations, in order to control pollutant run-off. The owner shall submit for review, and shall obtain approval of the City Engineer for, plans for regulation and control of pollutant run-off by using Best Management Practices (BMP's). *[Citation – Section 13.40 of the SCMC]* (Eng.)_____
36. Prior to the issuance of any permits, in the event that Grading Plans are required due to anticipated soil processing placing or recompacting 50 cubic yards of soil or more, the owner shall provide surety, improvement bonds, or irrevocable letters of credit for performance, labor and materials as determined by the City Engineer for 100% of each estimated improvement cost plus a 10% contingency, as prepared by a registered civil engineer as required and approved by the City Attorney or the City Engineer, for each applicable item, but not limited to, the

following: grading earthwork, grading plan improvements, retaining walls, frontage improvements; sewer lines; water lines; storm drains; and erosion control. *[Citation – Section 15.36 of the SMC]* (Eng.)_____

37. Prior to issuance of any permits for applicable projects with building permit valuations exceeding \$50,000, the owner or designee shall submit for review, and shall obtain the approval of the City Engineer or designee for frontage improvement plans. The owner or his designee shall be responsible for the construction of all required frontage and onsite improvements as approved by the City Engineer including but not limited to the following: *[Citation – Section 15.36, 12.08.010, and 12.24.050 of the SMC]* ■ (Eng.)_____

A. Per City Municipal Code Section 12.08.010 (A) when building permit valuations exceed \$50,000, unless a waiver is obtained from the City Manager, the owner or designee shall construct sidewalk along the property frontage. This includes installation of sidewalk around the drive approach. Since the street right-of-way is approximately 15 feet behind the curbface, a sidewalk easement is not expected to be required to be granted to the City for the sidewalk.

B. Existing improvements within the street right of way that conflict with the necessary sidewalk installation shall be removed.

C. An Engineering Department Encroachment Permit is required for any work in the public right-of-way.

38. Prior to the issuance of any permits, the applicant shall obtain the approval of the City Engineer of an Administrative Encroachment Permit, for any improvements within the City’s existing storm drain easement that exist within the proposed playground area. *[Citation – Section 12.20 of the SMC]* ■ ■ (Eng.)_____

* All Conditions of Approval are standard, unless indicated as follows:

■ Denotes a modified standard Condition of Approval

■■ Denotes a Project specific Condition of Approval



Design Review Subcommittee (DRSC)

Meeting Date: August 13, 2014

PLANNER: Adam Atamian, Assistant Planner

SUBJECT: **Conditional Use Permit 14-266/ Minor Architectural Permit 14-267, Gratitude Garden Preschool**, a request to consider a new preschool located at 92 Avenida La Pata in the Neighborhood Commercial zone of the Rancho San Clemente Specific Plan with a playground located on an adjacent 2,883 square foot portion of City-owned property zoned Open Space in the Forster Ranch Specific Plan.

BACKGROUND:

Project Description

The applicant proposes to establish a new preschool in an existing commercial structure previously occupied by Stirling Real Estate. As part of the preschool, the project involves the installation of a new playground area that is partially located on an adjacent City-owned parcel. A condition of approval will require the execution of a lease agreement for the use of the City-owned property. Site improvements include a new playground area consists of small accessory structures made of natural materials, decomposed granite paths, new perimeter fencing, and new landscaping. No modifications are proposed to the building.

Why is DRSC Review Required?

The project requires a Minor Architectural Permit because the project includes modifications to a nonresidential site, pursuant to Municipal Code Table 17.16.100.A. The purpose of DRSC review is to review the site plan and new structures for compliance with the General Plan Urban Design Element and the Forster Ranch and Rancho San Clemente Design Guidelines.

Site Data

The project site is located on two lots. The first portion of the project is an 18,008 square foot lot located at 92 Avenida La Pata within the Rancho San Clemente (RSC) Specific Plan. This lot is developed with a 3,700 square foot commercial building and a parking lot. The second part of the project site is a 2,883 square foot portion of a 161,856 square foot City-owned lot directly north of the first lot, which is located within the Forster Ranch (FR) Specific Plan. The proposed playground is located on both lots.

ANALYSIS:

The first part of the project involves the installation of decomposed granite (DG) paths over the existing grass area behind the building. The DG would be compacted and a hardener applied to create a firm walking surface that is accessible to all users. The installation of these paths does not require grading. Both the FR and RSC Specific Plans encourage the use of decorative paving for interior project pedestrian areas, such as "brick, tile, pavers, stamped concrete, or similar materials." The use of DG paths complies with this design criteria, while providing a surface that does not require intensive site alterations to provide playground accessibility.

The second part of the project involves the installation of new playground equipment. These small accessory structures include a ten foot tall black-painted metal gazebo, a seven foot tall brushed iron garden arbor, and multiple playground items less than four and a half feet tall such as a garden area, log stumps, a rowboat, a short climbing wall, and art easels. Images of those structures are provided on Sheet L-6 of the plans. The FR and RSC Specific Plans do not specifically discuss accessory structures on commercial sites. However, the Urban Design Element of the General Plan states that, "we require integration of outdoor spaces into the architectural and site designs by encouraging the use of courtyards, ... gardens, ... and other outdoor spaces enclosed by architectural or landscape elements." The gazebo and the arbor are compatible with the Spanish architectural style of the building because they are decorative metal structures that resemble black wrought iron. The rest of the structures are made of natural materials such as wood and stone, though they will not be highly visible from the street.

The third part of the project includes the installation of dark bronze tubular steel fencing. The fencing will match the five foot six inch tall fencing on site, extending it around the perimeter of the playground and connecting to the west corner of the building. This fencing maintains the site's compliance with the FR and RSC Specific Plans, which both state that, "view fences (e.g. wrought iron) should be used adjacent to scenic highways instead of wood fences."

The final aspect of the project involves new landscaping in the playground area and on the street side of the proposed fencing. The playground landscaping consists of the planting of three trees: a California Laurel, a Tulip Tree, and a Sycamore. These trees are described in more detail in Attachment 3, Playground Tree Specifications and Examples, which includes pictures of each type of tree and characteristics such as average height and crown width.

The landscaping on the street side of the proposed fencing outside the playground area consists of tall shrubs such as Bush Anemone, Wild Lilac, and Orchid Rockrose, the perennial Red Yucca, Deer Grass, and the succulent Octopus Agave. These plants are described in more detail in Attachment 4, Fencing Landscaping Specifications and Examples. This landscaping complies with the FR and RSC Specific Plans' stipulation that, "Landscaping should be integrated into wall design to soften wall appearance."

The FR and RSC Specific Plans do not require specific plant species for commercial properties. Instead, both documents contain general guidelines for plant selection. Both Specific Plans state that, "Consideration shall be given to reducing landscape maintenance and water consumption..." and "Within natural open space areas preference should be given to species native to the Southern California coastal region." With the exception of the Tulip Tree in the playground area, all of the proposed plant materials are native to California. While the FR and RSC Specific Plans do not specify plant materials on commercial property, Sycamores are required along the medians and parkways of Avenida La Pata, per the RSC Specific Plan Scenic Highways Plant Palette (Chapter 3.II.C). Additionally, none of the proposed landscaping is included in Appendix B, List of Invasive Plant Species, of the RSC Specific Plan.

