



STAFF REPORT SAN CLEMENTE PLANNING COMMISSION

Meeting Date: November 6, 2013

PLANNER: Sean Nicholas, Associate Planner *SN*

SUBJECT: **Conditional Use Permit (CUP) 13-190, Chabad Jewish Center, School/Tutoring, and Shared Parking Agreement,** a request to consider to allow a religious facility and ancillary religious school and a secular non-religious school/tutoring facility and associated shared parking agreement within the Neighborhood Commercial (NC 2) zoning designation located at 1306 North El Camino Real.

REQUIRED FINDINGS

Prior to approval of the proposed project, the following findings shall be made. The draft Resolution, provided as Attachment 1, and analysis section of this report provide an assessment of the project's compliance with these findings.

Conditional Use Permit, Section 17.16.060

- a. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed.
- b. The site is suitable for the type and intensity of use that is proposed.
- c. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- d. The proposed use will not negatively impact surrounding land uses.

BACKGROUND

The applicant proposes to operate a religious facility primarily at this location. A religious school is proposed as an ancillary use to the primary religious facility. Separate from the religious facility and ancillary religious school, operating on-site without approvals for the past several years, is an educational program operated by the County of Orange Department of Education. As a component of this Conditional Use Permit, the applicant is requesting approval of the secular non-religious school to allow the educational classes to continue. Additionally, to ensure parking for each use, the applicant is proposing a shared parking agreement based on the hours the non-religious use will operate versus the religious facility and ancillary activities.

Site

The subject property is a 13,486 square foot lot with a 5,181 square foot two-story building which was approved for office use in 1997. The site has three two-car garages as well as seven additional outdoor spaces, for a total of 13 on-site parking spaces. The facility has been utilized, without the required approvals, as a secular non-religious school facility for several years without complaint.

DMT

The City's Development Management Team (DMT) reviewed the project on June 6, 2013 and September 26, 2013, and supports the use request, subject to the proposed conditions of approval.

Noticing

Public notification was completed in accordance with State Law and Municipal Code regulations. To date, staff has received no input from the public on this request.

PROJECT DESCRIPTION

The proposed primary use is for a new religious facility and ancillary religious school use. The site has been fully developed and the applicant is not requesting any exterior modifications. The applicant is proposing to have religious services at the site on a weekly basis and on Jewish holidays. As an associated use to the religious facility, the applicant is proposing to have a religious school operate in the evenings, ending by 8:00 pm. The Rabbi, the applicant, is envisioning about 15 students at a time.

Separate from the religious facility and ancillary religious school, operating on-site without approvals for the past several years, is an educational program operated by the County of Orange Department of Education. Operating Monday through Friday 8:30 am to 12:30 pm, the program is primarily a one-on-one tutoring type program. There is only 10 students at a time. The applicant is requesting a Conditional Use Permit to permit this activity onsite and to allow it to continue.

The applicant is proposing to utilize the left side of the first floor (noted as Area B on sheet A4 of the plans) for the religious use and the right side (noted as Area A on sheet A4 of the plans) as the Monday through Friday secular non-religious school use. The applicant is proposing to maintain the garages and office space as they exist (for use by the Rabbi and administrators/teachers, not for additional leasable area).

Table 1 shows a breakdown of the parking requirements pursuant to Municipal code Section 17.64.050:

Table 1: Parking by Use

Use	Parking Requirement	Number of parking spaces onsite	Occupancy
Religious facility/ancillary religious school	4 seats per parking space	13	Potential for 52 people
School (high school)	3 students per parking space	13	Potential for 39 students

The use of the building will only be allowed to have a building occupancy of 49, until such time the applicant provides plans to the Building Division that are approved which shows the necessary exiting, fire protection, and plumbing fixture accommodations to exceed 49 people onsite. With the necessary building permits and improvements, the maximum allowed occupancy is 52 (for the religious use) based on the off-street parking. The only way for the applicant to exceed that total is to acquire off-site parking agreements with other property owners within 300 feet of the project site. All increases of occupancy would have to be approved by both Planning and Building Divisions.

The applicant will also develop a shared parking agreement to address the education use to occur Monday through Friday in the mornings to early afternoons, and the religious use primarily operating in the evenings and weekends. The rare occasions where there will be overlap is during certain Jewish holidays that may land during the week. During those times, use of the building will be based on maximum occupancy, in that at no time can more people be allowed to utilize the building above the posted occupancy. With the shared parking agreement, the project has sufficient parking for the proposed uses.

PROJECT ANALYSIS

Conditional Use Permit

The proposed uses require a Conditional Use Permit. The approval of the religious facility and ancillary school would allow the establishment of the first Jewish religious facility within the City of San Clemente. The Rabbi has been working with his congregation for a number of years to find a location to purchase and establish a facility. The congregation as a whole is excited about establishing their presence and becoming a permanent member of the community.

For the school use proposed for the site, while it has been operating there without permits for a number of years, there is no record of complaint or issue. With the maximum occupancy allowed, and the number of off-street parking onsite, there should not be any issue with the continuation of the secular non-religious school with the appropriate approvals in place. With the shared parking agreement, there will be no issue associated with providing parking for all uses onsite.

GENERAL PLAN CONSISTENCY

The proposed use is consistent with the Land Use Element of the City's General Plan. General Plan Policy 1.0(IV)(A)(1) which states, "To accommodate a range of land uses which provide for the basic needs of existing and future residents, including housing, commercial services, employment, entertainment, recreation, personal services, and similar uses." The proposed religious facility will be the first Jewish religious facility in San Clemente, and will provide religious facilities for an underserved portion of the residents, thus it is consistent with the General Plan. The religious and secular school uses will also provide for various youth and adult educational opportunities within the community as well.

ENVIRONMENTAL REVIEW

The Planning Division processed and completed an initial environmental assessment for this project in accordance with the California Environmental Quality Act (CEQA). The Planning Division has determined the project is categorically exempt from CEQA as a Class 3 exemption pursuant to CEQA Guidelines Section 15303, because the project consists of the conversion of an existing structure from one use to another.

ALTERNATIVES; IMPLICATIONS OF ALTERNATIVES

1. The Planning Commission can concur with staff and approve CUP 13-190.
This action would allow the Rabbi to operate the Chabad Jewish Center out of the site, and allow the School use to be legalized onsite.
2. The Planning Commission can, at its discretion, add, modify or delete provisions of the proposed project or conditions.
The Planning Commission can require additional conditions addressing potential concerns regarding the use, parking, or noise concerns onsite.
3. The Planning Commission can deny CUP 13-190.
This action would not allow the applicant to establish the Chabad Jewish Center and School facility and could result in the applicant filing an appeal with the City Council.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission approve CUP 13-190, Chabad Jewish Center and School, a request to establish a religious facility with ancillary school facility and a separate secular non-religious school, subject to the attached Resolution and Conditions of Approval.

Attachments:

1. Resolution
2. Location Map
3. Plans

RESOLUTION NO. PC 13-041

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
SAN CLEMENTE, CALIFORNIA, APPROVING CONDITIONAL USE
PERMIT 13-190, CHABAD JEWISH CENTER AND SCHOOL, A
REQUEST TO ALLOW FOR A NEW RELIGIOUS FACILITY, NON-
RELIGIOUS SCHOOL, AND SHARED PARKING AGREEMENT
LOCATED AT
1306 NORTH EL CAMINO REAL**

WHEREAS, on May 14, 2013 an application was submitted, and on October 3, 2013 completed, by Rabbi Mendel Slavin, 1306 North El Camino Real, San Clemente, CA, 92672, to a religious facility, ancillary religious school, non-religious school, and shared parking in the Neighborhood Commercial (NC2) zoning designation at 1306 North El Camino Real, the legal description being Lot 8, of Block 8, of Tract 793, Assessor's Parcel Number 692-381-57; and

WHEREAS, on June 6, 2013 and September 26, 2013, the City's Development Management Team reviewed the application for compliance with the General Plan, Zoning Ordinance, and other applicable requirements, and provided conditions of approval for the project; and

WHEREAS, the Planning Division processed and completed an initial environmental assessment for this project in accordance with the California Environmental Quality Act (CEQA). The Planning Division has recommended the Planning Commission determine that the project is categorically exempt from CEQA as a Class 3 exemption pursuant to CEQA Guidelines Section 15303, because the project involves the conversion of an existing structure from one use to another.; and

WHEREAS, on November 6, 2013, the Planning Commission held a duly noticed public hearing on the subject application and considered evidence presented by City staff, the applicant, and other interested parties.

NOW, THEREFORE, the Planning Commission of the City of San Clemente hereby resolves as follows:

Section 1: The Planning Commission finds that the project is categorically exempt from the California Environmental Quality Act (CEQA) as a Class 3 exemption pursuant to CEQA Guidelines Section 15303, because the project involves the conversion of an existing structure from one use to another.

Section 2: With respect to Conditional Use Permit 13-190, the Planning Commission finds as follows:

- A. The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this

title, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed, in that the establishment of the Jewish religious facility will be the first in San Clemente and provide a religious opportunity for an underserved portion of the community, as well as education opportunities associated with the religious use. Additionally, the Orange County Department of Education is proposing to continue to conduct tutoring and other one on one education and teaching services onsite. The shared parking agreement will ensure that sufficient parking is available for all uses onsite.

- B. The site is suitable for the type and intensity of use that is proposed, in that with the shared parking agreement, all parking for all uses will be provided onsite, and all activities onsite will be conducted indoors.
- C. The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity, in that sufficient parking exists onsite to service the facility and proposed uses, the facility already exists, and all activities will occur indoors.
- D. The proposed use will not negatively impact surrounding land uses, in that sufficient parking exists onsite to service the facility and proposed uses, the facility already exists, and all activities will occur indoors.

Section 3: The Planning Commission hereby approves Conditional Use Permit 13-190, Chabad Jewish Center and School, subject to the above Findings, and the Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of San Clemente on November 5, 2013.

Chair

TO WIT:

I **HEREBY CERTIFY** that the foregoing resolution was duly adopted at a regular meeting of the Planning Commission of the City of San Clemente on November 5, 2013, and carried by the following roll call vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSTAIN:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:

Secretary of the Planning Commission

EXHIBIT 1**CONDITIONS OF APPROVAL***
Conditional Use Permit 13-190
Chabad Jewish Center and School**GENERAL CONDITIONS****Planning Division**

1. The applicant or the property owner or other holder of the right to the development entitlement(s) or permit(s) approved by the City for the project, if different from the applicant (herein, collectively, the "Indemnitor") shall indemnify, defend, and hold harmless the City of San Clemente and its elected city council, its appointed boards, commissions, and committees, and its officials, employees, and agents (herein, collectively, the "Indemnitees") from and against any and all claims, liabilities, losses, fines, penalties, and expenses, including without limitation litigation expenses and attorney's fees, arising out of either (i) the City's approval of the project, including without limitation any judicial or administrative proceeding initiated or maintained by any person or entity challenging the validity or enforceability of any City permit or approval relating to the project, any condition of approval imposed by City on such permit or approval, and any finding or determination made and any other action taken by any of the Indemnitees in conjunction with such permit or approval, including without limitation any action taken pursuant to the California Environmental Quality Act ("CEQA"), or (ii) the acts, omissions, or operations of the Indemnitor and the directors, officers, members, partners, employees, agents, contractors, and subcontractors of each person or entity comprising the Indemnitor with respect to the ownership, planning, design, construction, and maintenance of the project and the property for which the project is being approved. The City shall notify the Indemnitor of any claim, lawsuit, or other judicial or administrative proceeding (herein, an "Action") within the scope of this indemnity obligation and request that the Indemnitor defend such Action with legal counsel reasonably satisfactory to the City. If the Indemnitor fails to so defend the Action, the City shall have the right but not the obligation to do so and, if it does, the Indemnitor shall promptly pay the City's full cost thereof. Notwithstanding the foregoing, the indemnity obligation under clause (ii) of the first sentence of this condition shall not apply to the extent the claim arises out of the willful misconduct or the sole active negligence of the City. *[Citation – City Attorney Legal Directive]* (PIng.)_____
2. Thirty (30) days after project approval, the owner or designee shall submit written consent to all of these imposed conditions of approval to the Community Development Director or designee. *[Citation – City Attorney Legal Directive/City Council Approval June 1, 2010]* (PIng.)_____
3. Conditional Use Permit 13-190 shall become null and void if the use is not commenced within three (3) years from the date of the approval thereof. The use

shall be deemed to have commenced on the date the use becomes legally operational, including issuance of a Certificate of Occupancy from the City of San Clemente. *[Citation - Section 17.12.150.A.1 of the SCMC]* (PIng.)_____

