



**AGENDA FOR THE MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE**

Wednesday, July 10, 2013

10:00 a.m.

**Community Development Department
Conference Room A
910 Calle Negocio Suite 100
San Clemente, CA 92673**

The purpose of this Subcommittee is to provide direction, insight, concerns and options to the applicant on how the project can best comply with the City's Design Guidelines and/or City Policies. The Subcommittee is not an approving body. They make recommendations to the Planning Commission and Zoning Administrator regarding a project's compliance with City Design Guidelines. Each of the Subcommittee members will provide input and suggest recommendations to the applicant based upon written City Design Guidelines and/or City Policies. The Subcommittee will not design the project for the applicant, nor will the members always agree on the best course of action. The applicant can then assess the input and incorporate any changes accordingly with the understanding that the Subcommittee is simply a recommending body. Decisions to approve, deny, or modify a project are made by the Planning Commission, City Council, or the Zoning Administrator with input and recommendations from the Subcommittee and City staff. The chair of the Subcommittee will lead the discussion. Planning staff will be available to provide technical assistance as necessary. Time is limited. Consequently, the Design Review Subcommittee will focus on site and project design rather than on land use issues, which are the purview of the Planning Commission, City Council or the Zoning Administrator.

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability-related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such a modification from the Community Development Department at (949) 361-6100. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

Written material distributed to the Design Review Subcommittee, after the original agenda packet was distributed, is available for public inspection in the Community Development Department, located at 910 Calle Negocio, San Clemente, CA during normal business hours.

1. APPROVAL OF MINUTES:

Minutes to be considered for approval: March 27, 2013, June 12, 2013 and June 26, 2013

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS:

A. Site Plan Permit 13-080, Alora Subdivision Architecture (Wright)

A request to consider proposed architecture for the "Alora" subdivision in the Talega Specific Plan. The project involves the development of 36 single-family dwellings within a previously approved subdivision Tract 16793.

B. Minor Architectural Permit 13-157/Cultural Heritage Permit 13-158, Cappello Addition (Nicholas)

A request to approve an addition to a non-conforming structure across the street from a historic residence. The project site is 115 East El Portal, and the historic structure is located at 116 East El Portal.

C. Discretionary Sign Permit 13-082, North Beach Rooftop Bar and Grill
(Nicholas)

A request to review the revised sign package for the North Beach Roof Top Grill project located at 1509 North El Camino Real.

3. NEW BUSINESS: None

4. OLD BUSINESS: None

5. ADJOURNMENT:

Adjourn to the Design Review Subcommittee meeting of Wednesday, July 24, 2013 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

**CITY OF SAN CLEMENTE
MINUTES OF THE
DESIGN REVIEW SUBCOMMITTEE MEETING
MARCH 27, 2013**

Subcommittee Members Present: Michael Kaupp, Julia Darden and Bart Crandell

Staff Present: Jim Pechous, Cliff Jones and Sean Nicholas

1. MINUTES

Minutes from the March 13, 2013 meeting

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Conditional Use Permit 12-362/Cultural Heritage Permit 12-363/Discretionary Sign Permit 13-082/Sign Exception Permit 13-083/Minor Exception Permit 13-084/Outdoor Dining Permit 13-085, North Beach Rooftop Grill and Bar

A request to convert a one-story commercial building into a restaurant with an open roof top bar and grill, and approve a new sign package which exceeds the allowed total sign area for the site. The project is located at 1509 North El Camino Real.

Associate Planner Sean Nicholas introduced the item. The DRSC began the discussion by going over the previous changes made to the building including:

- Modifications to the trellis structures located on the roof.
- Decreases in the height of the trellis structure to reduce the mass of the roof top structure.
- Modified color on the roll up doors.
- Modified rear stair well.
- Clarified that the stucco of the support posts for the trellises and the monument sign should match the existing stucco in color and texture.

Design Review Subcommittee members indicated that the design revisions were well done and addressed the discussion points from the previous meeting.

Commissioner Darden indicated again, that while it was not the purview of DRSC, that noise could be a major topic of discussion at Planning Commission.

The applicant, Dave Gutierrez, indicated that he understood the requirements of the Municipal Code and that he would be policed the same as everyone, and they have a sound meter to make sure there will not be a problem and a noise study had not been completed for the project.

Associate Planner Nicholas presented the various signs proposed for the project, sign area, materials and illumination choices. In particular, staff discussed issues related to the applicant's proposal to use neon for illumination for the three signs. Staff indicated that neon is unique and hand crafted in appearance, but was substantially different from what has been approved for other signs in the community especially in the architectural overlay. Staff indicated that there were neon signs within the architectural overlay areas in the past, but most if not all of those signs had been removed.

Staff indicated that overall, with the recommendations listed in the staff report, staff is supportive of the unique signage for the site and it is staff's position that the required findings can be made for a Discretionary Sign Permit to approve the use of neon especially in North Beach which is identified as a entertainment and restaurant hub of the community both in the current and Centennial General Plan.

Subcommittee Member Kaupp felt it best to first discuss the signage conceptually. Committee Member Kaupp indicated that he is a proponent of neon and finds that it is a great detail for signage. Though he indicated concern that with the way San Clemente used to be with signage was not necessarily a good thing, and that approving this opens the door for more signage with neon. The concern is that it will be going back to a time which was not aesthetically pleasing and was allowed to proliferate and become obsessive. He stated that he believes that people do not want to go back to this time period in San Clemente. Once neon is introduced, how do you say no in the future. He did make it clear that he liked the signage, the signs were bright, interesting, and well designed, and one of the better signs brought before the Subcommittee, perhaps not for this location and opening the door to other larger applications.

City Planner Pechous indicated that most of the signs being looked at by the DRSC would not be permitted today as they are oversized signs, types, and locations.

Subcommittee Member Kaupp again brought up his concern regarding opening the door to neon and what the result would be for the community.

Subcommittee Member Darden expressed similar concerns as Subcommittee Member Kaupp. She indicated she appreciated the vintage

style and the nostalgia and finds it charming, but has concerns about how to tell people no in the future if approved. She indicated that she liked the style of the signs, but does not feel that it blends with the architecture of the building, in particular the projection sign. She stated that the use of neon in combination with the overall design of the projecting sign is not consistent with the architecture. This is a concern for her.

Subcommittee Member Crandell indicated that looking at the findings, he did not think he could support the findings for the Discretionary Sign Permit because, as Subcommittee Member Darden stated, that the projecting sign does not harmonize with the building and architecture. He also stated that he could not support a Sign Exception Permit.

Associate Planner Nicholas stated that reducing the sign square footage is the first recommendation from staff and preliminarily talked with the applicant about reducing the sign.

The applicant indicated that he was supportive of reducing the signage to the necessary square footage so it would not require a Sign Exception Permit.

Associate Planner Nicholas then indicated that the Sign Exception Permit is now no longer needed, but the Discretionary Sign Permit is still required for the amount of site signage and use of neon.

Subcommittee Member Crandell indicated that he still needed to understand how the sign is compatible with the building similar to what the other Subcommittee members indicated. He stated on other buildings in the community it may work well, but on this building in the Architectural Overlay, he believes it doesn't.

3. ORAL AND WRITTEN COMMUNICATIONS

None.

4. ADJOURNMENT

Adjourn to the Design Review Subcommittee meeting of April 10, 2013 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Respectfully submitted,

Michael Kaupp, Chair

Attest:

Cliff Jones

DRAFT

**CITY OF SAN CLEMENTE
MINUTES OF THE
DESIGN REVIEW SUBCOMMITTEE MEETING
June 12, 2013**

Subcommittee Members Present: Michael Kaupp and Lew Avera

Staff Present: Jim Pechous, Cliff Jones and Sean Nicholas

1. MINUTES

Minutes from the March 27, 2013 meeting

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Historic Property Preservation Agreement 13-136, Porter Residence (Ciampa)

A request for a Mills Act agreement for a historic house located at 516 Elena Lane.

Associate Planner John Ciampa presented the staff report.

The DRSC stated that they were not concerned with the design of the garage doors because they are a good design and have a historic feel. It was recommended that this restoration improvement be removed from the restoration schedule. The DRSC recommended that the concrete railing in the yard area of the house be removed or screened by landscaping and if it were to be replaced it should be with a traditional railing design.

The property owners, Jane Porter and Ty Gruney, stated that they were willing to comply with all of the recommended restoration improvements.

The DRSC asked the property owners if they planned on continuing the previous owner's use of the property as a bed and breakfast. The property owners stated that they live there with their children and do not plan to operate a bed and breakfast.

The DRSC was in support of the project moving forward with the recommended modifications to the restoration improvement schedule.

**B. Historic Property Preservation Agreement 13-101, Webber Residence
(Ciampa)**

A request to consider a Mills Act agreement for a historic house located 165 Calle Redondel.

Associate Planner John Ciampa presented the staff report.

Subcommittee Member Kaupp stated that when viewing the property from the street, the detached in-bank garage is a prominent feature of the property. The DRSC requested staff research to determine the original material on the roof of the garage. If the roof was found to be tile, then replacing the roof with tile should be added to the HPPA restoration schedule.

The property owner, Philip Larson, stated that he has inspected the construction of the garage and there has been no change to the structural members of the garage. He stated that if tile is required for the garage roof, there would likely need to be structural upgrades to support the extra weight.

Staff stated that they would research the issue and if it's determined the garage had a tile roof, then a restoration improvement would be added to the HPPA to replace the rock roof with tile.

The DRSC stated that the photos in the DPR form show a railing beside the steps up the slope to the house. That railing has since been removed. If railing is to be added, a restoration improvement should require it to be wood or wrought iron.

The DRSC supported the project with the recommended modifications to the restoration improvement schedule.

**C. Minor Cultural Heritage Permit 13-173, Cook Residence Window Replacement
(Ciampa)**

A request to consider the installation of vinyl windows for a historic house located at 410 Avenida Granada.

Associate Planner John Ciampa presented the staff report.

The executive of the property owners estate, Michael Ela, stated that the windows were replaced in 2000 when a remodel was done to the house. At that time the property owner was not aware that a permit was required and that the house was historic.

Subcommittee Member Kaupp stated that they want to be sympathetic to the property owner because of her age and past involvement with the City; however, the DRSC is bound by the requirements of the Municipal Code and vinyl windows are a significant departure from what the code allows.

Subcommittee Member Kaupp asked staff if a building permit is required to replace windows for any building in San Clemente. Staff responded stating that a building permit is required for replacement of any window in San Clemente and if a permit were sought and obtained the installation of the vinyl windows in the historic house would have been avoided.

Subcommittee Member Kaupp stated that as a member of the Downtown Business Association they have had similar issues and had to do outreach to notify property owners of City requirements and avoid issues like this. Subcommittee Member Kaupp suggested that the City notify historic property owners of specific requirements applicable to historic properties.

Staff stated that they will notice historic property owners annually to avoid issues like this in the future.

Mr. Ela stated that it would be easy to say the windows do not meet the code that the owner should replace the vinyl windows with wood windows. A proposal was presented to the DRSC to allow the windows to finish being installed and then when the property changes hands, the new owner would be required to install wood windows.

The DRSC stated that the proposal was interesting but they could not turn a blind eye to the issue of the vinyl windows. An alternative option was proposed by the DRSC to recommend approval to the Zoning Administrator for vinyl windows with a condition of approval that required the property owner to submit for a HPPA. As part of the HPPA one of the restoration improvements would be that the vinyl windows be replaced with wood windows within the ten year term of the agreement.

The DRSC supported the project with the proposed condition requiring the owner enter into a HPPA because it resolves the window issue in the short term for the owner and ensures the vinyl windows are replaced at the end of the initial 10 year term of the HPPA.

D. Cultural Heritage Permit 13-105, Whitmore Residence Addition
(Wright)

A request to consider an expansion and remodel of a nonconforming residence located at 235 West Marquita. The subject site is a coastal canyon lot across the street from a historic structure. The site's legal

description is Lot 14, Portion of Lot 13; Block 17 of Tract 793, and Assessor's Parcel Number 692-095-17.

Associate Planner Christopher Wright presented the staff report. The Subcommittee supported the project and recommended it be considered by the Planning Commission.

E. Minor Cultural Heritage Permit 13-064, Active Culture Natural Café
(Jones)

A request to consider exterior changes to accommodate a restaurant use at 109 South El Camino Real

Due to Subcommittee Member Julia Darden's absence and the recusal of Subcommittee member Michael Kaupp, which resulted in a lack of quorum, this item was continued to the Design Review Subcommittee meeting scheduled for Wednesday, June 26, 2013.

F. Conditional Use Permit 12-334/Site Plan Permit 13-200/Architectural Permit 13-201, Verizon Wireless at Vista Hermosa Park (Jones)

A request to consider allowing the replacement of a field light pole with a cellular filed light pole at Avenida Vista Hermosa Sports Park located at 987 Avenida Vista Hermosa.

Associate Planner Cliff Jones presented the staff report.

The Subcommittee indicated that the equipment building was attractive and supported the design. The Subcommittee recommended that a condition of approval be added to the project that would allow additional carriers to locate within the cellular equipment building and/or lease area.

Subcommittee Member Kaupp indicated that he felt the cellular light poles were not a "stealth" design because the antennas are visible. He has concerns about adding cellular light poles to one of the most attractive parks in town.

The Subcommittee acknowledged that the cellular filed light pole is identified as "stealth" within the City Wireless Master Plan for public properties and past precedent has allowed cellular field light poles at Bonita Park and San Gorgonio Park. Subcommittee Member Avera based his support of the project on the City Wireless Master Plan and past precedent. Mr. Kaupp conceded that the cellular light pole design is identified as a "stealth" concept in the Plan but he still perceived the cellular light pole design as "visual blight."

The Subcommittee recommended the project be considered by the Planning Commission.

3. ORAL AND WRITTEN COMMUNICATIONS

None.

4. ADJOURNMENT

Adjourn to the Design Review Subcommittee meeting of June 26, 2013 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Respectfully submitted,

Michael Kaupp, Chair

Attest:

Cliff Jones

DRAFT

**CITY OF SAN CLEMENTE
MINUTES OF THE
DESIGN REVIEW SUBCOMMITTEE MEETING
June 26, 2013**

Subcommittee Members Present: Michael Kaupp, Julia Darden and Bart Crandell

Staff Present: Jim Pechous and Cliff Jones

1. MINUTES

Minutes from the March 27, 2013 meeting not approved
Minutes from the June 12, 2013 meeting not approved

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. 109 South El Camino Real - Minor Cultural Heritage Permit 13-064 - Active Culture Natural Café (Jones) (continued from 6/12/13)

A request to consider exterior changes to accommodate a restaurant use at 109 South El Camino Real.

Subcommittee Member Michael Kaupp recused himself stating that he owned property within 500 feet of the subject application.

Associate Planner Cliff Jones summarized the staff report.

The DRSC supported the exterior design changes recommended by staff, which includes:

1. Traditional wrought-iron lighting should be provided within the outdoor dining area.
2. Wrought iron railing design should be simplified.
3. Consider adding Catalina style ceramic tile to storefront bulkhead or other areas to add color and richness.
4. If planters are proposed, glazed pots are recommended at front entry, consistent with SCR style, as opposed to a more modern rectangular planter box. If a rectangular planter box is preferred by the applicant, it should incorporate a traditional stucco finish.
5. The columns supporting trellis feature should be more substantial in size. Acceptable materials include wood, stucco, stone, etc. Wood elements of trellis should be painted or stained dark brown.
6. Signage should be traditional in appearance consisting of sand blasted wood, painted signage with goose neck lighting, or pinned metal letters.

7. If outdoor heating is proposed it should be incorporated in the design of the trellis and/or building.
8. Window/door storefronts should be traditional in appearance. Samples should be provided of windows and door finishes for staff review and approval.

The DRSC recommended two additional items for the applicant to consider, which include:

1. Adding a corbel detail to the top of the roof to improve the roof line to screen existing or new roof equipment.
2. Surface treatments along the front of the building should be consistent.

The DRSC indicated they felt comfortable with staff reviewing the tile, window, door and all other exterior materials to assure consistency with the requirements of the Architectural Overlay.

The Design Review Subcommittee expressed support for the project with the recommended design changes, complimented the applicant on the improvements and modifications they had made to the building, and recommended the project move forward to Zoning Administrator. The applicant thanked DRSC for its comments and time.

B. 721 Avenida Salvador - Conditional Use Permit 11-547 - Verizon on Salvador (Jones)

A request to consider allowing a faux eucalyptus tree containing cellular antennas on City-owned property. The subject site is 721 Avenida Salvador.

Associate Planner Cliff Jones summarized the staff report.

The DRSC members expressed support for the cellular faux eucalyptus stealth design for the site noting: 1) the faux eucalyptus is anticipated to blend with surrounding eucalyptus; and 2) The City Wireless Master Plan for public property identifies faux trees as a stealth design; and 3) Similar approvals have been made at other City water reservoir sites; and 4) alternative stealth options built at similar heights would be out of context.

The DRSC emphasized that the faux tree stealth concept is appropriate for sites that are typically viewed from afar (i.e. water reservoirs) but may not be appropriate for sites that persons can view up close (i.e. City parks).

The DRSC recommended the faux tree have a branch and leaf density equivalent to the Laguna Hills faux eucalyptus tree installation, which was presented as a similar installation. The DRSC also recommended that a condition of approval be added to assure that faux tree leaves and limbs that fade are replaced as part of routine maintenance. Lastly, the DRSC requested the applicant investigate whether faux leaves can be provided that are greener with less of a blue hue.

The DRSC expressed support for the project with the recommendations, and recommended the project move forward to Zoning Administrator. The applicant thanked DRSC for its comments and time.

3. ORAL AND WRITTEN COMMUNICATIONS

None.

4. ADJOURNMENT

Adjourn to the Design Review Subcommittee meeting of July 10, 2013 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Respectfully submitted,

Michael Kaupp, Chair

Attest:

Cliff Jones



Design Review Subcommittee (DRSC)

Meeting Date: July 10, 2013

PLANNER: Christopher Wright, Associate Planner *CW*

SUBJECT: Site Plan Permit 13-080, Alora at Talega, a request to consider revised architecture for the construction of 36 single-family dwellings in Talega Village 4.

BACKGROUND:

Project Description

William Lyon Homes proposes revisions to previously approved designs for 36 single-family dwellings in Tract 16795 "Alora." Tract 16795 is a part of Planning Area 4D-1 in Talega Village 4. The area is located within the Low Density Residential zone of the Talega Specific Plan (TSP). Three two-story floor plans are proposed and three styles of architecture. The lot lines, grading, landscape concept and other improvements would not change. The applicant identifies the proposed architecture styles as: 1) Mission, 2) Spanish Colonial Revival, and 3) California Ranch.

Refer to Attachment 1 for a vicinity map, phasing plan, and a "tentative" plan for architecture styles. Table 1 summarizes the floor plans:

Table 1 – Comparison of Proposed Floor Plans

Floor Plan	Description	Square Feet	# of Units	% Mix
1	5 bedrooms, 5 ½ bathrooms, and 3 parking spaces (1 is tandem*). Optional guesthouse, master retreat, study, closet, covered porch	3,926	10	28
2	5 bedrooms and 5 ½ bathrooms, 4 parking spaces (1 is tandem*, 1 in side entry garage). Optional covered porch and outdoor courtyard	4,300	10	28
2X	Same as floor plan 2 except for not having a side-entry, one-car garage.	4,300	3	8
3	5 bedrooms, 5 ½ bathrooms, and 4 parking spaces (1 is tandem*, 1 in side entry garage), and guesthouse. Optional covered porch and courtyard	4,649	13	36
Total			36	100

*Tandem parking spaces are not counted as required parking spaces

Background

In 2003, the City Council approved a Tentative Tract Map and Site Plan Permit, allowing the land subdivision, site plan, and architecture for Talega Village 4. In 2006, the City Council approved revised architecture for 49 houses in Talega Village 4, known as Planning Area 4D-1. Refer to Attachment 2 for elevations of the previously approved architecture. William Lyon Homes constructed 13 of the 49 houses. Photographs of the houses are provided as Attachment 3. Site Plan Permit 13-080 is required because building permits were not issued for the remaining 36 lots (the “subject residences”). Table 2 summarizes the floor plans that were previously approved:

Table 2 – Summary of Previously Approved Architecture

Floor Plan	Description	Square Feet	# of Units	% Mix
1	4 bedrooms	3,862	12	24
2	4 bedrooms	4,112	16	33
3	5 bedrooms	4,496	21	43
Total			49	100

Why is DRSC Review Required?

Talega Specific Plan Section 602(G) requires Planning Commission approval of a Site Plan Permit (SPP) to allow projects. Per Section 602(F), projects must be reviewed by the Design Review Subcommittee (DRSC) to ensure they are compatible with surrounding properties, are in character with the neighborhood, and are consistent with the Talega Specific Plan (TSP) Design Guidelines and City Design Guidelines.

ANALYSIS:

Development standards

The project is consistent with development standards in the TSP. Table 3 identifies development standards and the project’s consistency with them:

Table 3 – Consistency of Development Standards

Development standard	Talega Specific Plan requirement	Proposed
Building Height (Maximum)	35’ , two stories	28’-1”, two stories
Setbacks (Minimum):		
Front*	15’	15’ minimum
Interior side yard	5’	5’ minimum
Street side yard	10’	10’ minimum

Table 3 – Continued

Development standard	Talega Specific Plan requirement	Proposed
Street facing garage*	18' with roll up door	18' minimum
Side entry garage*	10'	10' minimum
Required setbacks (Minimum): Rear	15'	15' minimum
Lot coverage (Maximum):	50%	33% Average
Required parking (Minimum):	90 (2.5/DU) 2 spaces per unit on site and .5 spaces per unit provided off site	172 spaces (4.7/DU)

* Front setbacks are measured from back of sidewalk

Design Guidelines

The Talega Specific Plan (TSP) Design Guidelines and City Design Guidelines apply to the project. The TSP Guidelines encourage four historical architecture styles and criteria for them: Mission, Spanish Colonial, Ranch, and Monterey Spanish. The Guidelines state the four styles are the primary design direction for Talega, but the design guidelines are more flexible for residential projects. The TSP allows residential architecture to differ from the four styles, provided that the projects complement Talega, enhance variety, and are compatible with neighborhoods. In other words, the TSP encourages, but doesn't require, projects to follow the Design Guidelines. Table 4 summarizes the project's consistency with the TSP and City Design Guidelines.

Table 4 – Consistency of Design Guidelines

Subject	Design Guideline or Policy	Project Consistency
1. Quality, variety, and compatibility of Talega residential projects	<i>"[Residential projects are] to...[have] a high level of product quality, to assure both variety and compatibility, and to enhance the community's overall value."</i> [Talega Specific Plan (TSP) Section 305(E)(1), Page 3-45]	Mostly consistent. The materials, massing, design, scale, and details of the product are in character with the neighborhood, and are generally of the same or higher quality than the 13 existing houses in Planning Area 4D-1. That said, staff believes some changes should be made to improve the quality and compatibility of the product.

Table 4 – Continued

	Subject	Design Guideline or Policy	Project Consistency
2.	Compatibility with adjacent structures	<i>“Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.”</i> (City Design Guidelines II.B.3)	Mostly consistent. Each floor plan has a one story building element on the front facade to create depth and the appearance of building separation between buildings. More depth and building separation is needed on some lots within minimum side yard setbacks
3.	Mission architecture details and materials	<i>“Mission architecture is characterized by provincial adaptations of classical Mediterranean architecture limited by unskilled designers and laborers and available materials.”</i> [TSP Section 305(B)(1), Page 3-29]	Partially consistent. Cultured stone would be applied above and around the entrance of Mission floor plans 2 and 3. While the proposed veneer is a high-quality material, stone wall surfaces are not traditional of Mission architecture
4.	Mission - windows	<i>“Wall surfaces... [are] pierced by regular spacing of deep-set windows.”</i> [TSP Section 305(B)(1)(f), Page 3-29]	Partially consistent. Windows would be deep-set on the first floor. Some second floor windows are not deep-set
5.	Spanish Colonial - roofs	<i>“[Roofs should be] exclusively tile roofs in gable, hip gable, and sometimes flat configurations... Eaves have cornices, or wider overhangs with exposed rafters...”</i> [TSP Section 305(B)(2)(b), Page 3-30]	Inconsistent. Roof types and accents are uniform. The Spanish Colonial roof design and accents are limited to hip elements and cornices. Some variation is recommended to improve the quality of the product
6.	Roof types	<i>“Care should be taken to avoid a “canyon” (side yard) effect when both buildings have front-to-rear gables.”</i> [TSP Section 305(E)(4)(b)(1), Page 3-49]	Partially consistent. The California Ranch product has hip and gable roofs along the side yard. The Mission and Spanish Colonial designs have hip roofs along the majority of the side yard so there is the potential for a “canyon effect” when Mission and Spanish Colonial buildings are adjacent to each other, especially when the minimum side yard setback is between buildings

Table 4 – Continued

Subject	Design Guideline or Policy	Project Consistency
7. California Ranch style	The TSP describes “California Ranch” style is “low profile” with walls that are “normally single-level with low, horizontal emphasis.”	Partially inconsistent. Two-story floor plans are proposed, but the Guidelines allow residential architecture to vary from the four historical styles that are encouraged (e.g. Ranch).

RECOMMENDATIONS:

Staff suggests design changes to improve the proposed architecture and its consistency with Design Guidelines. Table 5 identifies the recommended changes and related Design Guidelines.

Table 5 – List of recommended changes

Recommendation	Floor plan and/or architecture style	Related guideline in Table 4
1. Enlarge the first story element (“the study”) towards the front property line on the alternative version of floor plan 2 so there is more depth and visual separation between buildings. This is especially recommended on lots 31 and 48 where the floor plan is proposed and the minimum side yard setbacks are provided	Front elevation of floor plan 2 (alternative version without side entry garage), all styles. See page 22 of plans	See rows 1 and 2
2. Use painted tiles, carved stone, or carved wood, instead of stone veneer, to accent front entrances of Mission floor plans	Front elevation of floor plans 2 and 3, Mission style. See page 14 and 30 of plans	Rows 1 and 3
3. Limit use of stone above first story building elements. This is consistent with the usage of stone on other Talega houses	Front elevation of floor plans 2 and 3, all styles. See pages 2, 14, 22 and 30	Row 1
4. Recess all windows on the front facade of all floor plans and styles	Front elevation of floor plan 1 and 3. Deep-set windows are already proposed on floor plan 2. See page 2 of plans	Rows 1 and 4

Table 5 – Continued

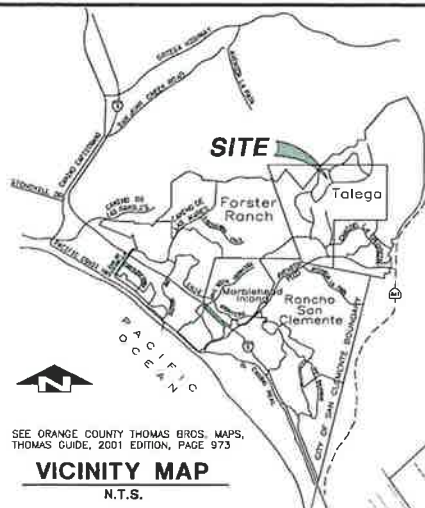
	Recommendation	Floor plan and/or architecture style	Related guideline in Table 4
5.	Use hip and gable roofs on the front elevation and along side yard of the Spanish Colonial houses. Accent gable roof elements with wider eaves, exposed rafters, and scalloped tile/stucco edging	Front and side elevations, all Spanish Colonial floor plans. See pages 2, 14, 22 and 30	Rows 1, 5, and 6
6.	Convert segmented arch into a “true arch” or square-off and accent the wall opening for the building entrance of floor plan 1.	Front elevation of floor plan 1, Mission style. See page 2	Row 1.
7.	Replace stucco trim details around doors and windows with rough-sawn wood trim	Front elevation of all floor plans and styles	Row 1
8.	Include a condition of approval that prevents the same type of architecture from being used on adjacent lots and limits the use of one style to less than 40% of homes on a block	N/A	Row 1

CONCLUSION:

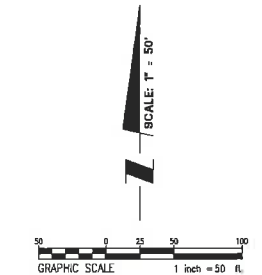
With the suggested changes, staff recommends the project be forwarded to the Planning Commission with DRSC’s recommendation of approval.

