

Public Hearing Draft Centennial General Plan Urban Design Element Staff-Recommended Policies and Examples

(Highlighted font = new policies)

CITYWIDE GOAL:

Create and maintain a unique atmosphere and historic identity as “the Spanish Village by the Sea” where developments exhibit high quality site planning, architecture and landscaping and reflect a lush Mediterranean landscaped character, emphasizing Spanish Architecture and drought tolerant and California native plantings.

POLICIES:

UD-5.01. **Outdoor Spaces.** For multi-family residential, mixed use and commercial development, we require integration of outdoor spaces into the architectural and site designs by encouraging the use of courtyards, patios, paseos, plazas, gardens, covered walkways, rooftop terraces, verandas and other outdoor spaces enclosed by architectural or landscape elements, and encourage the same for other types of development.



Figure 1: Delightful outdoor Downtown spaces, (L. to R.) 215, 207 ECR and 114 Ave Del Mar

UD-5.02. **Three-Story Development.** In the Pedestrian Overlay and along El Camino Real, three-story commercial and mixed-use developments shall include outdoor space at the ground level to create interest, usable areas for outdoor dining, seating or displays and to help reduce the apparent scale and mass of second and third building stories.



Figure 2: Setbacks create outdoor patios and reduce apparent scale, 407 South El Camino Real

UD-5.03. **Architectural Overlay District.** We require that new buildings and major building remodels in the Del Mar/T-Zone, North Beach, and Pier Bowl areas, and El Camino Real between North Beach and the T-Zone, utilize Spanish Colonial Revival architecture, per the

Architectural Overlay District and Design Guidelines.

UD-5.04. **Preserving Distinctive Architecture.** In the [Architectural Overlay](http://library.municode.com/index.aspx?clientId=16606) [http://library.municode.com/index.aspx?clientId=16606] areas, we require new buildings, additions and remodels to follow City [Design Guidelines](http://san-clemente.org/sc/standard.aspx?pageid=438) [http://san-clemente.org/sc/standard.aspx?pageid=438] for Spanish Colonial Revival architectural style, except that remodels of architecturally significant buildings eligible or potentially eligible for historic listing with distinctive styles other than Spanish Colonial Revival, such as Post-Modern and Mid-Century Modern architectural styles, should reinforce the buildings' original architectural design.



Figure 3: Mid-Century Modern Architecture, 160 Cabrillo and 241 Avenida Del Mar

UD-5.05. **Other Spanish Architecture.** We require that new buildings along El Camino Real between the T-Zone and Avenida Valencia utilize Spanish Colonial Revival architecture or other Spanish architecture, per the Architectural Overlay District and Design Guidelines.

UD-5.06. **Los Molinos and the Surf Zone*.** In these areas, we encourage the use of diverse architectural styles that reflect their eclectic character and local contexts. Emphasis shall be placed on quality design and building materials per the Zoning Code and Design Guidelines.



Figure 4: Island-influenced "Surf Zone" Architecture, Hapa J's Restaurant, 2016 South El Camino Real



UD-5.07. **Public Buildings.** We require Spanish Colonial Revival architecture for the development and major remodels of public buildings, and for the development and major remodels of visually prominent, non-residential, quasi-public structures such as churches, assembly halls, theaters and cultural facilities, except in those districts allowing for a different architectural style.

Figure 5: San Clemente Presbyterian, 119 Avenida De La Estrella



Figure 5: Spanish Architecture, Ralph's arket, Talega Shopping Center

UD-5.08. Scale and Massing. We require that the scale and massing of development be compatible with its surroundings and any larger vision for an area.

UD-5.09. Commercial Areas Outside of the Architectural Overlay. Outside of the Architectural Overlay, new buildings and major remodels shall follow either Spanish Colonial Revival architectural style or shall follow the Design Guidelines for "Other Spanish" architectural styles, unless the area has its own adopted architectural style. Commercial areas where Spanish Colonial Revival or Spanish architecture applies include new and existing commercial centers in: 1) Pico Plaza/Pico Corridor, 2) Los Mares, and 3) Shorecliffs.

UD-5.10. Building Remodels. Where Spanish Colonial Revival or Spanish architecture is required, major building remodels (as defined herein) should be designed to incrementally move buildings' exterior architectural character closer to Spanish Colonial Revival, or where applicable, "Other Spanish" architectural designs.

UD-5.11. Drought Tolerant/Native Species Landscaping. Ornamental plantings in new, non-residential development should consist primarily of drought tolerant and California native species. Only in small areas and special public locations, such as high-use areas of parks, should lawns or other high water use vegetation be used.

UD-5.12. Landscaping Plans. We require that development projects subject to discretionary review submit and implement a landscaping and irrigation plan.