A use shall be deemed to have lapsed, and Conditional Use Permit 13-190 shall be deemed to have expired, when a building permit has been issued and construction has not been completed and the building permit has expired in accordance with applicable sections of the California Building Code, as amended. *[Citation - Section 17.12.150.C.1 of the SCMC]* (PIng.)_____

4. The owner or designee shall have the right to request an extension of Conditional Use Permit 13-190 if said request is made and filed with the Planning Division prior to the expiration date as set forth herein. The request shall be subject to review and approval by the final decision making authority that ultimately approved or conditionally approved the original application. *[Citation - Section 17.12.160 of the SCMC]* (PIng.)_____

5. Prior to the issuance of building permits, the owner or designee shall include within the first four pages of the working drawings a list of all conditions of approval imposed by the final approval for the project. *[Citation - City Quality Insurance Program]* (PIng.)_____(Bldg.)_____

6. Prior to the issuance of a certificate of occupancy, the project shall be developed in conformance with the site plan, floor plans, elevations, details, and any other applicable submittals approved by the Planning Commission on November 5, 2013, subject to the Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, details, or other approved submittal shall require that the owner or designee submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the City Planner or designee. If the City Planner or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain the approval of the Zoning Administrator. *[Citation - Section 17.12.180 of the SCMC]* (PIng.)_____

7. All religious and school functions shall occur indoors. ■■ (PIng.) _____

8. In the event that noise impacts neighboring properties, the tenant must use best management practices as determined by the City Planner, to eliminate the problem and comply with the City's noise ordinances. ■■ (PIng.) _____

9. The hours of operation and maximum occupancy for the school shall be limited to the following:
- A. Monday through Friday 8:00 am to 1:00 pm and 39 people associated with the school use. During that time, between the religious facility function and school/tutoring activities, the building occupancy cannot be exceeded. ■■ (Plng.) _____

Building Division

10. A separate Building Permit is required. Plans to construct new building, add or alter the existing building configuration, change in use, add or alter structural, mechanical, electrical or plumbing features of the project must be reviewed and approved through a separate building plan check / permit process. (Bldg.) _____
[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]
11. Prior to the issuance of building permits, the owner or designee shall submit plans that identify the intended use of each building or portion of building and obtain approval of the Building Official. (Bldg.) _____
[S.C.M.C – Title 15 – Chapter 15.08]
12. Building permits shall not be issued unless the project complies with all applicable codes, ordinances, and statutes including, but not limited to, the Zoning Ordinance, Grading Code, Security Ordinance, Transportation Demand Ordinance, Water Quality Ordinance, Title 24 of the California Code of Regulations as adopted by the City including, but not limited to the California Administrative, Building, Electrical, Plumbing, Mechanical, Energy, Green, and Fire Codes. (Bldg.) _____
[S.C.M.C – Title 8 – Chapter 8.16 – Fire Code, Title 15 Building and Construction Chapters 15.08, 15.12, 15.16, 15.20, 15.21, Title 16 Subdivisions, Title 17 Zoning]
13. Plans submitted for Building Permit application must include information indicating compliance with the California Codes including but not limited to, type of construction, location on property, proposed building area within allowable area limits, proposed building height and number of stories within allowable height limits, proposed occupancy/use for building and/or portions of building, occupant loads in each portion of the building, exiting system, accessible path of travel leading up to and throughout the structure. (Bldg.) _____
[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]
14. Plans submitted for Building Permit application shall have detailed information to verify compliance with required plumbing fixture counts per California Plumbing

Code (CPC) requirements. Plans must include plumbing fixture count analysis thereon showing compliance with CPC requirements.

(Bldg.)_____

[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]

- 15. A Certificate of Occupancy is required to be issued prior to occupying the building. Certificate of Occupancy will be issued upon the building being inspected by the Building Division and no violations of the code provisions or other laws enforced by the department found.

(Bldg.)_____

[S.C.M.C – Title 8 – Chapter 8.16- Fire Code, Title 15 Building Construction - Chapters 15.08, 15.12, 15.16, 15.20]

- 16. Prior to the issuance of building permits, the owner or designee shall pay all applicable development fees in effect at the time, which may include, but are not limited to, Regional Circulation Financing and Phasing Program (RCFPP), park acquisition and development, water and sewer connection, drainage, Public Facility Construction, transportation corridor, Avenida La Pata Supplemental Road Fee and school fees, etc.

(Bldg.)_____

[S.C.M.C. – Title 15 Building and Construction, Chapters 15.52, 15.56, 15.60, 15.64, 15.68, 15.72]

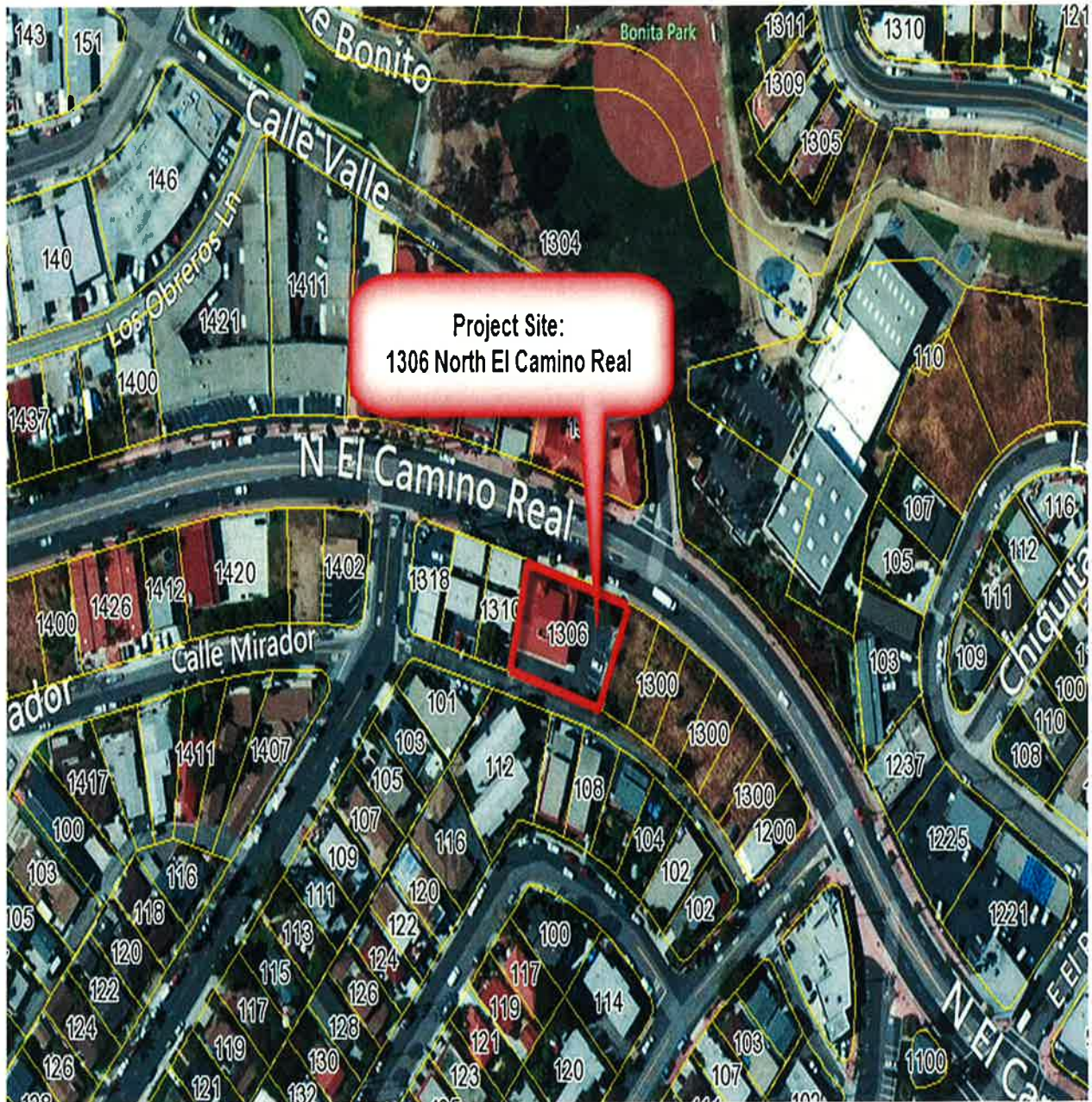
* All Conditions of Approval are standard, unless indicated as follows:

- Denotes modified standard Condition of Approval
- ■ Denotes project specific Condition of Approval



LOCATION MAP

CUP 13-190, Chabad Jewish Center, School/Tutoring, and Shared Parking Agreement
1306 North El Camino Real





CITY OF SAN CLEMENTE

SECURITY CODE FOR COMMERCIAL BUILDINGS

(1) Swinging exterior glass doors, wood, or metal doors with glass panels, solid wood or metal doors shall be constructed as follows:

- (1) Wood doors shall be of solid core construction with a minimum thickness of one and three-fourth (1 3/4) inches. Wood panel doors with panels less than one (1) inch thick shall be covered on the inside with a minimum of 1/2 inch U.S. gauge sheet metal, or its equivalent, which is attached with screws on a minimum six (6) inch center.
- (2) Hollow metal doors shall be of a minimum sixteen (16) U.S. gauge and have sufficient reinforcement to maintain the designed thickness of the door when any locking device is installed; such reinforcement being able to resist collapsing of the door around any locking device.
- (3) Any glazing within forty (40) inches of any locking mechanism shall be constructed as follows:
 - (a) Fully tempered glass or heat treated burglary-resistant glazing; or
 - (b) Inset or steel grille or at least one eighth (1/8) inch thick material with a minimum two (2) inch mesh secured on the inside with safety release mechanism from the interior; or
 - (c) The glazing shall be covered with iron bars of at least one-half (1/2) inch round or one (1) inch by one-quarter (1/4) inch flat steel material, spaced not more than five (5) inches apart, secured on the inside of the glazing with safety release mechanism from the interior.
 - (d) Items (b) and (c) above shall not interfere with the operation of opening windows, if such windows are required to be operable by the Uniform Building Code.