Attachments:

1. Vicinity Map, Phasing plan, and “tentative” plan for architecture styles
2. Previously approved architecture
3. Photographs of existing houses in Planning Area 4D-1
4. Proposed architecture plans



- ELEVATION TYPE MISSION
 - ELEVATION TYPE SPANISH COLONIAL
 - ELEVATION TYPE CALIFORNIA RANCH
- LOT NUMBER
- 15
3BR
- R = REVERSE
 A or B = ARCHITECTURE ELEVATION
 1, 2 or 3 = BUILDING TYPE




PHASE SUMMARY

PHASE	LOT NUMBERS	PLAN 1	PLAN 2	PLAN 2 alt.	PLAN 3	TOTAL
1	40 - 49	2	1	3	4	10
2	7 - 18	4	3	-	5	12
3	23 - 26	1	2	-	1	4
MODEL	35 - 37	1	1	-	1	3
PARKING LOT	38 - 39	1	1	-	-	2
M.B.O.	30 - 34	1	2	-	2	5
TOTAL	36	10	10	3	13	36

PHASING PLAN
 TALEGA PLANNING AREA 4D-1
 ALORA - Tract No. 16795
 Lots 7-18, 23-26 and 30-49

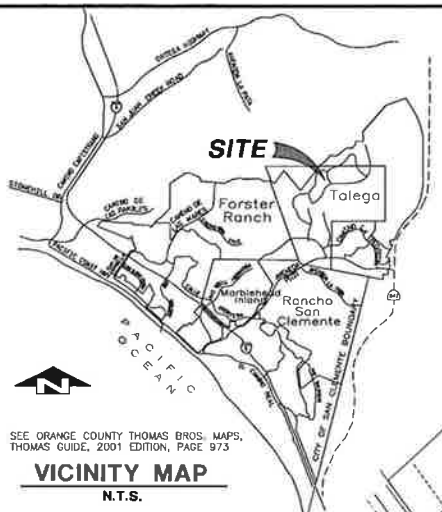
OWNER/SUBDIVIDER
 ORA ALORA 36, LLC
 10800 WILSHIRE BLVD, SUITE 1420
 LOS ANGELES, CALIFORNIA 90024
 (310) 474-8400

MANAGING BUILDER
 WILLIAM LYON HOMES
 4490 VON KARMAN
 NEWPORT BEACH, CA 92660
 MR. PAT MCCABE, PROJECT MANAGER
 (949) 476-5451

CIVIL ENGINEER

ADAMS & STREETER
 CIVIL ENGINEERS, INC.
 15 Corporate Park, Irvine, CA 92614
 (949) 474-2880 Fax: (949) 474-0261

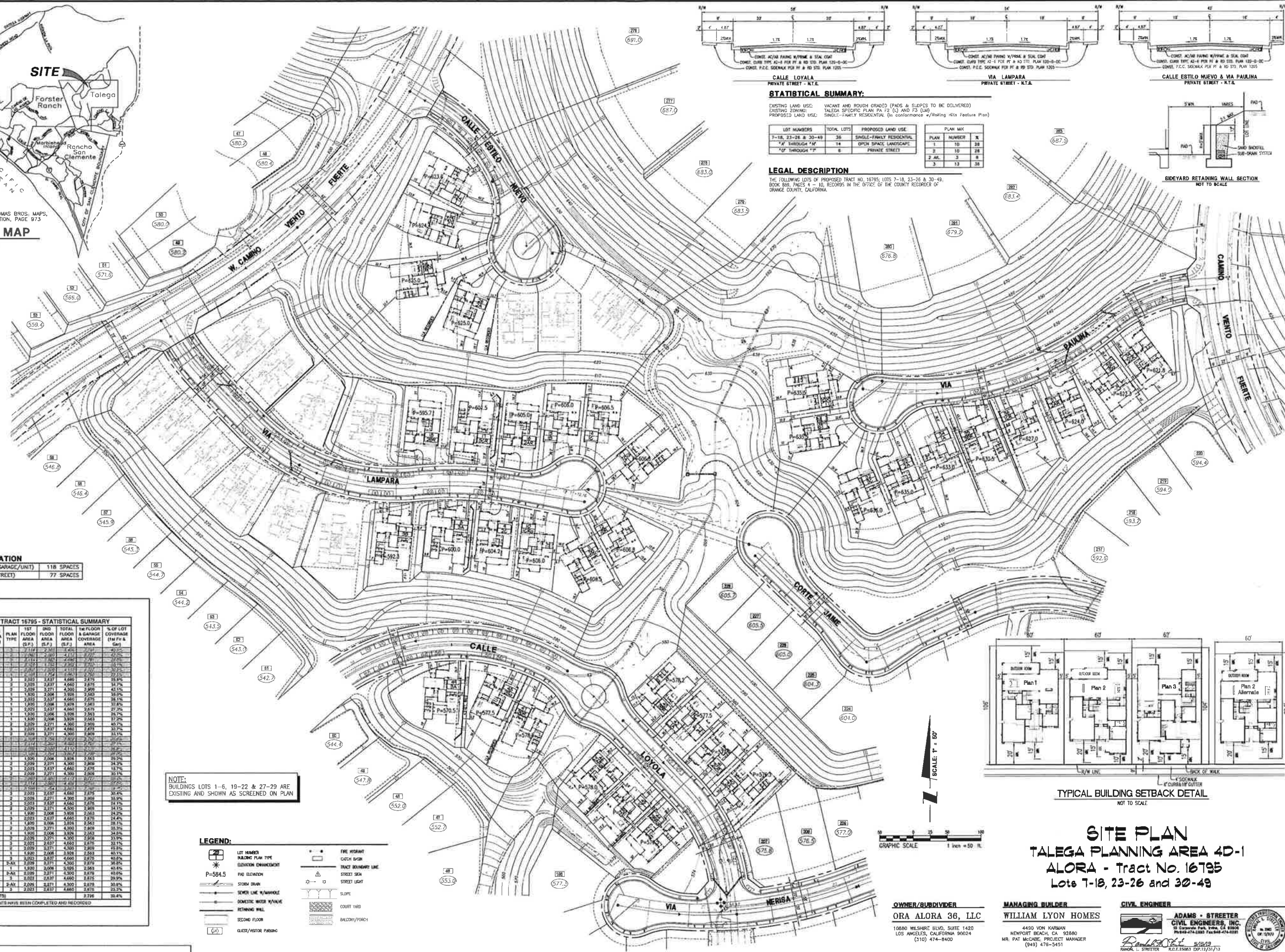
No.	DATE	BY	REVISIONS

DATE: 03/06/2013
 PLAN SET "A"



SEE ORANGE COUNTY THOMAS BROS. MAPS, THOMAS GUIDE, 2001 EDITION, PAGE 973

VICINITY MAP
N.T.S.



STATISTICAL SUMMARY:

EXISTING LAND USE: VACANT AND ROUGH GRADED (PADS & SLOPES TO BE DELIVERED)
 EXISTING ZONING: TALEGA SPECIFIC PLAN PA 72 (L) AND P3 (LIM)
 PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL (in conformance w/Orange 40-1 Feature Plan)

LOT NUMBERS	TOTAL LOTS	PROPOSED LAND USE	PLAN MIX
7-18, 23-26 & 30-49	36	SINGLE-FAMILY RESIDENTIAL	PLAN NUMBER %
"K" THROUGH "M"	14	OPEN SPACE LANDSCAPE	1 10 28
"O" THROUGH "P"	8	PRIVATE STREET	2 10 28
			2 3 8
			3 13 38

LEGAL DESCRIPTION

THE FOLLOWING LOTS OF PROPOSED TRACT NO. 16795; LOTS 7-18, 23-26 & 30-49; BOOK 899, PAGES 4 - 10, RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

PARKING TABULATION

COVERED PARKING (2 GARAGE/UNIT)	118 SPACES
GUEST PARKING (ON STREET)	77 SPACES

ALORA - TRACT 16795 - STATISTICAL SUMMARY

LOT NO.	LOT AREA (S.F.)	LOT AREA (AC.)	1ST FLOOR AREA (S.F.)	2ND FLOOR AREA (S.F.)	TOTAL FLOOR AREA (S.F.)	% OF LOT COVERAGE (1st Fl + 2nd Fl)
7	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
8	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
9	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
10	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
11	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
12	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
13	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
14	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
15	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
16	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
17	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
18	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
19	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
20	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
21	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
22	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
23	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
24	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
25	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
26	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
27	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
28	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
29	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
30	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
31	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
32	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
33	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
34	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
35	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%
36	2,353.07	0.05	2,353.07	2,353.07	4,706.14	100%

NOTE:
BUILDINGS LOTS 1-6, 19-22 & 27-29 ARE EXISTING AND SHOWN AS SCREENED ON PLAN

LEGEND:

- LOT NUMBER
- BUILDING PLAN TYPE
- SEWER OVERFLOW
- PFD DOWNHILL
- STORM DRAIN
- SEWER LINE W/WHOLE
- DOMESTIC WATER MAIN/VALE
- RETAINING WALL
- SECOND FLOOR
- GUEST/VISOR PARKING
- FIRE HYDRANT
- CATCH BASIN
- TRACT BOUNDARY LINE
- STREET SIGN
- STREET LIGHT
- SLOPE
- COURT YARD
- BALCONY/PORCH

TYPICAL BUILDING SETBACK DETAIL
NOT TO SCALE



SITE PLAN
TALEGA PLANNING AREA 4D-1
ALORA - Tract No. 16795
Lots 7-18, 23-26 and 30-49

OWNER/SUBDIVIDER
 ORA ALORA 36, LLC
 10880 WILSHIRE BLVD, SUITE 1420
 LOS ANGELES, CALIFORNIA 90024
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 NEWPORT BEACH, CA 92660
 MR. PAT MCARDLE, PROJECT MANAGER
 (949) 478-5451

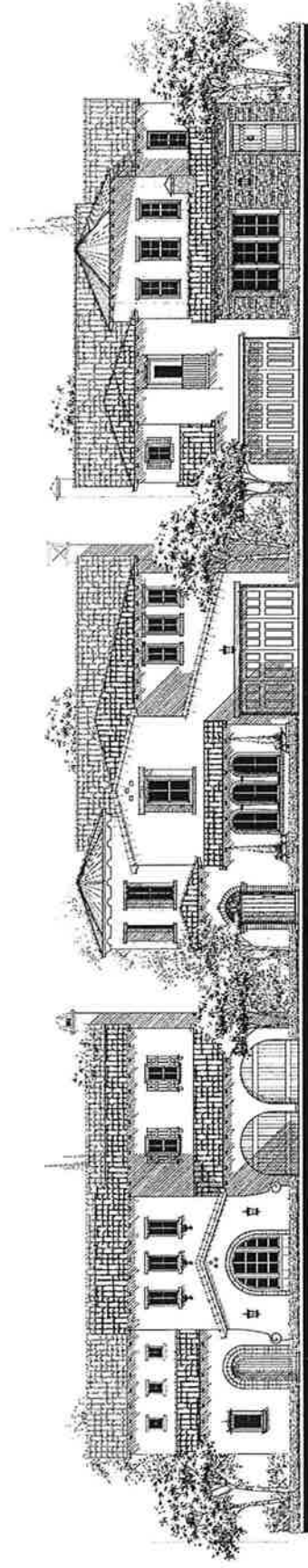
CIVIL ENGINEER
 ADAMS & STREETER
 CIVIL ENGINEERS, INC.
 30 Corporate Park, Irvine, CA 92618
 PH: 949-452-2255 FAX: 949-452-2251



REVISIONS

No.	DATE	BY

DATE: 06.18.2019
 PLAN SET 'D'



PLAN ONE

PLAN TWO

PLAN THREE

ALORA

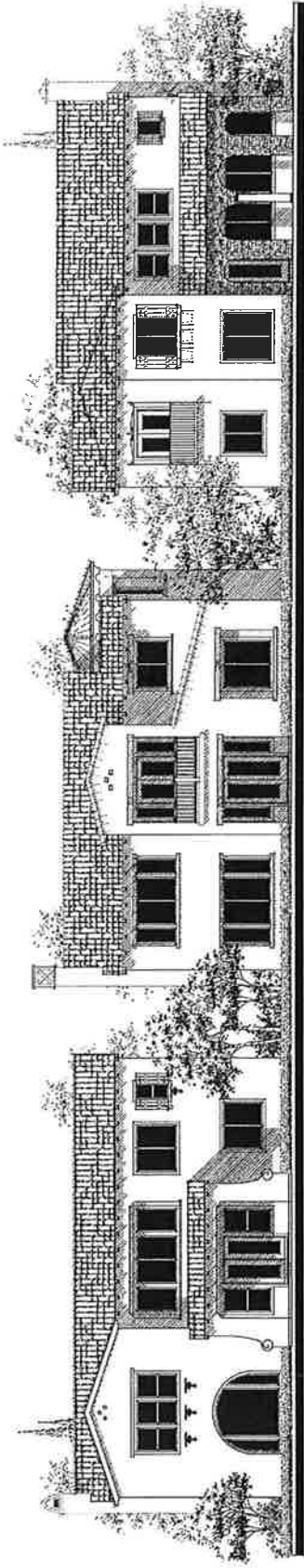
(TALEGA 4D-1)

STREETSCENE

LYON HOMES

BASEMENT

LACON



PLAN ONE

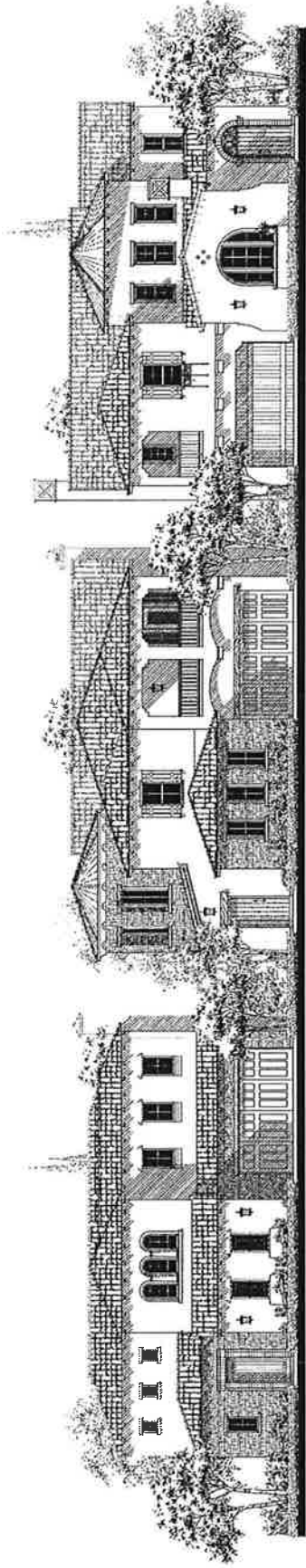
PLAN TWO

PLAN THREE

ALORA
(TALEGA 4D-1)

STREETSCENE - REAR ELEVATION

LYON HOMES
POSSMAN
LACON



PLAN ONE

PLAN TWO

PLAN THREE

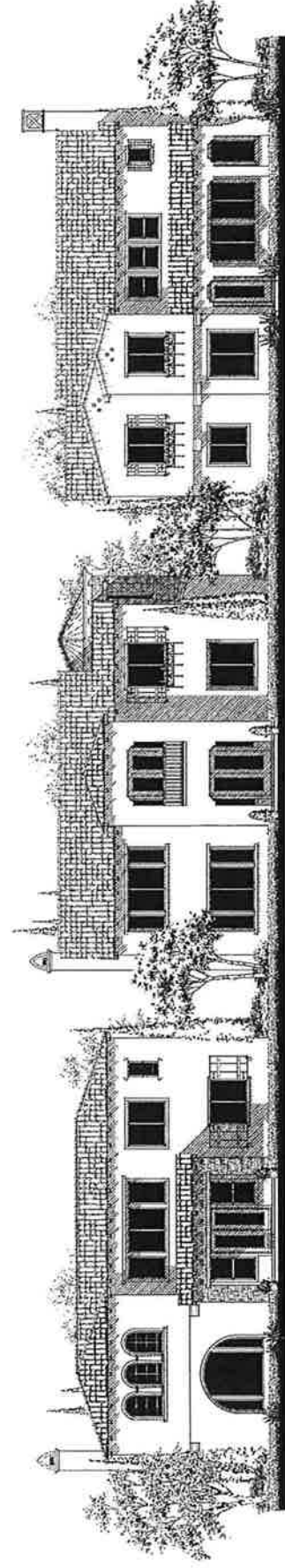
ALORA

(TALEGA 4D-1)

STREETSCENE

LYON HOMES

DESIGNED BY
LIONEL



PLAN ONE

PLAN TWO

PLAN THREE

ALORA
(TALEGA 4D-1)

STREETSCENE - REAR ELEVATION

LYON HOMES

PROVIDE
LCCN

ATTACHMENT 3









elevationA-mission

elevationB-spanish colonial

elevationC-california ranch

Sheet Index

- Cover sheet
- Plan one – front elevations
- Plan one – A floor plan
- Plan one – floor plan options
- Plan one – A elevations
- Plan one – A suite option elevations
- Plan one – B floor plan
- Plan one – B elevations
- Plan one – B suite option elevations
- Plan one – C floor plan
- Plan one – C elevations
- Plan one – C suite option elevations
- Plan one – A, B, C roof plans

- Plan two – front elevations
- Plan two – A floor plan
- Plan two – A elevations
- Plan two – B floor plan
- Plan two – B elevations
- Plan two – C floor plan
- Plan two – C elevations
- Plan two – A, B, C roof plans

- Plan two alt. – front elevations
- Plan two alt. – A floor plan
- Plan two alt. – A elevations
- Plan two alt. – B floor plan
- Plan two alt. – B elevations
- Plan two alt. – C floor plan
- Plan two alt. – C elevations
- Plan two alt. – A, B, C roof plans

- Plan three – front elevations
- Plan three – A floor plan
- Plan three – A elevations
- Plan three – B floor plan
- Plan three – B elevations
- Plan three – C floor plan
- Plan three – C elevations
- Plan three – A, B, C roof plans

- Mission details
- Spanish Colonial details
- California Ranch details

PROPOSED ARCHITECTURE FOR TRACT 16795

Talega Planning Area 4D-1
Tract 16795
Lot 7-18, 23-26 and 30-49
City of San Clemente

Scope of Work:
3 Plan Types with Options
3 Elevation Styles Each:
California Ranch
Spanish Colonial
Mission

**ALORA
at TALEGA**

william lyon homes

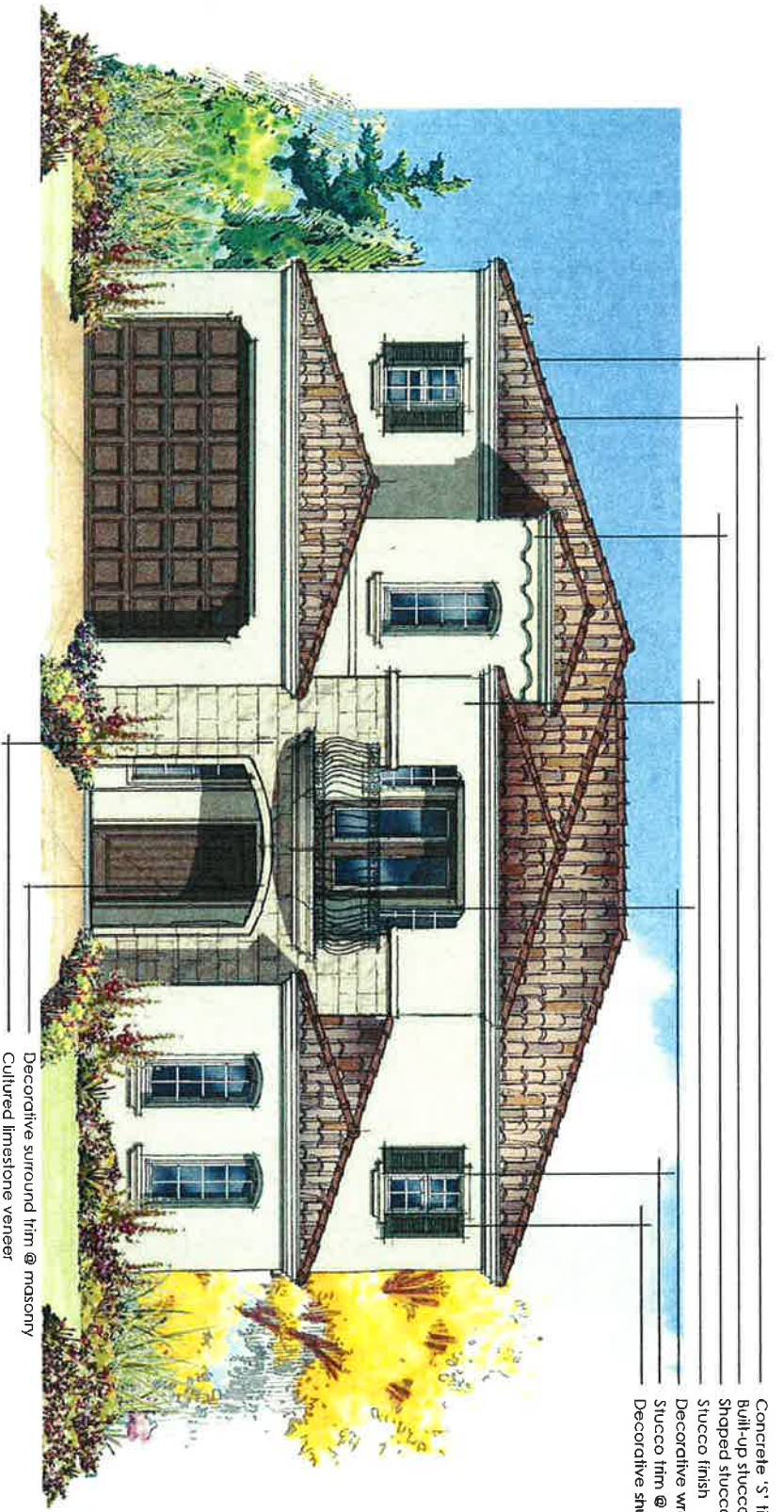
06 • 17 • 2013



- Concrete 'S' tile
- 2 x 6 exposed rafter tails
- (4) 6x6 decorative tile @ gable end
- Stucco finish
- Wood post w/ decorative corbel
- Wood railing
- Stucco trim @ windows & doors
- Decorative shutters

Hardboard wainscot

elevationA - MISSION



- Concrete 'S' tile
- Built-up stucco fascia
- Shaped stucco trim
- Stucco finish
- Decorative wrought iron railing
- Stucco trim @ windows & doors
- Decorative shutters

Decorative surround trim @ masonry
Cultured limestone veneer

elevationB - SPANISH COLONIAL



- Flat concrete roof tile
- 3 x 6 exposed rafter tails
- 6 x 6 corbels @ gable ends
- Wood railing
- Board & balt

Wood trim @ board & balt

Stucco finish

Cultured stone veneer

Stucco trim @ stucco finish

elevationC - CALIFORNIA RANCH

planONE

ALORA

at **TALEGA**

William Lyon homes

woodleyarchitecturalgroup, inc

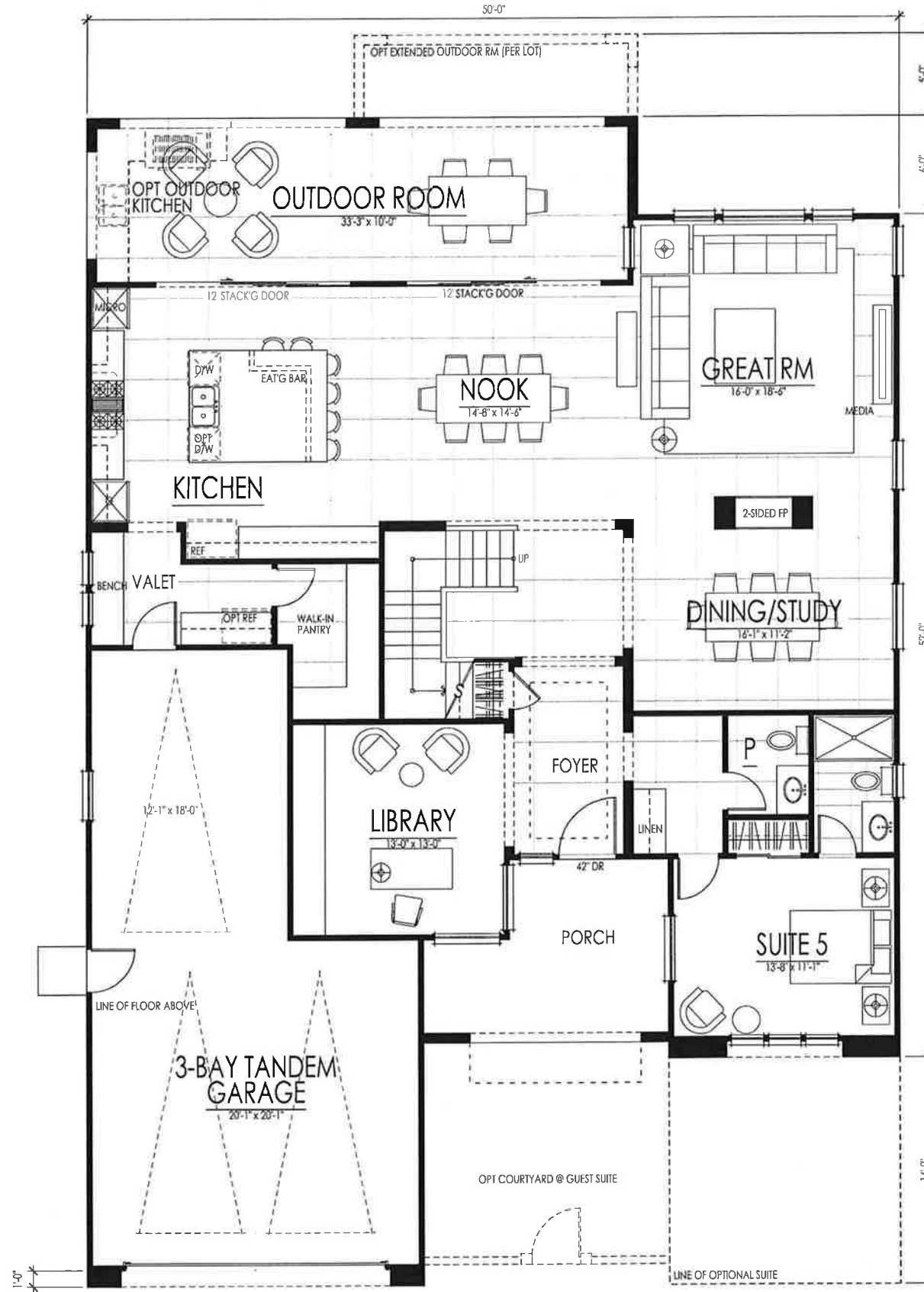
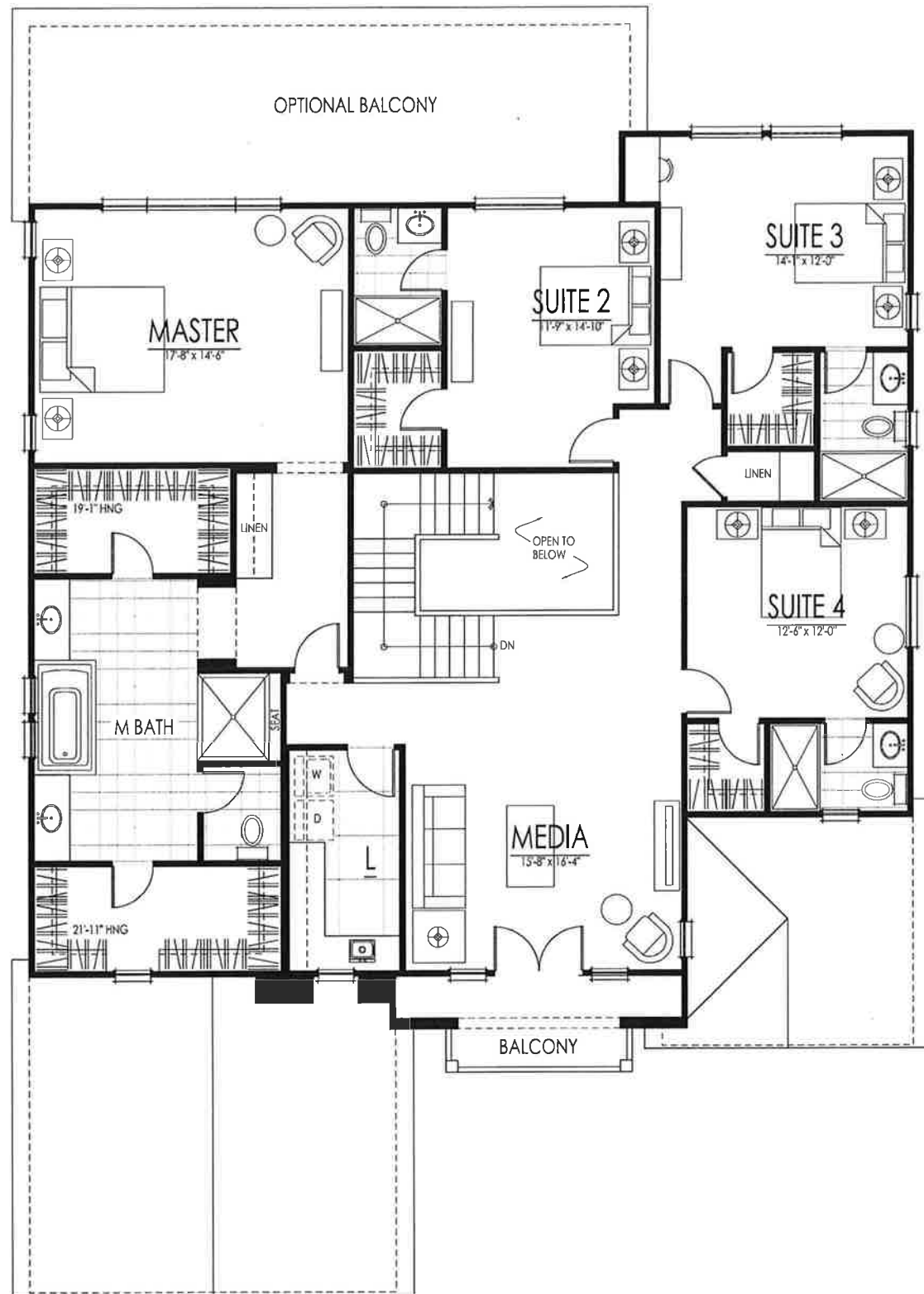
2013 collection - 731 southpark circle suite b / irvine, ca 92618 / 949 553 8919 / 949 553 8922 (fax)
 10000 north 2945 palmton st. suite A / san joe, ca 92705 / 949 553 8919 / 949 553 8929