UD-5.13. Landscape Maintenance. We require property owners to properly maintain vegetation on developed sites, remove and abate weeds, and replace unhealthy or dead landscape plants.

UD-5.14. Landscaping in Commercial/Industrial Development. We require that commercial and industrial development incorporate automatic, drought-conscious, "smart" irrigation systems and maintain landscaping in a healthy and attractive condition.

DOWNTOWN CORE GOAL:

In the Downtown Core, as shown in Figure 6, we seek high-quality development which promotes the Core's pedestrian scale, character and appeal for specialty retail and entertainment uses.



Figure 6: San Clemente's historic Downtown Core: both sides of Avenida Del Mar, between El Camino Real and South Calle Seville; El Camino Real between Avenida Palizada and Avenida Presidio

POLICIES:

UD-5.15. Usable Outdoor Areas. New buildings and major remodels on Avenida Del Mar and El Camino Real in the "T-Zone" should contribute to public and private, publicly accessible outdoor areas, such as patios, recessed storefronts, courtyards and balconies that support a variety of activities and contribute to Downtown's vitality.

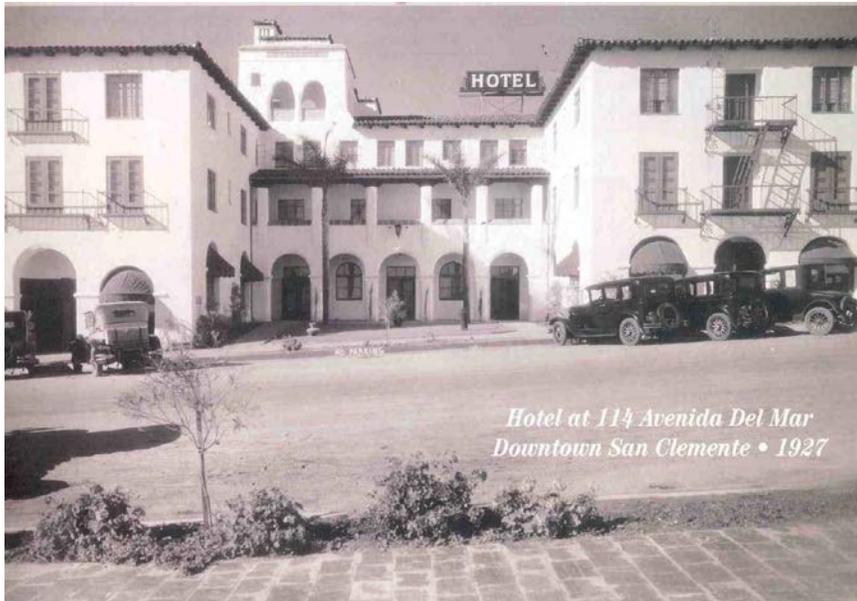


Figure 7: Historic San Clemente Hotel, 1927, with recessed entry patio on Avenida Del Mar

UD-5.16. **Site Access and Entries.** Downtown site and building designs shall be integrated with the public sidewalk, street and where applicable, alleys to create inviting and attractive commercial and residential areas and public spaces.

UD-5.17. **Storefronts.** We encourage continuous store fronts in the Downtown Core, with parking access and curb cuts off Del Mar and El Camino Real discouraged, unless no alternative public access is available.



Figure 8: Slightly recessed storefronts with display windows, awnings and small patios with plants invite window-shoppers, 124 Avenida Del Mar

UD-5.18. Building Modulation. To modulate large building facades, provide architectural interest and maintain pedestrian scale, Downtown building forms, facades and footprints should be designed to visually reflect original Downtown lot patterns and spacing.



Figure 8: Downtown buildings must be designed with vertical and horizontal variation to emphasize village character, reduce apparent scale and mass and consider public view corridors