(2) All swinging exterior wood and metal doors shall be equipped as follows:

- (1) A single or double door shall be equipped with a double or single cylinder deadbolt. The bolt shall have a minimum projection of one (1) inch and be constructed so as to resist cutting tool attack. The cylinder shall have an embedment of at least three-fourth (3/4) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five (5) pin tumbler, and shall be connected to the inner portion of the lock by connecting screw of at least one-fourth (1/4) inch diameter. The provisions of the preceding paragraph do not apply where: (1) panic hardware is required; (2) an equivalent device is approved by the enforcing authority; or (3) doors containing glazing are equipped with a double cylinder deadbolt as specified.
- (2) Double doors shall be equipped as follows:
 - (a) The inactive leaf of wood frame doors shall be equipped with flush bolts with a bolt projection of a minimum of one (1) inch at the top and bottom of the leaf.
 - (b) The inactive leaf on metal frame doors shall be equipped with flush bolts with a bolt projection of a minimum of five-eighths (5/8) inch at the top and bottom of the leaf.
 - (c) Double doors shall have an astragal constructed of steel 1/2 inch thick which will cover the opening between the doors. The astragal shall be a minimum of two (2) inches wide and extend a minimum of one (1) inch beyond the edge of the door to which it is attached. The astragal shall be attached to the outside of the active door by welding or non-removable bolts spaced apart or not more than six (6) inch center. (The door to which such an astragal is attached must be determined by the Fire-Safety Codes adopted by the enforcing agency.)

(3) All swinging exterior doors shall conform to the following:

- (1) The lock on all aluminum frame swinging doors shall be as constructed or protected to withstand 1600 pounds of impact to lock a vertical distance of three (3) inches and a horizontal distance of one (1) inch each side of the lock as to prevent violation of the strike.
- (2) A single or double door shall be equipped with a double cylinder deadbolt with a bolt projection exceeding one (1) inch, or a lock-retract or expanding dog bolt that engages the strike sufficiently to prevent spreading. The double lock shall have a minimum of five (5) pin tumbler and a cylinder guard.
- (3) Panic hardware, whenever required by the Uniform Building Code or Title 19, California Administrative Code, shall be installed as follows:
 - (1) Panic hardware shall contain a minimum of two (2) locking points on each door; or
 - (2) On single door, panic hardware may have one locking point which is not to be located at either the top or bottom rail of the door frame. The door shall have an astragal constructed of steel 1/2 inch thick which shall be attached with non-removable bolts to the outside of the door. The astragal shall extend a minimum of six (6) inches vertically above and below the lock of the panic hardware. The astragal shall be a minimum of two (2) inches wide and extend a minimum of one (1) inch beyond the edge of the door to which it is attached; or
 - (3) Double doors containing panic hardware shall have an astragal attached to the doors at their meeting point which will clear the opening between doors, but not interfere with the operation of either door.

(4) All swinging exterior doors shall conform to the following:

- (1) The lock on all aluminum frame swinging doors shall be as constructed or protected to withstand 1600 pounds of impact to lock a vertical distance of three (3) inches and a horizontal distance of one (1) inch each side of the lock as to prevent violation of the strike.
- (2) A single or double door shall be equipped with a double cylinder deadbolt with a bolt projection exceeding one (1) inch, or a lock-retract or expanding dog bolt that engages the strike sufficiently to prevent spreading. The double lock shall have a minimum of five (5) pin tumbler and a cylinder guard.
- (3) Panic hardware, whenever required by the Uniform Building Code or Title 19, California Administrative Code, shall be installed as follows:
 - (1) Panic hardware shall contain a minimum of two (2) locking points on each door; or
 - (2) On single door, panic hardware may have one locking point which is not to be located at either the top or bottom rail of the door frame. The door shall have an astragal constructed of steel 1/2 inch thick which shall be attached with non-removable bolts to the outside of the door. The astragal shall extend a minimum of six (6) inches vertically above and below the lock of the panic hardware. The astragal shall be a minimum of two (2) inches wide and extend a minimum of one (1) inch beyond the edge of the door to which it is attached; or
 - (3) Double doors containing panic hardware shall have an astragal attached to the doors at their meeting point which will clear the opening between doors, but not interfere with the operation of either door.

(5) Hardware on swinging doors shall conform to the following:

- (1) Hardware on swinging doors shall be equipped with a metal guide track at top and bottom and a cylinder lock and/or profile with a hardened steel inserts which locks both hand and top, and a minimum five (5) pin tumbler operation with non-removable key when in an unlocked position. The hardware shall be so designed that the door cannot be lifted from the track when the door is in a locked position.
- (2) In all buildings (multiple occupancy), all common doors to individual office suites shall meet the construction and locking requirements for exterior doors.

(6) Windows shall be deemed operable if less than twelve (12) feet above ground. Accessible windows having a pane exceeding three (3) square feet in area with dimensions exceeding (6) inches and not visible from a public or private thoroughfare, shall be provided in the following manner:

- (1) Fully tempered glass or heat treated burglary-resistant glazing; or
- (2) The following window hardware may be used, but shall be secured with non-removable bolts, but as interior safety release mechanism must be provided:
 - (a) Inset or double leaf bars of at least one-half (1/2) inch round or one by one-quarter (1" x 1/4) inch flat steel material, spaced not more than five (5) inches apart and securely fastened with interior safety release mechanism;
 - (b) Inset or double leaf bars of at least one-eighth (1/8) inch thick material with not more than two (2) inch mesh and securely fastened;
 - (c) If a side or rear window is of the type that can be opened, it shall, where applicable, be secured on the inside with either a slide bar, bolt, or anchor;
 - (d) The protective bars or grille shall not interfere with the operation of opening windows, if such windows are required to be operable by the Uniform Building and Fire Code.

(7) All exterior windows containing safety glass (19) square inches on the side and rear of any building or premises used for business purposes shall be provided by one of the following:

- (1) Fully tempered glass or heat treated burglary-resistant glazing; or
- (2) The following window hardware may be used, but shall be secured with non-removable bolts:
 - (a) Outside leaf bars of at least one-half (1/2) inch round or one by one-quarter (1" x 1/4) inch flat steel material, spaced not more than five (5) inches apart and securely fastened with interior safety release mechanism;
 - (b) Outside leaf bars of at least one-eighth (1/8) inch thick material with not more than two (2) inch mesh and securely fastened;
 - (c) The protective bars or grille shall not interfere with the operation of opening windows, if such windows are required to be operable by the Uniform Building and Fire Code.

(8) All exterior windows containing safety glass (19) square inches on the side and rear of any building or premises used for business purposes shall be provided by one of the following:

- (1) Fully tempered glass or heat treated burglary-resistant glazing; or
- (2) The following window hardware may be used, but shall be secured with non-removable bolts:
 - (a) Outside leaf bars of at least one-half (1/2) inch round or one by one-quarter (1" x 1/4) inch flat steel material, spaced not more than five (5) inches apart and securely fastened with interior safety release mechanism;
 - (b) Outside leaf bars of at least one-eighth (1/8) inch thick material with not more than two (2) inch mesh and securely fastened;
 - (c) The protective bars or grille shall not interfere with the operation of opening windows, if such windows are required to be operable by the Uniform Building and Fire Code.

(9) Roof openings shall be equipped as follows:

- (1) All openings on the roof of any building or premises used for business purposes shall be provided with:
 - (a) A steel plate of at least one-half (1/2) inch thick round or one by one-quarter (1" x 1/4) inch flat steel material with a minimum thickness of one and three-fourth (1 3/4) inch thick steel material under the slabs and securely fastened;
 - (b) A steel plate of at least one-eighth (1/8) inch thick material with a minimum one (1) inch mesh under the slabs and securely fastened.

(2) All openings on the roof of any building or premises used for business purposes shall be secured as follows:

- (a) If the hatchway is of wooden material, it shall be covered on the inside with at least 16 gauge sheet metal, or its equivalent, attached with screws;
- (b) The hatchway shall be secured from the inside with a slide bar or slide bolt.

(c) Outside hinges on all hatchway openings shall be provided with non-removable pins when using pin-type hinges.

(3) All air duct or air vent openings extending ninety-six (96) square inches on the roof or exterior walls of any building or premises used for business purposes shall be secured by covering the same with either of the following:

- (a) Iron bars of at least one-half (1/2) inch round or one by one-quarter (1" x 1/4) inch flat steel material spaced not more than five (5) inches apart and securely fastened;
- (b) Iron or steel mesh of at least one-eighth (1/8) inch thick material with a minimum one (1) inch mesh and securely fastened;
- (c) If the barrier is on the outside, it shall be secured with bolts which are non-removable from the interior;
- (d) The above (a) and (b) must not interfere with venting requirements causing a potentially hazardous condition to health and safety, or conflict with the provisions of the Uniform Building Code or Title 19, California Administrative Code.

(4) Permanently affixed ladders leading to roof shall be fully enclosed with sheet metal to a height of ten (10) feet. This covering shall be locked against the ladder with a cross-hatched bar, secured with non-removable screws or bolts. Hinges on the cover will be provided with non-removable pins when using pin-type hinges. If a padlock is used, it shall have a hardened steel shackle, locking at both head and toe, and a minimum five (5) pin tumbler with non-removable key when in an unlocked position.

(5) A building located within eight (8) feet of utility poles or similar structures which can be used to gain access to the building's roof, windows, or other openings, shall have such access area barricaded or fenced with materials to deter human climbing.

(6) The following standards shall apply to lighting, address, identification and parking areas:

- (1) The address number of every commercial building shall be illuminated so that it shall be easily visible from the street. The numerals in these numbers shall be no less than six (6) inches in height, and be of a color contrasting to the background. In addition, any business which affords vehicular access to the rear through any driveway, alleyway, or parking lot shall also display the same numbers on the rear of the building.
- (2) All exterior commercial doors shall be illuminated with a minimum of one (1) foot-candle of light. All exterior walls shall be protected by a polycarbonate or other weather and vandalism-resistant globe or cover. Such light(s) shall be maintained during the hours of darkness.

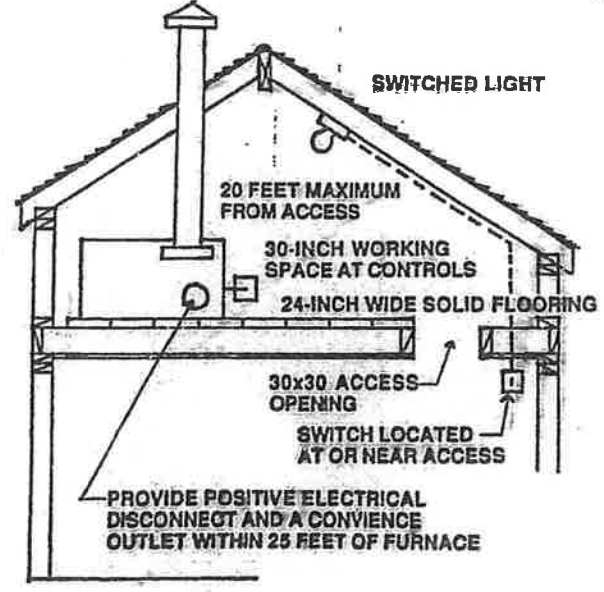
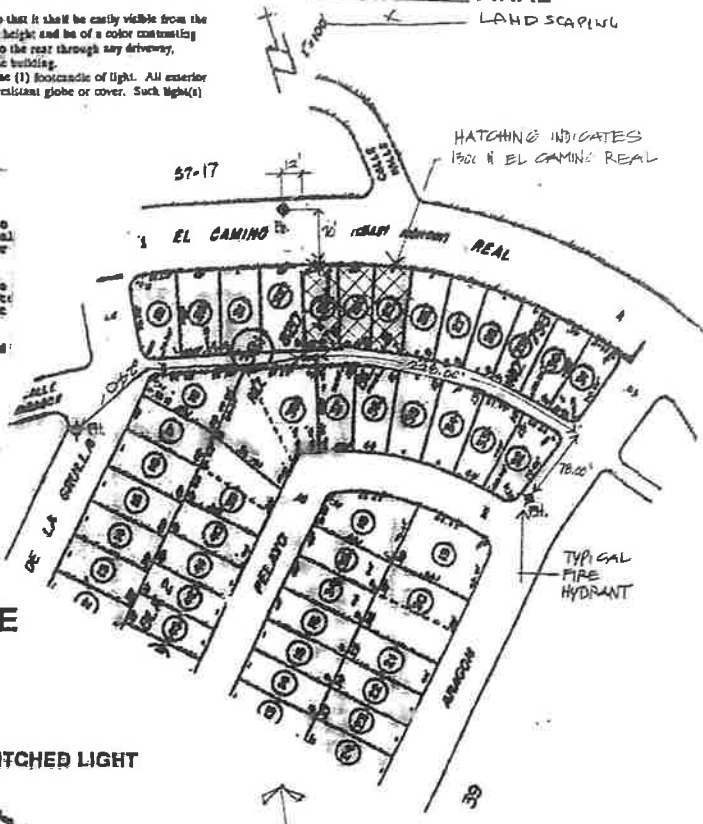
1. An approved double check detector check backflow assembly shall be installed on the fire line above ground and as near to the point of connection to the potable water system as practical. NOTE: A reduced pressure principle device IS NOT ACCEPTABLE for this purpose.
2. An approved reduced pressure type backflow assembly shall be installed on the irrigation system at the point of connection to the potable water system, above ground, and at a minimum height of 12" from the bottom of the assembly to ground level.
3. All mop sinks are to have faucets that consist of integrated air-gap vacuum breaker type configurations.
4. All plumbing shall meet UPC regulations regarding cross-connection standards and requirements.