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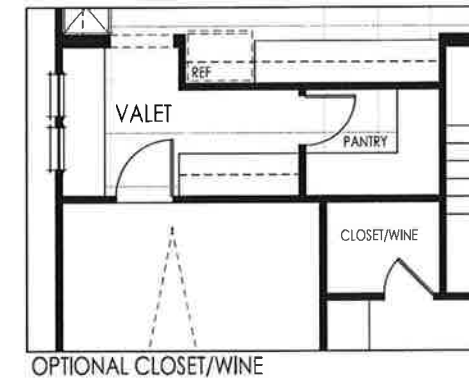
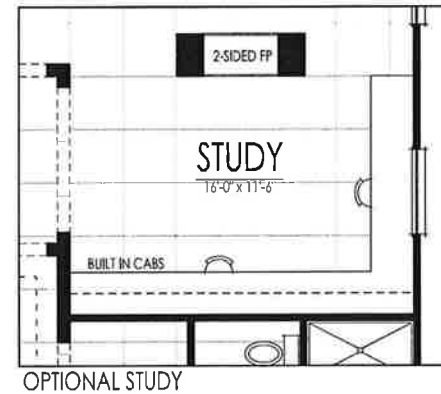
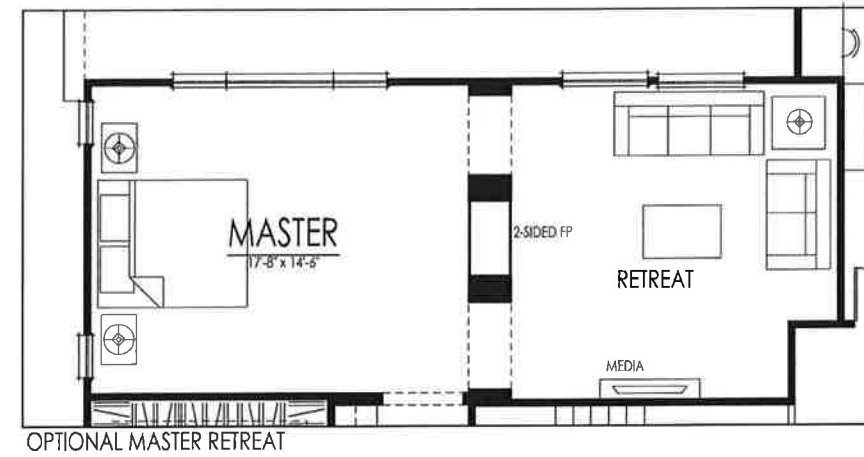
planONE - A

first floor: 1920 sf
 second floor: 2006 sf
 total living: 3926 sf

**ALORA
 at TALEGA**
 william lyon homes

06 • 17 • 2013

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planONE

options

ALORA
at TALEGA
william lyon homes

06 • 17 • 2013



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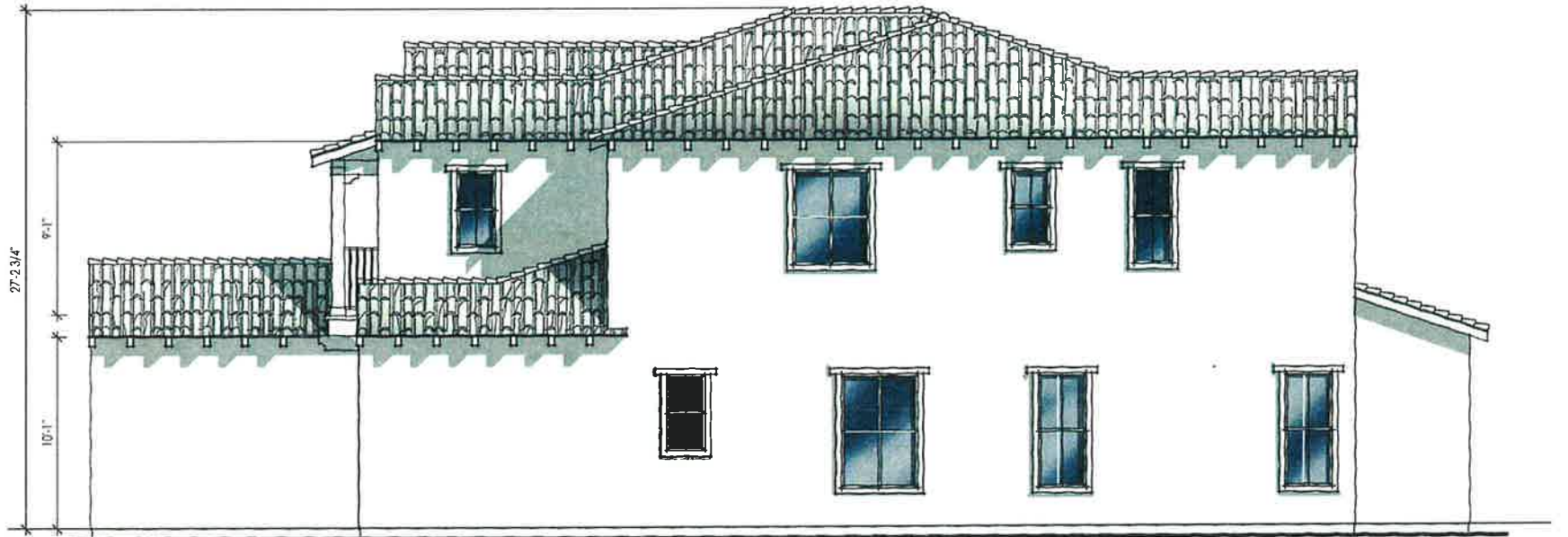
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california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.353.8919 / 949.353.8909

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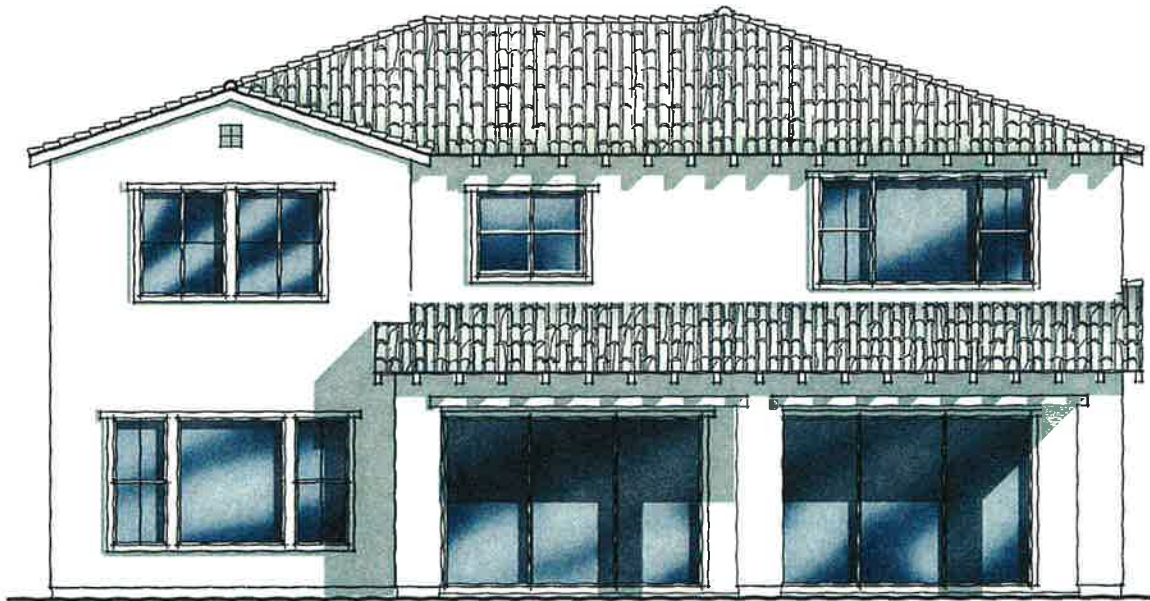
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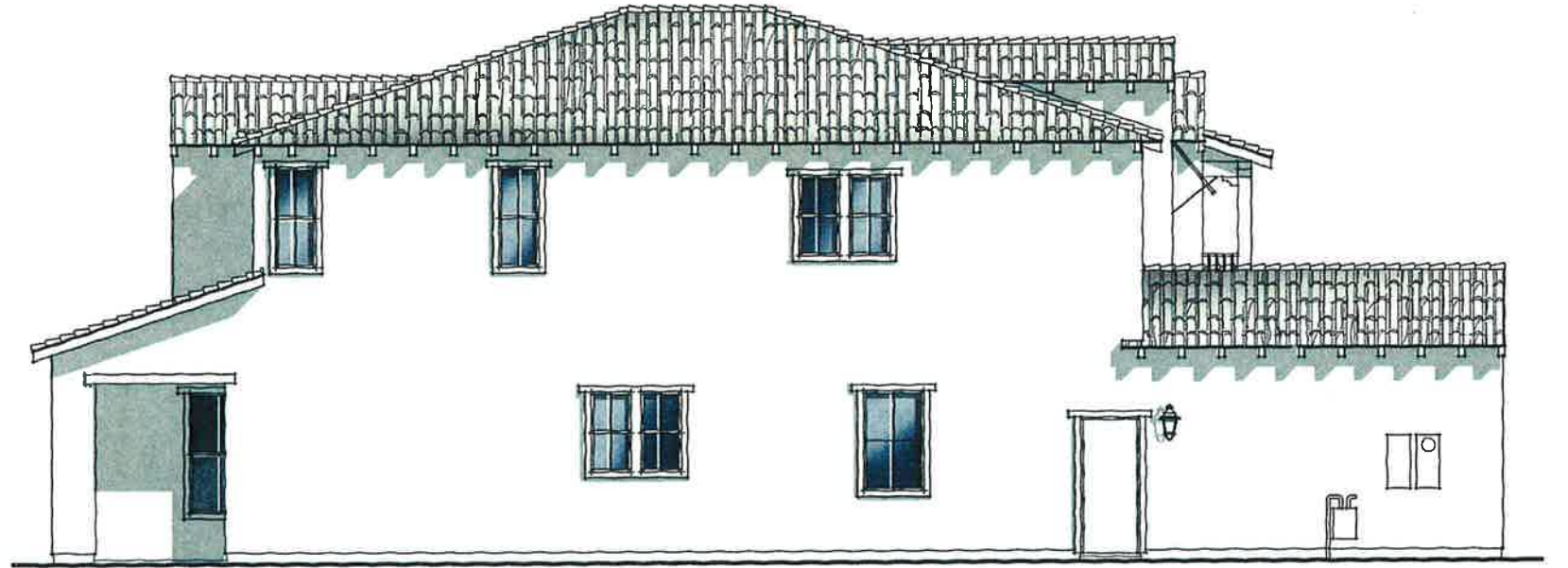
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scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE - A

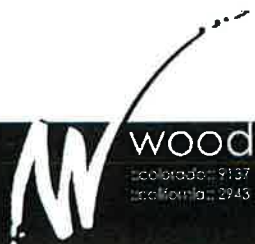
elevationA

mission

ALORA
at TALEGA

william lyon homes

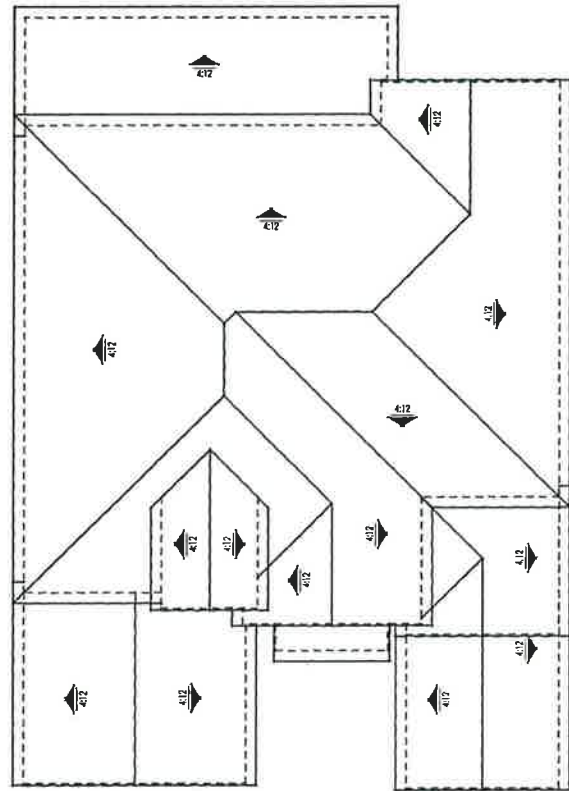
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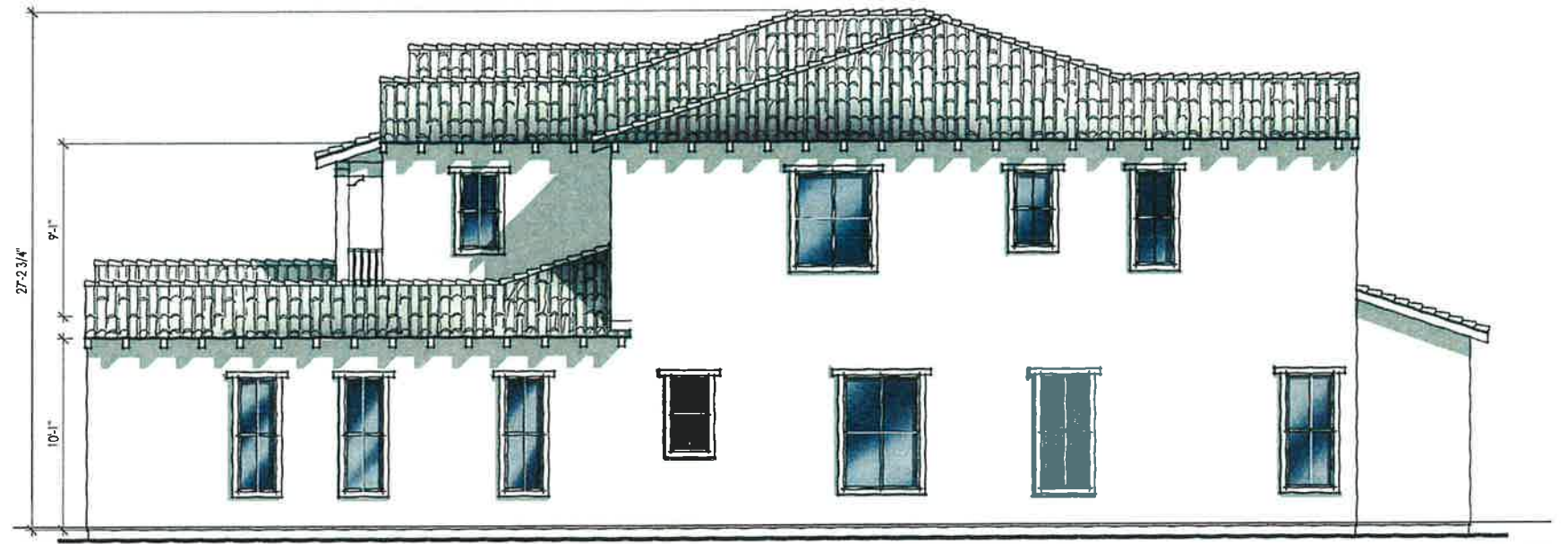
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roofPLAN (all pitches 4:12 u.n.o.)

scale: 1/8"=1'



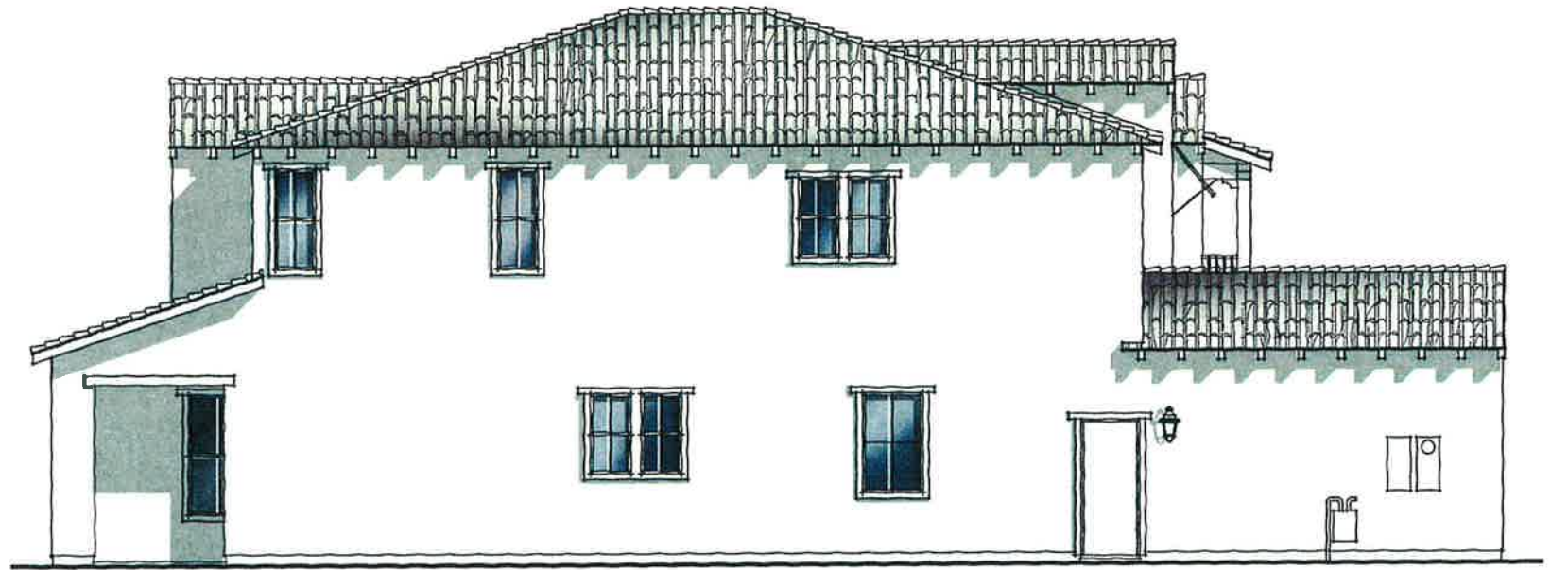
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE - A

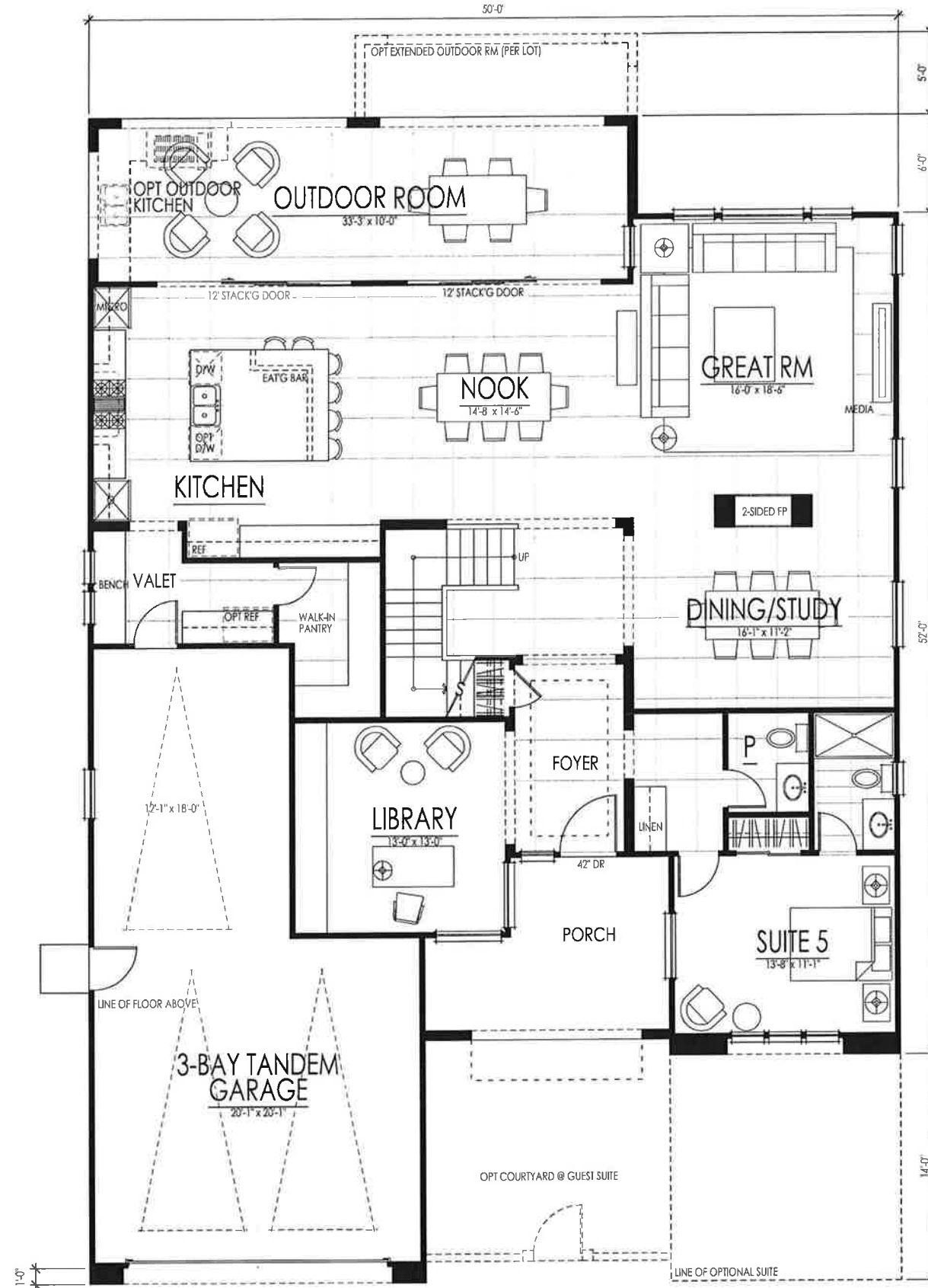
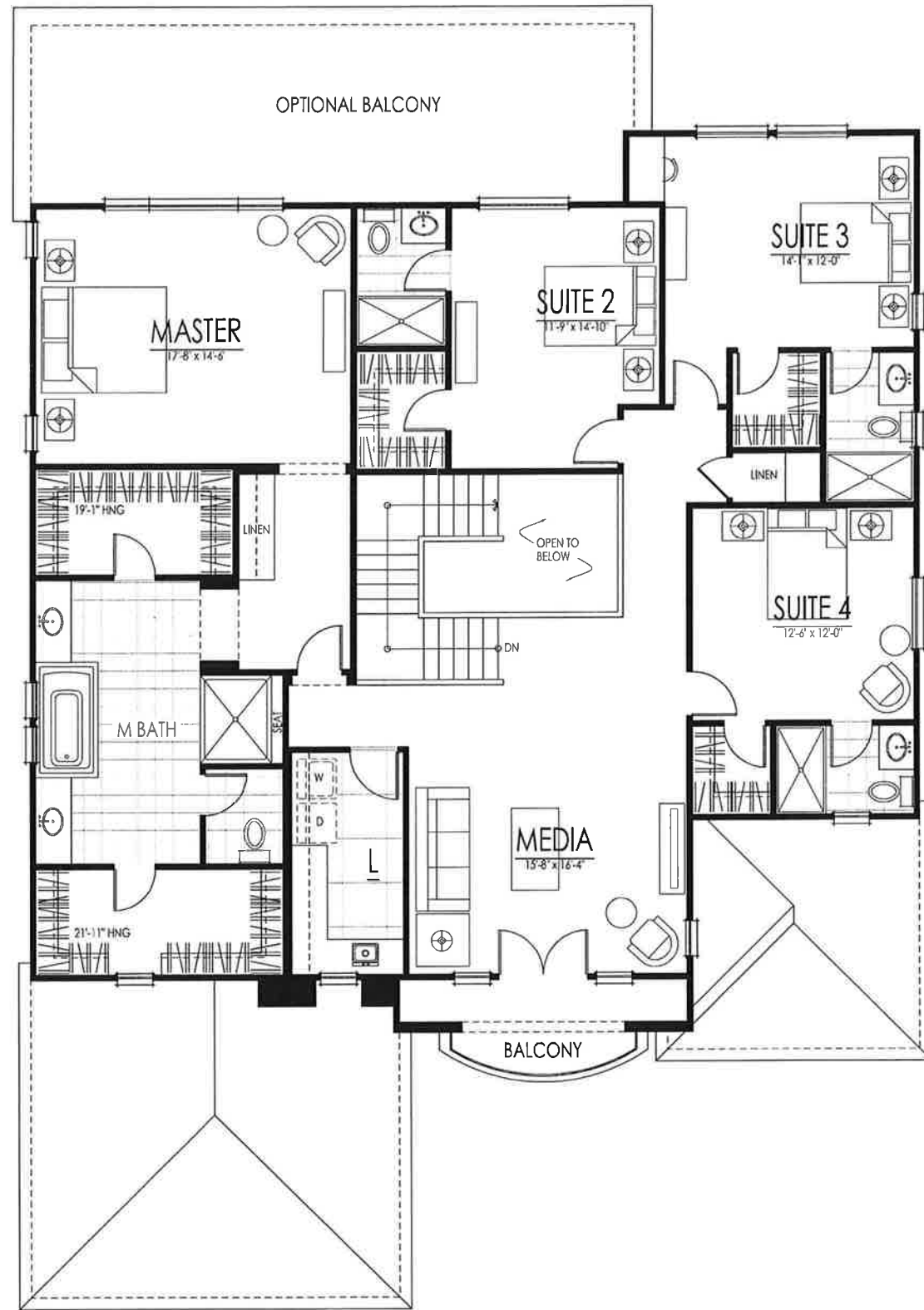
elevationA - opt.SUITE

mission

ALORA
at TALEGA

william lyon homes

06 • 17 • 2013



planONE - B

first floor: 1920 sf
 second floor: 2006 sf
 total living: 3926 sf

**ALORA
 at TALEGA**
 william lyon homes

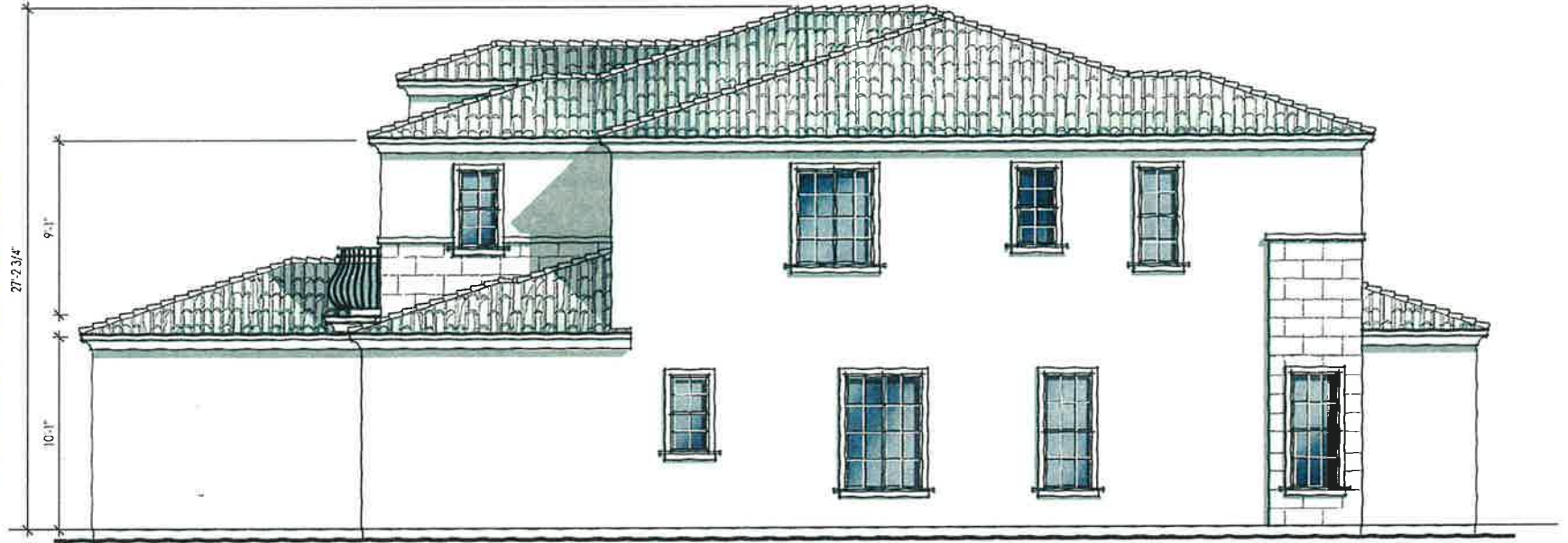
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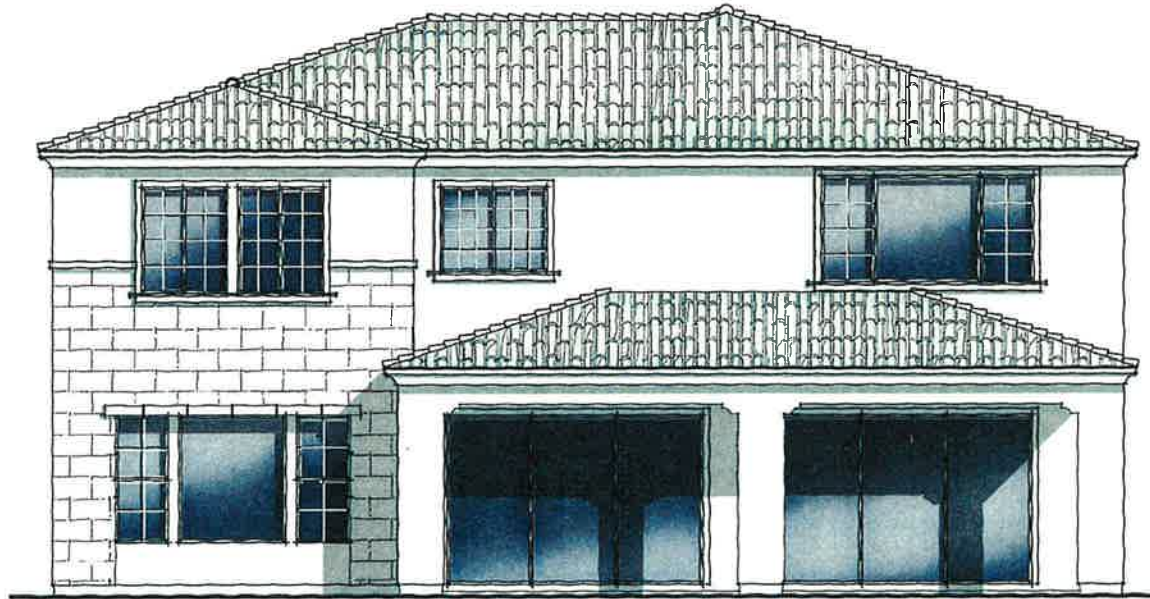
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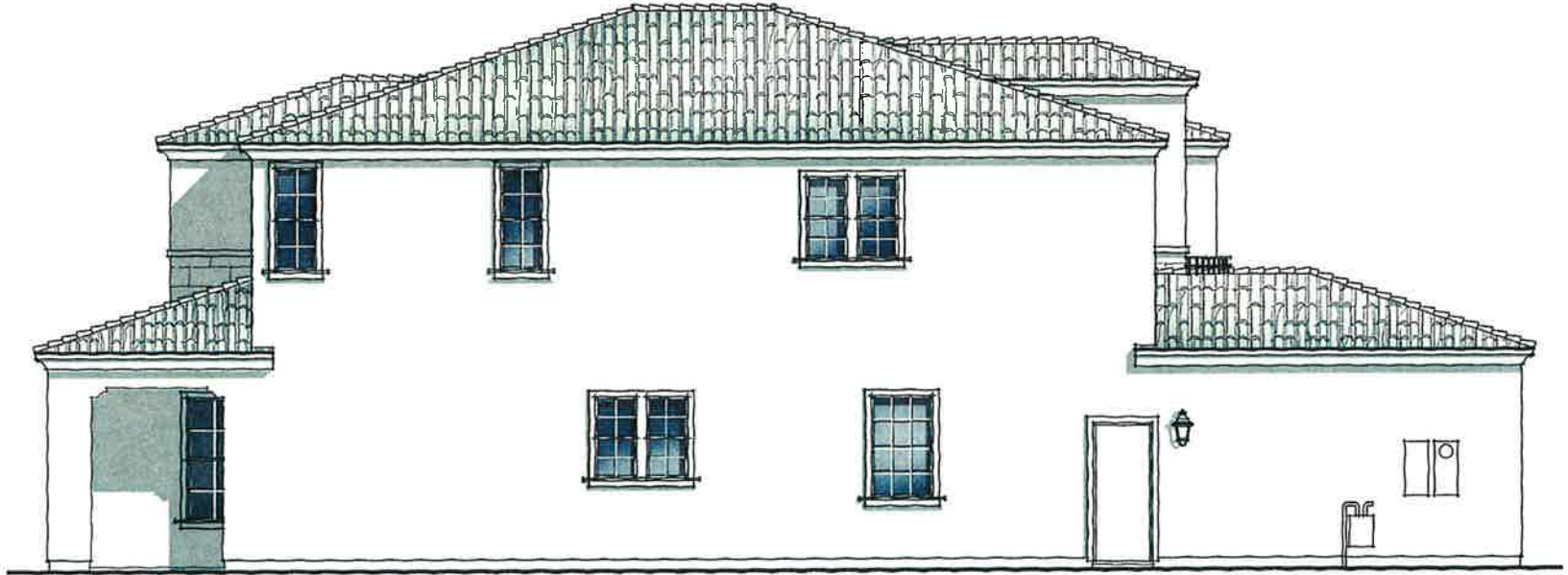
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE

elevationB

spanishCOLONIAL

ALORA
at TALEGA

william lyon homes

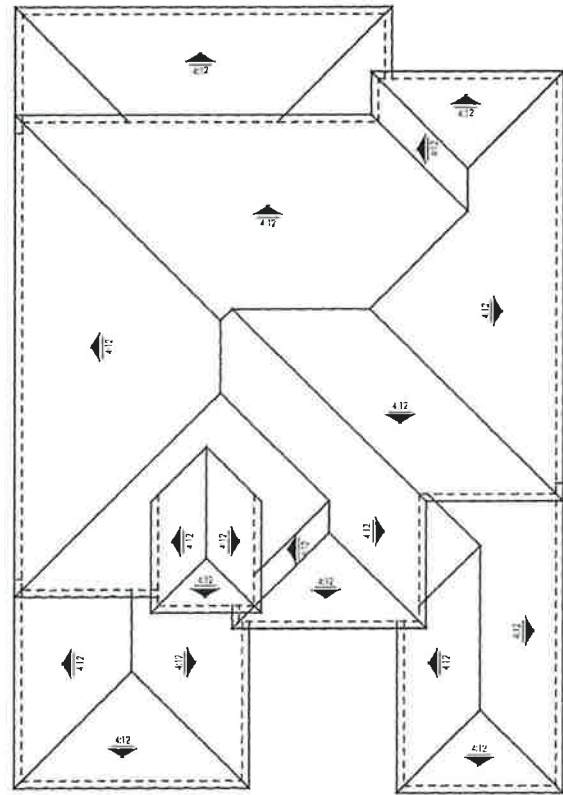
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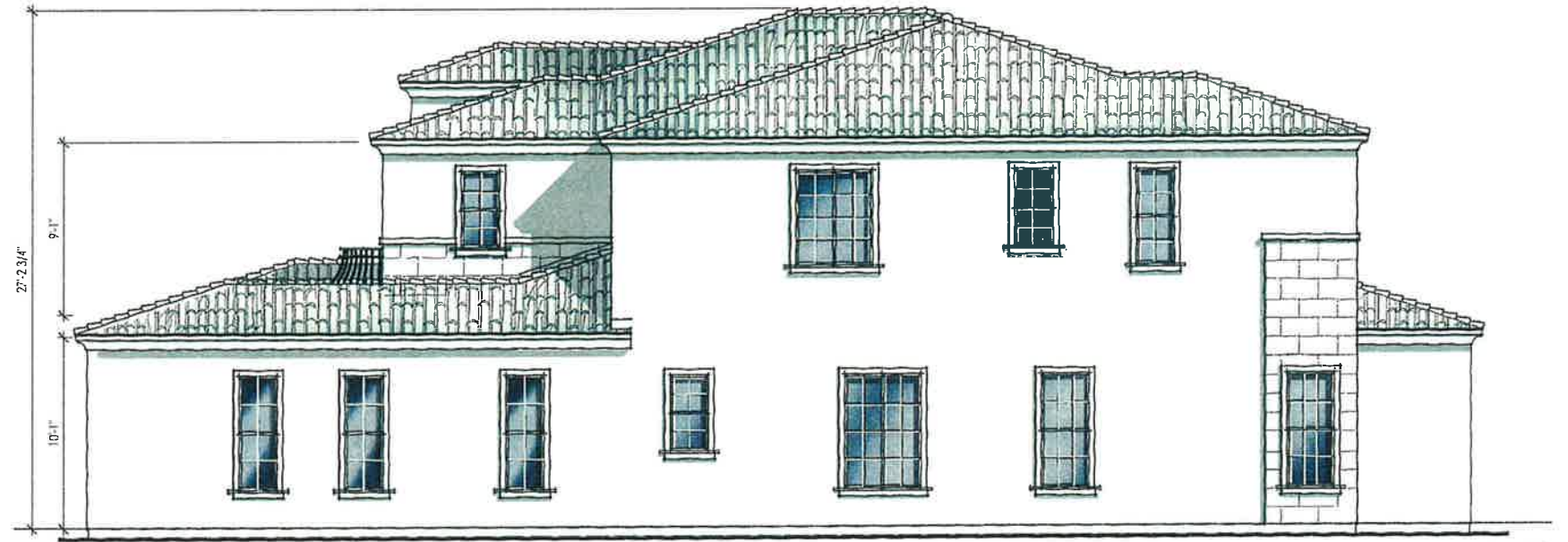
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california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

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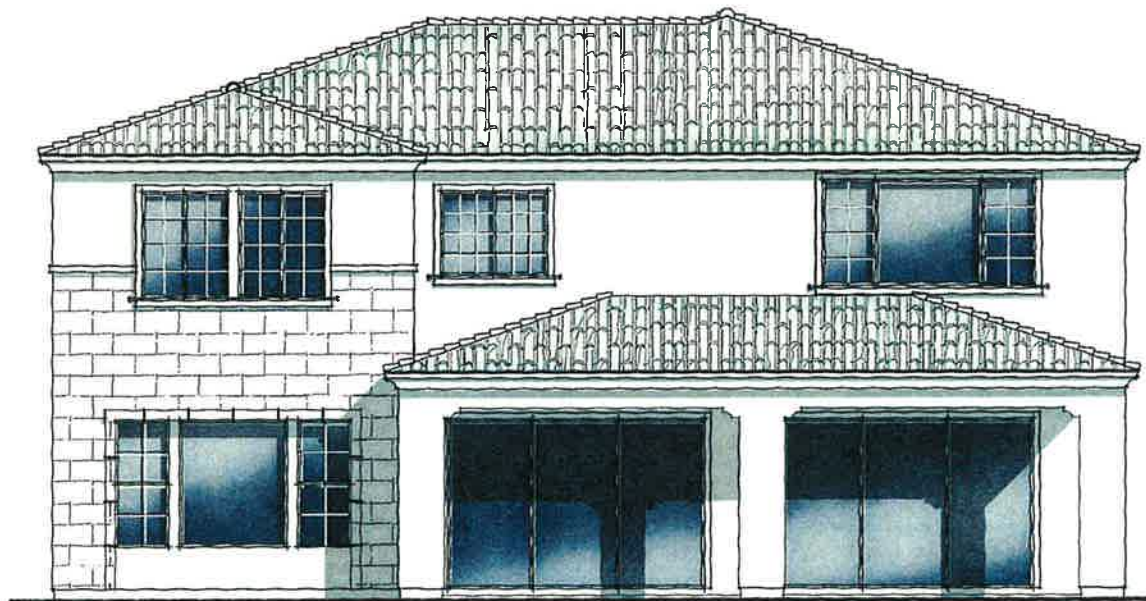
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scale: 1/8"=1'



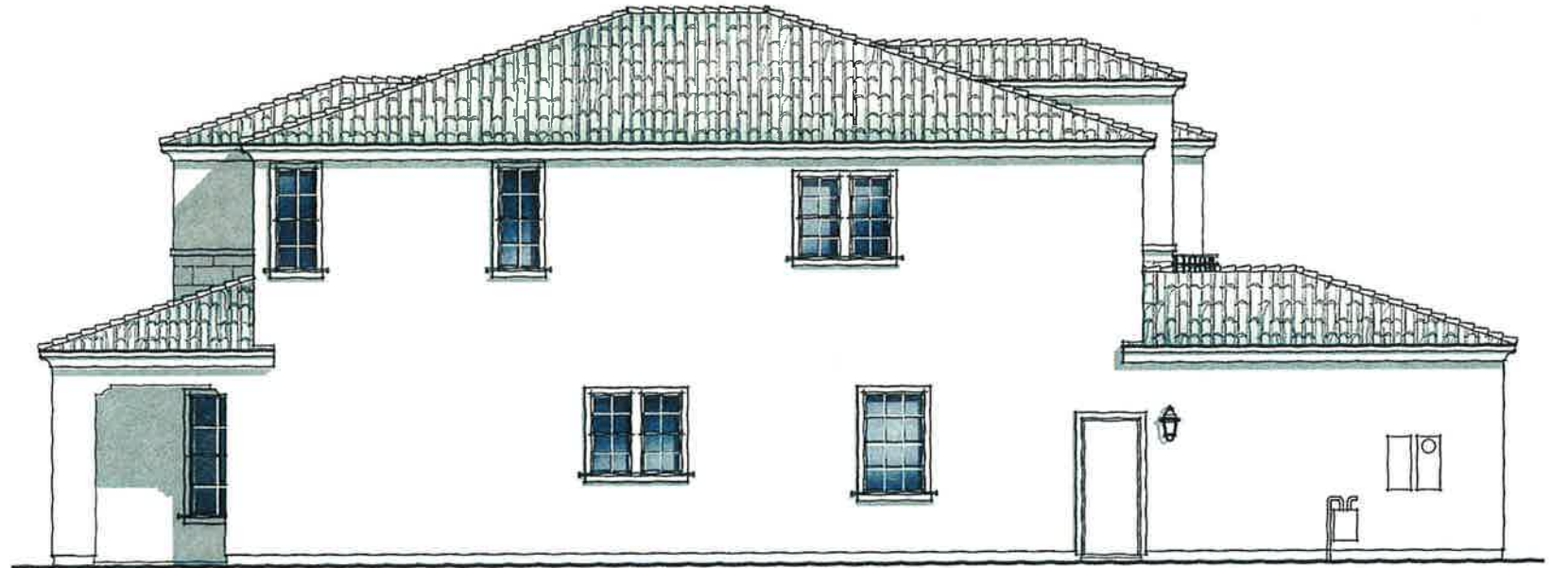
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE - B

elevationB - opt.SUITE

spanishCOLONIAL

**ALORA
at TALEGA**

william lyon homes

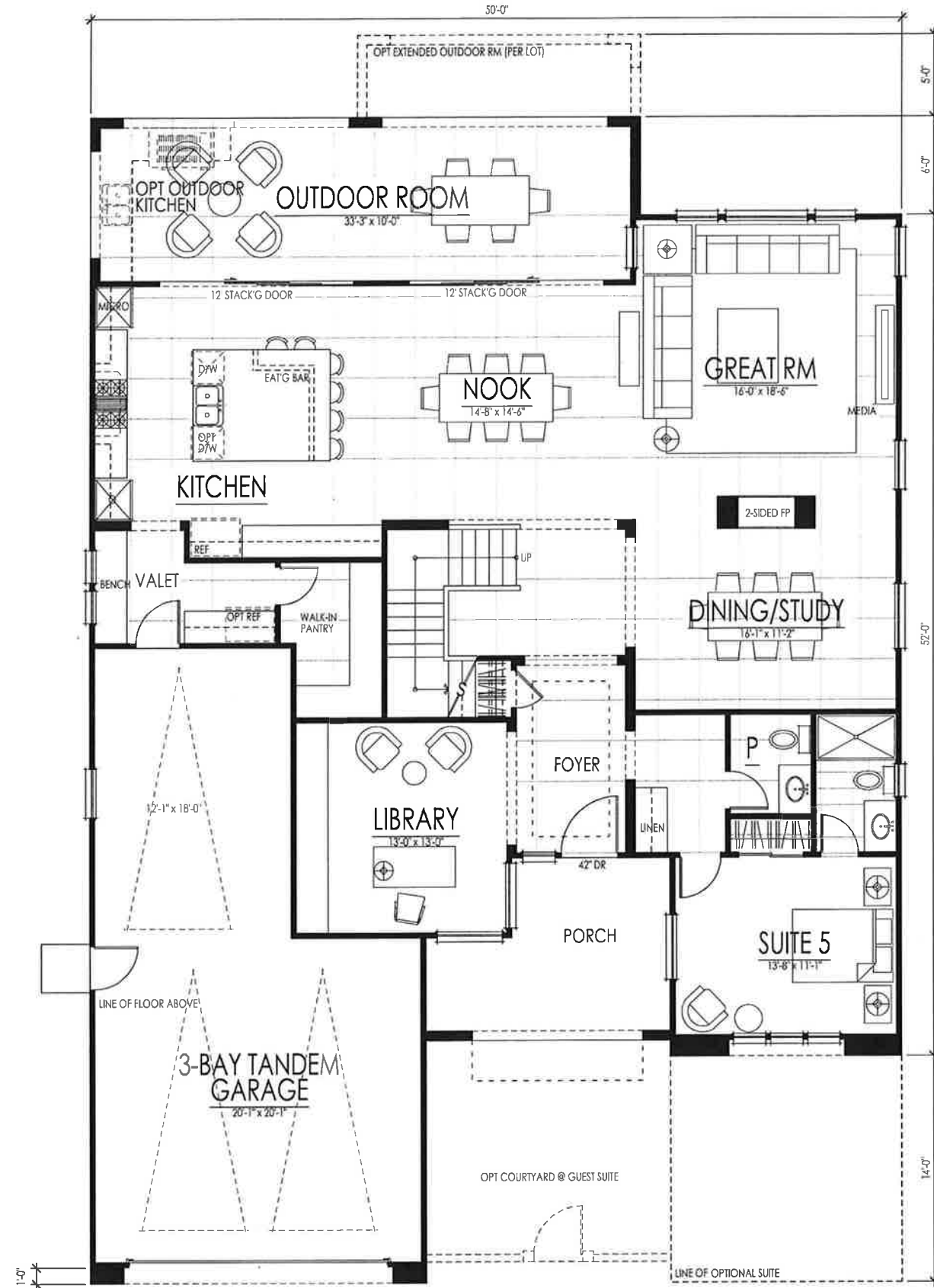
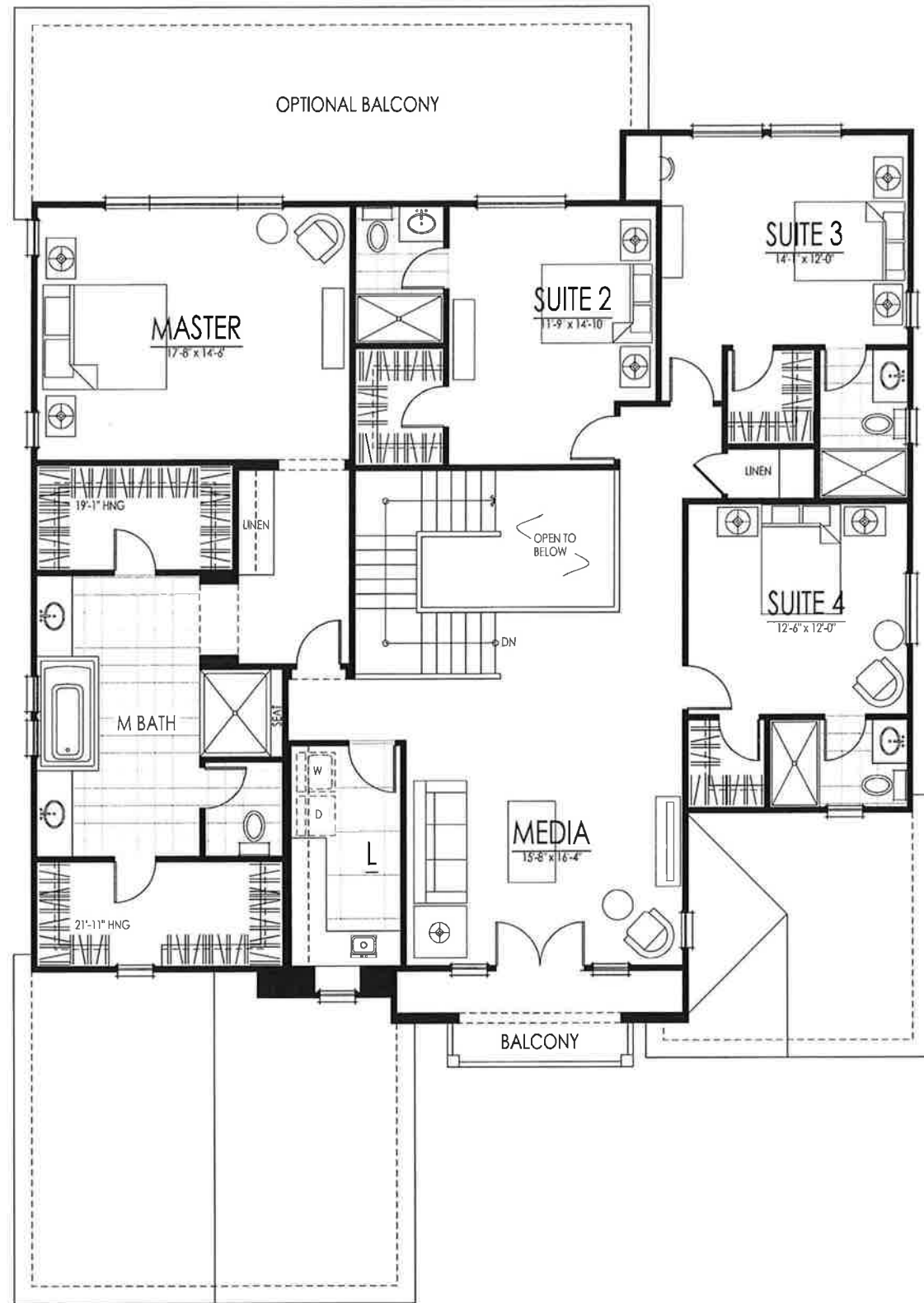
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ALORA
at TALEGA
 william lyon homes

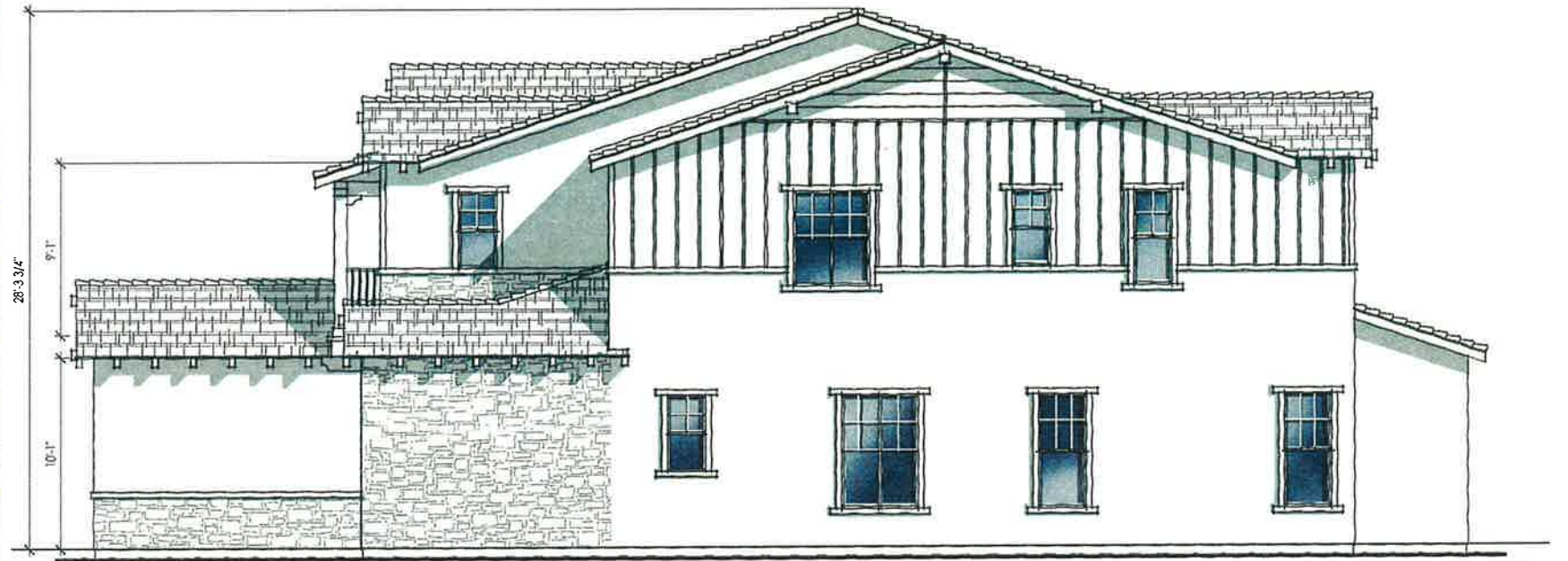
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frontELEVATION

scale: 1/4"=1'



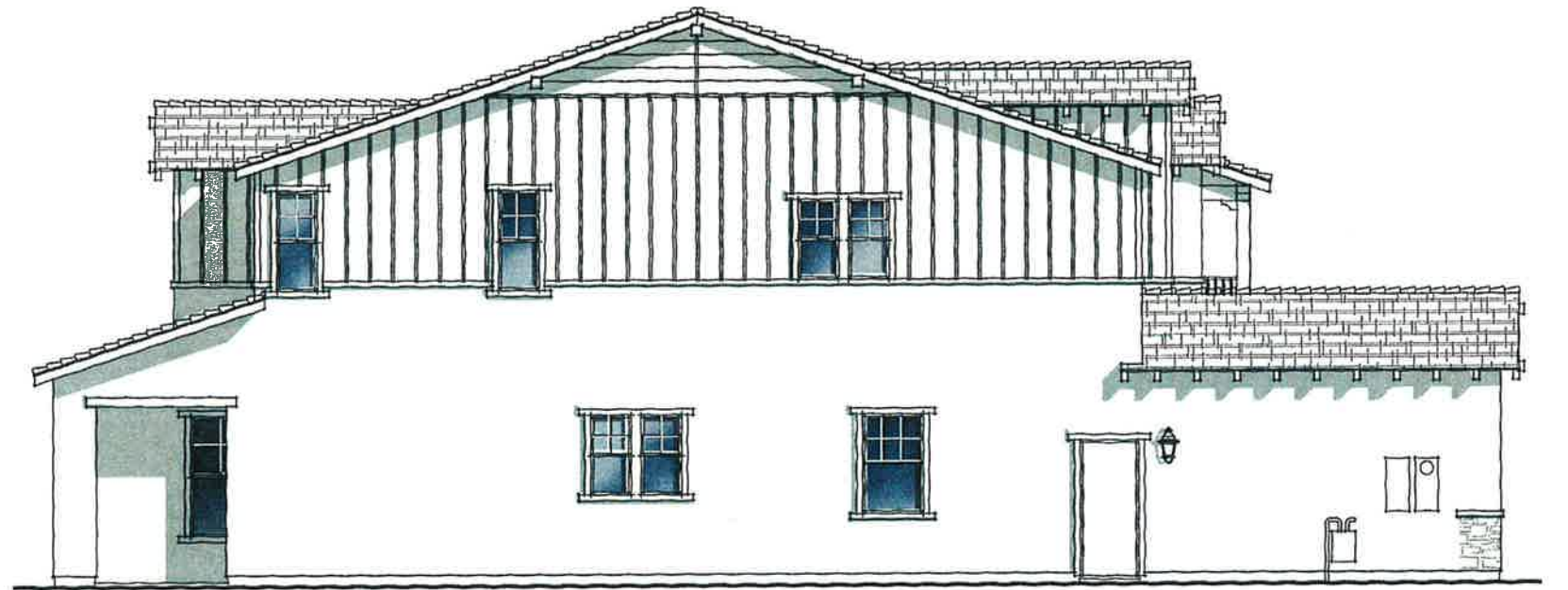
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE - C

elevationC

californiaRANCH

ALORA
at TALEGA

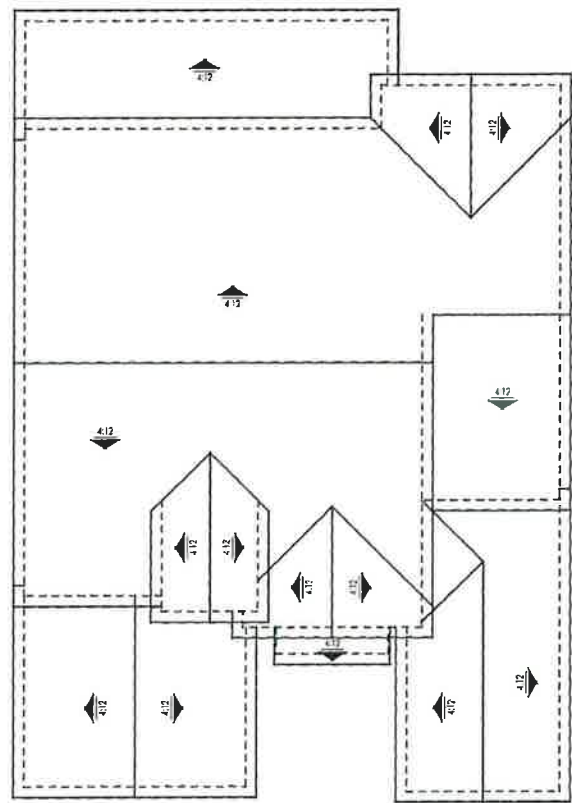
william lyon homes

06 • 17 • 2013



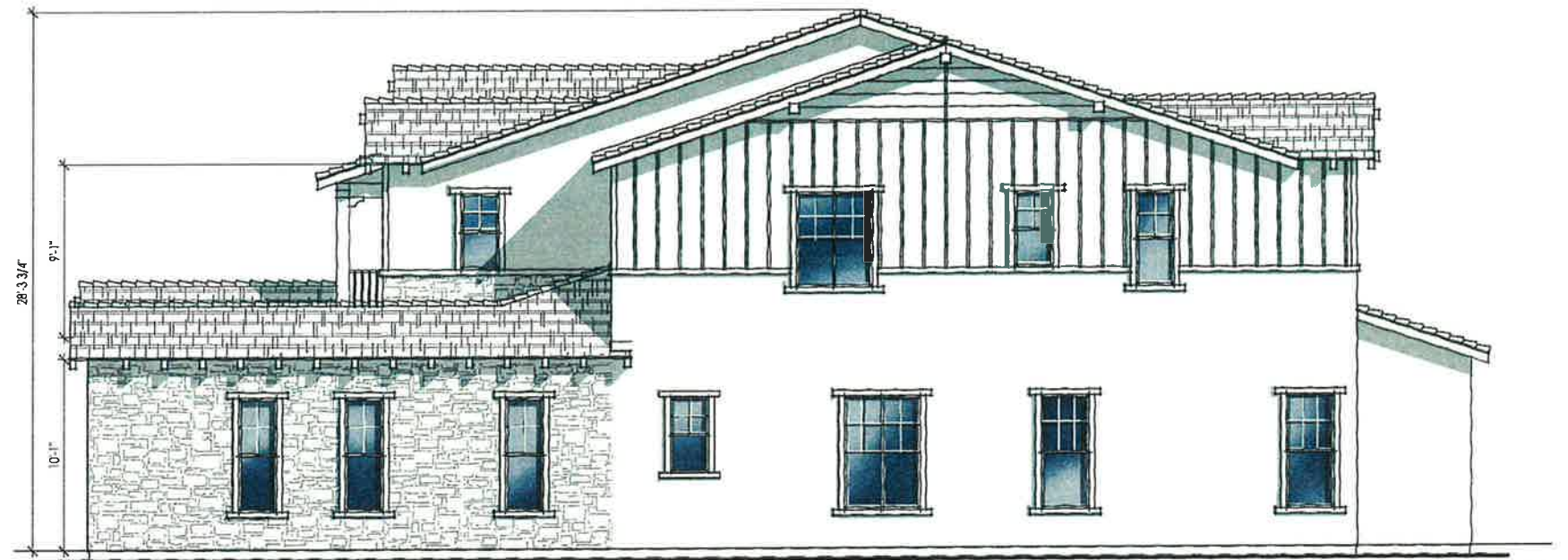
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california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.6919 / 949.553.8909

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roofPLAN (all pitches 4:12 u.n.o.)

scale: 1/8"=1'



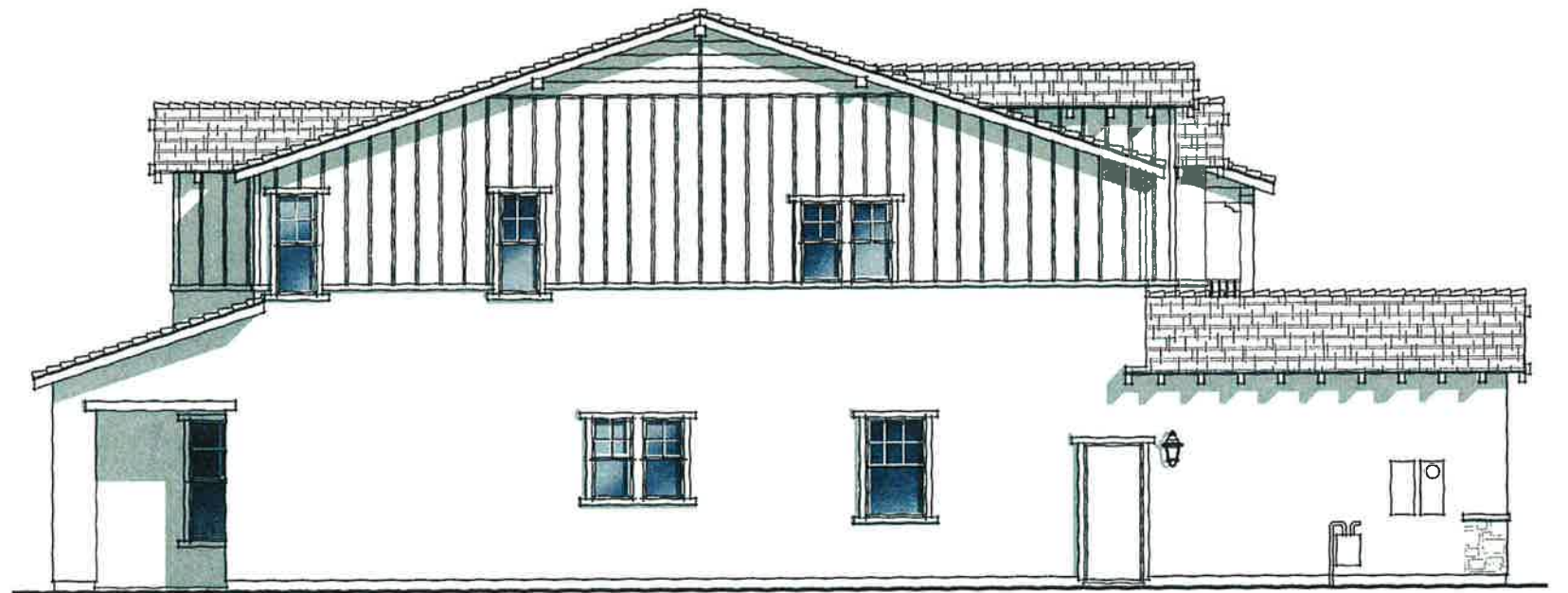
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planONE - C