RECOMMENDATIONS:

Staff is supportive of the applicants request and seeks DRSC comments and recommendations.

Attachments:

1. Location Map
2. Photos of Existing Conditions
3. Playground Tree Specifications and Examples
4. Fencing Landscaping Specifications and Examples Plans

Subcommittee Member Ruehlin stated that he would be in favor of a sign that could be dimmed or furthered shielded. Subcommittee Member Crandell stated that the project could be conditioned to require the sign to be lit as minimally as required to provide adequate visibility.

C. Conditional Use Permit 14-266/ Minor Architectural Permit 14-267, Gratitude Garden Preschool (Atamian)

A request to consider a new preschool located at 92 Avenida La Pata in the Neighborhood Commercial zone of the Rancho San Clemente Specific Plan with an outdoor playground located on an adjacent 2,883 square foot portion of City-owned property zoned Open Space in the Forster Ranch Specific Plan.

Assistant Planner Adam Atamian presented the staff report.

Subcommittee Member Darden asked if the applicants had any concern about the children eating the fruit of the proposed California Bay tree. Chris Kuczinsky, applicant, stated that the trees were selected by their landscape architect based on the approved plant list from the Orange County Fire Authority (OCFA). He and Dr. Dustine Rey, the other applicant, stated that they will look into that. Subcommittee Member Darden said that the tree would visually be beautiful but that the applicants may not want a tree nicknamed "the headache tree" in the playground.

Subcommittee Member Darden discussed a question she had regarding the existing fence that the applicants are proposing to extend. She stated that she had communicated with Mr. Atamian earlier, who stated that the fence on-site is a tubular steel fence, not wrought-iron as stated on the plans. She asked what the color of the fence was and will be. Mr. Atamian stated that the original color has faded, but that it was likely a dark bronze or tan. He went on to say that since the applicant will be adding onto the fence and will be painting the entire fence so that it all matches, they could repaint it the original color or update it to black. Subcommittee Member Darden stated that she would prefer black. Subcommittee Member Crandell stated that he is comfortable with an earth tone color.

Subcommittee Member Ruehlin asked for clarification about the boundary limits of the playground, and whether any part of the steep slope to the north of the site would be part of it. Mr. Atamian stated that the playground would be entirely located on the graded area at the top of the slope.

Subcommittee Member Ruehlin stated that he has concern about the project's consistency with the Forster Ranch Specific Plan landscaping requirements. Referring to Section 4 on page 3-6 of the Design Guidelines, he notes that for Scenic Highways, the document requires boundary

landscaping and berms. Mr. Atamian stated that it would be unfeasible to require a berm in this location as there is already a slope leading down from the sidewalk to the building, and there is a large storm drain running underneath the City-owned portion of the project area, and that the Engineering Division most likely would prefer not to have additional material resting on it. Mr. Kuczinsky stated that as far as tree planting around the property line, the OCFA is very specific about what is allowed in a fuel modification zone, and the plans they submitted show the extent of what would be permitted. Subcommittee Member Ruehlin asked that this issue be addressed in the staff report to the Planning Commission to explain the overriding situations in this area.

Subcommittee Member Crandell stated that he has concerns about the justification to allow open space to be used as a private playground. Mr. Atamian stated that the Forster Ranch Specific Plan does not separate public and private open space, and that the City Planner has deemed a private playground a similar use to other conditionally permitted uses in the zone such as parks, and recreation centers.

Subcommittee Member Crandell asked about the access in the parking lot and how the pick-up and drop-off times may create significant traffic issues. Dr. Rey explained that at other preschools she has worked at, a good solution is to provide a drop-off zone that is coned-off along the curb so that two or three parents can quickly stop, sign in their kids, and leave without having to park their cars. Subcommittee Member Crandell stated that his concern at this location is that if there are more than three cars waiting, that any back-up will spill out onto an arterial highway. He suggested that the City Engineer review parking and access.

Subcommittee Member Crandell asked if the City owned the property directly south of the parking lot with the access road. Mr. Atamian stated that the property is part of the Talega Courtyards shopping center at the corner of Avenida Pico and Avenida La Pata. He said that the OCFA easement shown on the plans most likely extends south to cover the access road. Subcommittee Member Crandell stated that the applicants should investigate the feasibility of connecting the parking lot to the access road so that the flow of traffic comes in one entrance and out the other.

Subcommittee Member Darden asked Mr. Atamian whether the parkway trees are the responsibility of the City or the property owner. Mr. Atamian stated that the property owner is responsible for all landscaping up to the street, even if on the public right-of-way. Subcommittee Members Darden and Ruehlin both noted that there are no trees along the street in front of the property at 92 La Pata. Mr. Atamian stated that he would look into the absence of trees in that area.

The DRSC is supportive of the project in terms of its design, and stated that the project is ready to move to the Planning Commission once staff has completed the research requested regarding the justification for the use of open space, the landscaping of the scenic highway and property boundaries, and the ability to tie the parking lot into the access road.

3. NEW BUSINESS

None

4. OLD BUSINESS

None

5. ADJOURNMENT

Adjourn to the Regular Meeting of the Design Review Subcommittee to be held August 27, 2014 at 2:00 p.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Photos of Existing Conditions



ATTACHMENT 4





LOCATION MAP

Conditional Use Permit 14-266/ Minor Architectural Permit 14-267,
Gratitude Garden Preschool
92 Avenida La Pata, and a portion of APN 678-164-01 (City-owned)



GRATITUDE GARDEN PRESCHOOL

"Where Growing Minds Thrive"

92 AVENIDA LA PATA

SAN CLEMENTE, CALIFORNIA 92672

PROJECT DATA:

ADDRESS:
92 Avenida La Pata
SAN CLEMENTE CA. 92672

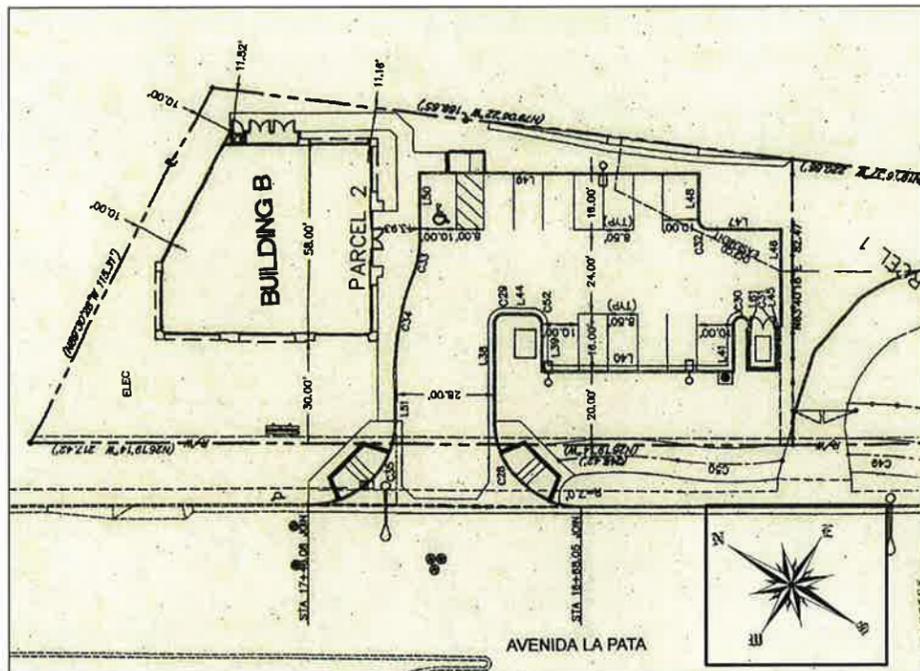
APPLICANT:
Chris Kuczynski
858. 413. 6062



environment 5
LANDSCAPE ARCHITECTURE
PLANNING
DESIGN

3000 COLLEGEWAY
SAN JOSE, CALIFORNIA 95128
OFFICE/FAK: 415.946.1110

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PREVIOUS APPROVED ENGINEERS PLAN