Reviewed and prepared by: John Storer

GIT OF SAN CLEMENTE
ANNING DIVISION
APPROVED
DATE: 8-14-97
BY: *[Signature]*

CITY OF SAN CLEMENTE
PLANNING DIVISION
INSPECTIONS SHALL BE REQUIRED AT THE FOLLOWING TIMES:

- FOUNDATION
- FRAMING
- EXTERIOR LATH
- FINAL
- LAND SCAPING



ATTIC FURNACE Section 708

Reprint this form on cover sheet of plans

CITY OF SAN CLEMENTE
BUILDING DIVISION
TRANG O. HUYNH, P.E., BUILDING OFFICIAL

SPECIAL INSPECTION LIST

PROJECT NO: 97-050794 PERMIT NO: 97-1262

PROJECT ADDRESS: 1300 El Camino Real

Description of Type of Inspection Required Location, Remarks, etc.	Strength	City Inspector	Date
Soil inspection on footing excavation	F _u = 1500 psf		
Footing construction recommendation			

1. The special inspections listed are in addition to the called inspections required by Section 303 of the Uniform Building Code.
2. Continuous inspection by a Deputy Inspector is required during the performance of this work unless otherwise specified. This Special Inspection is not a substitute for inspection by a City Inspector. Specially inspected work installed or covered without the approval of the City Inspector is subject to removal or expense.
3. The Deputy Inspector must be approved by the City of San Clemente in advance in order to perform the types of inspections specified.
4. It is the responsibility of the Contractor to schedule the time with the Deputy Inspector or Inspection Agency prior to performing any work that requires special inspection. All work shown above performed without required special inspection is subject to removal.
5. Special inspection reports shall be submitted to the Building Division for approval prior to City Inspector approval of that work.

Building Division 910 Calle Negocio San Clemente, California 92673 (714) 496-2533



CITY OF SAN CLEMENTE
BUILDING DIVISION
TRANG O. HUYNH, P.E., BUILDING OFFICIAL

A SET OF NEW SPRINKLER PLANS OR PLANS FOR RELOCATED SPRINKLER SYSTEM SHALL BE SUBMITTED TO AND APPROVED BY ORANGE CO. FIRE PRIOR TO FRAMING INSPECTION.

SPECIAL INSPECTION LIST FIRE INSPECTION REQUIRED

PROJECT NO: 97-050794 PERMIT NO: 97-1262

PROJECT ADDRESS: 1300 El Camino Real

Description of Type of Inspection Required Location, Remarks, etc.	Strength	City Inspector	Date

Prior to the Building Division's approval to pour foundations, the owner or designer shall submit evidence to the satisfaction of the City Building Official or designer that a registered civil engineer, land surveyor, or architect has certified that the forms for the building foundations conform to the front, side and rear setbacks are in conformance to the approved plans. (Bldg.)

Prior to the Building Division's approval of the framing inspection, the owner or designer shall submit evidence to the satisfaction of the City Building Official or designer that a registered civil engineer, land surveyor, or architect has certified that the height of all structures are in conformance to the approved plans.

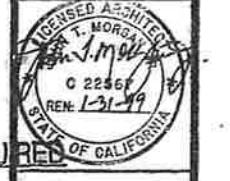
97-1262

1. The special inspections listed are in addition to the called inspections required by Section 303 of the Uniform Building Code.
2. Continuous inspection by a Deputy Inspector is required during the performance of this work unless otherwise specified. This Special Inspection is not a substitute for inspection by a City Inspector. Specially inspected work installed or covered without the approval of the City Inspector is subject to removal or expense.
3. The Deputy Inspector must be approved by the City of San Clemente in advance in order to perform the types of inspections specified.
4. It is the responsibility of the Contractor to schedule the time with the Deputy Inspector or Inspection Agency prior to performing any work that requires special inspection. All work shown above performed without required special inspection is subject to removal.
5. Special inspection reports shall be submitted in the Building Division for approval prior to City Inspector approval of that work.

Building Division 910 Calle Negocio San Clemente, California 92673 (714) 496-2533

JOHN T. MORGAN JR., ARCHITECT
1300 N. EL CAMINO REAL
SAN CLEMENTE, CA
92673
949-331-1999

1300 N. EL CAMINO REAL
SAN CLEMENTE, CA
92673
949-331-1999



APPROVED
CITY OF SAN CLEMENTE
BUILDING DIVISION
BY: [Signature]
DATE: Aug 14 1997

THESE PLANS HAVE BEEN REVIEWED BY THE SAN CLEMENTE BUILDING DIVISION. CONSTRUCTION DOES NOT BELIEVE THAT ALL LAWS THAT APPLY TO THE PROJECT HAVE BEEN FULLY COMPLIED WITH.

DATE: NOV 1 1997

JUL 22 1997

DRAWN: [Signature]
CHECKED: [Signature]
DATE: [Signature]
SCALE: [Signature]
JOB NO.: [Signature]
SHEET: [Signature]

WITEK 97-1262

FIRE DEPARTMENT NOTE
 Refer to the 2-2 sheet for additional fire department notes and requirements.

LOT COVERAGE MAX. = 50%
 FLOOR AREA RATIO = 4675 / 13495 = 34%
 13495 SQ. FT. LOT
 SETBACKS: FRONT 0'-0" MIN
 SIDES 0'-0" MIN
 REAR 0'-0" MIN
 MAX ROOF HEIGHT ALLOWED = 33'-0" MAXIMUM
 27'-10" ACTUAL

LEGAL OWNER:
 BUTCH WITEK (714) 638-4017

LEGAL DESCRIPTION
 LOT 4 TRACT 820 and LOTS 8, 9 of TRACT 793

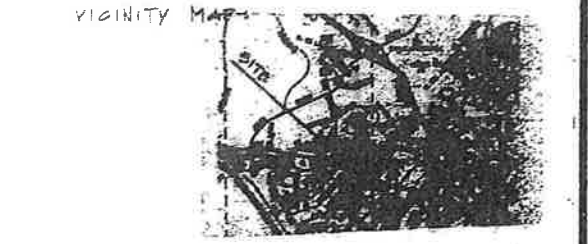
LOT SIZE:
 13495 SQ. FT. OR .308 ACRES

GENERAL PLAN DESCRIPTION
 NC-2 / NEIGHBORHOOD COMMERCIAL

ZONING DESCRIPTION:
 NC-2 / NEIGHBORHOOD COMMERCIAL

CONSTRUCTION TYPE
 THE BUILDING CONSTRUCTION SHALL BE TYPE II UNLESS NOTED OTHERWISE STRIKED.

- EXISTING LAND USE IS A VACANT LOT
- PROPOSED LAND USE IS PROFESSIONAL OFFICES



FOOTAGE TABULATIONS

LOT = 13,495 sq. ft.
 PARKING BREAKDOWN = 3495 sq. ft. ÷ 300 sq. ft. = 11.65 SPACES
 12 SPACES ARE REQUIRED.
 SIZE ARE (1) HANDICAP SPACE 17'-3" W x 13' DP
 (2) STANDARD SPACES 8'-6" W x 18' DP
 (6) INTERIOR GARAGE 8'-6" W x 18' DP MIN. SPACES
 13 TOTAL SPACES PROVIDED.

BUILDING SQUARE FOOTAGE

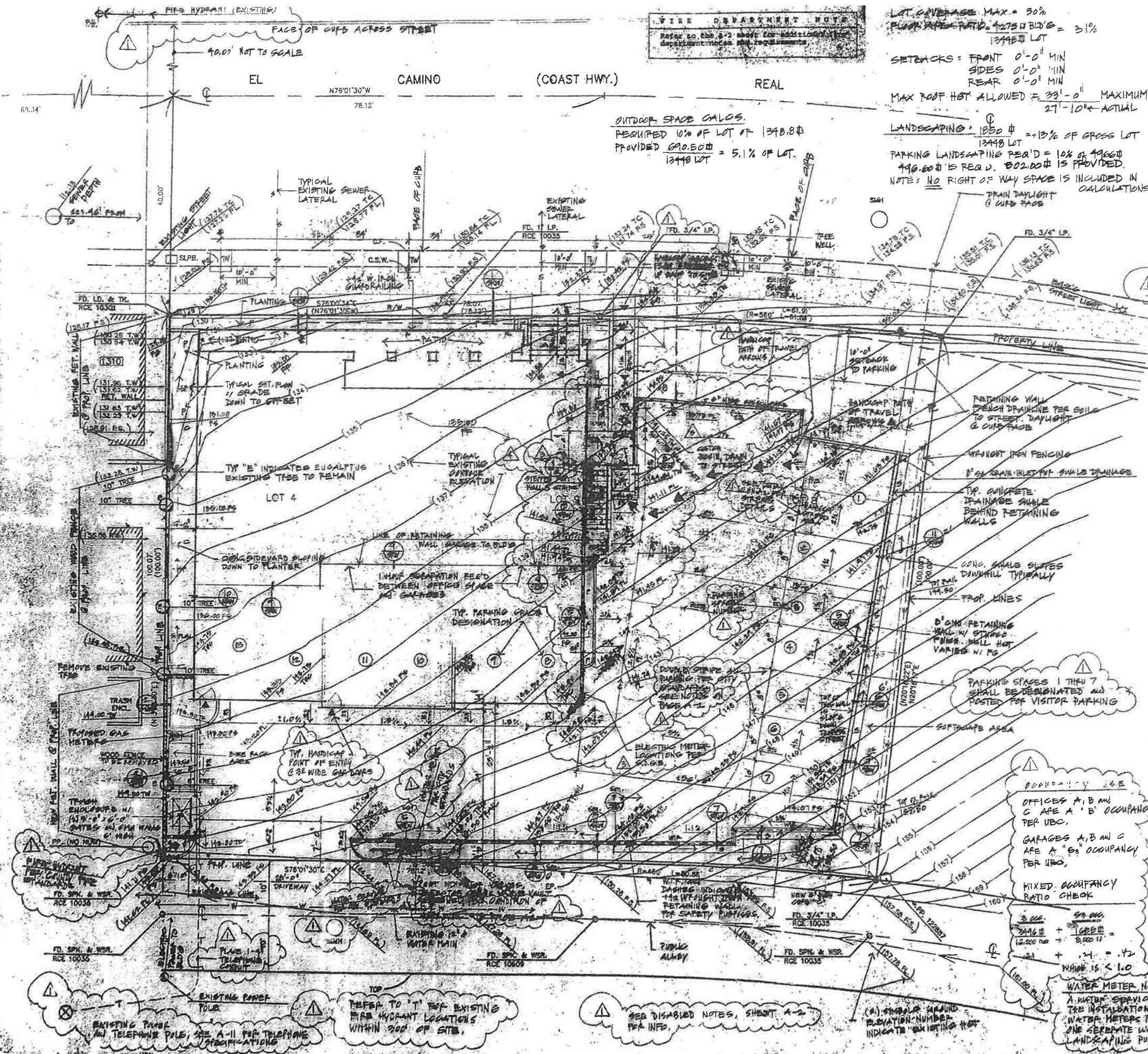
UNIT A	968.87 sq. ft.
UNIT B	1426.87 sq. ft.
UNIT C	1100.17 sq. ft.
OFFICE FOOTAGE	3495.91 sq. ft.
GARAGE A	503.58 sq. ft.
GARAGE B	477.83 sq. ft.
GARAGE C	624.00 sq. ft.
STRUCTURAL	5181.32 sq. ft.