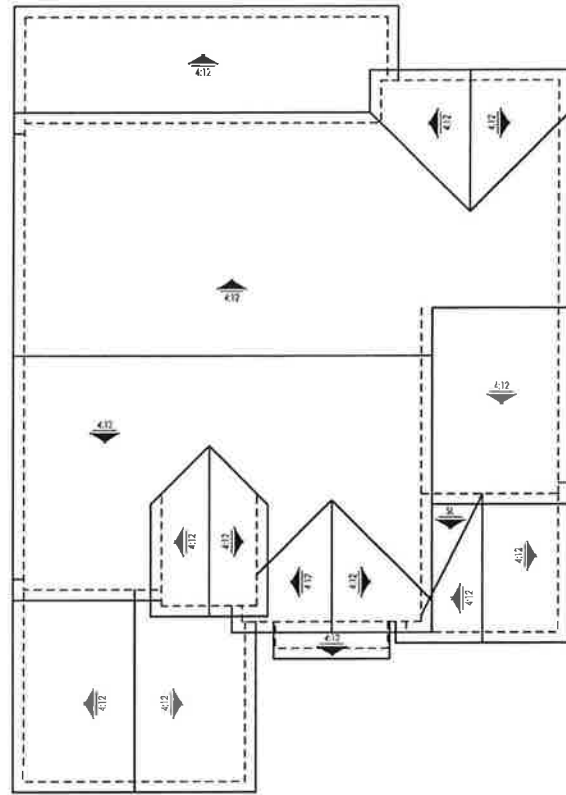
elevationC - opt.SUITE

californiaRANCH

**ALORA
at TALEGA**

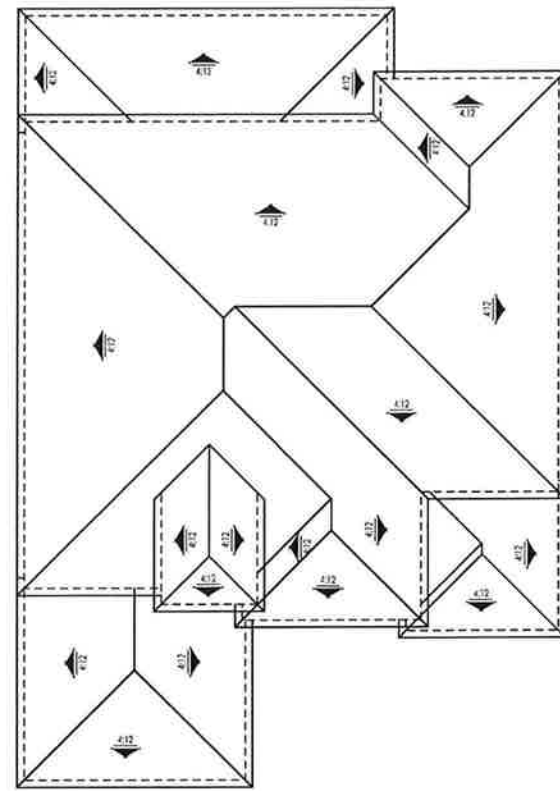
william lyon homes

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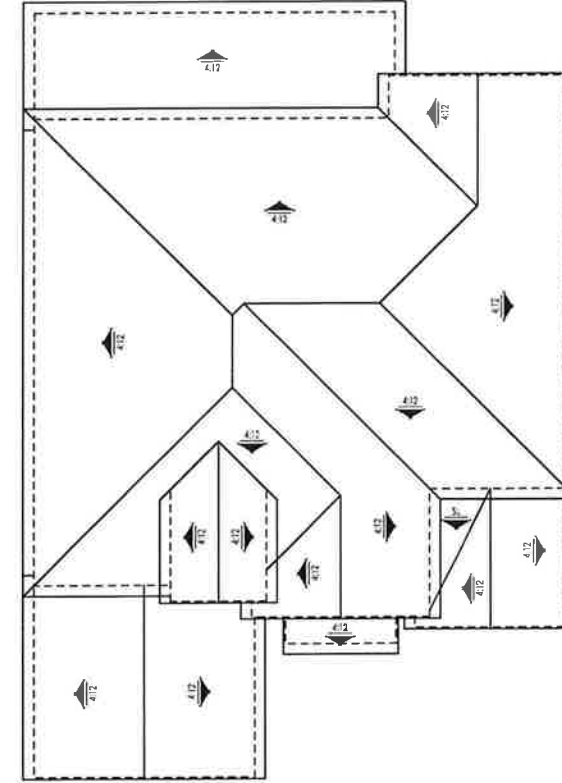
roofPLAN - C

scale: 1/8"=1'



roofPLAN - B

scale: 1/8"=1'



roofPLAN - A

scale: 1/8"=1'

planONE - A,B,C

ROOF PLANS

ALORA
at TALEGA
william lyon homes

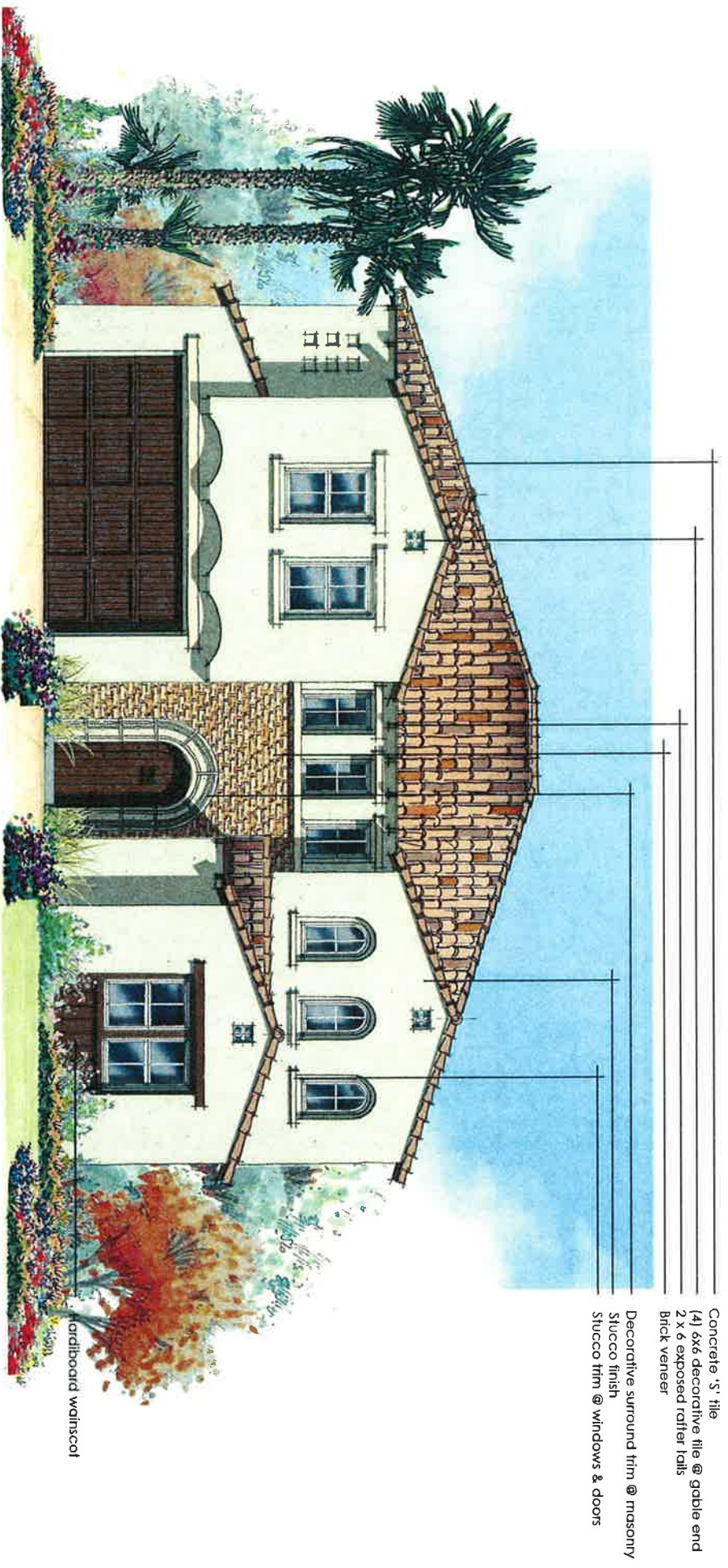
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colorado: 9137 s ridgeline blvd, suite 120 / highlands ranch, co 80129 / 303.683.7231 / 303.683.2922 (fax)
california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

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- Concrete 'S' tile
- 14" 6x6 decorative tile @ gable end
- 2" x 6" exposed rafter tails
- Brick veneer
- Decorative surround trim @ masonry
- Stucco finish @ windows & doors

elevation A - MISSION

- Concrete 'S' tile
- Decorative shutters
- Stucco finish
- Stucco trim @ windows & doors
- Built-up stucco fascia



elevation B - SPANISH COLONIAL

- Cultured limestone veneer
- Decorative surround trim @ masonry

Stucco corbels

- Flat concrete roof tile
- Barn door shutters
- 3" x 6" exposed rafter tails
- Board & Batt
- Wood trim @ board & batt
- Stucco finish
- 6" x 6" corbels @ gable ends



elevation C - CALIFORNIA RANCH

Wood corbels

Stucco trim @ stucco finish

Cultured stone veneer

plant TWO

ALORA at TALEGA

William Lyon homes

woodleyarchitecturalgroup, inc

731 southpark dr suite b / lionton, ca 90133 / 303.683.7231 / 303.683.9922 (fax)

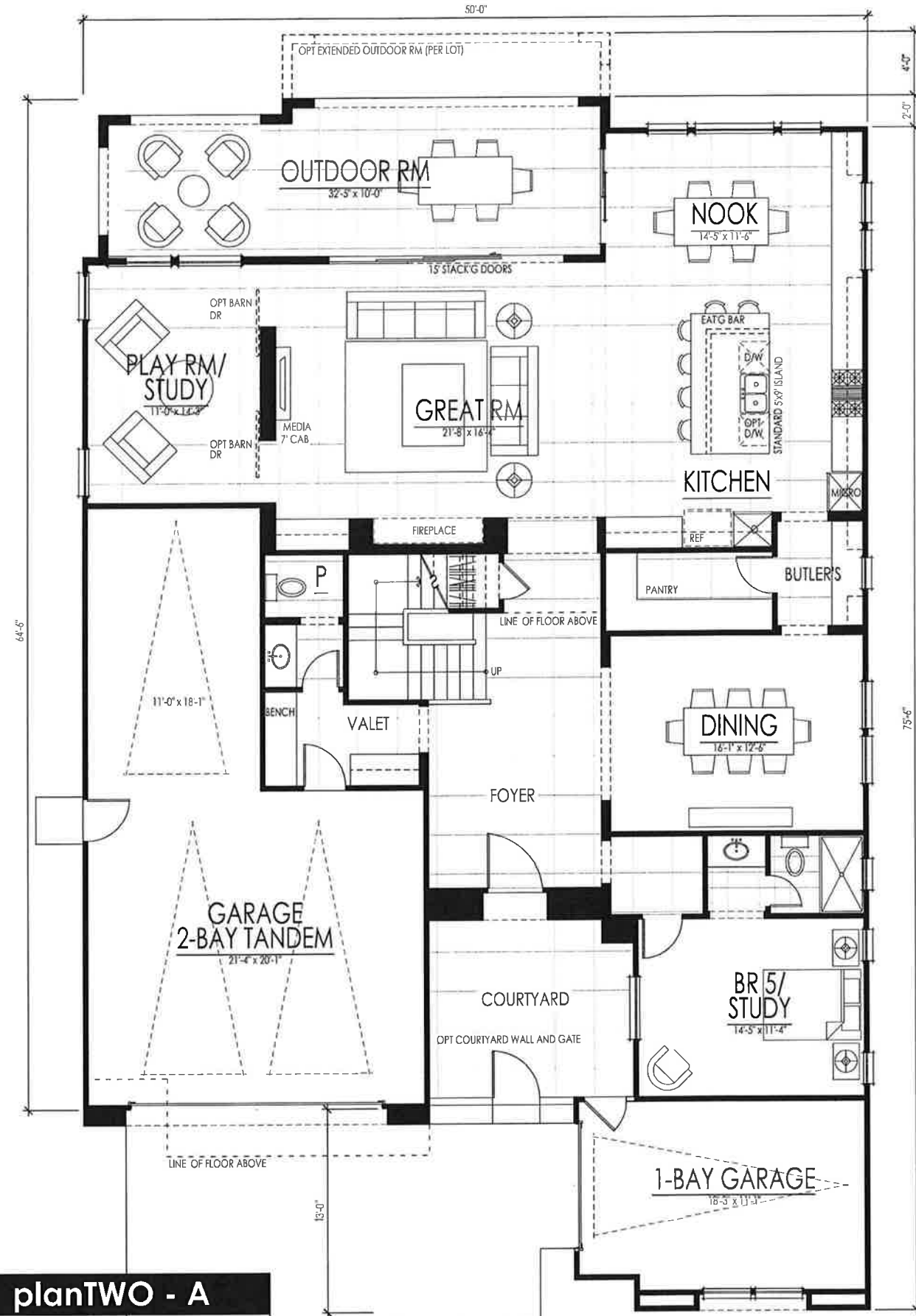
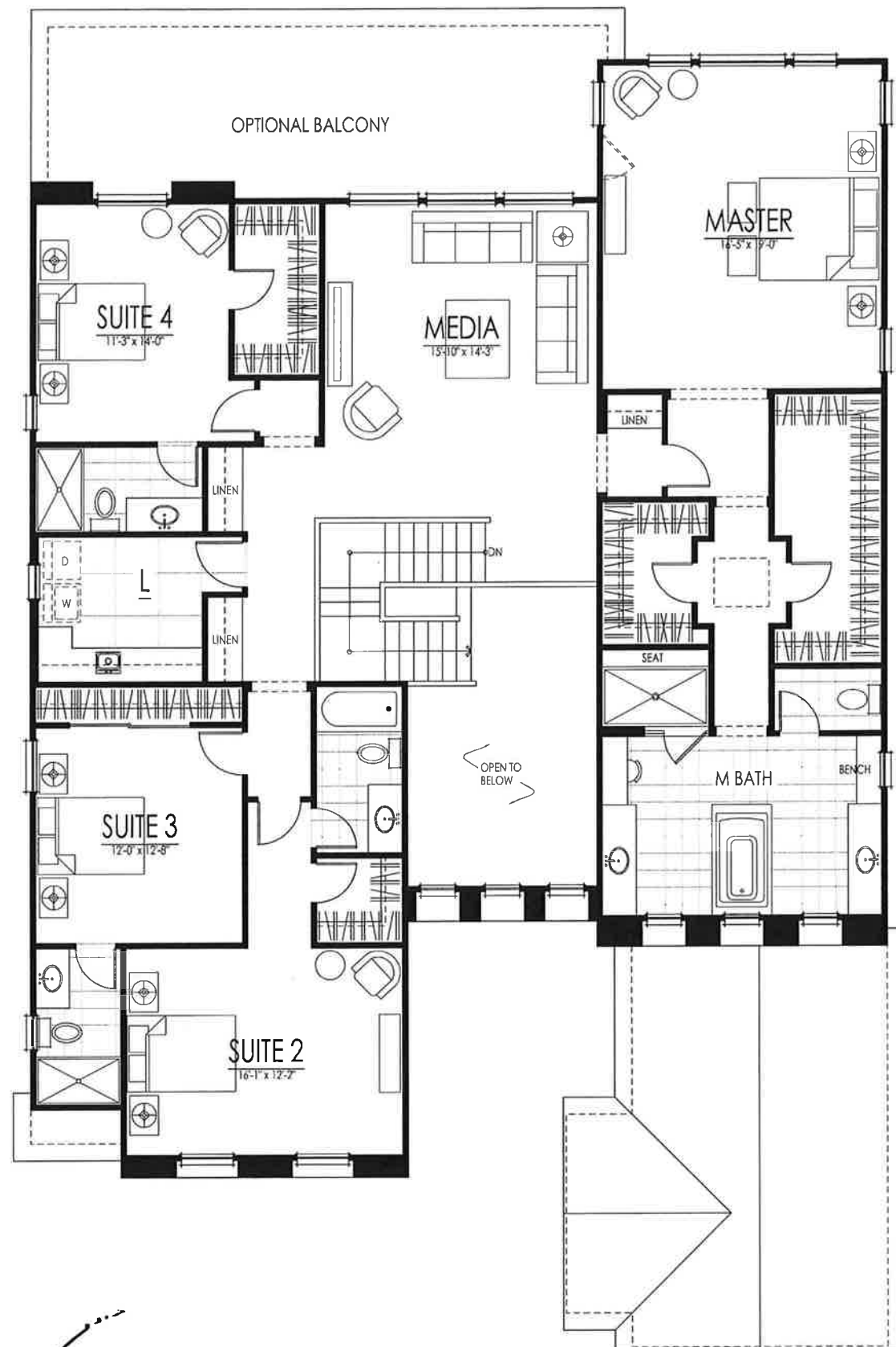
2201 hennepin st suite a / san jose, ca 95131 / 408.255.8919 / 408.255.8909

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planTWO - A

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

**ALORA
at TALEGA**

william lyon homes

woodleyarchitecturalgroup,inc

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california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

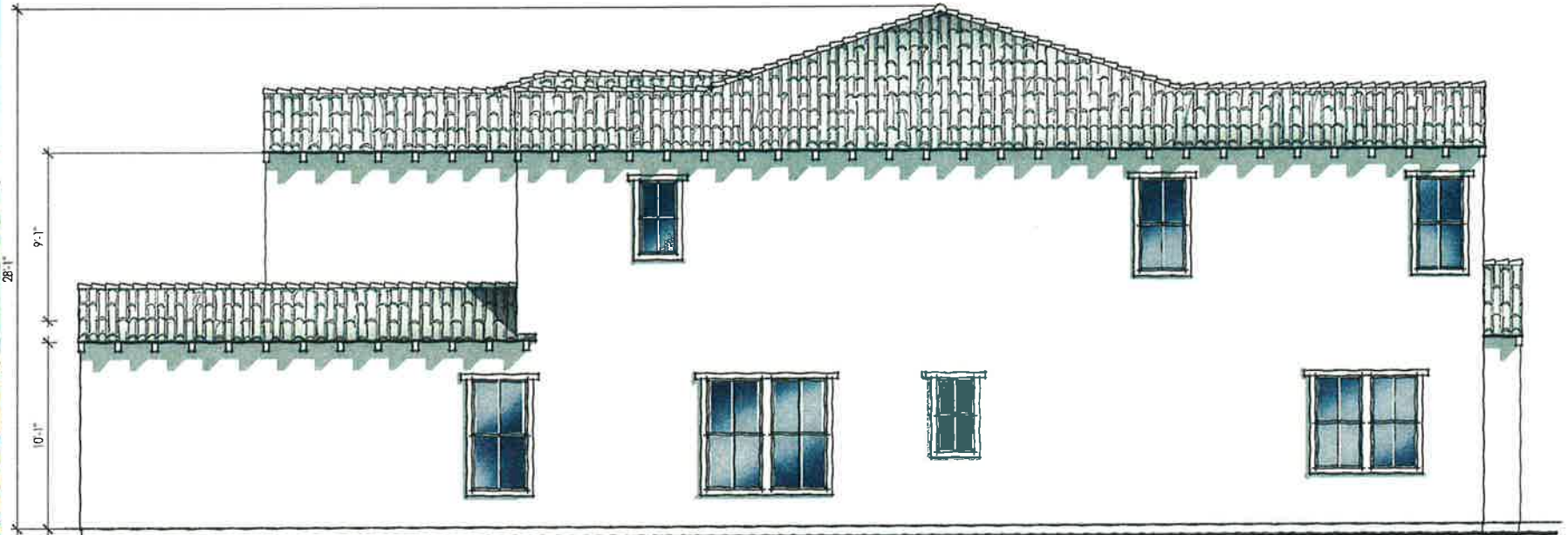
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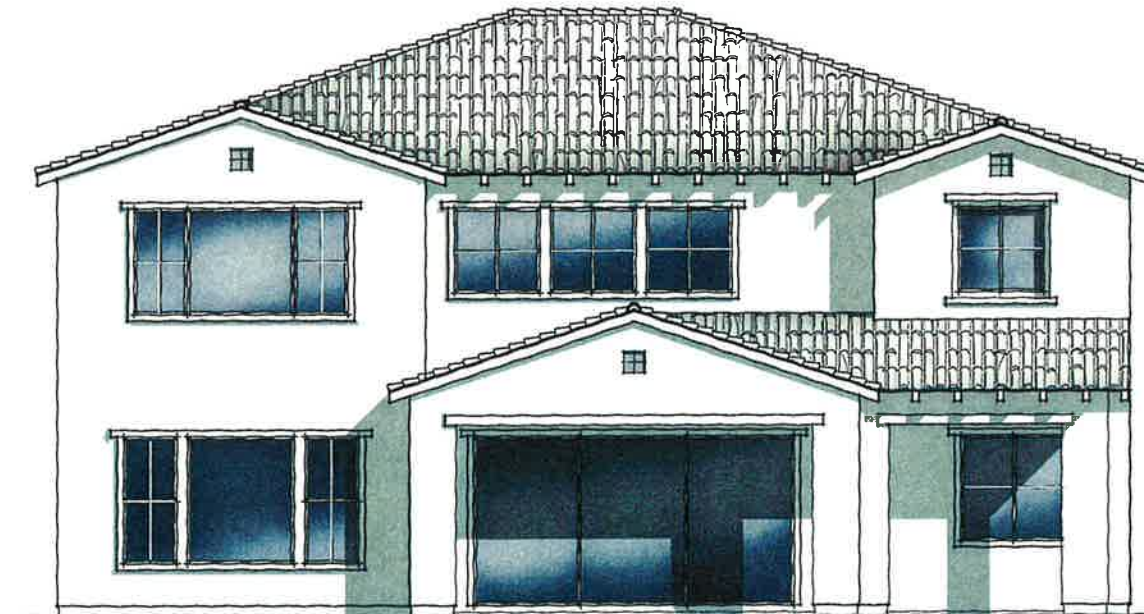
frontELEVATION

scale: 1/4"=1'



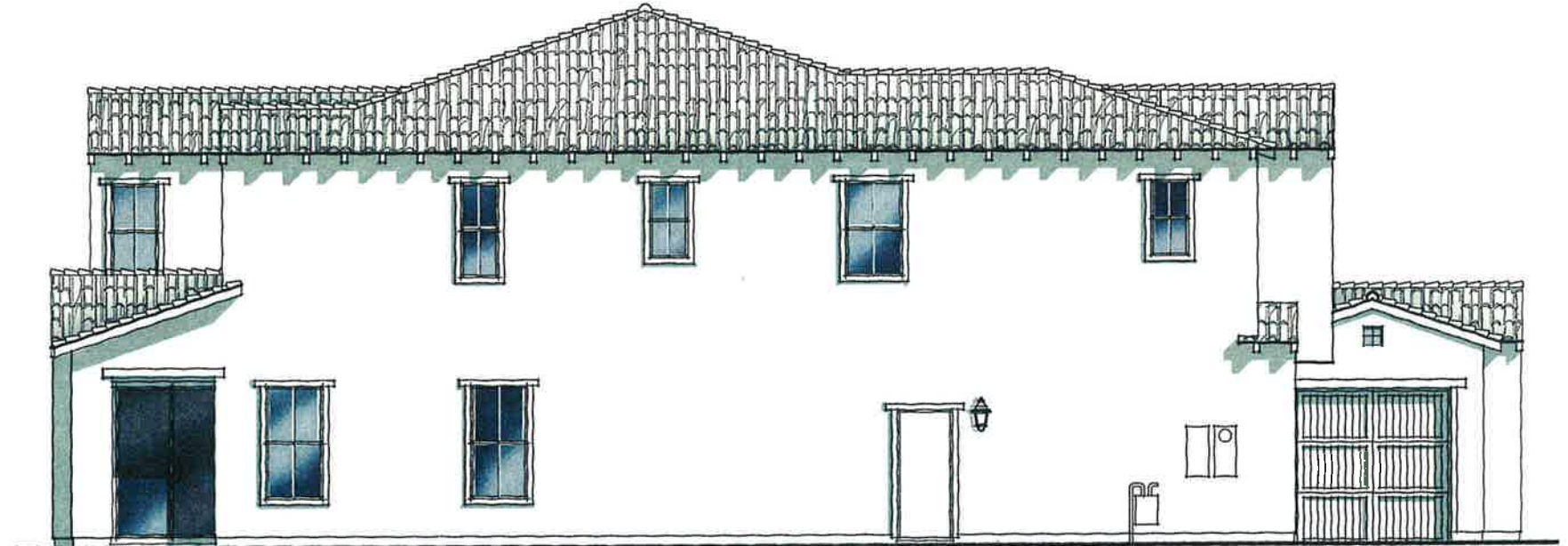
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTWO - A

elevationA

mission

ALORA
at TALEGA

william lyon homes

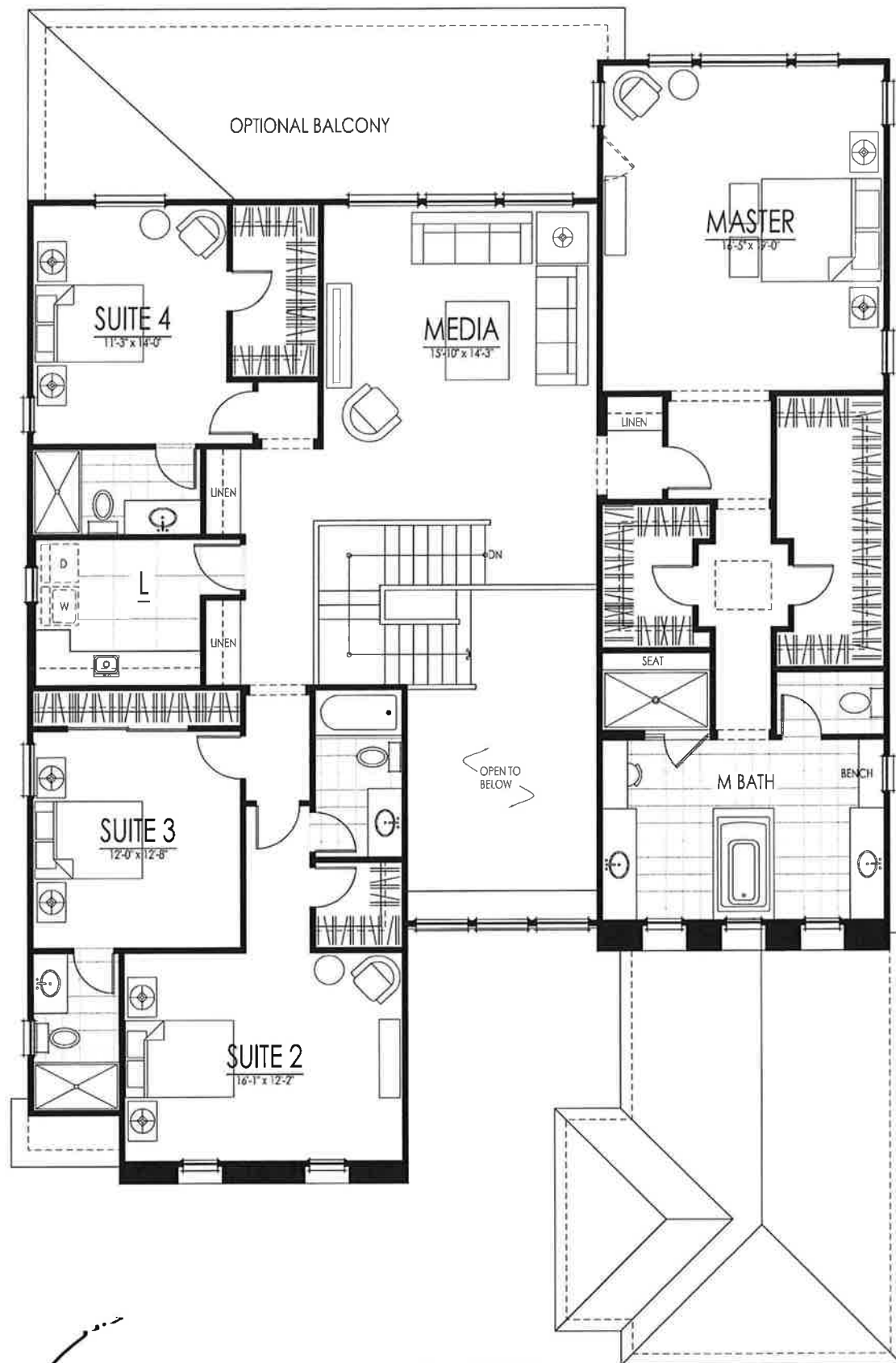
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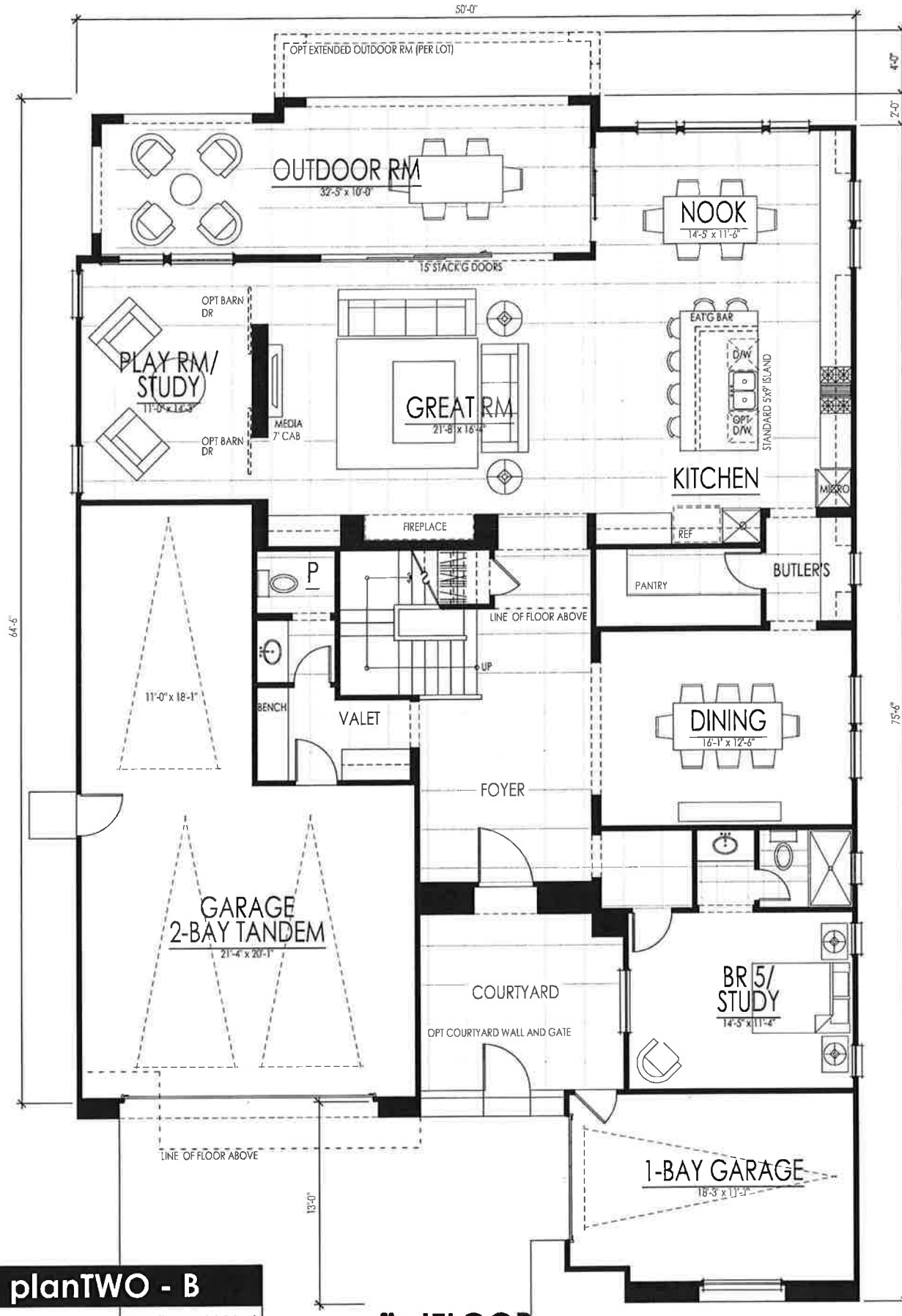
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secondFLOOR