SITE PLAN

SHEET INDEX:

- L-1 TITLE SHEET
- L-2 CONSTRUCTION PLAN
- L-3 PLANTING PLAN
- L-4 12V LIGHTING PLAN AND DRAINAGE PLAN
- L-5 DRIP IRRIGATION PLAN
- L-6 PLAY EQUIPMENT DETAILS
- L-7 PLANTING/ IRRIGATION DETAILS/ SOIL REPORT
- L-8 SPECIFICATIONS SHEET
- A-1 INTERIOR FLOOR PLAN

SIGNATURE BLOCK

City Engineer (Director of Public Works)	Date
City Landscape Architect	Date
City Building Official	Date
Fire Protection Analyst	
SUBMITTAL DATES	
First Submittal Date	
Second Submittal Date	
Third Submittal Date	

GRATITUDE GARDEN PRESCHOOL
92 AVENIDA LA PATA SAN CLEMENTE,
CALIFORNIA 92672

TITLE SHEET

GRATITUDE GARDEN

project number
08-20-14
date
AS SHOWN
scale
THH
design by
drawn by
checked by

revisions		
no.	date	description
1	8-06-14	revised layout per client

Sheet Number
L-1
of 8 sheets



A STEPPING STUMPS (SET OF 4)
 \$245.95 REAL LOG STUMPS ARE 16" W/
 D X 8" TO 14" HIGH NATURAL STEPPING
 STUMPS.
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



B GARDEN AREA
 \$409.00
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



C 3 TIERED COLLECTION TABLE
 \$409.00
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



D STANDARD BENCH SIZE IS 4' LONG, BUT WIDTH MAY VARY
 FROM 10" TO 12" OR WIDE
 \$214.95
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E HAMMOCK, CHILD UP TO 8 YEARS W/ POSTS
 THE ACTUAL HAMMOCK "BED" MEASURES 34" X 45". THE ROPES EXTENDING OUT
 EITHER END TO THE RINGS THAT FASTEN TO THE SUPPORT POSTS ADD
 ADDITIONAL LENGTH TO THE WHOLE PACKAGE. RING TO RING MEASURES 41", SO
 THE INSIDE FACES OF YOUR SUPPORT POSTS WOULD BE 41" APART. HAMMOCK,
 CHILD UP TO 8 YEARS W/ POSTS
 \$273.95
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



F WOODEN ART EASELS WITH
 TRANSPARENT LEXAN PANELS
 STANDARD SIZE ART PANELS FOR
 CHILDCARE CENTERS ARE A 2'-7" W X
 4'-8" H FRAME WITH 3"-7" W X 3'-8"
 1/2" CLEAR POLYCARBONATE PANEL
 AND A SHELF 12" OFF THE GROUND.
 \$440.95
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G LOG SEESAW
 \$278.00
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



H A FRAME CLIMBING WALL & SCRAMBLE NET (FRONT/BACK)
[HTTP://WWW.ESLINFO.COM/SSP-SPECIALISED-SPORTS-PRODUCTS/A-FRAME-CLIMBING-WALL-SCRAMBLE-NET-/R-PROFILE-109338-CT47AL](http://www.eslinfo.com/SSP-SPECIALISED-SPORTS-PRODUCTS/A-FRAME-CLIMBING-WALL-SCRAMBLE-NET-/R-PROFILE-109338-CT47AL)



I ROWBOAT
<https://www.naturalplaygroundstore.com/detail2.php?rcid=236>



J BRUSHED IRON GARDEN ARBOR
 \$159
[HTTP://WWW.PLOWHEARTH.COM/BURNISHED-BRONZE-FINISHED-IRON-MONTEBELLO-GARDEN-ARBOR-WITH-GATE](http://www.plowhearth.com/burnished-bronze-finished-iron-montebello-garden-arbor-with-gate)



K SUNJOY VISTA GAZEBO
 LENGTH (IN): 346 WIDTH (IN): 344
 BASE SIZE: 34 FT. X 34 FT. HEIGHT (IN): 588 CLEARANCE (IN): 84
 \$3,499.00
WWW.SEARSON.COM



L LIFETIME 6' FOLDING PICNIC TABLE
 \$289.99
 DIMENSIONS (OPEN): 72" L X 30" W X 29" H
 DIMENSIONS (FOLDED): 72" L X 57" W X 4"
[HTTP://WWW.COSTCO.COM/LIFETIME-6327-FOLDING-PICNIC-TABLE.PRODUCT.30085386.HTM](http://www.costco.com/lifetime-6327-folding-picnic-table.product.30085386.htm)



environment 5
 LANDSCAPE ARCHITECTURE
 PLANNING
 DESIGN

1800 CALIFORNIA
 207 WEST CALIFORNIA, SUITE
 0771077321 949.948.8118

No warranty and the design, time and nature of construction
 shall not be the liability of the architect. The architect
 shall not be responsible for the construction of the
 project. The architect shall not be responsible for the
 safety of the project or the safety of the user. The architect
 shall not be responsible for the safety of the user.

GRATTITUDE GARDEN PRESCHOOL
 92 AVENIDA LA PATA SAN CLEMENTE,
 CALIFORNIA 92672

CONSTRUCTION DETAILS

GRATTITUDE GARDEN

project number
 08-06-14
 date
 AS SHOWN
 scale
 THH
 design by
 drawn by
 checked by