PARKING AREA = 4,966 sq. ft. x 10% = LANDSCAPING REQ'D = 496 sq. ft.
 PROVIDED LANDSCAPE = 502.00 sq. ft. FOR PARKING AREAS.
 1850 = 1378 SOFTSCAPE PROVIDED
 FLOOR AREA RATIO = 4675 / 13495 = 34%

ROOFTOP USE
 OFFICES A, B AND C ARE A 'B' OCCUPANCY PER UBC.
 GARAGES A, B AND C ARE A 'E' OCCUPANCY PER UBC.
 MIXED OCCUPANCY RATIO CHECK
 $\frac{3495}{16,200} + \frac{1688}{8,900} = .21 + .19 = .40$
 WHICH IS < 1.0

WATER METER NOTE:
 A WATER SERVICE DESIGN TO ALLOW FOR THE INSTALLATION OF INDEPENDANT WATER METERS FOR EACH UNIT AND ONE SEPARATE WATER METER FOR LANDSCAPING PURPOSES.

OUTDOOR SPACE CALCS.
 REQUIR'D 10% OF LOT AT 1349.5 sq. ft.
 PROVIDED 690.50 sq. ft. = 5.1% OF LOT.
 13495 LOT



REVISIONS	BY
1	...
2	...
3	...
4	...
5	...

ARCHITECT
 JOHN T. MORGAN JR.
 10131 Central Avenue
 Garden Grove, CA 92643-3305
 (714) 638-4017

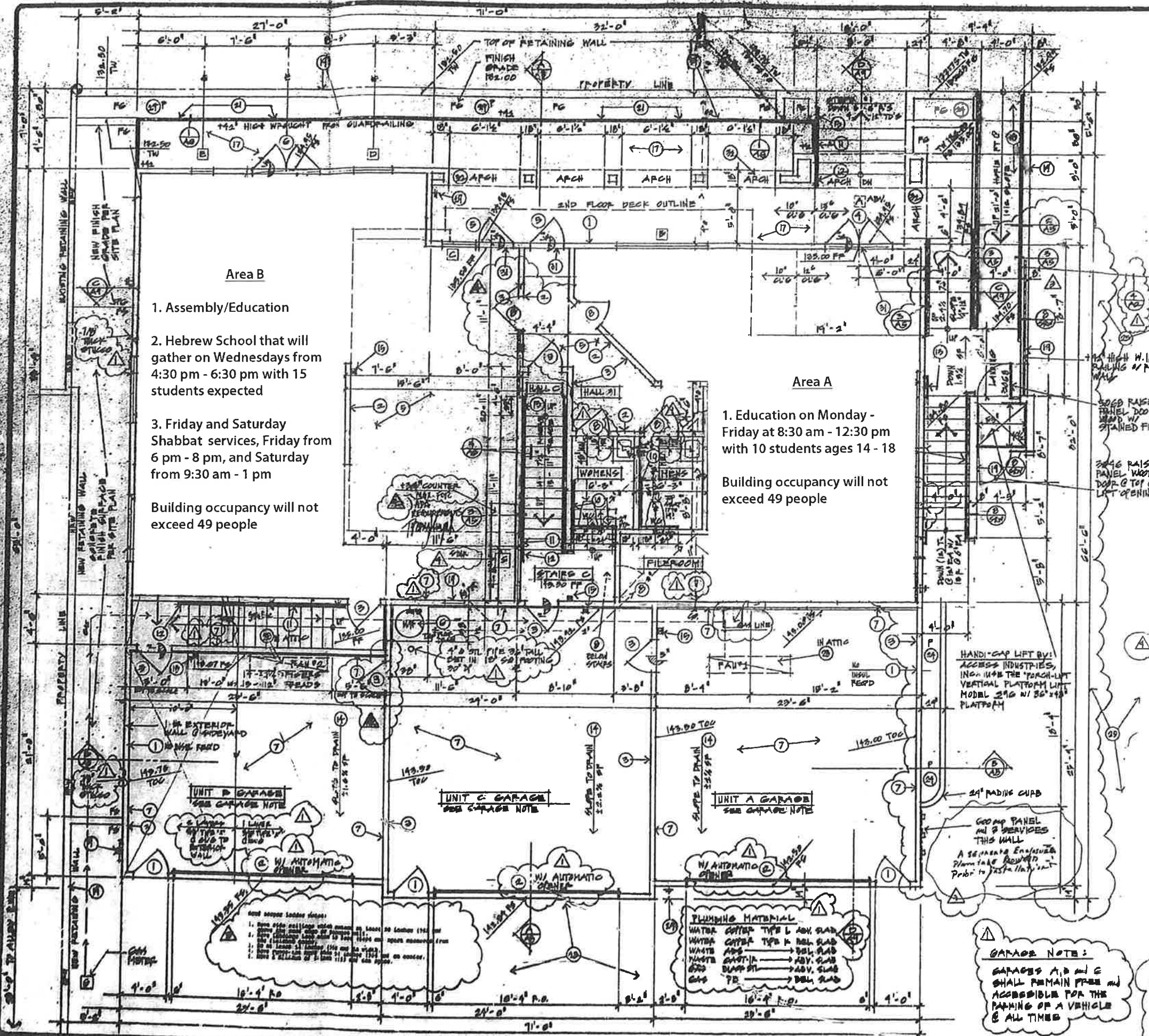
ADDRESS:
 1300 San Clemente, CA
 D.M.M.E.R.S.I.
 Butch Witek
 38661 Big Sur
 Dana Point, CA 92629



RESOLUTION

THESE PLANS HAVE BEEN REVIEWED BY THE DRAWN ELEMENTS BUILDING DIVISION THAT PROCEED. THIS AUTHORITY RELIEVES THE CONTRACTOR FROM APPLYING TO THE CITY ENGINEER FOR APPROVAL OF THESE PLANS.
 SCALE: 1/8" = 1'-0"
 SHEET

A1



Area B

1. Assembly/Education
2. Hebrew School that will gather on Wednesdays from 4:30 pm - 6:30 pm with 15 students expected
3. Friday and Saturday Shabbat services, Friday from 6 pm - 8 pm, and Saturday from 9:30 am - 1 pm

Building occupancy will not exceed 49 people

Area A

1. Education on Monday - Friday at 8:30 am - 12:30 pm with 10 students ages 14 - 18

Building occupancy will not exceed 49 people

- FLOOR PLAN NOTES**
1. Typ. 2" x 6" stud walls with R-19 batted insulation.
 2. Typ. 2" x 8" stud walls with R-19 batted insulation.
 3. Typ. shaded wall is a bearing wall.
 4. Typ. non-shaded wall is a non-bearing wall.
 5. Typ. ceiling with R-19 batted insulation.
 6. Water heater on 1st platform w/ acoustic ties to anchor w.b. to wall above w/ tie to ceiling w/ drainline to outside. Provide recirc pump on H.M.
 7. Provide 1 layer 5/8" type "X" gypsum board & all walls and ceilings of garages, (PER OCCUPANCY SEPARATION).
 8. Provide 1 layer 5/8" type "X" gypsum board on all walls and ceilings of areas accessible below stairs.
 9. Electric meters location.
 10. 1 and 1/2" diameter grab bars as dimensioned .33" above 2'-0" floor.
 11. O.S.C. or grooved handrails one side of stairway .34" above tread nosings. See detail 3-A2.
 12. Handrail extension 12" past tread. SEE DETAIL 3-A5.
 13. Handrail excavation 24" above ceiling/wall .18" for a total finished height of 42". Wall shall not permit passage of a 4" sphere per O.S.C.
 14. 3/4" hour fire rated windows, with wire glass.
 15. Fire extinguisher location.
 16. 3/4" hour fire rated windows, with wire glass.
 17. Typ. 12" square tile floors - max. 1 1/2" concrete.
 18. Typ. concrete walls - max. with a broom finish.
 19. See foundation plan, A-12.
 20. Retaining walls. See site plan A-3 and foundation plan A-12 for additional information.
 21. Decorative rough trim .24" above ceiling/wall .18" for a total finished height of 42". Wall shall not permit passage of a 4" sphere per O.S.C.
 22. 42" decorative acoustic ceiling/railing above .18" above deck drain with overfill.
 23. Slope deck 1/4" foot minimum towards drain.
 24. Typ. planar area. See Landscape Plan.
 25. Parking lot area. See grading precise plan.
 26. 42" deck guardrail. See detail 3-A5.
 27. Typical tile deck material.
 28. Forced air unit location w/ fuel gas and electrical per U.M.C. and W.E.C.
 29. Typical brass hose bibb.
 30. 36" x 48" attic access door.
 31. Typ. oak threshold.
 32. Typ. arch. See sheet A-6.
- NOTES:**
1. Provide 4'-6" high non absorbent wall finish at all walls of the restrooms. A smooth lath and plaster finish or a ceramic tile finish may be installed to meet this requirement. Insular resistant gypsum board is not allowed for tile backing any restroom areas.
 2. Prior to installing the guardrailings, the subcontractor shall submit calculations to the building department justifying the guardrailings can resist 200 per lin. foot horizontal force per the U.S.C.

- DOOR SCHEDULE (F) SYMBOL BY DOOR(S)**
1. 3080 1 3/4" solid core slab door.
 2. 16080 Custom sectional raised panel garage doors w/ clear glass panes in upper section of doors. Per elevation 1-7. (w/ AUTOMATIC OPENERS)
 3. 3080 1 hr fire resistive door, with self closing device.
 4. 3080 pair 1 3/4" solid core raised panel doors with windows "A" above.
 5. 3080 1 3/4" solid core raised panel.
 6. 3080 pair 1 3/4" french doors with temp. glass.
 7. 3080 pair 1 3/4" solid core slab doors.
 8. 3080 1 3/4" solid core slab doors.
 9. 2680 pair 1 3/4" french doors with temp. glass.
 10. 3080 1 3/4" solid core attic access door.
 11. 3080 pair 1 3/4" french doors w/ T-GLASS
1. All doors shall receive a stained finish.
 2. All door glazing shall be dual glazed and solar grey tinted.
 3. All door frames shall receive a stained finish.
 4. Refer to the General Notes, A-3 for additional info.
- WINDOW SCHEDULE (E) SYMBOL BY WINDOW(S)**
- A. 6030 1/2 round fixed over doors #4.
 - B. 6050 2850 sgl casement w.s. of 4050 fixed center.
 - C. 3050 fixed with tempered glass.
 - D. 3050 double casement.
 - E. 3050 single casement.
 - F. 6050 3/4 hour fire rated windows with wire glass and metal frames. Possible links required where windows are operable.
 - G. 6050 wood sliding window.
 - H. 2060 fixed casement with tempered glass.
 - I. 3050 single casement.
 - J. 3061 custom fixed 1/2 round top per elevations, sheet A-6.
 - K. 3026 single casement.
 - L. 3026 single casement.
- Window Notes:**
1. All windows shall receive a stained finish, both exterior and interior.
 2. All window glazing shall be dual glazed and receive a solar grey tint.
 3. All window breakups shall be true divided lite per elevations on sheets A-6 and A-7.
 4. Refer to the General Notes, A-3 for additional info.