planTWO - B

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

firstFLOOR

**ALORA
at TALEGA**

william lyon homes

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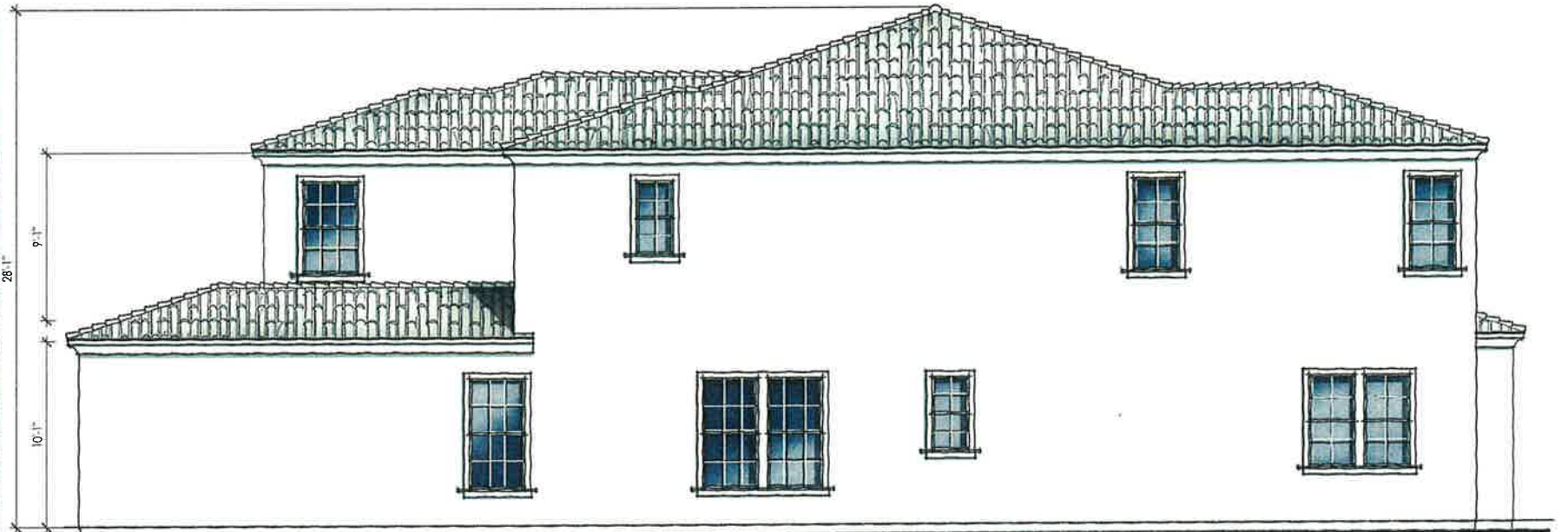
colorado: 9137 s ridgeline blvd, suite 120 / highlands ranch, co 80129 / 303 683.7231 / 303 683.2922 (fax)
california: 2943 pullman st, suite A / santa ana, ca 92705 / 949 553.8919 / 949 553.8909

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frontELEVATION

scale: 1/4"=1'



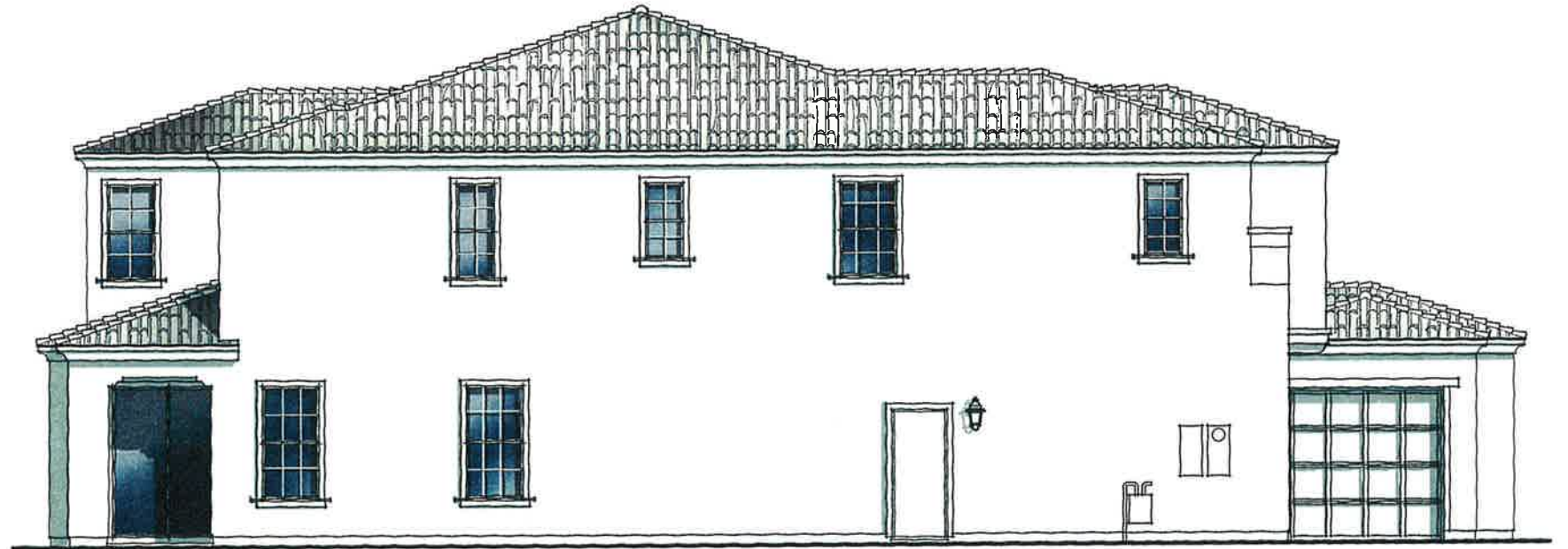
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTWO - B

elevationB

spanishCOLONIAL

ALORA
at TALEGA

william lyon homes

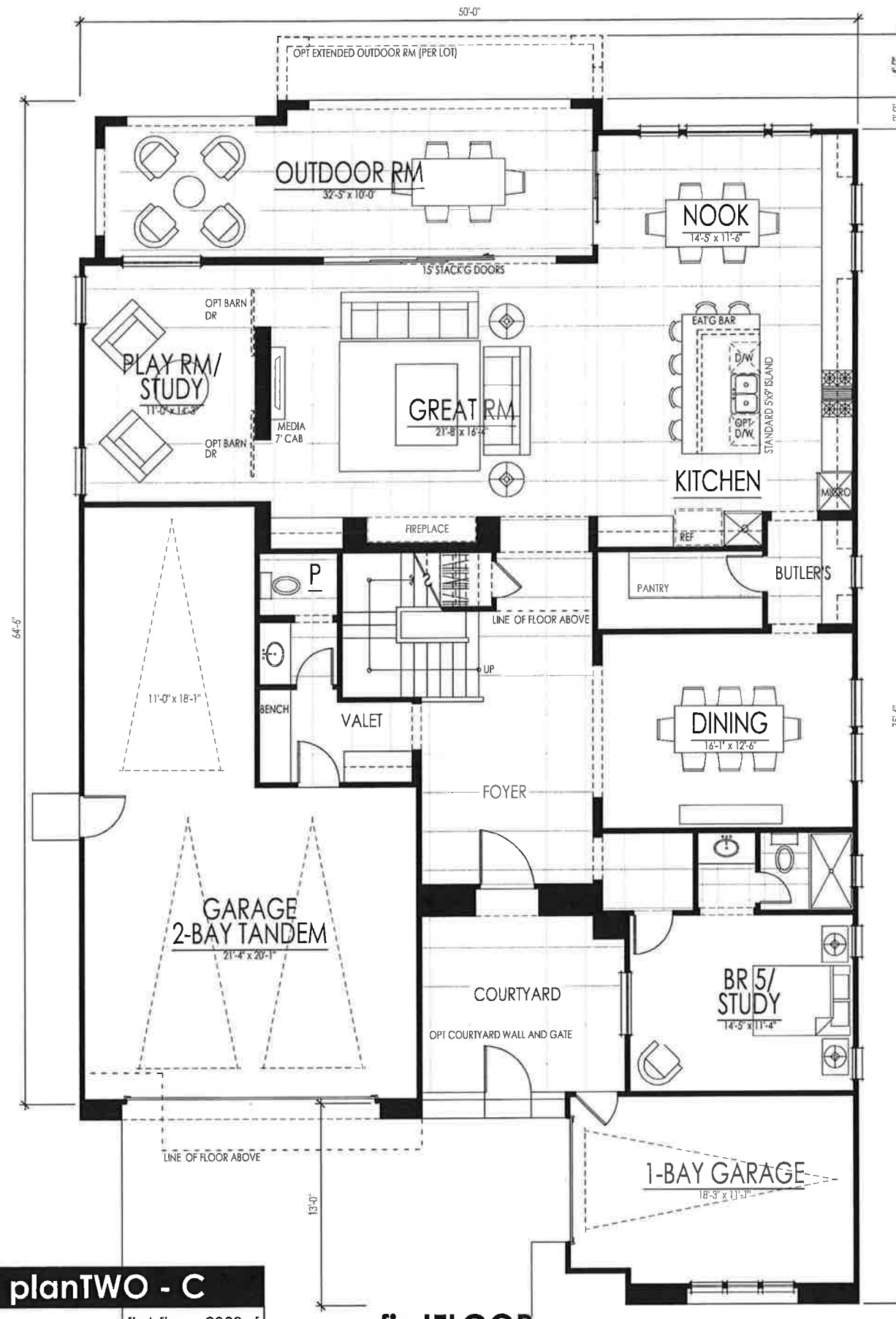
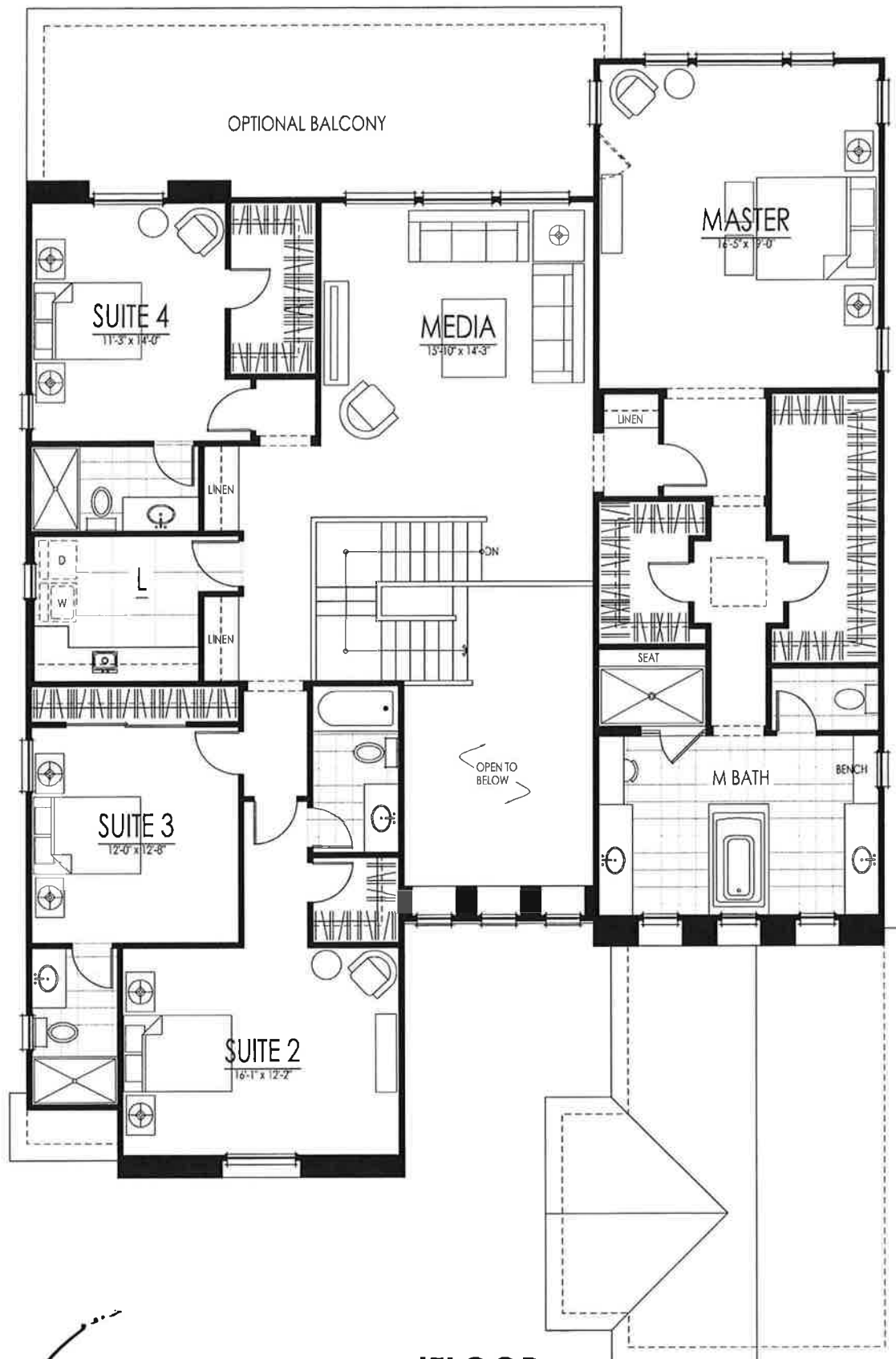
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planTWO - C

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

ALORA
at TALEGA

william lyon homes

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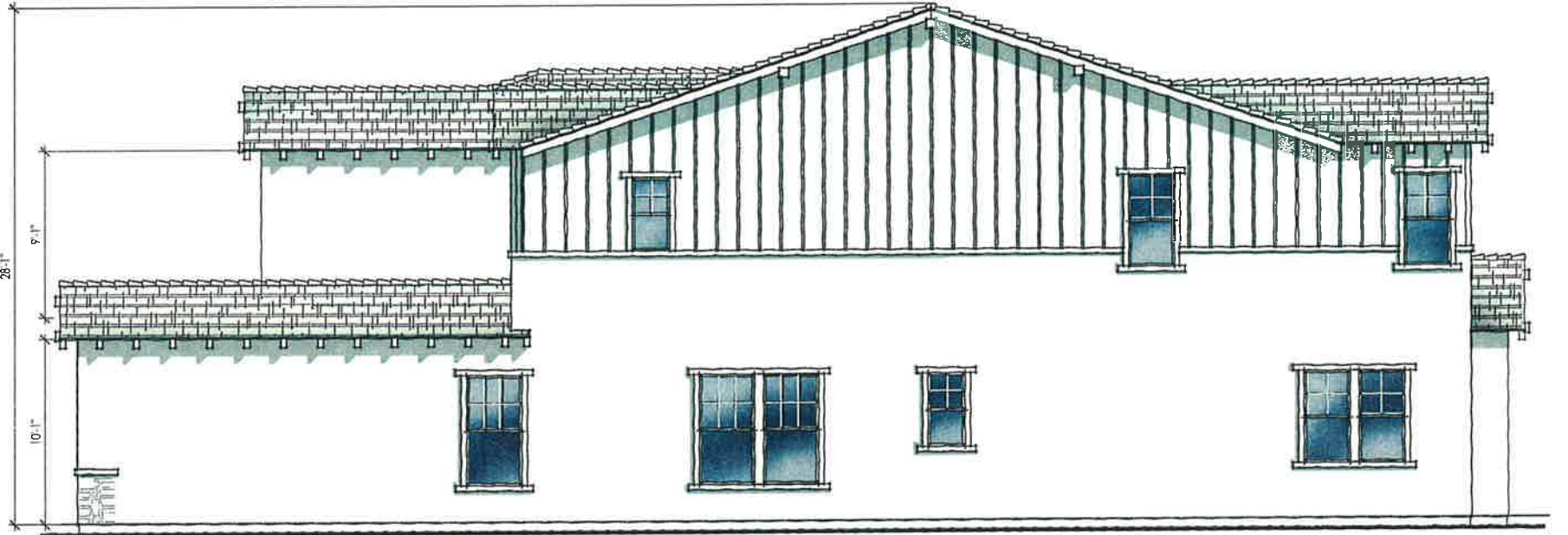
colorado: 9137 s ridgeline blvd, suite 120 / highlands ranch, co 80129 / 303.683.7231 / 303.683.2922 (fax)
california: 2943 pullman st, suite A / san joe, ca 92105 / 949.353.8919 / 949.353.8909

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frontELEVATION

scale: 1/4"=1'



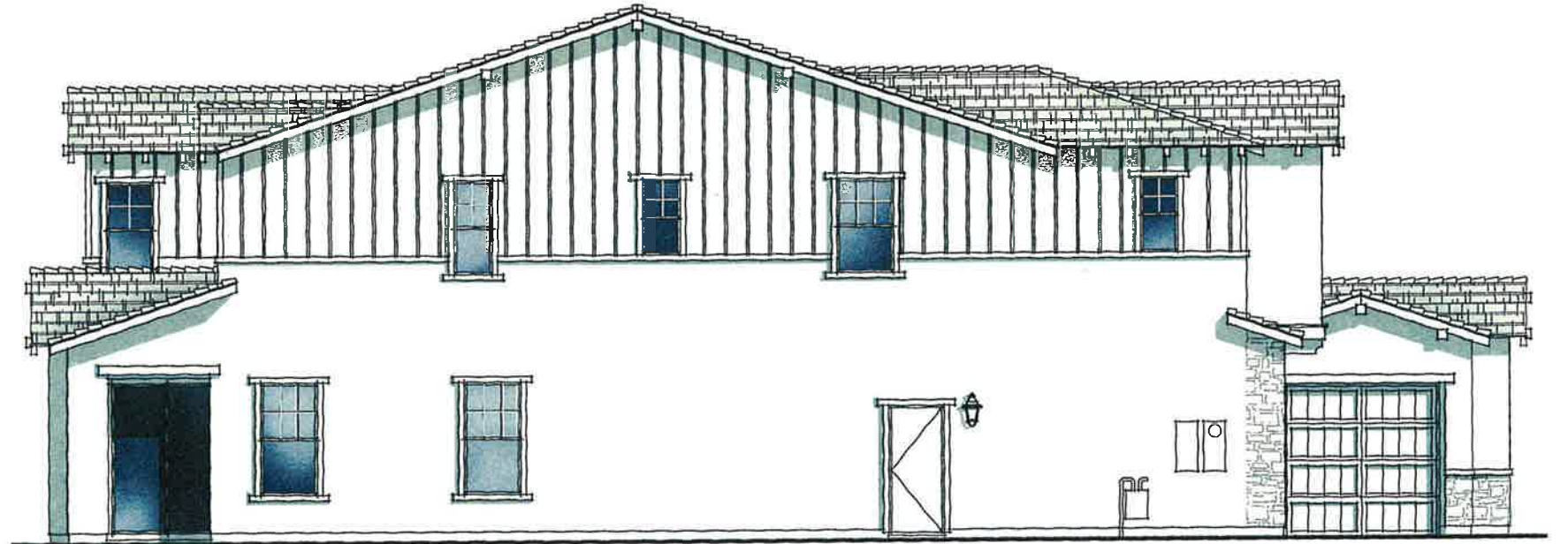
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTWO - C

elevationC

californiaRANCH

ALORA
at TALEGA

william lyon homes

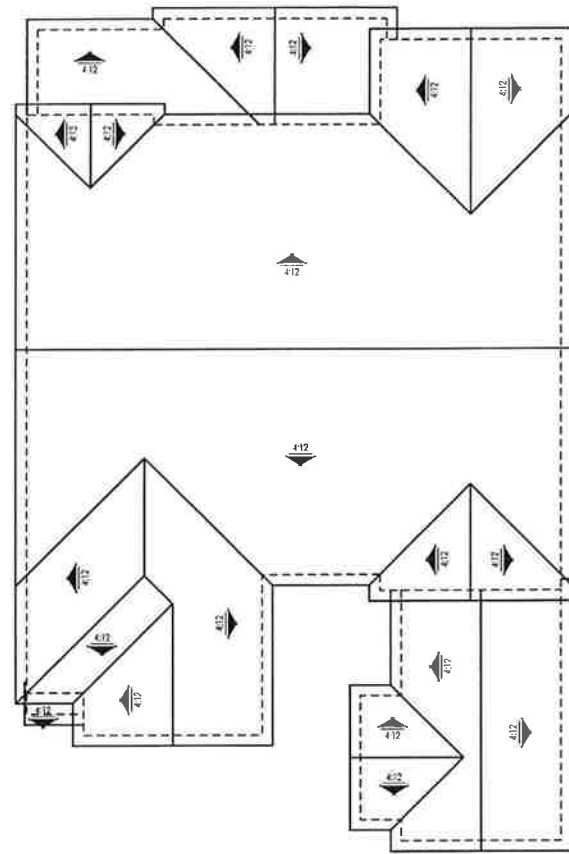
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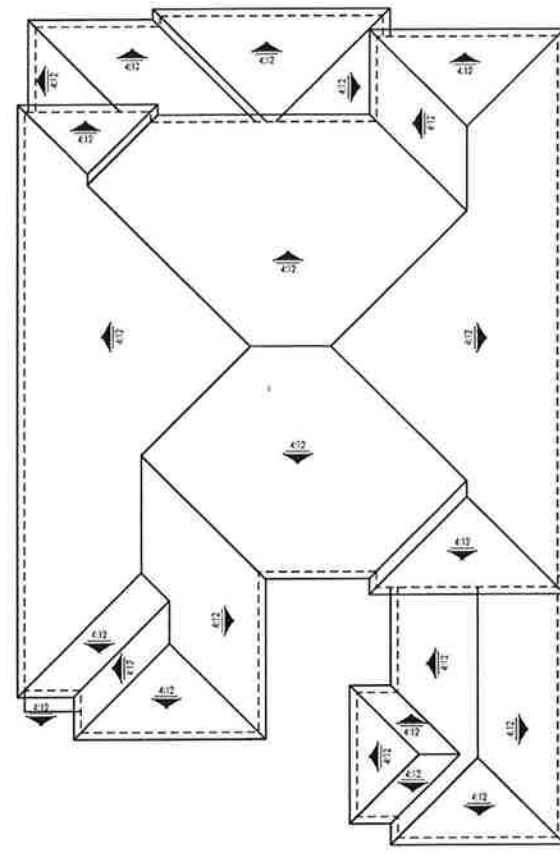
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california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

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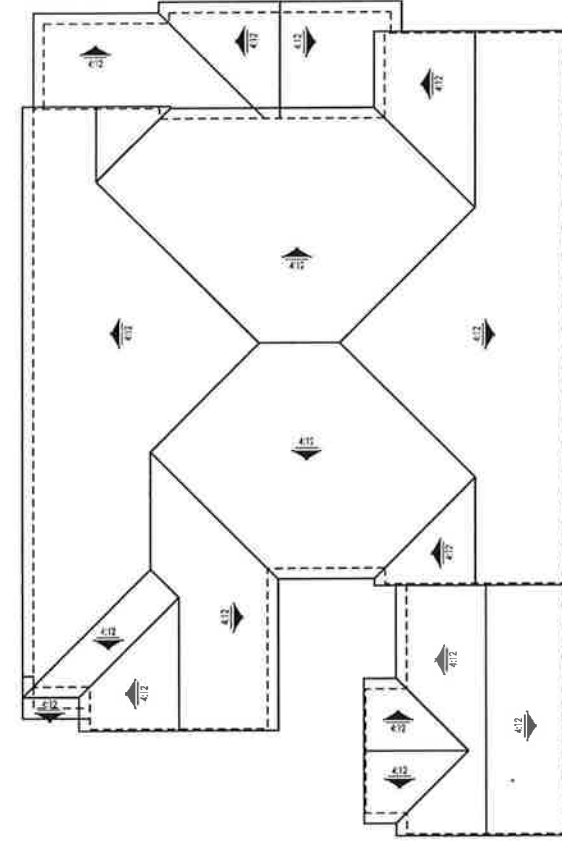
roofPLAN - C

scale: 1/8"=1'



roofPLAN - B

scale: 1/8"=1'



roofPLAN - A

scale: 1/8"=1'

planTWO - A,B,C

ROOF PLANS

ALORA
at TALEGA
william lyon homes

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elevationA - MISSION

- Concrete 'S' tile
- (4) 6x6 decorative tile @ gable end
- 2 x 6 exposed rafter tails
- Brick veneer
- Decorative surround trim @ masonry
- Stucco finish
- Stucco trim @ windows & doors

Hardboard wainscot

- Concrete 'S' tile
- Decorative shutters
- Stucco finish
- Stucco trim @ windows & doors
- Built-up stucco fascia



elevationB - SPANISH COLONIAL

- Cultured limestone veneer
- Decorative surround trim @ masonry

Stucco corbels

- Field concrete roof tile
- Barn door shutters
- 3 x 6 exposed rafter tails
- Board & Batt
- Wood trim @ board & batt
- Stucco finish
- 6 x 6 corbels @ gable ends



elevationC - CALIFORNIA RANCH

Wood corbels

Cultured stone veneer

Stucco trim @ stucco finish

plantWOolt

ALORA at TALEGA

William Lyon homes

woodleyarchitecturalgroup, inc

231 Southpark Dr. Suite D, Jirafon, CA 90120 / 303.683.7231 / 303.683.0922 (fax)

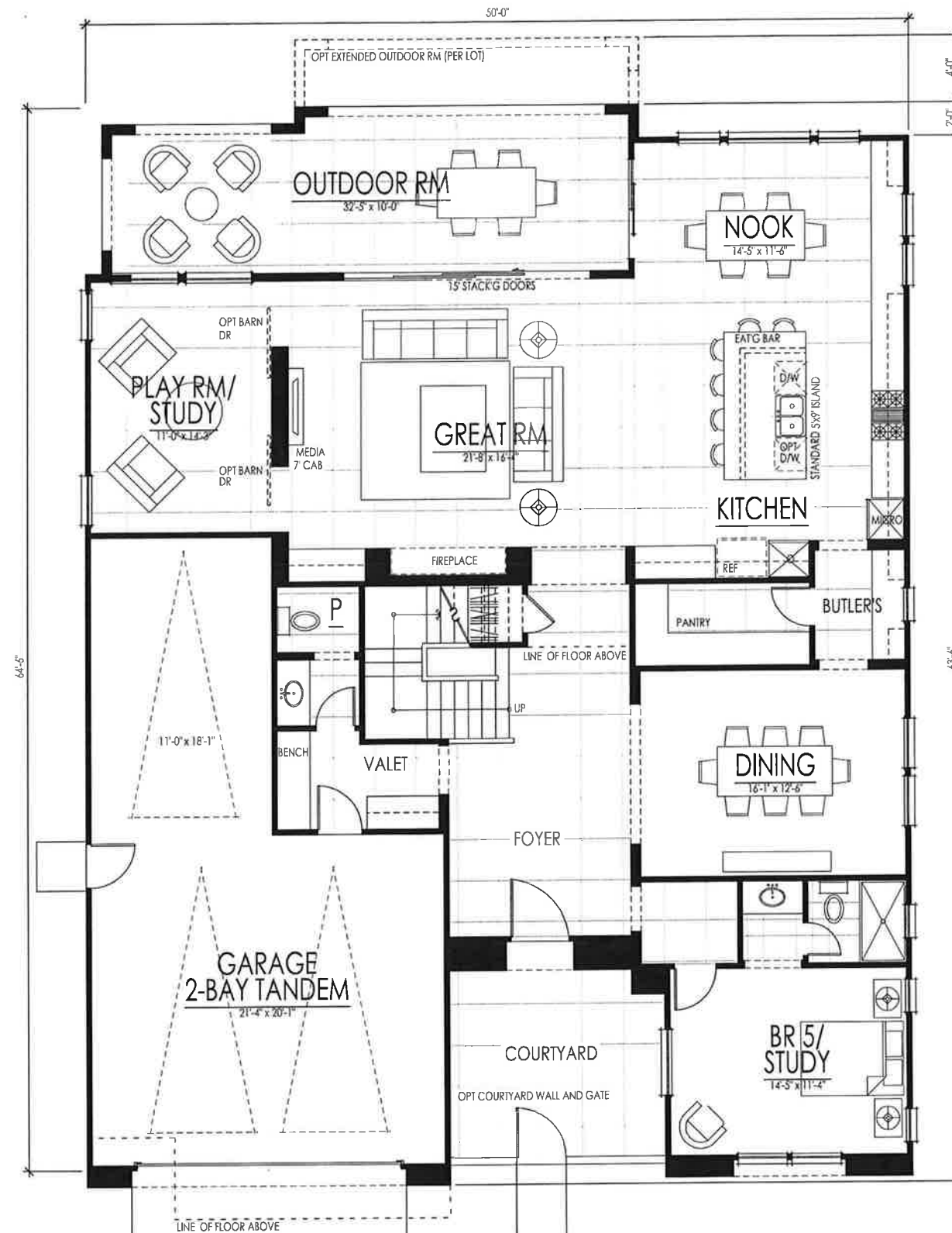
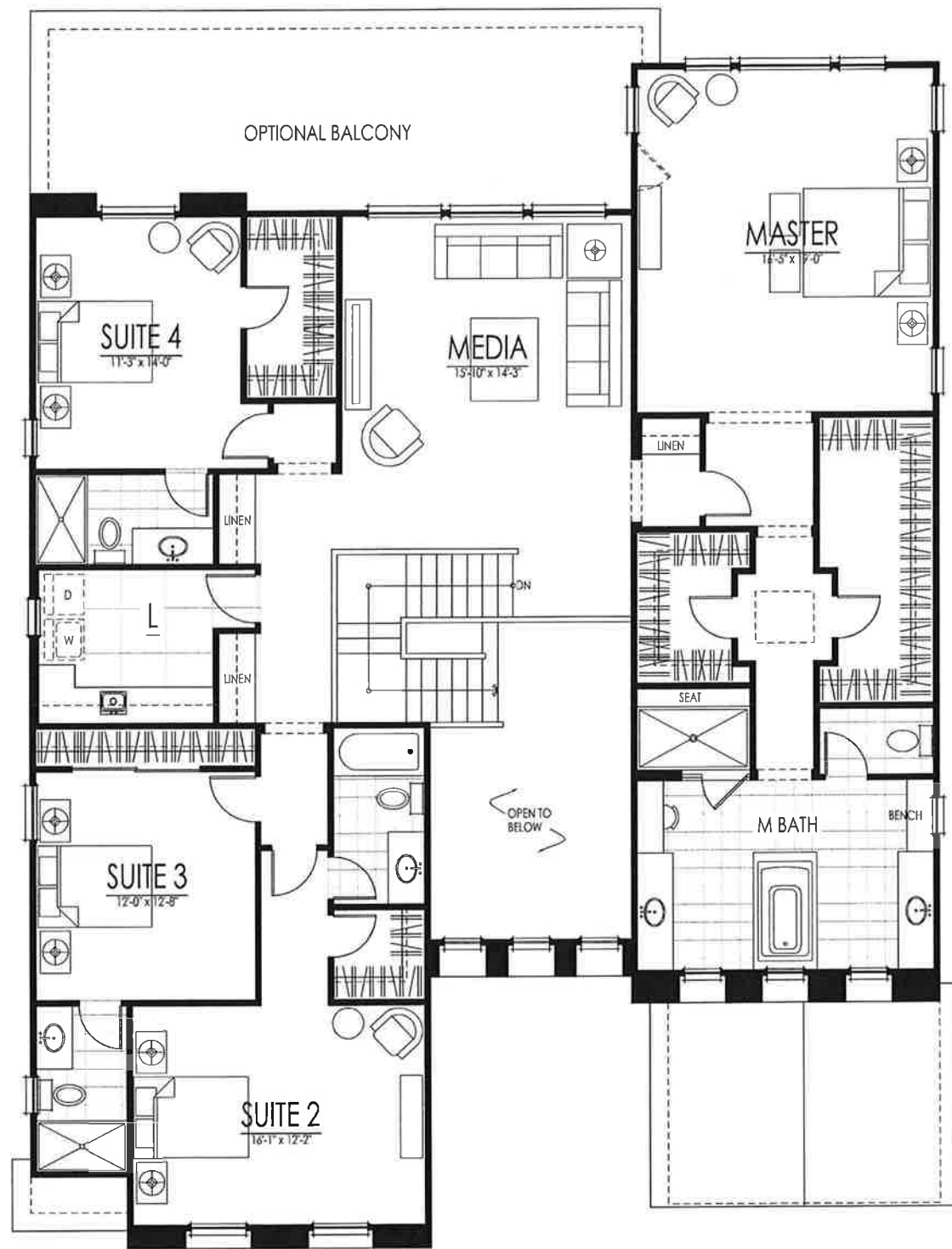
2001 Camino del Rio North, Suite A, San Diego, CA 92108 / 619.594.8919 / 619.594.8909