revisions

no.	date	description
1	8-06-14	revised layout per client

Sheet Number
 L-6
 of 8 sheets

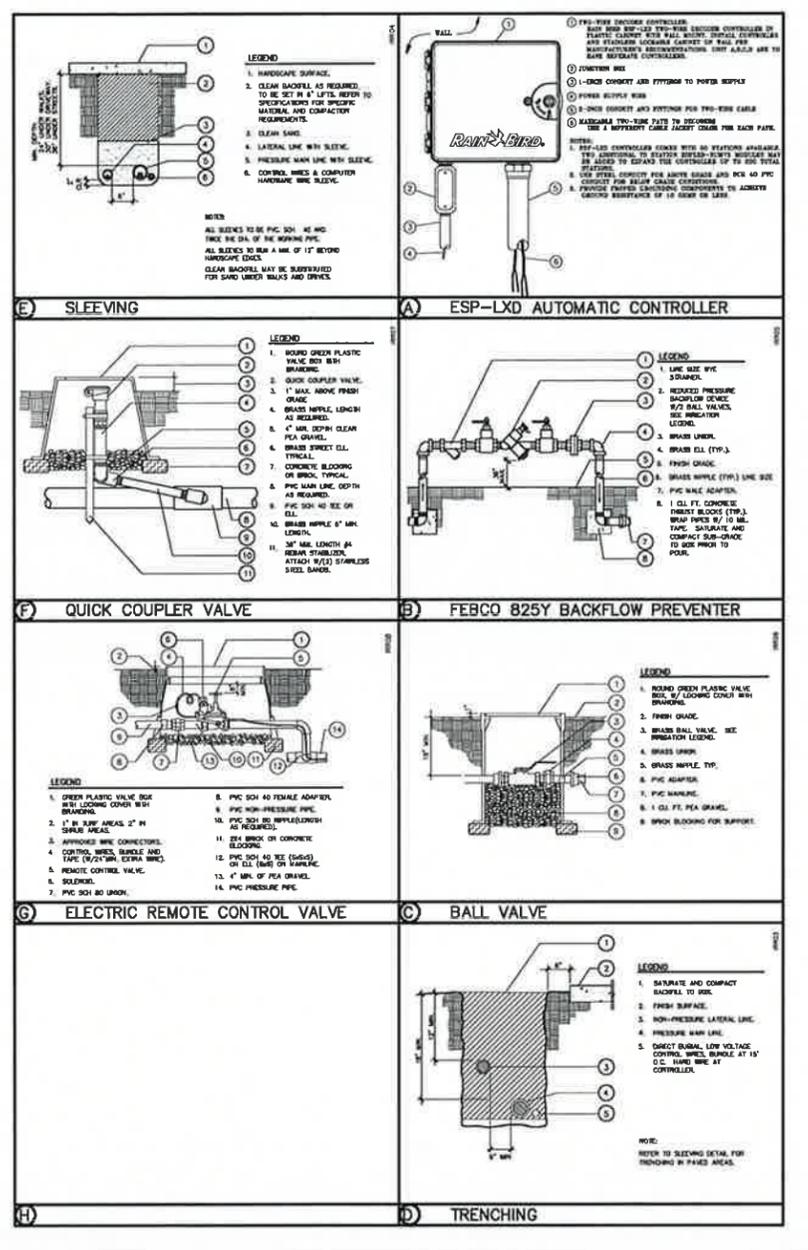
IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

- 1.01 SCOPE
 - A. FURNISH LABOR, MATERIALS, EQUIPMENT, TESTS, WATER CONNECTIONS, INSPECTIONS, APPROVALS AND CLEANUP TO COMPLETE PLANTING WORK AS INDICATED AND SPECIFIED.
- 1.02 GENERAL CONDITIONS
 - A. THE IRRIGATION DESIGN AS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL VERIFY THE DIMENSIONS.
 - B. DO NOT INSTALL THE IRRIGATION SYSTEM UNLESS ALL DIMENSIONS, GRADE DIFFERENCES OR DISCREPANCIES WERE AREA DIMENSIONS EXIST. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND NOTIFY IN WRITING THE LANDSCAPE ARCHITECT. IF MODIFICATION IS NOT PERMITTED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISIONS.
 - C. COORDINATE INSTALLATION OF IRRIGATION WORK TO AVOID CONFLICTS WITH PLUMBING, UTILITIES, ENGINEERING AND ARCHITECTURAL FEATURES.
 - D. PROTECT EXISTING OR NEW BUILDINGS, SINKS, PLANTING, WALLS AND OTHER PROPERTY FROM DAMAGE. PLUMBING AND BARRICADE OPEN TRENCHES.
 - E. PROJECT INSTALLED CONTRACT WORK AND WORK OF OTHERS. CONTRACTOR SHALL REPAIR OR REPAIR DAMAGE TO GRASSING, SOIL PREPARATION, SEEDING, SOODING, AND PLANTING DURING WORK ASSOCIATED WITH THE INSTALLATION OF IRRIGATION SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
 - F. APPLY AND PAY FOR NECESSARY PERMITS AND FEES REQUIRED IN PURSUIT OF WORK AS REQUIRED BY GOVERNING AGENCIES.
 - G. LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO A PORTION OF THIS WORK ARE HEREBY MADE A PART OF THESE SPECIFICATIONS.
 - H. KEEP PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK DURING CONSTRUCTION AND MAINTENANCE PERIOD. BROOD CLEAN ALL PAVED AREAS.
 - I. NOTE ALL FINISH GRADES BEFORE COMMENCING WORK. RESTORE FINISH GRADES DAMAGED DURING COURSE OF THIS WORK TO ORIGINAL OR BETTER CONDITION WHERE PRACTICABLE.
- 1.03 SUBMITTALS
 - A. RECORD DRAWINGS
 - 1. REPRODUCE ONE SET OF THE DRAWINGS ON GRID PAPER OF THE ORIGINAL IRRIGATION DESIGN FROM OWNER AND RECORD WORK AS ACCURATELY RECORDED.
 - 2. MAKE CHANGES TO DRAWINGS IN PINK (NO BALFOUR PEN).
 - 3. MAINTAIN RECORD DRAWINGS IN ONE COPY. ONE COPY TO BE BROUGHT UP TO DATE WEEKLY.
 - 4. TURN OVER RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE BEFORE THE END OF THE SPECIFIED MAINTENANCE PERIOD.
 - 5. MAINTAIN RECORD DRAWINGS FROM TWO FORWARD POINTS OF REFERENCE (BUILDINGS, MONUMENTS, FENCELINES, CURBS).
 - 6. CONNECTIONS TO EXISTING WATER LINES.
 - 7. LOCATIONS OF QUICK COUPLERS AND SPRINKLER CONTROL VALVES.
 - 8. ROUTING OF SPRINKLER PRESSURE LINES.
 - 9. ROUTING OF ELECTRICAL WIRING.
 - B. CONTROLLER CHARTS
 - 1. SUBMIT RECORD DRAWINGS WITH CHANGES TO THE OWNER'S REPRESENTATIVE BEFORE THE CHARTS ARE PREPARED.
 - 2. REPRODUCE RECORD DRAWINGS TO FIT THE CONTROLLER'S COVER. REPRODUCE AS A BLACKLINE PRINT AND COLOR CODE AREA OF COVERAGE FOR EACH STATION.
 - 3. SEAL CHART BETWEEN THE PIECES OF PLASTIC.
 - 4. PROVIDE ONE CHART FOR EACH CONTROLLER SHOWING THE AREA COVERED BY THAT CONTROLLER.
- 1.04 GUARANTEE
 - A. THE SITE SPRINKLER SYSTEM, INCLUDING ALL WORK DONE UNDER THE CONTRACT, SHALL BE GUARANTEED IN WRITING TO THE OWNER AS TO MATERIAL AND WORKMANSHIP. THIS IS TO INCLUDE SETTING OF BACKFILL AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE SPECIFIED MAINTENANCE PERIOD DURING DATE. THIS DATE SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE AFTER REVIEW OF THE SPECIFIED IRRIGATION WORK. IF DAMAGE TO THE IRRIGATION SYSTEM AND SITE OCCURS DUE TO FAULTY MATERIALS OR WORKMANSHIP, IMMEDIATELY REPAIR DAMAGE AT NO COST TO OWNER.