Garage Note:
GARAGES A, B AND C SHALL REMAIN FREE AND ACCESSIBLE FOR THE PARKING OF A VEHICLE AT ALL TIMES

PLUMBING MATERIAL
WATER CATCHER TYPE L ADV. SLAB
WATER CATCHER TYPE K BEL. SLAB
WASTE ADV. SLAB
WASTE CATCHER ADV. SLAB
DRAIN ST. BEL. SLAB
GAS TR. BEL. SLAB

Garage Note:
GARAGES A, B AND C SHALL REMAIN FREE AND ACCESSIBLE FOR THE PARKING OF A VEHICLE AT ALL TIMES

FIRE DEPARTMENT NOTE
Refer to the A-3 sheet for additional fire department notes and requirements.

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	ADD 1/2" HIGH GRADE PER SITE PLAN	7-18-97	JTB
2	ADD 1/2" HIGH GRADE PER SITE PLAN	7-18-97	JTB
3	ADD 1/2" HIGH GRADE PER SITE PLAN	7-18-97	JTB
4	ADD 1/2" HIGH GRADE PER SITE PLAN	7-18-97	JTB

ARCHITECT
JOHN S. MORRIS JR.
1031 Central Avenue
Garden Grove, CA 92649-3303
(714)438-0017

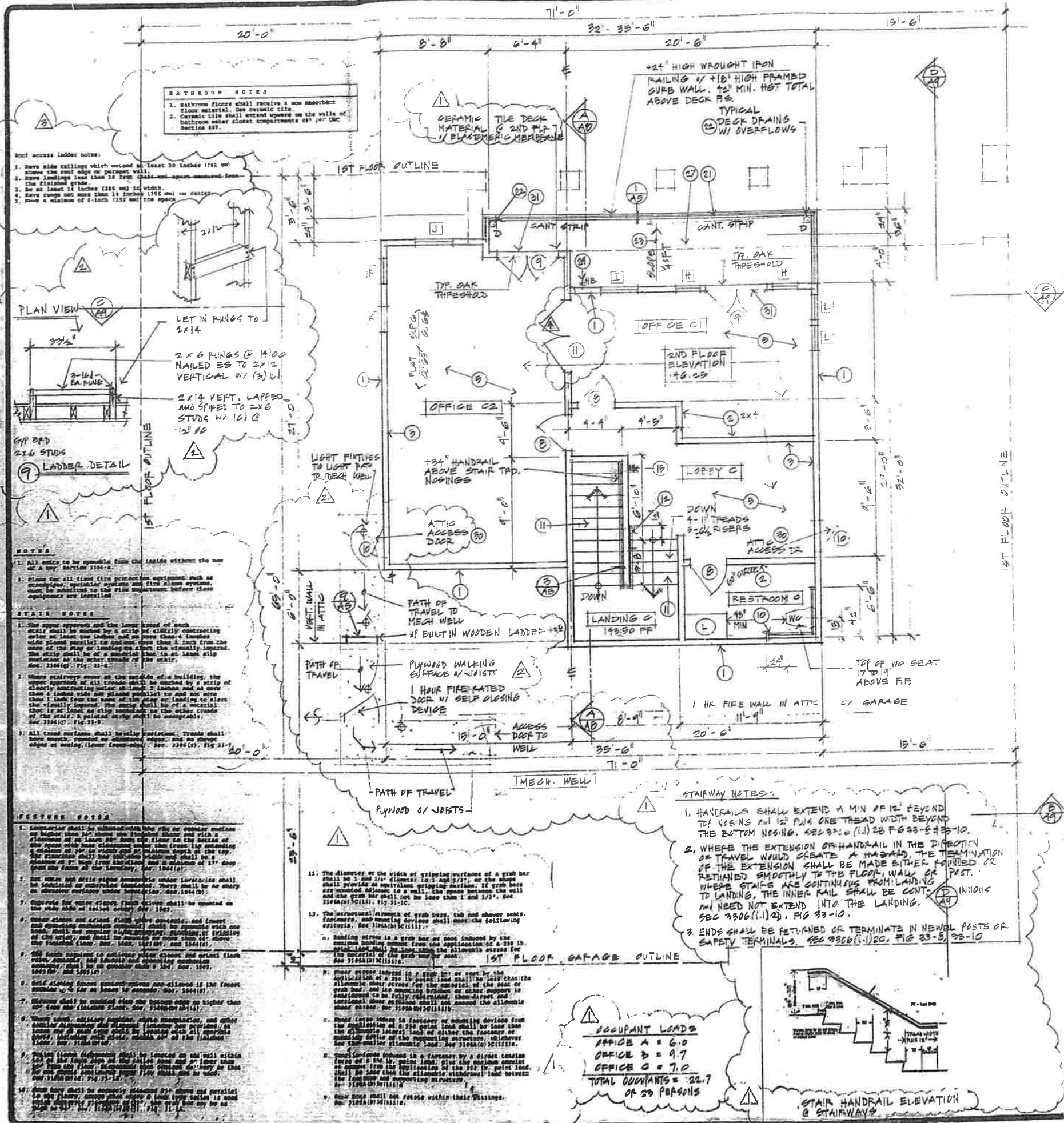
ADDRESS
1308 North El Camino Real
San Clemente, CA
C.M.M.R.L.
RICH WICK
DIANA POSEY, CA 92639



1ST FLOOR PLAN

RECEIVED
JUL 24 1997

DRAWN
CHECKED
DATE
7-18-97
JOB NO.
SHEET
A4

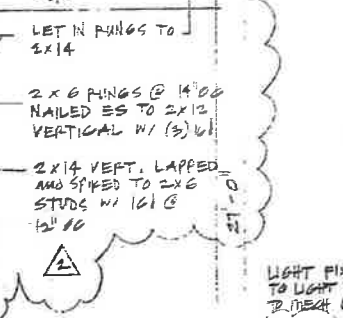


BATHROOM NOTES

1. Bathroom floor shall receive a non-slip floor material. Use ceramic tile.
2. Ceramic tile shall extend up over the walls of bathroom water closet compartments 48" per USC Section 214.

Roof access ladder notes:

1. Have side railings which extend at least 30 inches (762 mm) above the roof edge or parapet wall.
2. Have landings less than 18 feet (5491 mm) apart measured from the finished grade.
3. Be at least 14 inches (356 mm) in width.
4. Have ramps not more than 14 inches (356 mm) on center.
5. Have a maximum of 4-inch (102 mm) rise on steps.



NOTES

1. All exits to be operable from the inside within the span of a bay. Section 214-2.
1. Plans for all fixed fire protection equipment such as fire extinguishers, fire alarm systems and fire alarm systems shall be submitted to the Fire Department before class equipment is installed.

STAIR NOTES

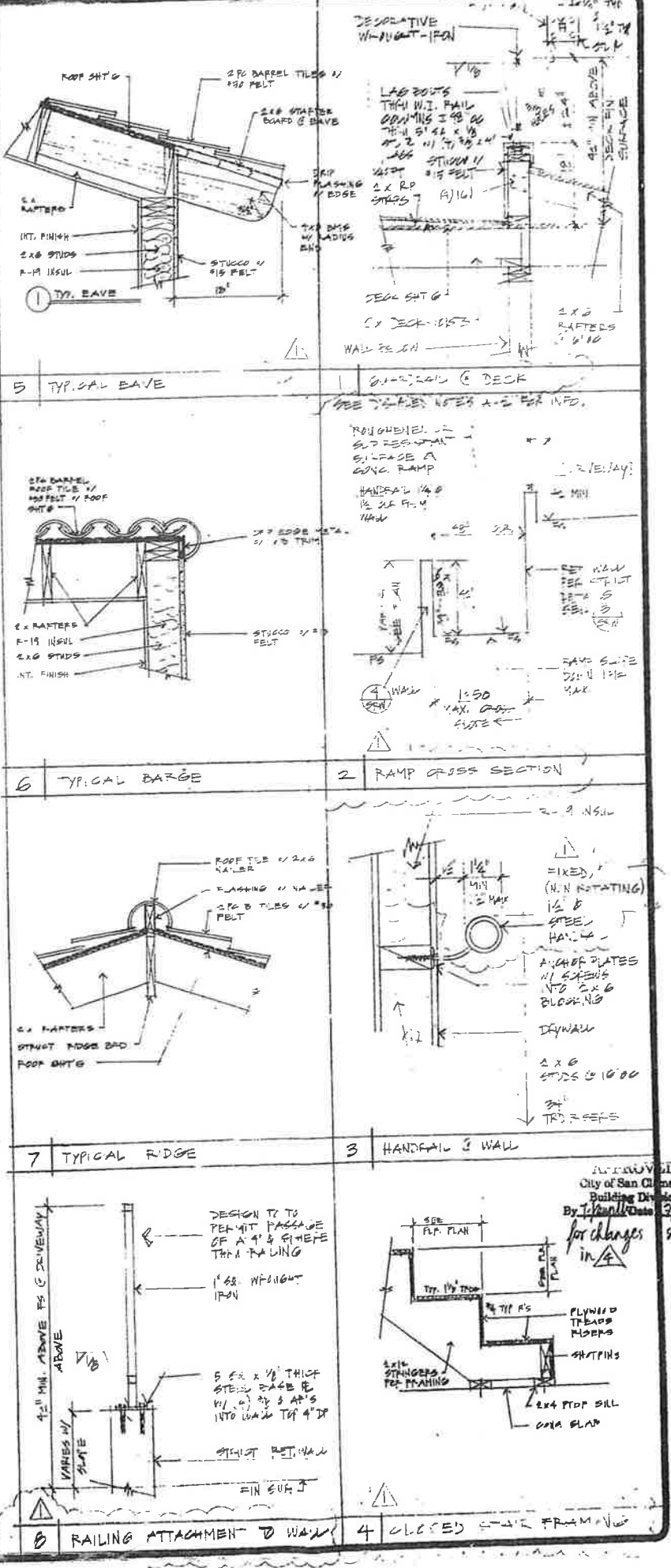
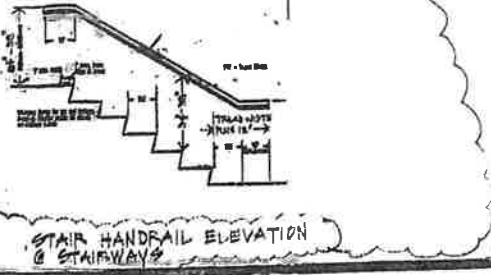
1. The upper approach and the lower landing of each stair shall be finished by a strip of clearly contrasting color at least two inches and no more than 4 inches wide extending to the nosing of the treads and the nosing of the treads on the upper and lower landings. The strip shall be of a material that is at least slip resistant as the other treads of the stair. See 214-10; Fig. 33-2.
2. Where stairways enter on the outside of a building, the upper approach of all treads shall be covered by a strip of clearly contrasting color at least 2 inches and no more than 4 inches wide and placed parallel to and no more than 1 inch from the nosing of the treads to alert the visually impaired. The strip shall be of a material that is at least as slip resistant as the other treads of the stair. A painted strip shall be unacceptable. See 214-10; Fig. 33-2.
3. All tread surfaces shall be slip resistant. Treads shall have a minimum coefficient of friction of 0.06 on a slope of 1:12. See 214-10; Fig. 33-2.