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planTWOalt - A

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

**ALORA
at TALEGA**
william lyon homes

06 • 17 • 2013

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secondFLOOR

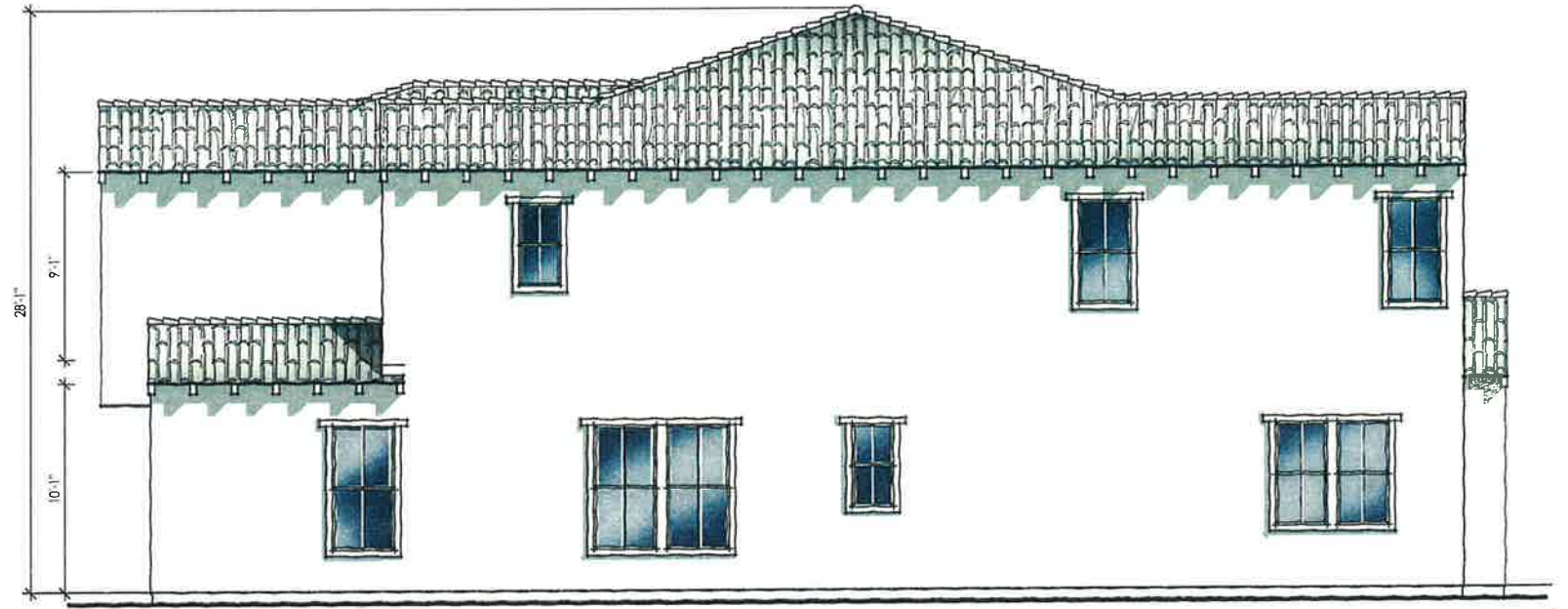
colorado: 9137 s ridge line blvd, suite 120 / highlands ranch, co 80129 / 303.683.7231 / 303.683.2922 (fax)
california: 2943 pullman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

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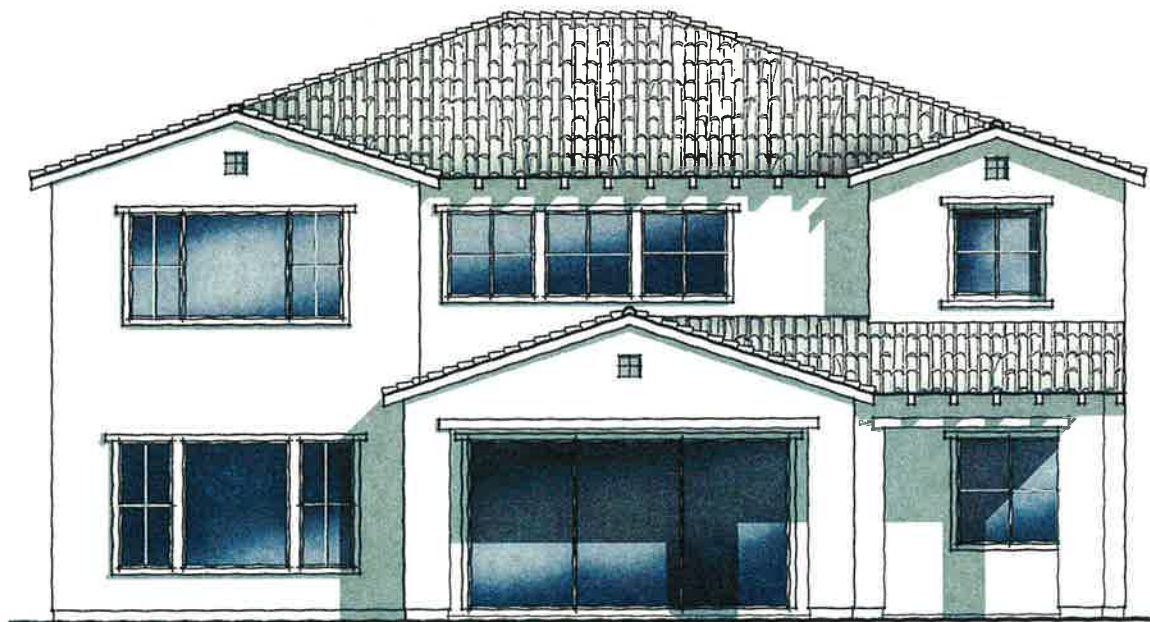
frontELEVATION

scale: 1/4"=1'



rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTWOalt - A

elevationA

mission

ALORA
at TALEGA
william lyon homes

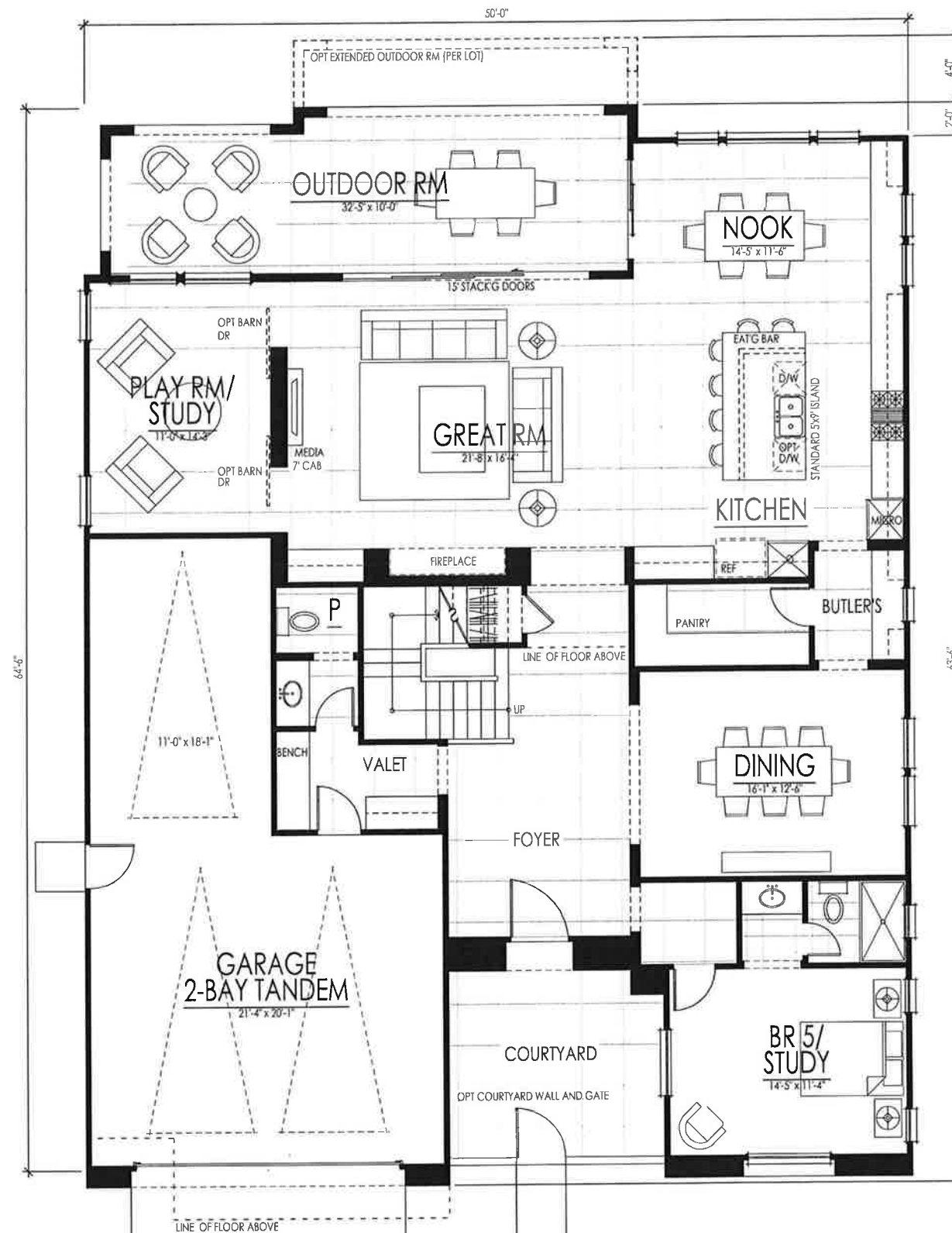
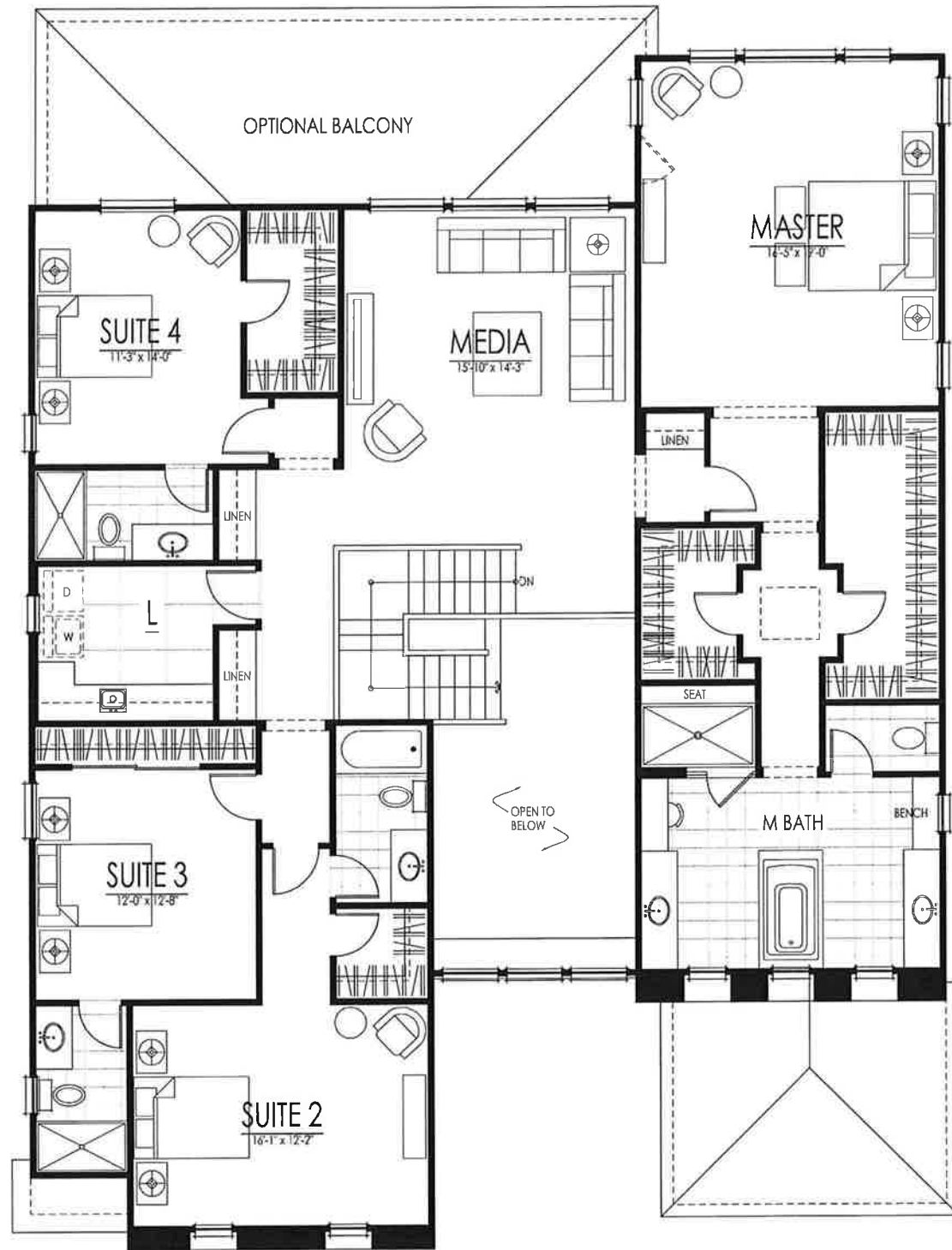
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colorado: 9137 s ridgeline blvd, suite 120 / highlands ranch, co 80129 / 303.683.7231 / 303.683.2922 (fax)
california: 2943 pulman st, suite A / santa ana, ca 92705 / 949.553.6919 / 949.552.6909

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planTWOalt - B

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

firstFLOOR

**ALORA
at TALEGA**

william lyon homes

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secondFLOOR

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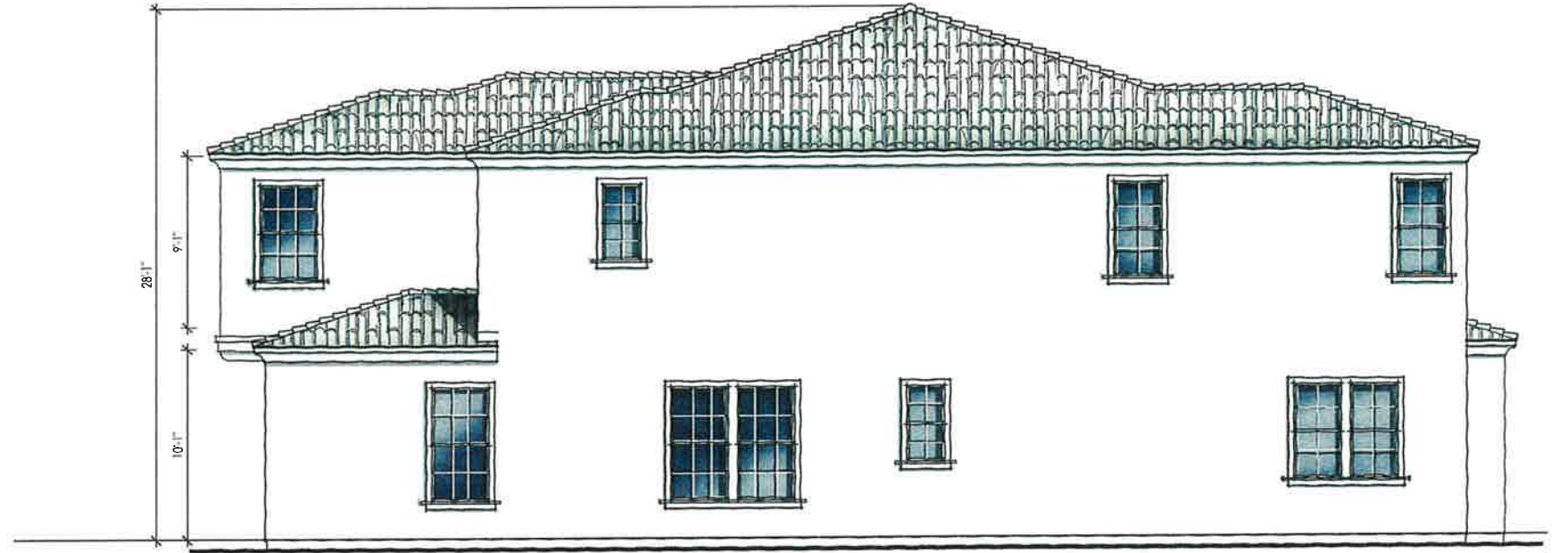
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frontELEVATION

scale: 1/4"=1'



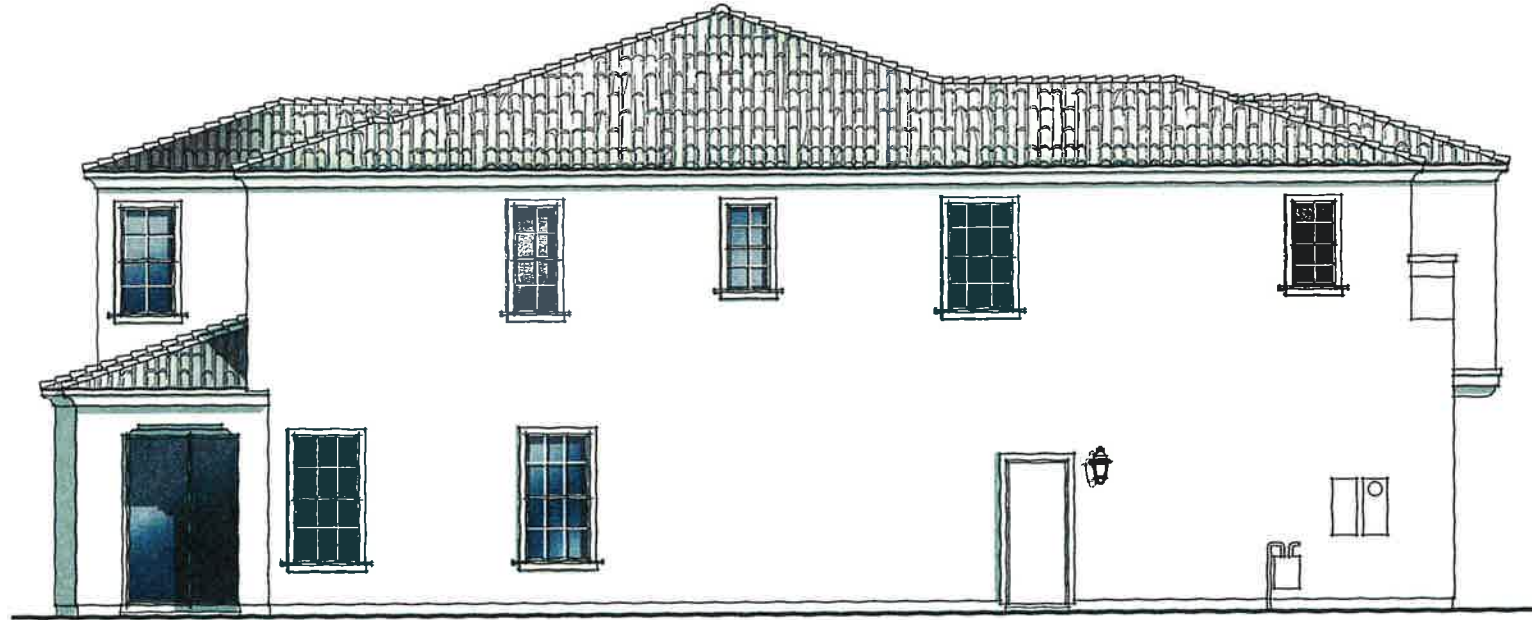
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTWOalt - B

elevationB

spanishCOLONIAL

ALORA
at TALEGA

william lyon homes

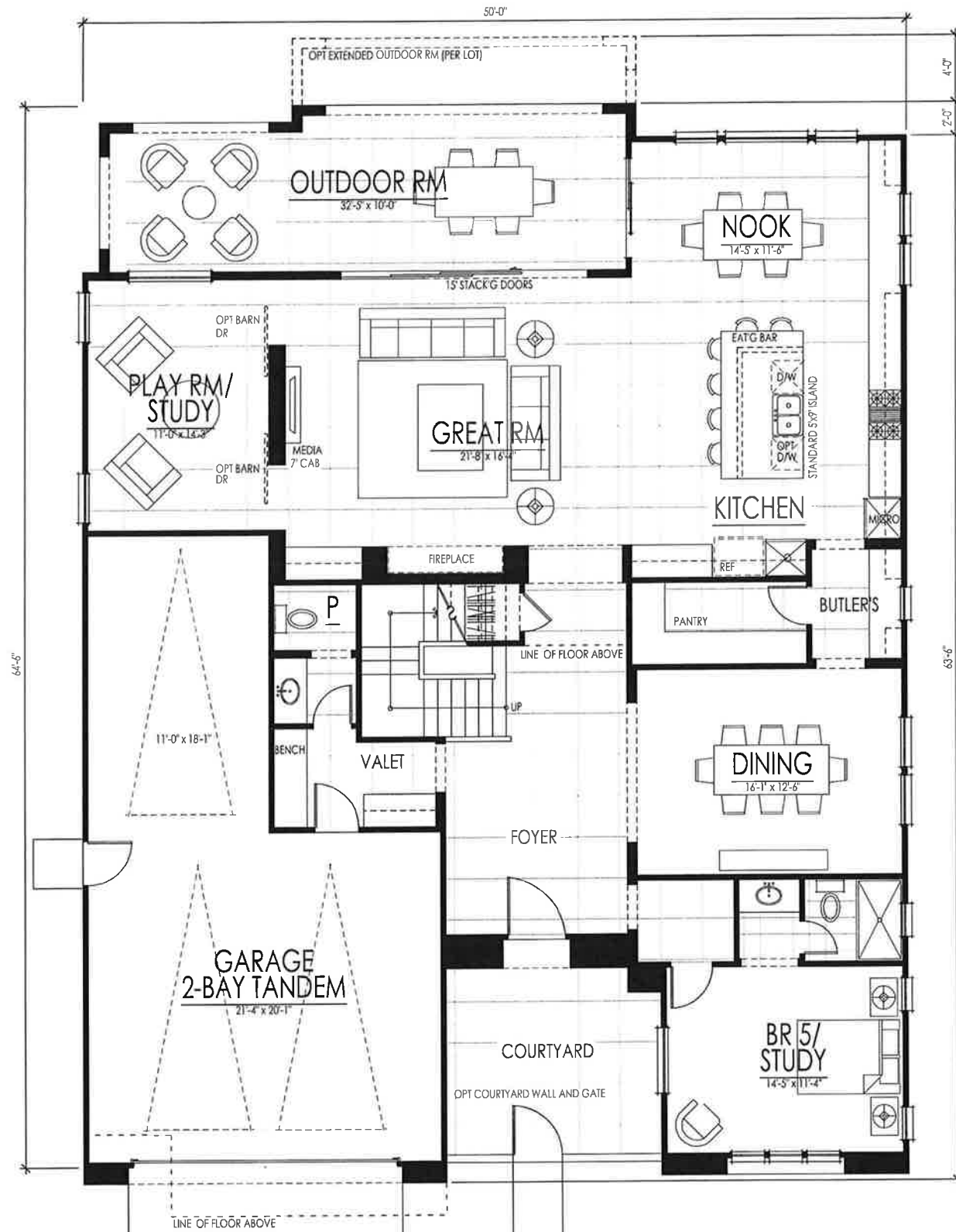
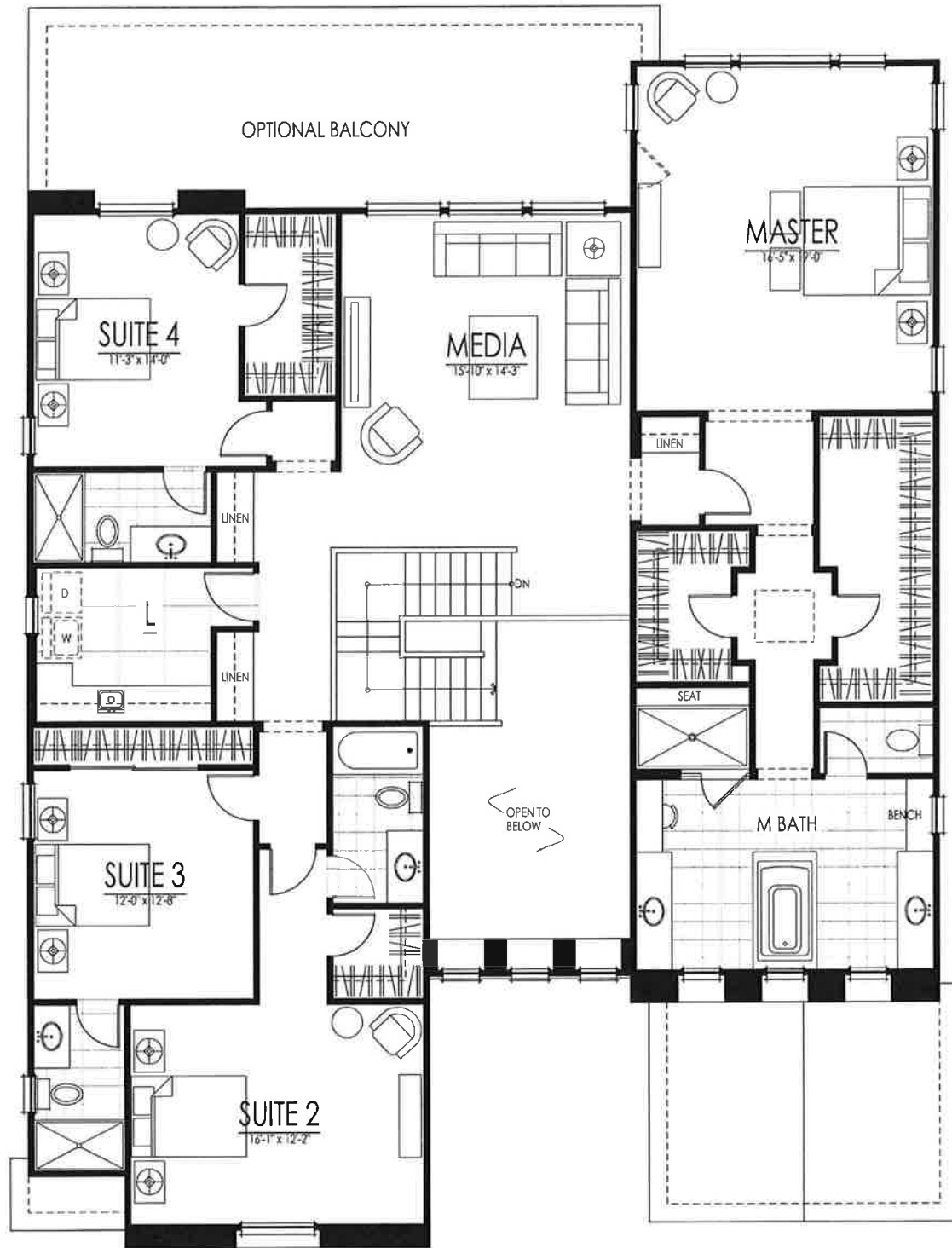
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colorado: 9137 s ridgeline blvd, suite 120 / highlands ranch, co 80129 / 303.663.7231 / 303.683.2922 (fax)
california: 2943 pullman st, suite A / san joe, ca 92705 / 949.553.6919 / 949.553.6909