PART 2 - PRODUCTS

- 2.01 QUANTITIES
 - A. PROVIDE NEW MATERIALS AND EQUIPMENT OF BEST RECOMMENDED QUALITY OBTAINABLE, WHICH COMPLY WITH DRAWINGS AND SPECIFICATIONS.
 - B. NO SUBSTITUTION OF SPECIFIED MATERIAL OR EQUIPMENT SHALL BE MADE WITHOUT REVIEW BY OWNER PRICE AND ASSOCIATES.
- 2.02 IRRIGATION EQUIPMENT
 - A. INCLUDES, BUT IS NOT LIMITED TO, QUICK COUPLING VALVES, HOSE BIBBS, CONTROL VALVES, CHECK VALVES, GATE VALVES, BACKFLOW PREVENTION DEVICES, AUTOMATIC CONTROLLERS AND IRRIGATION HEADS. TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE LEGEND.
- 2.03 PLASTIC PIPE AND FITTINGS
 - A. PRESSURE LINES, SOLVENT WELDED TYPE, PVC CLASS 315 26 INCHES AND LARGER, SOLVENT WELDED TYPE PVC SCH 40 FOR 2 INCHES AND SMALLER.
 - B. NON-PRESSURE LINES, SOLVENT WELDED TYPE PVC CLASS 200.
 - C. PIPE SHALL BE MADE FROM NSF APPROVED, TYPE I, GRADE 8 PVC COMPOUND CONFORMING TO ASTM REFIN SPECIFICATION D743. PIPE SHALL MEET REQUIREMENTS SET FORTH IN FEDERAL SPECIFICATION PS-21-70 WITH AN APPROPRIATE STANDARD DIMENSION RATIO.
 - D. PIPE SHALL BEAR THE FOLLOWING MARKINGS: MANUFACTURER'S NAME, NOMINAL PIPE SIZE, SCHEDULE OR CLASS, PRESSURE RATING IN PSI, NSF APPROVAL AND DATE OF EXTRUSION.
 - E. FITTINGS, SOLVENT WELDED TYPE PVC SCH 40, 1-2, 1-1/2 NSF APPROVED SHALL CONFORM TO ASTM TEST PROCEDURE D 2456.
 - F. FITTINGS SHALL BEAR THE MANUFACTURER'S NAME OR TRADEMARK, MATERIAL DESIGNATION, SIZE, APPLICABLE U.P.S. SCHEDULE AND NSF APPROVAL.
 - G. SOLVENT CEMENT AND PRIMER SHALL BE OF TYPE AND INSTALLATION PER THE MANUFACTURER.
 - H. PIPE UNDER AC PAVING SHALL BE PVC MINIMUM SCH 40.
- 2.04 OTHER PIPE AND FITTINGS
 - A. LOW VOLUME/VOLUME DRIP TUBING SHALL BE MANUFACTURED OF POLYETHYLENE GLYCOL COMPOUND, CONFORMING TO ASTM D2000N, D380 AND D1090.
 - B. BRASS PIPE SHALL BE BRASS AND SCH. 40 SCHEDULE PIPE WITH FITTINGS MEDIUM BRASS, SCHEDULE 120 LB. CLASS.
 - C. COPPER PIPE SHALL BE TYPE K HARD TEMPERED IN ACCORDANCE WITH ASTM B36M. FITTINGS ARE WROUGHT COPPER SOLDER JOINT TYPE.
 - D. GALVANIZED PIPE - GALVANIZED PIPE SHALL BE CAREFULLY CLEANED PRIOR TO INSTALLATION. ALL FITTINGS TO BE WELDED OR FLANGE FITTINGS. ALL CAST IRON SHALL BE RUST-COATED AND EXPOSED PORTIONS PAINTED GREEN.
- 2.05 CONTROL WIRING
 - A. USE DIRECT BURIAL COVER WIRE AND-UF, 600 VOLT. SIZE SHALL BE #14 OR LARGER. COMMON WIRE TO BE WHITE, CONTROL WIRE TO BE COLOR CODED.
 - B. SOLDER SPLICES, USE SCOTCH-LOK SEALING PACKS OR FENITE WIRE CONNECTORS.
 - C. CONFORM TO UNDERWRITERS LABORATORIES (UL) - UL WIRES AND CABLES.
- 2.06 VALVE BOX
 - A. INSTALL ONE (1) VALVE BOX FOR EACH TYPE OF VALVE INSTALLED AS DETAIL. FLUSH WITH GRADE FOR ALL SODDED LAWN AREAS AND 1/2" ABOVE GRADE FOR SETTED LAWN AREAS. ALL SODD AND GRASS COVER AREAS ARE TO BE FLUSH WITH TOP OF MOUND.
 - B. USE 8 INCH DIAMETER X 24 INCHES DEEP, ROUND, GREEN PLASTIC BOX WITH COVER MARKED "WATER" FOR DATE VALVES.
 - C. USE 8 INCHES WIDE X 11 INCHES LONG X 16 INCHES DEEP RECTANGULAR, GREEN PLASTIC BOX WITH BOND-ON COVER MARKED "CONTROL VALVE" FOR ELECTRICAL CONTROL VALVES.
 - D. VALVE BOX RINGS, LETTER AND NUMBER SHALL BE NO SMALLER THAN 1" AND NO GREATER THAN 1-1/2". DEPTH OF BRANDING IS TO BE NO MORE THAN 1/8" INTO VALVE LID AS FOLLOWS:
 - 1. ELECTRICAL CONTROL VALVES - BRAND CONTROLLER LETTER AND STATION NUMBER.
 - 2. QUICK COUPLING VALVES - BRAND "Q.C."
 - 3. WIRE SPLICES - BRAND "W.S."
 - 4. DRIP TUBING BLOW-OUT STOPS - BRAND CONTROLLER LETTER AND STATION NUMBER.
 - 5. GATE VALVES - BRAND "G.V."
- 2.07 TRENCHING
 - A. IF NO DETAIL IS PROVIDED FOR WORK UNDER THIS CONTRACT, INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS OR RECOMMENDED STANDARD PRACTICE. SUBMIT RECOMMENDED PROCEDURES TO OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- 2.08 WATER SUPPLY
 - A. CONNECT IRRIGATION SYSTEM TO POC AT APPROXIMATE LOCATIONS SHOWN ON DRAWINGS.
 - B. ALLOW FOR MINOR CHANGES AT POC CAUSED BY ACTUAL SITE CONDITIONS.
 - C. VERIFY AVAILABLE WATER PRESSURE BEFORE CONSTRUCTION. IF PRESSURE IS NOT SUFFICIENT TO OPERATE SYSTEM AS DESIGNED, BRING THIS TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE. IF MODIFICATION IS NOT PERMITTED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISIONS.
- 2.09 ELECTRICAL SUPPLY
 - A. PROVIDE POWER AND CONNECTIONS TO THE AUTOMATIC CONTROLLER(S) ON ANY OTHER ITEM SHOWN IN THE IRRIGATION LEGEND OR ON THE IRRIGATION DRAWINGS.
 - B. COMPLY WITH APPLICABLE CODES AND ORDINANCES.
 - C. PRIOR TO ANY INSTALLATION OF IRRIGATION EQUIPMENT REQUIRING ELECTRICAL POWER, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF REQUIRED ELECTRICAL SOURCE FOR SUCH IRRIGATION ITEMS IS NOT NEARLY ACCESSIBLE AT THE LOCATION(S) AS SHOWN ON THE DRAWINGS. FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE WILL RESULT IN THE CONTRACTOR BEARING FULL RESPONSIBILITY IN PROVIDING ELECTRICAL POWER AS REQUIRED.
- 2.10 TRENCHING
 - A. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT INDICATED BY DRAWINGS.
 - B. MAINTAIN DRAIN REQUIREMENTS: PROVIDE 18 INCHES OF COVER FOR PRESSURE SUPPLY LINES AND CONTROL LINES, 12 INCHES OF COVER FOR NON-PRESSURE LINES AND 24 INCHES OF COVER FOR LINES BETWEEN THE TOP OF THE PIPE OR SLEEVE AND THE BOTTOM OF THE ADJACENT ROADWAY OR BASE MATERIAL. INSTALLED UNDER PAVING, UNLESS CALLED OUT OTHERWISE ON DRAWINGS OR AS PER CITY OR COUNTY REQUIREMENTS.
- 2.11 PIPING UNDER PAVING
 - A. PROVIDE FOR A MINIMUM COVER OF 24 INCHES, OR AS PER CITY OR COUNTY REQUIREMENTS, BETWEEN THE TOP OF THE PIPE AND THE BOTTOM OF THE ADJACENT ROADWAY BASE FOR ALL PRESSURE AND NON-PRESSURE PIPING INSTALLED UNDER ASPHALTIC CONCRETE OR CONCRETE PAVING.