STAIRWAY NOTES

1. HANDRAILS SHALL EXTEND A MIN OF 12" BEYOND TOP OF NOSING AND 12" PLUS ONE TREAD WIDTH BEYOND THE BOTTOM NOSING. SEC 214-10 (1) 23 FIG 33-5 & 33-10.
2. WHERE THE EXTENSION OF HANDRAIL IN THE DIRECTION OF TRAVEL WOULD CREATE A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE MADE EITHER FLANDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL OR POST. WHERE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND INTO THE LANDING. SEC 214-10 (1) 23, FIG 33-10.
3. ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. SEC 214-10 (1) 23, FIG 33-5, 33-10

OCCUPANT LOADS

OFFICE A = 6.0
 OFFICE B = 9.7
 OFFICE C = 7.0
 TOTAL OCCUPANTS = 22.7
 OR 23 PERSONS



REV	DATE	BY	CHKD
1	12-15-77	JM	
2	1-10-78	JM	
3	2-1-78	JM	
4	2-1-78	JM	

ARCHITECT
 JOHN T. MORROW JR.
 10331 Central Expressway
 Garden Grove, CA 92643-2305
 (714) 638-4017

CLIENT
 City of San Clemente
 Building Department
 31661 Big Sur
 Dana Point, CA 92629
 (714) 638-4017



PROJECT
 CITY OF SAN CLEMENTE
 BUILDING DEPARTMENT
 31661 Big Sur
 DANA POINT, CA 92629
 (714) 638-4017

DATE	SCALE	SHEET
12-15-77	1/4" = 1'-0"	A5

FINISH SCHEDULE - ROOFING - SINGLE BARREL MISSION 2 PIGEON TILE COLORS TO BE RED by USA TILE CO. 1000 8 3923

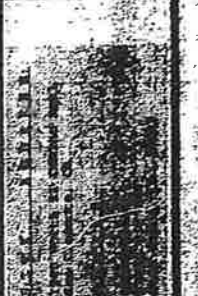
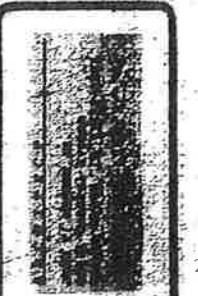
STUCCO - ALL STUCCO W/ BULLDOZE CORNERS AND W/ SAND FINISH COLOR TO BE OFFWHITE

TRIMS - BEAM TAILS WINDOW FRAMES AND JAMBES DOOR FRAMES AND SHUTTERS TO BE STAINED W/ BEE EARLY AMERICAN COLOR

WROUGHT IRON - RAILINGS, VENTS GRADUALS TO BE PAINTED 'BLACK'

TYPICAL SLOPING ROOF MATERIAL

REVISIONS	BY
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10	...



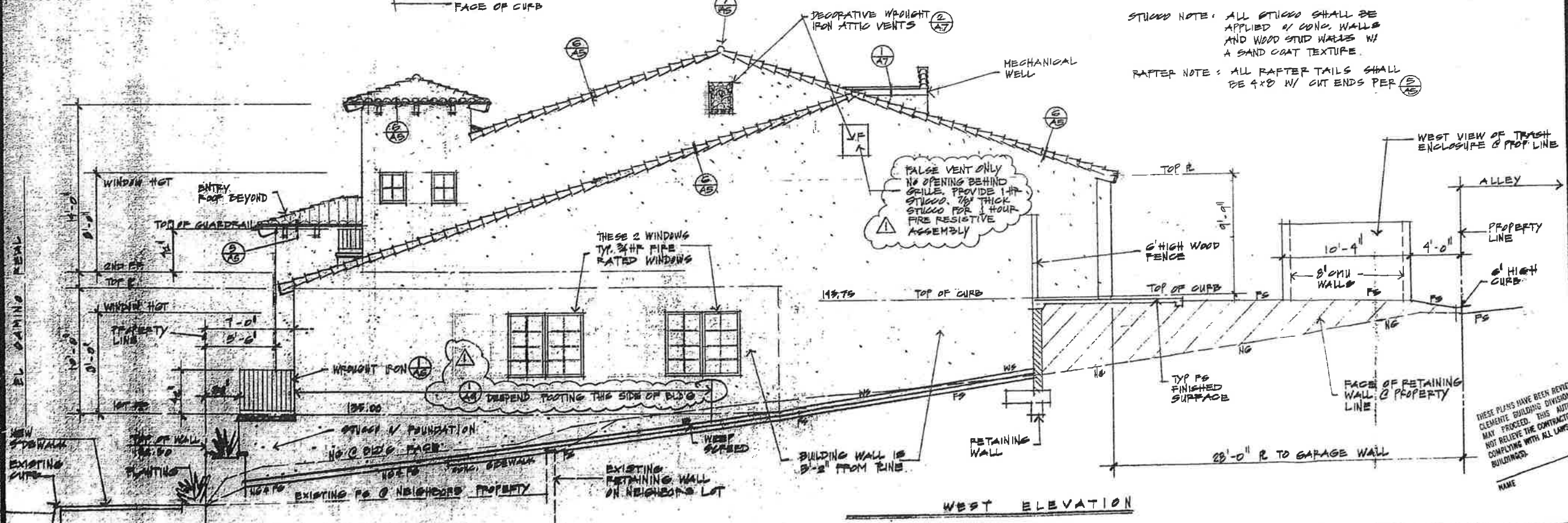
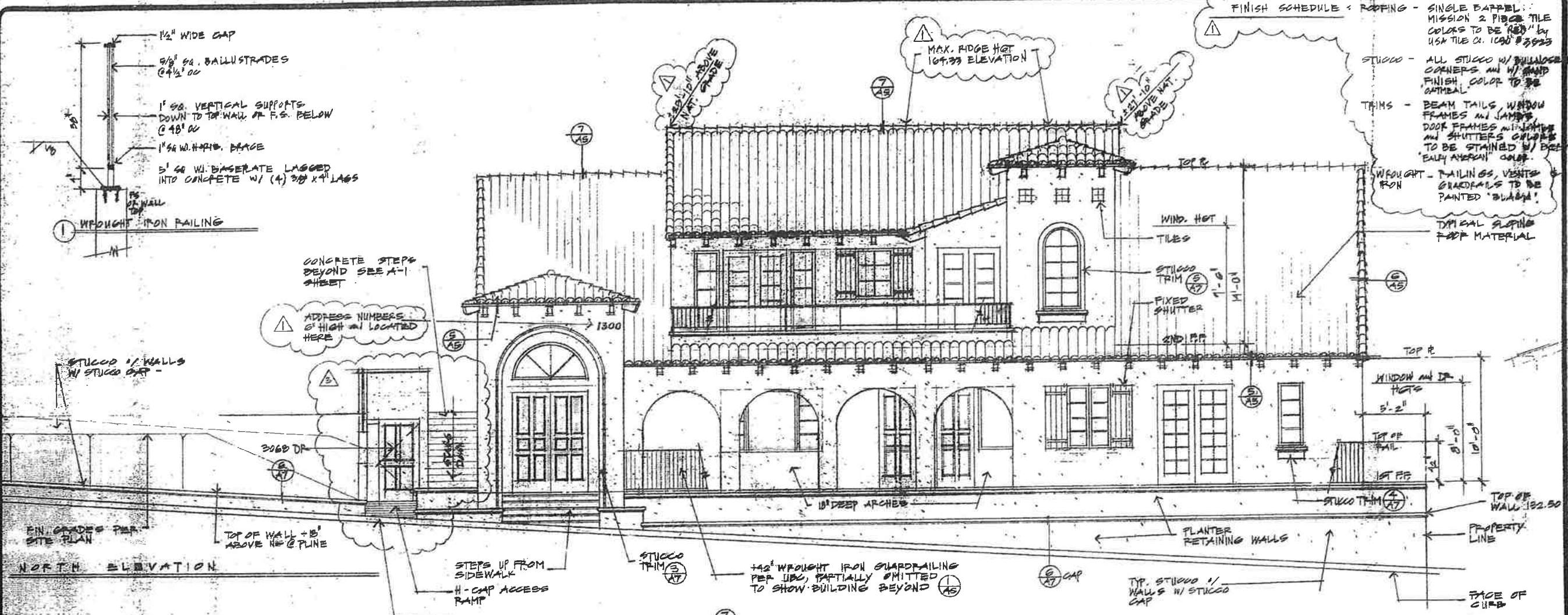
NORTH AND WEST ELEVATIONS

DATE	CHECKED	DATE
...
...
...

THESE PLANS HAVE BEEN REVIEWED BY THE CIVIL ENGINEERING DIVISION OF THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND MAY BE USED FOR CONSTRUCTION OF THIS BUILDING. NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO COMPLY WITH ALL LAWS AND REGULATIONS.

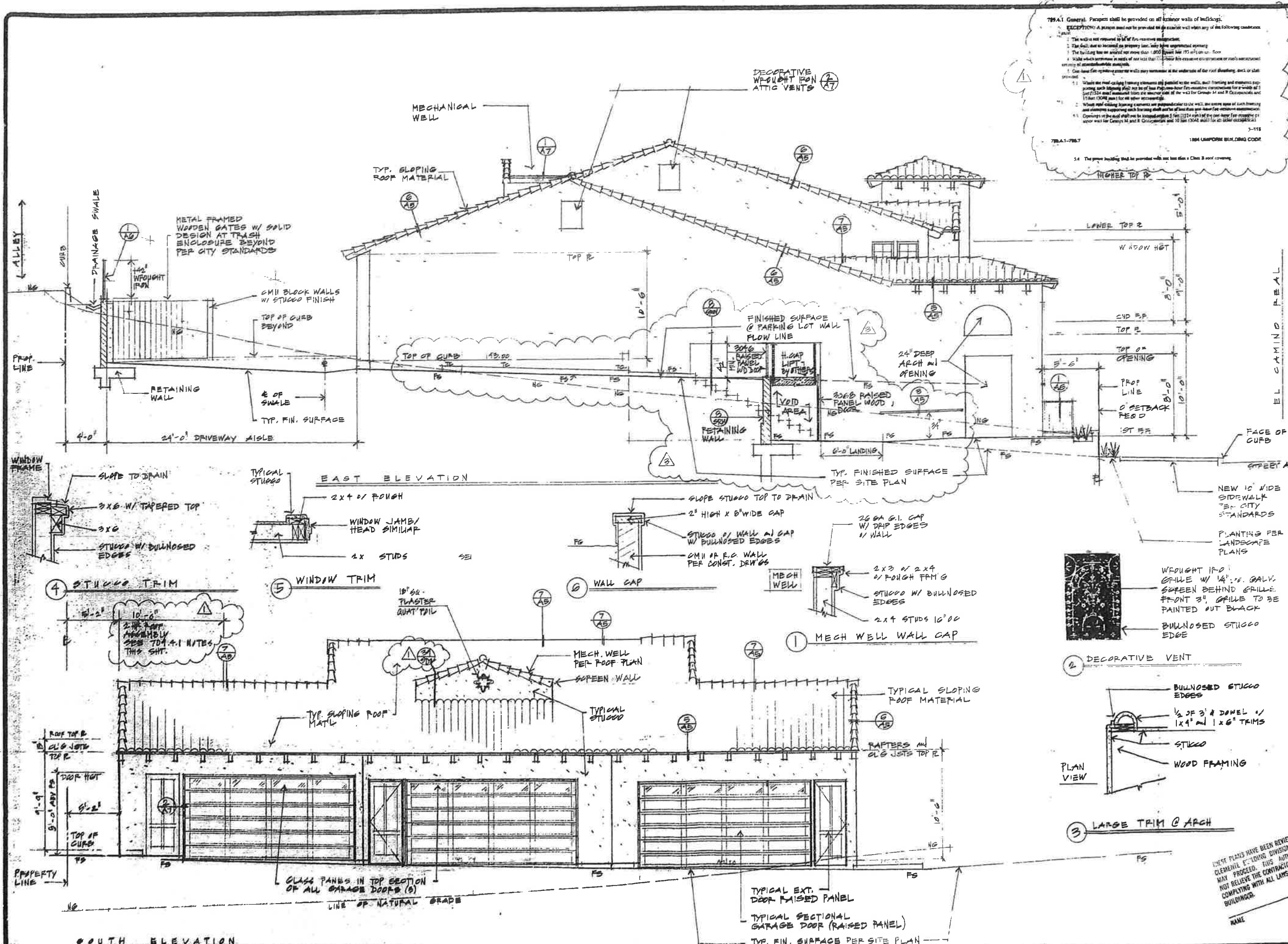
NAME _____

A6



NORTH ELEVATION

WEST ELEVATION



REVISION/	BY
1	7-18-97

ARCHITECT
 JOHN T. MORGAN JR.
 1300 Clements, CA
 10131 Canyon Avenue
 Garden Grove, CA 92643-2308
 (714) 638-4017