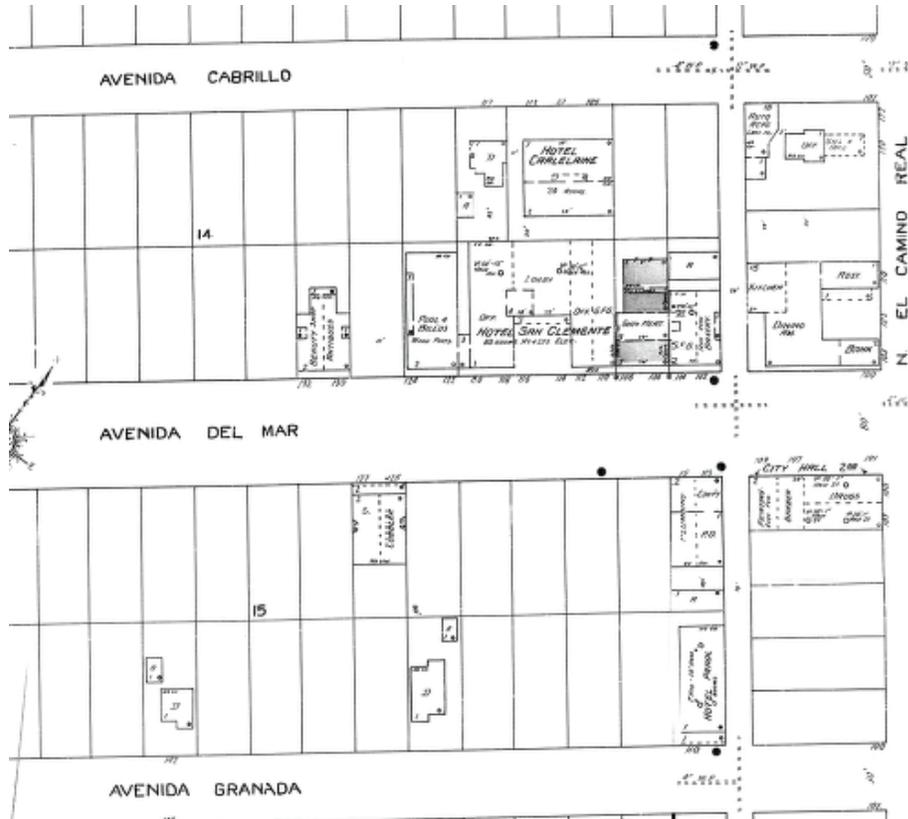


Figure 9: 1929 Sanborn Map shows the Downtown's historic layout and lot spacing. New Downtown buildings must be designed to respect original lot patterns and spacing

UD-5.19. Three-Story Mixed Use Buildings. We permit development of three-story, mixed-use buildings in the area shown in the Downtown Core where their designs are consistent with adopted standards, reflect high-quality design and materials and reinforce San Clemente’s Spanish Village by the Sea architectural character. Three-story development shall be allowed only with unique design features that reduce building mass as viewed from the primary public street frontage, using features such as patios, plazas and varied building setbacks. Three-story buildings must fit into the context of Downtown’s built environment, provide opportunities for mixed-uses and reinforce Downtown’s Village character. The purpose of three story shall not be to simply maximize site coverage, building floor area or floor area ratio (FAR).



Figure 10: Historic Bartlett Building, showing well articulated roofline, classic “main street” storefronts and a mix of two- and three-story building facades

UD-5.20. Offset Building Facades. To prevent “canyonization” [[link to Glossary](#)] in the Downtown Core and preserve village character, third-story building facades shall be horizontally and/or vertically setback, with differential setbacks between adjacent buildings for variety and architectural interest.



Figure 11: Varied roof lines, balcony and recessed entries at 124 Avenida del Mar

UD-5.21. Incentives to Maintain Village Character. We encourage and provide incentives for the remodeling and reuse of buildings in a manner that preserves and reinforces Downtown’s pedestrian-oriented Village character.



Figure 12: Before and After views of the historic Ole Hanson Office Building at 110 South El Camino Real. A remodel returned the building closer to its historic appearance and allowed adaptive reuse of the iconic two-story building

UD-5.22. Building design with Topography. Building design should consider the interplay of a three-story design with the natural topography, public view corridors and existing building profiles so that “canyonization” is avoided.



Figure 13: Views of the former Cornet variety store, remodeled in the 1990s for mixed use. The design effectively uses slope to create a two-story façade with varied roofline on Avenida Del Mar, increasing to three-story facing Avenida Cabrillo

UD-5.23. Streamlined Review Process and Incentives for One- and Two-Story Buildings.

City will review and update the Zoning Ordinance and Design Guidelines to streamline the design review process, including the possibility of providing parking waivers, enhanced commercial rehabilitation grants and other incentives that encourage the rehabilitation and façade upgrades to one and two-story buildings in the Downtown Core.



Figure 14: Paseo at 305 El Camino Real emphasizing pedestrian scale and Spanish Colonial Revival architectural details



Figure 15: View looking west along Avenida Del Mar from El Camino Real, showing a distinctive mix of one-, two- and three-story buildings and the signature view of the Pacific Ocean

UD-5.24. Three-Story Design Standards and Review. City will review and update the Zoning Ordinance and Design Guidelines to require three-story buildings in the Downtown Core to reflect high-quality design and materials and reinforce San Clemente's Spanish Village by the Sea architectural character. We require a more rigorous discretionary review process for three-story development, including the requirement for City Council approval.