 - B. PIPING SHALL BE SET WITH CONSTRUCTION GRADE SAND OR SOLODOL - 4 INCHES BELOW PIPE TO 6 INCHES ABOVE PIPE AND WIDTH OF LIGATION.
 - C. COMPACT SAND MATERIAL IN 4 INCH LIFTS AT 150 LB PER SQUARE FOOT WEIGHT IN ACCORDANCE WITH ASTM D 1557 USING MANUAL OR MECHANICAL TAMPING DEVICES.
 - D. SET IN PLACE, CARE AND PREASURE TEST ALL PIPING UNDER PAVING IN PRESENCE OF OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING AND PAVING OPERATIONS.
 - E. PIPING UNDER EXISTING PAVING OR CONCRETE PAVEMENT SHALL BE DONE BY JACKING, BORING, OR HYDRAULIC DRIVING, BUT NEVER CUTTING OR BREAKING OF WALKS AND/OR CONCRETE IS NECESSARY, IT SHALL BE DONE AND REPLACED AT NO COST TO OWNER. OBTAIN PERMISSION AND PRIOR APPROVAL TO CUT OR BREAK WALKS AND/OR CONCRETE PAVEMENT.
- 2.12 WATER SUPPLY AND POINT OF CONNECTION - WATER SUPPLY SHALL BE EXTENDED AS SHOWN FROM WATER SUPPLY LINES.
- 2.13 CONTROL WIRING
 - A. INSTALL WIRING IN SAME TRENCH AS PRESSURE SUPPLY LINES WITH WIRES CONSISTENTLY LOCATED BELOW AND TO THE RIGHT OF THE PIPE OR IN SEPARATE TRENCHES. WALKWAY WIRES SHALL BE TAPED TOGETHER AT INTERVALS OF 10 FEET.
 - B. NO SPLICES SHALL BE MADE BETWEEN CONTROLLER AND REMOTE CONTROL VALVE.
 - C. PROVIDE A 1/2 INCH DIAMETER BY 12 INCH LONG EXPANSION CURB WITHIN 3 FEET OF EACH WIRE SPLICE AND AT 100 FEET ON CENTER.
- 2.14 HYDROSTATIC PRESSURE TEST
 - A. NOTIFY OWNER'S REPRESENTATIVE. TESTING SHALL OCCUR PRIOR TO BACKFILL AND INSTALLATION OF CONTROL VALVES.
 - B. TEST ALL PRESSURE LINES UNDER HYDROSTATIC PRESSURE OF 100 P.S.I. FOR NOT LESS THAN FOUR HOURS. TEST ALL NON-PRESSURE LINES UNDER CISTING STATIC PRESSURE.
 - C. IF LEAKS DEVELOP, REPLACE JOINTS AND REPEAT TEST UNTIL SYSTEM IS SHOWN TO BE WATERPROOF.
 - D. FURNISH NECESSARY FORCE PUMP AND TEST EQUIPMENT.
- 2.15 BACKFILLING
 - A. MECHANICALLY COMPACT BACKFILL FOR TRENCHING TO DRY DENSITY EQUIVALENT TO ADJACENT UNDISTURBED SOIL, AND MEET ADJACENT GRADES WITHOUT SUMMER AREAS, HUMPS OR OTHER IRREGULARITIES.
 - B. PLACE 6 INCHES OR MORE OF CLEAN SOIL, FREE OF ROCKS, ROOT, ETC., AS INITIAL BACKFILL OF PRESSURE SUPPLY LINES.
 - C. PLACE FINE GRANULAR MATERIAL WITH NO FOREIGN MATTER LARGER THAN 1/8 INCH IN SIZE AS INITIAL BACKFILL ON ALL NON-PRESSURE LINES.
 - D. PLACE A MINIMUM OF 6 INCHES OF SAND OR PERKS LOCATED UNDER AREAS WHERE PAVING WILL BE INSTALLED. USE SPECIFIED INITIAL BACKFILL FOR REPAIRING BACKFILL NECESSARY.
 - E. INSTALL PIPING UNDER EXISTING WALKS BY JACKING OR BORING, IF CUTTING OR BREAKING OF WALKS IS NECESSARY, IT SHALL BE DONE AND REPLACED AS PART OF THIS CONTRACT. OBTAIN PERMISSION FROM OWNER'S REPRESENTATIVE BEFORE PROCEEDING.
 - F. THE TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED.
- 2.16 LINE CLEARANCE
 - A. LINES SHALL HAVE A CLEARANCE OF 6 INCHES OR MORE FROM EACH OTHER AND FROM LINES OF OTHER TRADES.
 - B. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER, NOR AGAINST THE SIDES OF THE TRENCH.
- 2.17 IRRIGATION EQUIPMENT, AS DEFINED ABOVE:
 - A. INSTALL AS PER DETAILS.
 - B. SPACING OF IRRIGATION HEADS SHALL NOT EXCEED MAXIMUM SPACING ON DRAWINGS.
 - C. RISER HEIGHTS FOR IRRIGATION HEADS SHALL BE LEVEL.
 - D. INSTALL SPRINKLER HEADS 12 INCHES OUT FROM LOW LYING WINDROWS.
 - E. DRAIN LINES WILL BE INSTALLED AT LOW POINTS IN THE PRESSURE SUPPLY LINE AND AS DETAIL.
- 2.18 ASSEMBLIES
 - A. INSTALL NO MULTIPLE ASSEMBLIES ON PLASTIC LINES. PROVIDE EACH ASSEMBLY WITH ITS OWN OUTLET.
 - B. PVC TO METAL CONNECTION SHALL BE BY PVC MALE THREAD ADAPTER FITTING SCREWED INTO METAL FEMALE FITTING.
 - C. TEFLON TAPE SHALL BE USED ON ALL THREADED PVC TO PVC AND PVC TO METAL JOINTS.
 - D. INSTALL ALL ASSEMBLIES SPECIFIED IN ACCORDANCE WITH RESPECTIVE DETAILS. IF THERE IS NO DETAIL, SHOW PERTAINING TO A SPECIFIC ITEM TO COMPLEX WORK, THEN USE THE BEST STANDARDS OF PRACTICE AVAILABLE WITH PRIOR APPROVAL.
- 2.19 ADJUSTING THE SYSTEM
 - A. AFTER IRRIGATION PRELINES AND HEADS ARE IN PLACE AND CONNECTED, AND PRIOR TO INSTALLATION OF IRRIGATION HEADS, OPEN CONTROL VALVES AND USE A FULL HEAD OF WATER TO FLUSH OUT SYSTEM.
 - B. ADJUST VALVES AND ALIGNMENT AND COVERAGE OF IRRIGATION HEADS. ADJUSTMENTS MAY INCLUDE CHANGING IN NOZZLE SIZE AND DEGREE OF ARC. THESE CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
 - C. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS OR AS REQUIRED FOR PROPER COVERAGE (SLOPES, ETC.).
- 2.20 OBSERVATION SCHEDULE
 - A. A PRE-JOB CONFERENCE SHALL BE REQUIRED BEFORE PROCEEDING WITH WORK UNDER THIS CONTRACT. AN OBSERVATION SCHEDULE SHALL BE DETERMINED AT THIS TIME FOR ALL WORK. OBSERVATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, ONE WALK-THRU FOR SUBSTANTIAL COMPLETION AT THE START OF THE 60-DAY MAINTENANCE PERIOD AND A WALK-THRU FOR FINAL COMPLETION AT THE END OF THE 60-DAY MAINTENANCE PERIOD. PRIOR TO THE SCHEDULED SUBSTANTIAL COMPLETION WALK-THRU, THE IRRIGATION SYSTEM SHALL BE FULLY INSTALLED AND OPERATIONAL. THE OWNER'S REPRESENTATIVE WILL GENERATE A CHECK LIST OF ITEMS TO BE CORRECTED PRIOR TO FINAL COMPLETION. THE OWNER'S REPRESENTATIVE, TO BE THE CONTRACTOR'S PERFORMANCE OR LACK OF PERFORMANCE, RESERVES THE RIGHT TO LENGTHEN OR SHORTEN THE 60 DAY MAINTENANCE PERIOD.
 - B. CONTACT OWNER'S REPRESENTATIVE 72 HOURS ON 3 WORKING DAYS IN ADVANCE OF EACH AGREED OBSERVATION OR CONFERENCE.
 - C. PRIOR TO FINAL WALK-THRU, THE CONTRACTOR SHALL FURNISH THE OWNER ALL THE "AS-BUILTS", EQUIPMENT, CHARTS, QUANTITIES, OR OTHER REQUIRED ITEMS SPECIFIED.