ENGINEER
 JOHN T. MORGAN JR.
 1300 Clements, CA
 10131 Canyon Avenue
 Garden Grove, CA 92643-2308
 (714) 638-4017



EAST and SOUTH ELEVATIONS

DATE	SHEET

THESE PLANS HAVE BEEN REVIEWED BY THE SAN CLEMENTE ENGINEERING DIVISION, CONSTRUCTION DEPARTMENT, AND I DO NOT BELIEVE THE CONTRACTOR IS IN COMPLIANCE WITH ALL LAWS THAT APPLY TO BUILDINGS.

NAME

A7

REVISIONS	BY
△ 0-10-47	DT
△ 7-10-47	DT
△ 8-13-47	DT

JOHN T. MORGAN, JR.
 ARCHITECT
 2100 CALIFORNIA ST.
 OAKLAND, CALIF. 94612-1300

JOHN T. MORGAN, JR.
 ARCHITECT
 2100 CALIFORNIA ST.
 OAKLAND, CALIF. 94612-1300



SECTIONS A AND B

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION BY THE SAN JOAQUIN COUNTY SUPERVISOR. THIS APPROVAL IS LIMITED TO THE CONSTRUCTION OF THE BUILDING SHOWN AND DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SCALE: 1/4" = 1'-0"

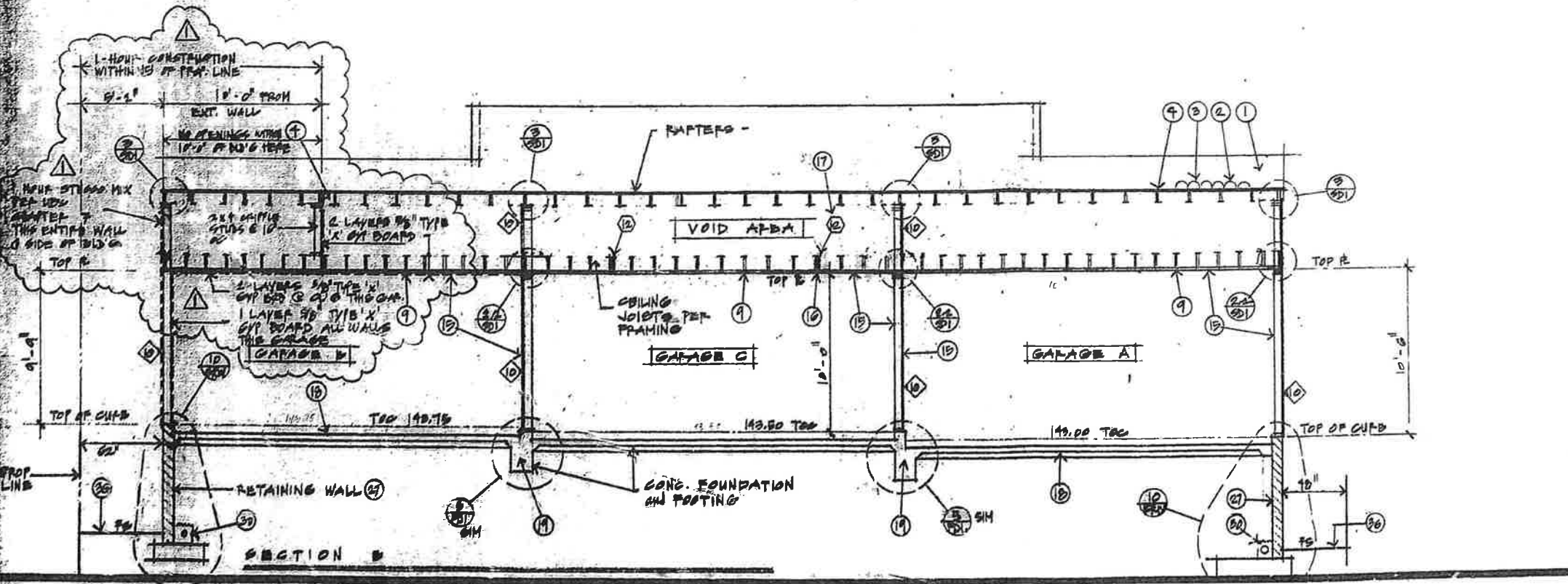
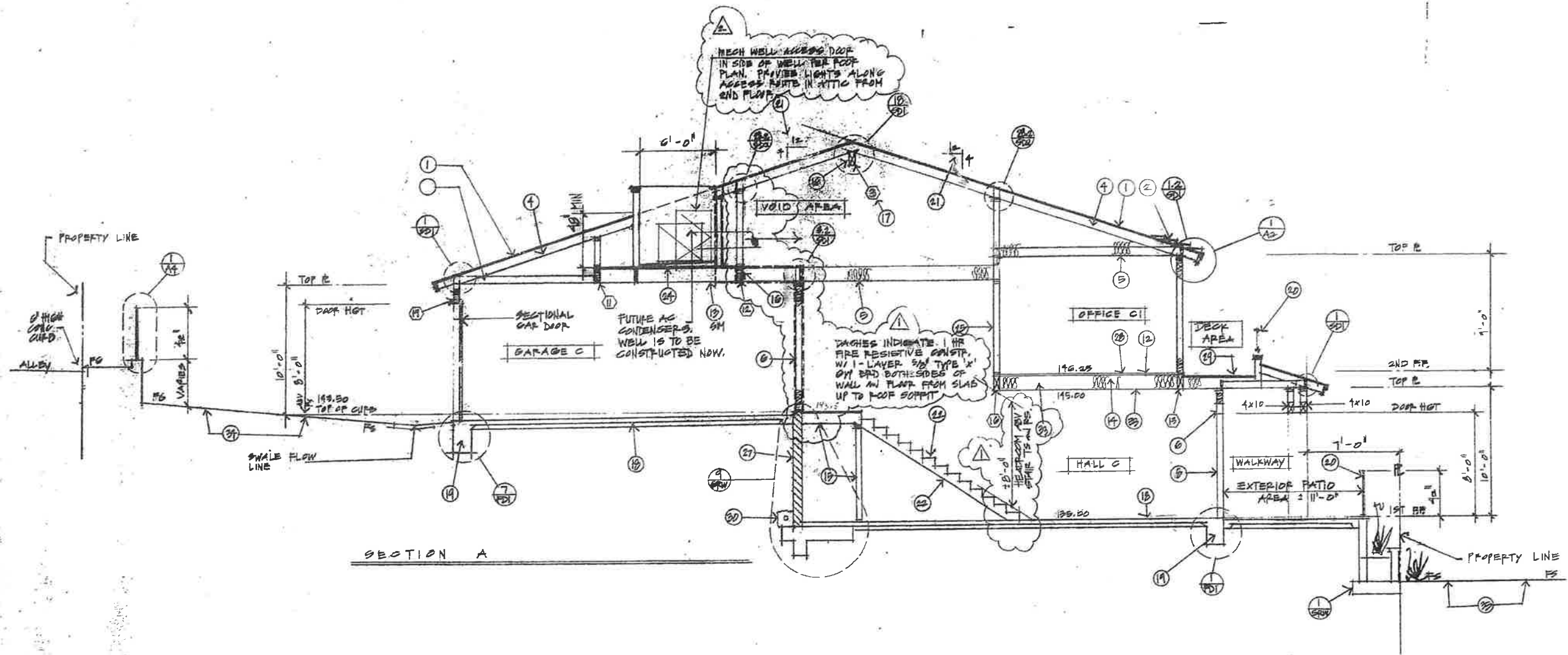
DATE: 8-13-47

BY: DT

NO. 1

HEET

A8



- SECTION NOTES**
- Symbol indicates Section sets to be referenced below.
1. Typ. roof sheathing. See framing plans.
 2. Typ. roof material. See roof plan.
 3. 2 x rafter joists. See framing plans.
 4. Typ. 2 x rafters. See framing plans.
 5. Typ. R-9 battun insulation in all attic & ceiling areas.
 6. Typ. 2 x 6 stud exterior walls with R-13 battun insulation.
 7. Typ. window opening.
 8. Typ. door opening.
 9. Typ. 2 x flat ceiling joist.
 10. Typ. 2 x rafter ceiling joist.
 11. Typ. furred down ceiling with 2 x joists.
 12. Typ. floor sheathing. See framing plans.
 13. Typ. 2 x floor joists. See framing plans.
 14. Typ. R-10 battun insulation in all 2nd floor occurring above 1st floor offices.
 15. 1 layer of 5/8" type X gypsum board at walls and ceilings of garage and possible areas below stairs.
 16. Typ. wood base. See framing plans.
 17. Typ. beam member in calculations. See framing plans.
 18. Typ. 4" concrete slab over 4" sand. See foundation plan.
 19. Typ. concrete footing. See details.
 20. Typ. exterior guardrail. See details, NUMBER 1 or AS.
 21. Typ. 4:12 roof pitch.
 22. Typ. stair construction w/ 1 and 1/8" plywood treads and risers minimum of 5" - N x 12 stringers minimum, U.S.O.
 23. Typ. stair handrail 42" above tread nosings. See details.
 24. mech. well sheathing. See framing plans.
 25. Typical R-13 battun insulation between studs of all interior walls.
 26. Mechanical unit. Provide power, light and switch.
 27. Retaining wall. See foundation plan.
 28. 1/4" lightweight concrete over floor sheathing. THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION BY THE SAN JOAQUIN COUNTY SUPERVISOR. THIS APPROVAL IS LIMITED TO THE CONSTRUCTION OF THE BUILDING SHOWN AND DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 29. Deck at 2nd floor with elastomeric membrane.
 30. French drain behind retaining wall per soils requirement. THIS APPROVAL IS LIMITED TO THE CONSTRUCTION OF THE BUILDING SHOWN AND DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 31. 2 x 6 studs @ 16" O.C. with 1 layer 5/8" type X gypsum board each side full height slab up to roof sheathing.
 32. 2 x 6 studs @ 16" O.C. this wall.
 33. TUI floor trusses. See framing plans.
 34. Driveway area. See site plan.
 35. Public light of way area. See site plan.
 36. Finished surfaces at exterior of building. See site plan.