IRRIGATION DETAILS

COMPREHENSIVE SOIL ANALYSIS

Element	Unit	Value	Range
pH		6.5	5.5 - 7.5
EC	dS/m	0.2	0.1 - 0.5
NO ₃ -N	ppm	15	10 - 20
NH ₄ -N	ppm	2	0 - 5
PO ₄ -P	ppm	10	5 - 15
K	ppm	150	100 - 200
Ca	ppm	1500	1000 - 2000
Mg	ppm	100	50 - 150
Cu	ppm	0.5	0.1 - 1.0
Zn	ppm	0.5	0.1 - 1.0
B	ppm	0.5	0.1 - 1.0
Fe	ppm	100	50 - 150
Mn	ppm	10	5 - 15
Na	ppm	10	5 - 15
S	ppm	10	5 - 15

SOILS ANALYSIS

RESIDENTIAL & COMMERCIAL Low Flow. 0.25 to 4.4 GPM

LOW FLOW KIT WITH 1" CONTROL VALVE (1" FPT Inlet x 3/4" FPT Outlet) LVC28010075-LF

PLANTING NOTES

THESE DESIGN DRAWINGS ARE DIAGRAMMATIC, SHOWING TYPICAL LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.

ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE. CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL BROWN TREES OR SHRUBS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE NURSERY BY THE OWNER.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL FREE OF PEST OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR ON THE PLANS.

IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER OR GROUND COVER PLANT MATERIAL INSTALLATION.

THE APPROPRIATE SOIL AMENDMENT SHALL BE APPLIED TO ALL PLANTING AREAS PER THE SOIL AMENDMENT SCHEDULE ON THE PLANS. FINAL SOIL TESTS TO BE SUBMITTED AFTER ROUGH GRADING ON SITE.

CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WELDED OR HAS A DAMAGED ROOT BALL.

ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, SIZE AND TEXTURE DENSITY.

THE CROWN AREA OF TREES AND SHRUBS SHALL BE 2" HIGHER, AFTER SETTING, THAN ADJACENT FINISHED GRADE.

UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS, EXCLUDING TURF, TO BE TOP DRESSED WITH A 2" LAYER OF SMALL CORAL SANDFILL (WASH MASH) AFTER PLANTING IS COMPLETED. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIAL.

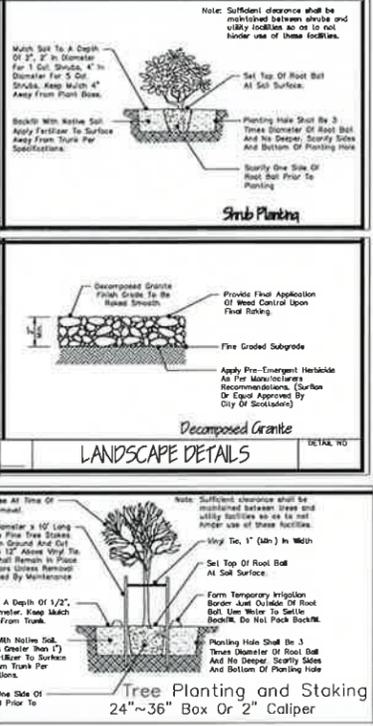
CONTRACTOR TO INCLUDE IN THE BID A PRICE FOR COMPLETE MAINTENANCE OF ALL WORK FOR 60 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ALL OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS AND CLEAN APPEARANCE.

CONTRACTOR SHALL REPLACE IN A TIMELY MANNER ALL PLANTS THAT ARE FOUND IN AN UNHEALTHY OR WEAKENED CONDITION, MISSING OR DEAD DURING THE 60 DAY MAINTENANCE PERIOD, EXCEPT TREES WHICH SHALL BE REPLACED ANY TIME DURING THE ONE YEAR GUARANTEE PERIOD.

CONTRACTOR TO INCLUDE IN THE BID A PRICE FOR COMPLETE MAINTENANCE OF ALL WORK FOR 60 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ALL OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS AND CLEAN APPEARANCE.

CONTRACTOR SHALL REPLACE IN A TIMELY MANNER ALL PLANTS THAT ARE FOUND IN AN UNHEALTHY OR WEAKENED CONDITION, MISSING OR DEAD DURING THE 60 DAY MAINTENANCE PERIOD, EXCEPT TREES WHICH SHALL BE REPLACED ANY TIME DURING THE ONE YEAR GUARANTEE PERIOD.

PLANTING DETAILS



2000 GARDEN PRESCHOOL
92 AVENIDA LA PATA SAN CLEMENTE, CALIFORNIA 92672
OFFICE/PHONE: 949.944.1110

GRATTUDE GARDEN PRESCHOOL
92 AVENIDA LA PATA SAN CLEMENTE, CALIFORNIA 92672

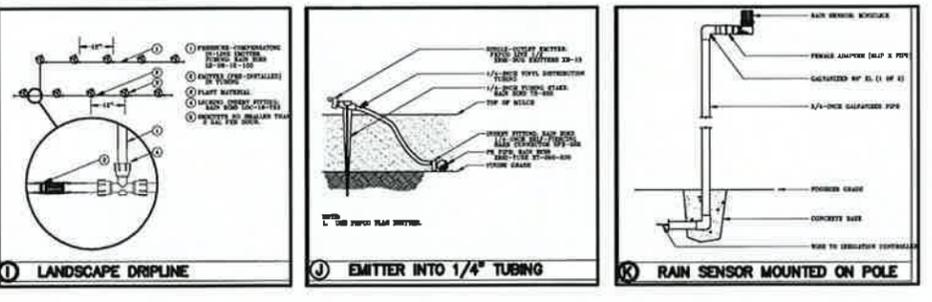
PLANTING / IRRIGATIONS DETAILS / SOIL REPORT

GRATTUDE GARDEN
project number
08-06-14
date
AS SHOWN
scale
THH
design by
drawn by
checked by

revisions

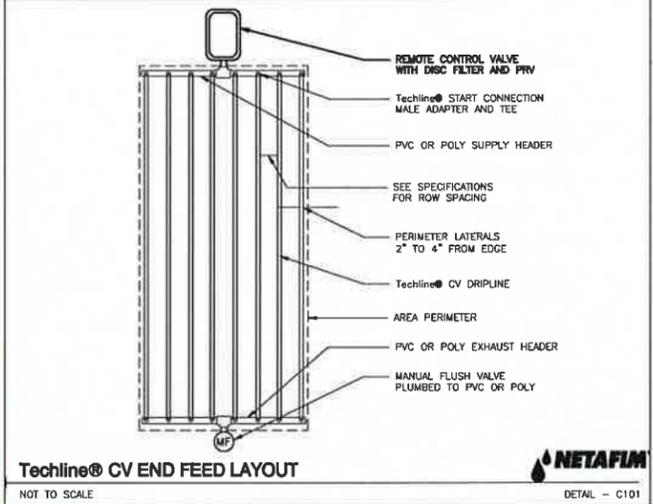
no.	date	description
1	8-06-14	revised layout per client

Sheet Number
L-7
of 8 sheets

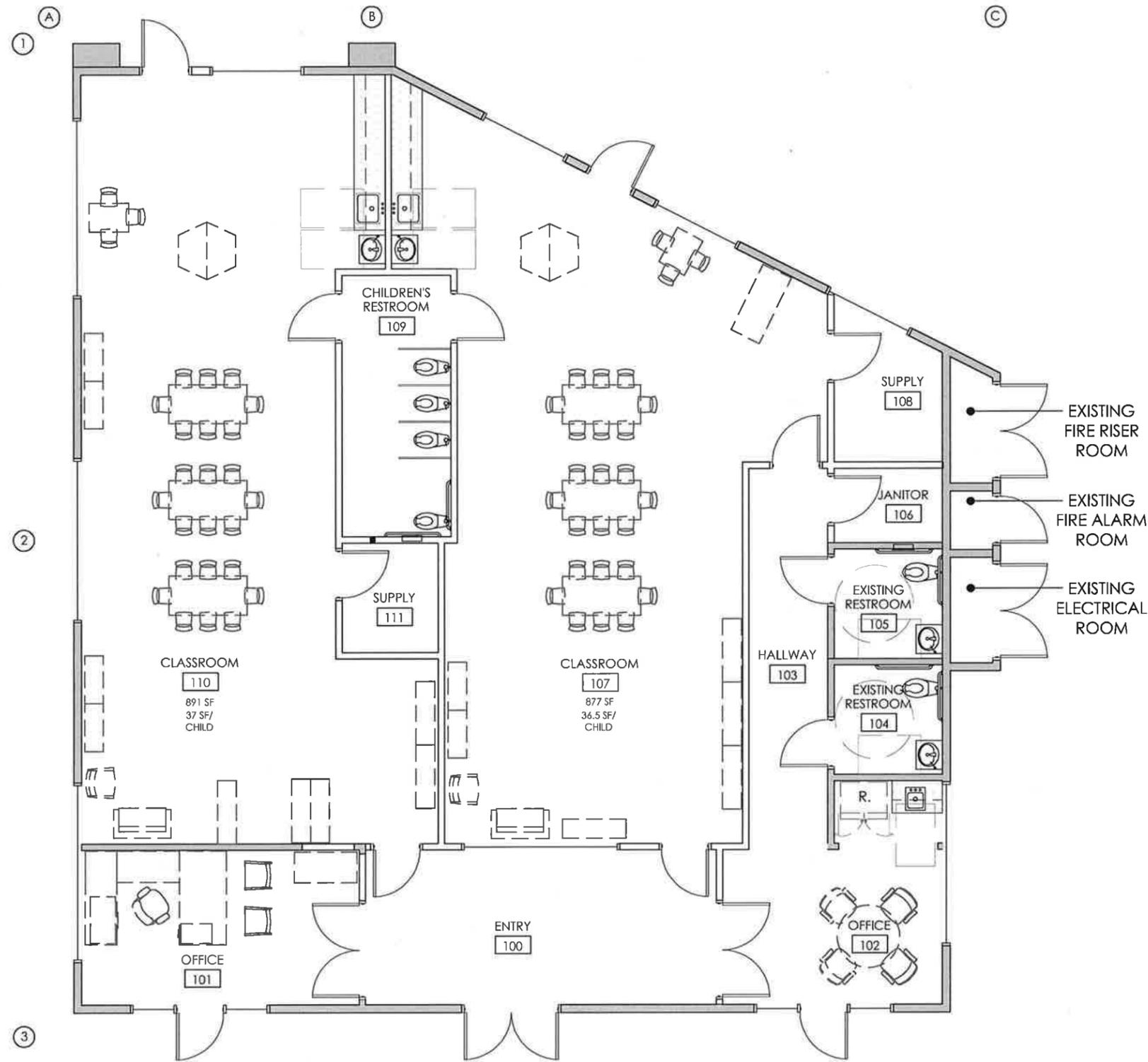


DRIP IRRIGATION DETAILS FOR SHRUB AND GROUNDCOVER AREAS

NETAFIM IRRIGATION VALVE AND LAYOUT DIAGRAM FOR TURF AREAS



Techline® CV END FEED LAYOUT
NOT TO SCALE
DETAIL - C101



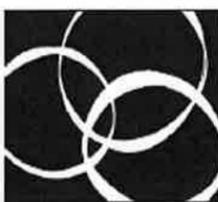
LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTITION NON-RATED

- EXISTING FIRE RISER ROOM
- EXISTING FIRE ALARM ROOM
- EXISTING ELECTRICAL ROOM

SHEET
A-1
NORTH

SCALE: 1/8" = 1'-0"



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GRATITUDE GARDEN PRESCHOOL
 SPACE PLAN
 91 AVENIDA LA PATA
 SAN CLEMENTE, CA 92673

CUP

Description:	OPTION 1B - MAINTAIN BOTH EXISTING RRS
id Studios Project No.	14.1248.00
Drawn By	MM/LC
Date:	03.21.2014