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planTWOalt - C

first floor: 2029 sf
second floor: 2271 sf
total living: 4300 sf

ALORA
at TALEGA

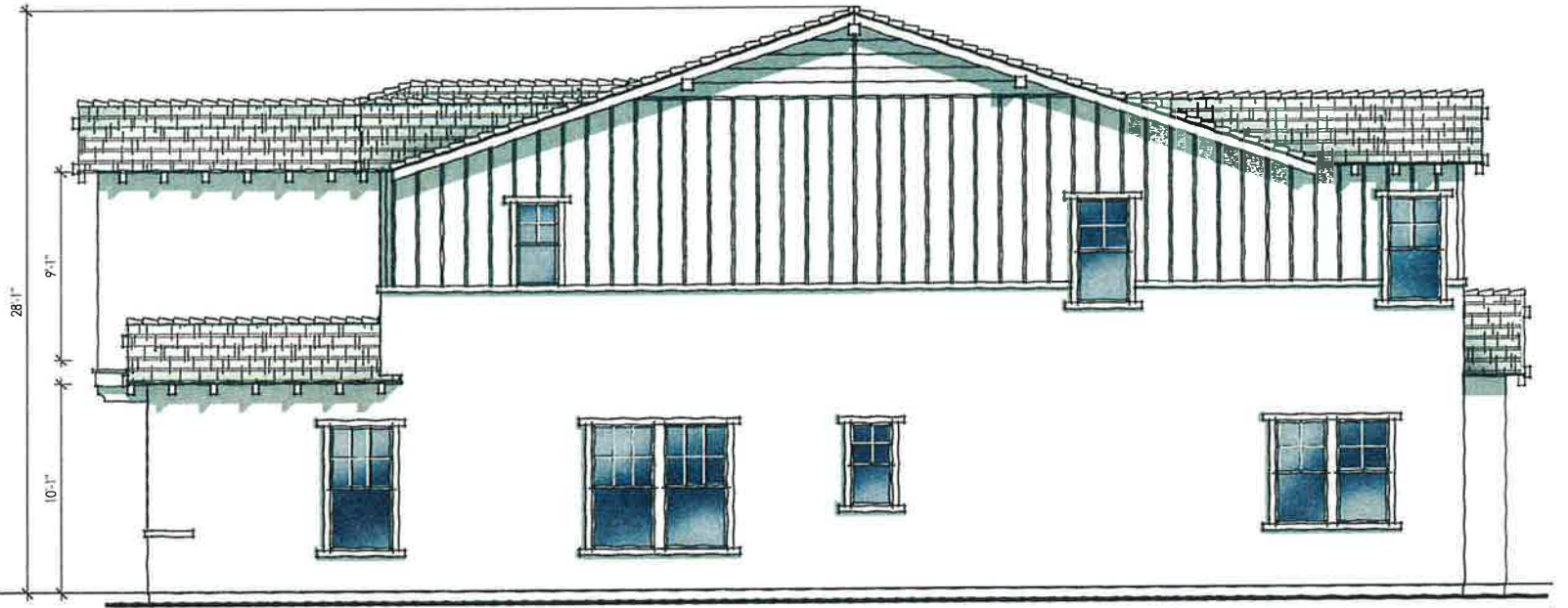
william lyon homes

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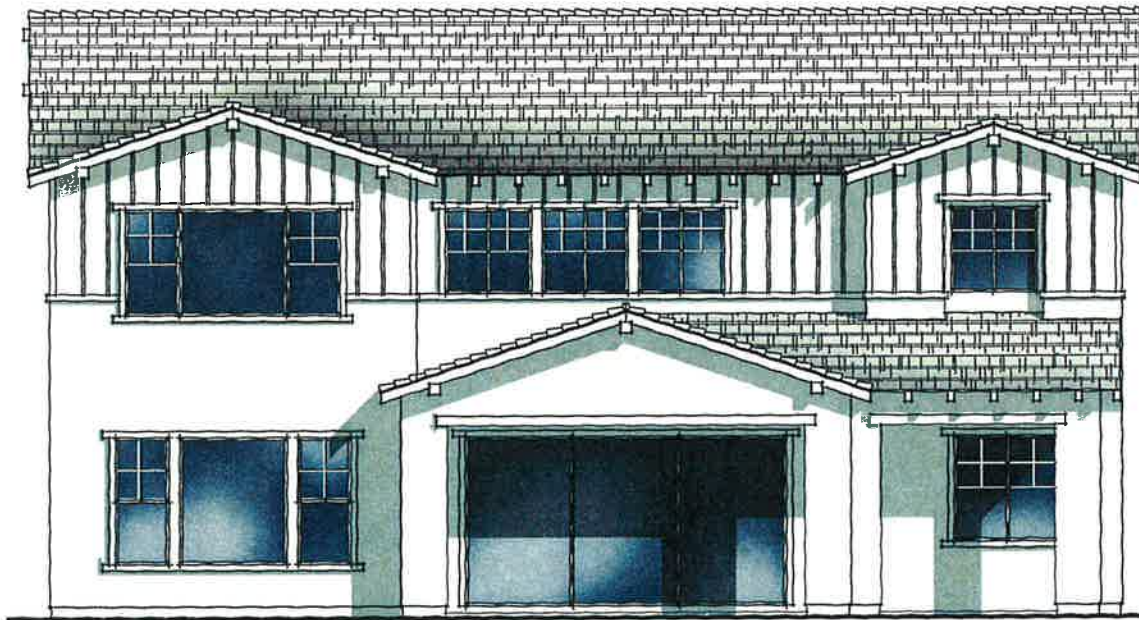
frontELEVATION

scale: 1/4"=1'



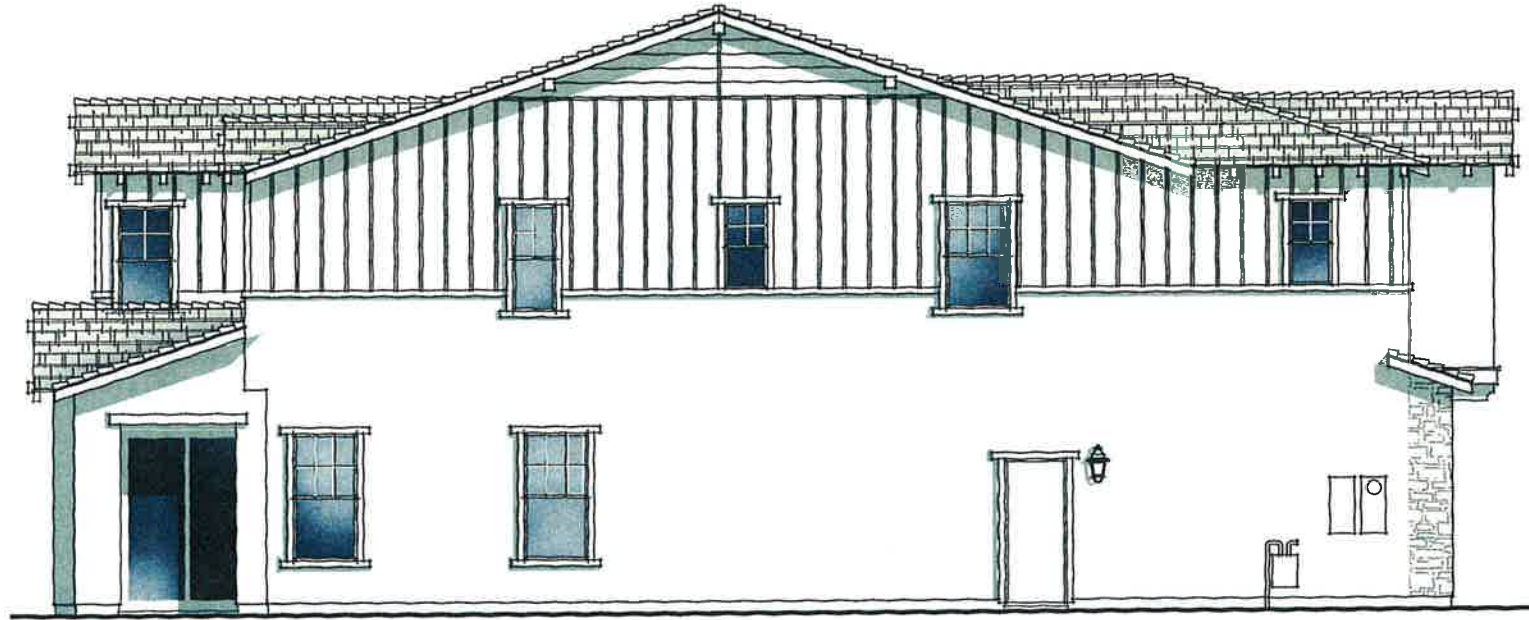
rightELEVATION

scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

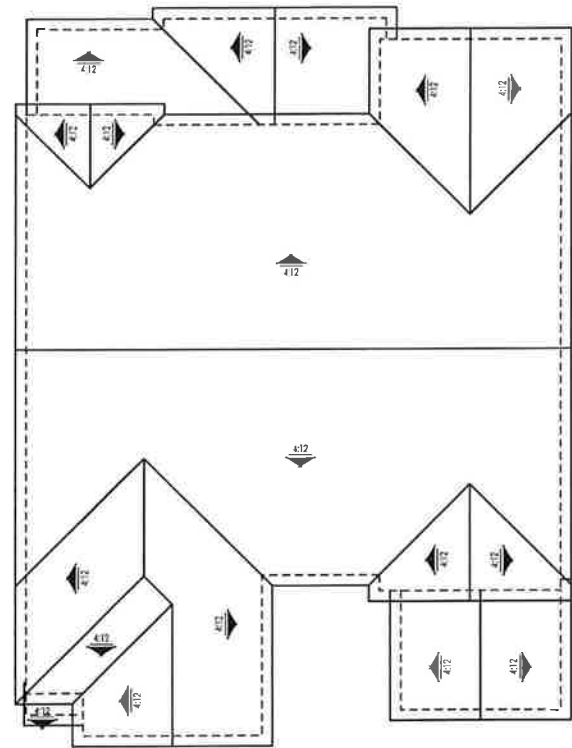
planTWOalt - C

elevationC

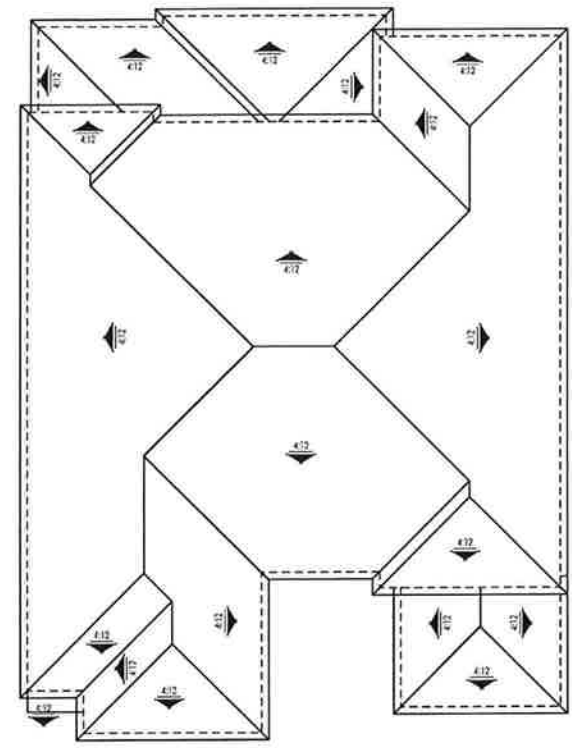
californiaRANCH

ALORA
at TALEGA
william lyon homes

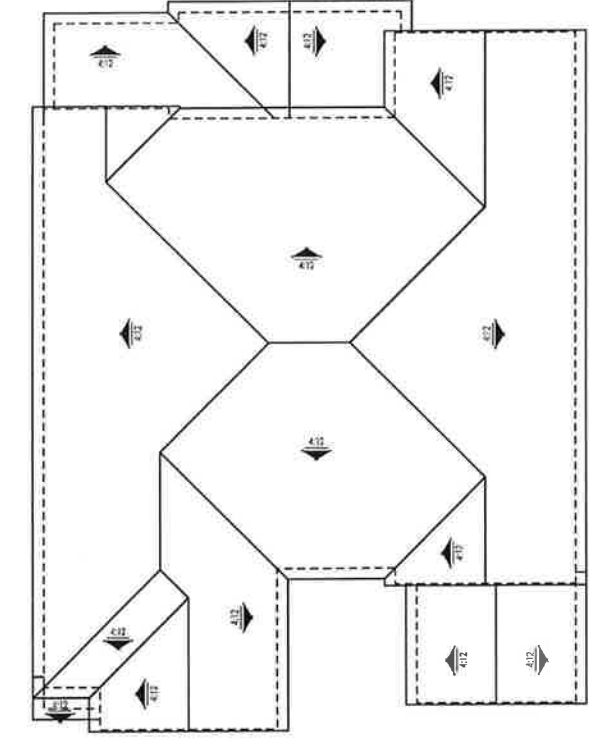
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roofPLAN - C scale: 1/8"=1'



roofPLAN - B scale: 1/8"=1'



roofPLAN - A scale: 1/8"=1'

planTWOalt - A,B,C
ROOF PLANS

ALORA
at TALEGA
william lyon homes

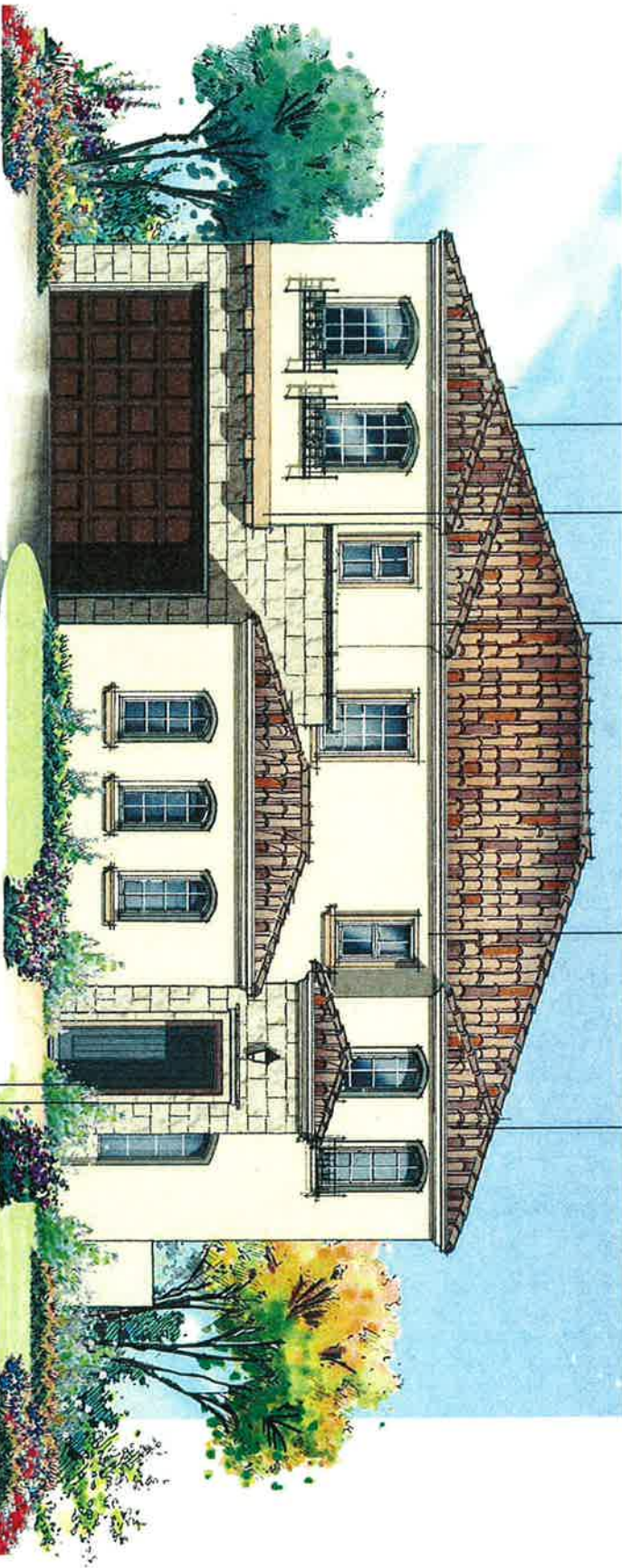
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- Concrete 'S' tile
- 2 x 6 exposed rafter tails
- (4) 6x6 decorative tile @ gable
- Stucco trim @ windows & door
- Stucco finish

elevationA - MISSION

- Decorative wrought iron gate
- Decorative shutters
- Brick veneer
- Concrete 'S' tile
- Stucco corbels
- Stucco finish
- Stucco trim @ windows & door
- Built-up stucco fascia



elevationB - SPANISH COLONIAL

- Decorative surround trim @ masonry

- Flat concrete roof tile
- 3 x 6 exposed rafter tails
- Board & Bolt
- Wood trim @ board & bolt
- Stucco finish
- 6 x 6 corbels @ gable end
- Stucco trim @ stucco finish



elevationC - CALIFORNIA RANCH

- Wood corbels
- Wood gate
- Cultured stone veneer

plantTHREE

Alora at Talega

William Lyon homes

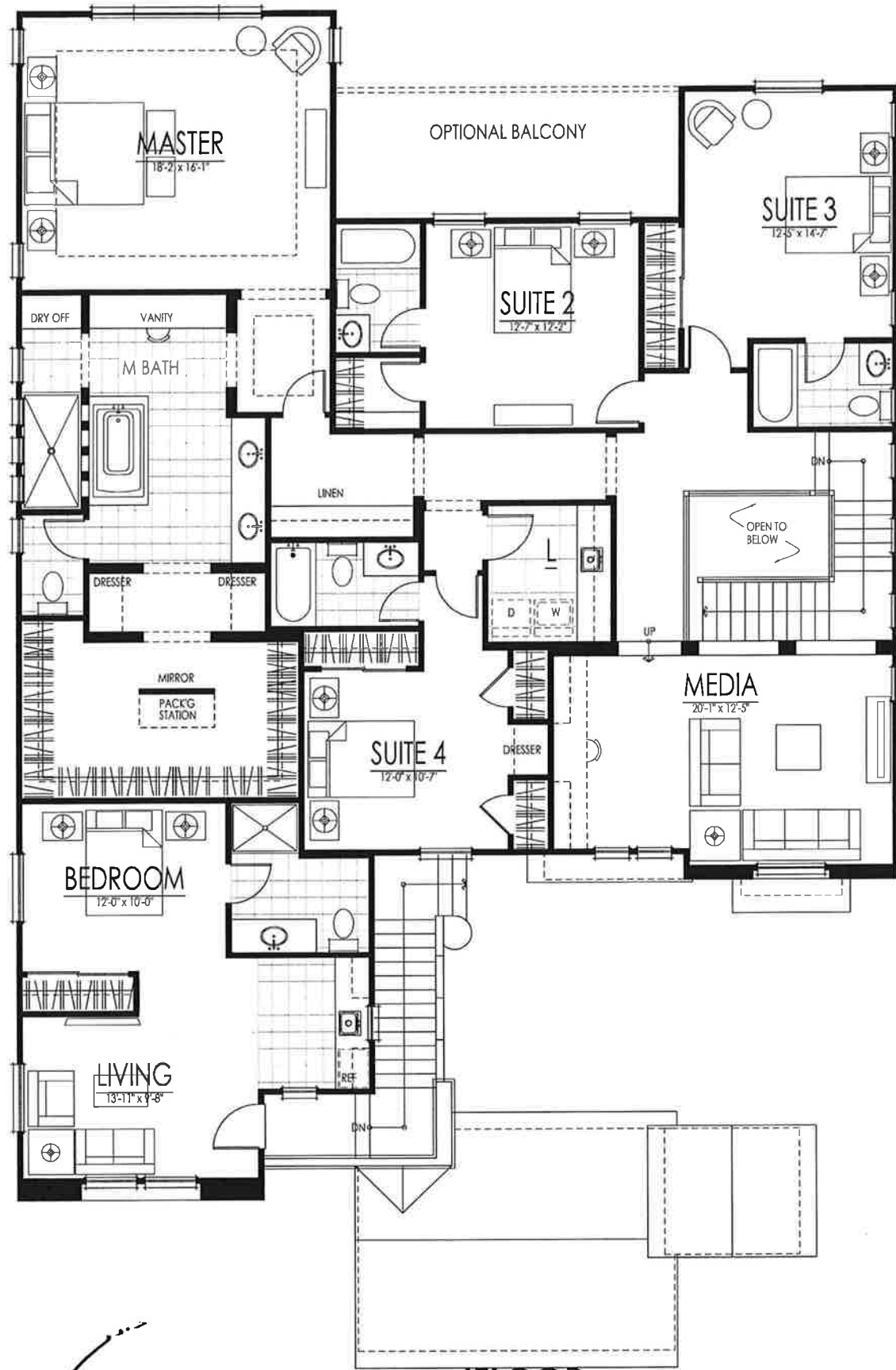
woodleyarchitecturalgroup, inc



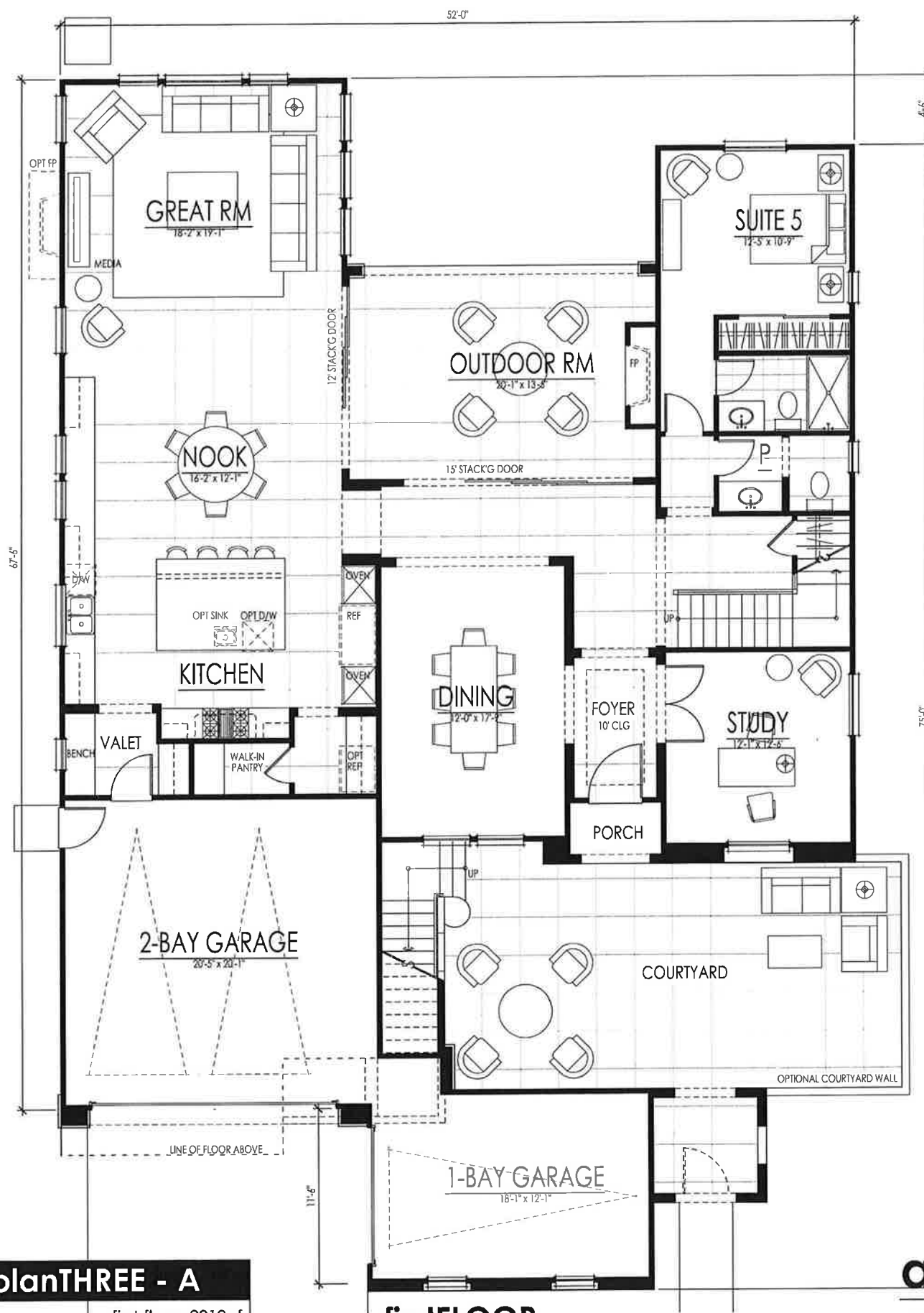
located at 73 southpark dr. suite b / irvinton, ca 95020 / 303.483.2231 / 303.483.2922 (fax)
 1001 allen rd. / 2943 hollywood st. suite A / san jose, ca 95128 / 408.555.8915 / 408.555.8929
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secondFLOOR



firstFLOOR

planTHREE - A

first floor: 2010 sf
 second floor: 2639 sf
 total living: 4649 sf

**ALORA
 at TALEGA**

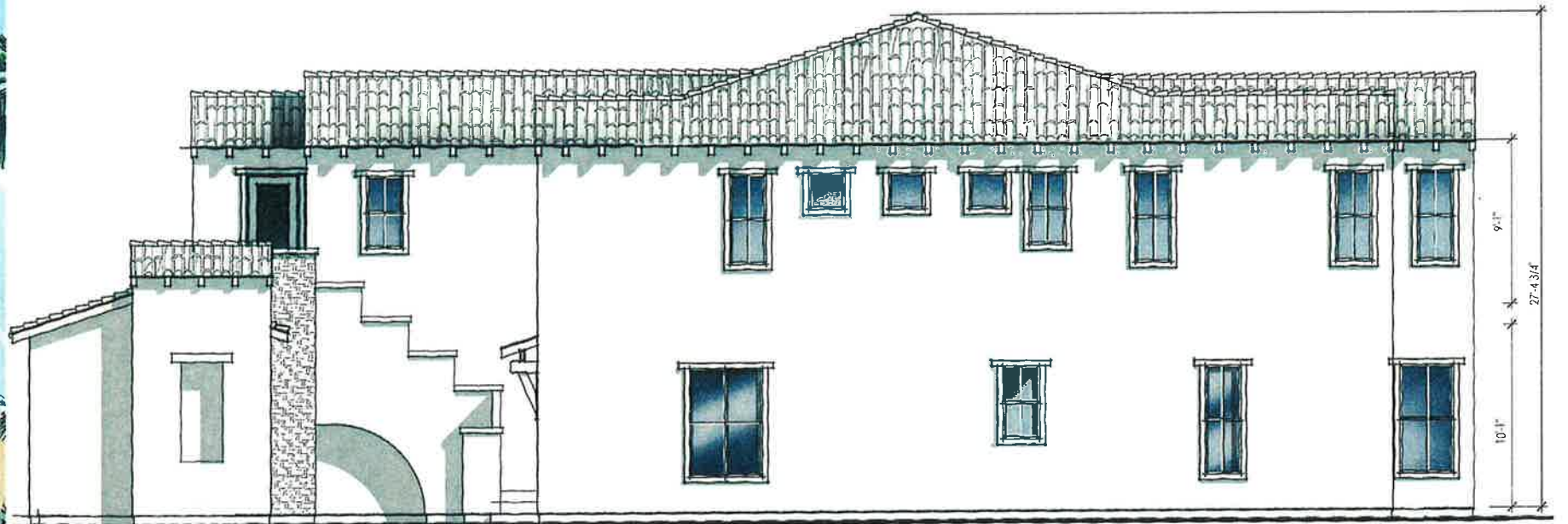
william lyon homes

06 • 17 • 2013

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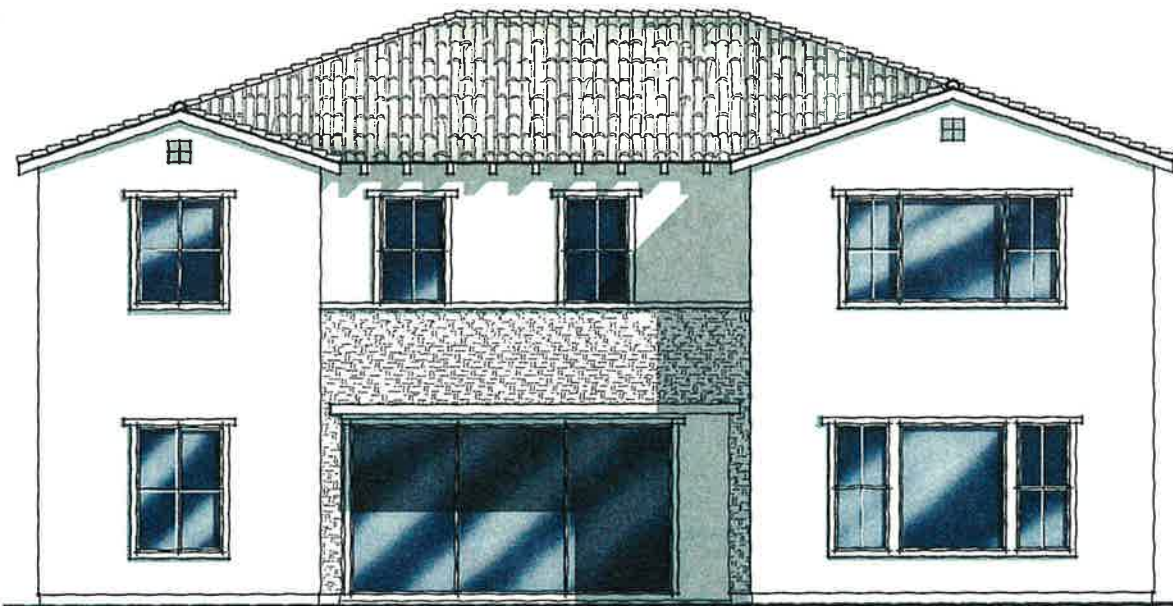
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 california: 2543 pullman st, suite A / san lino, ca 92705 / 949.553.8919 / 949.553.8909

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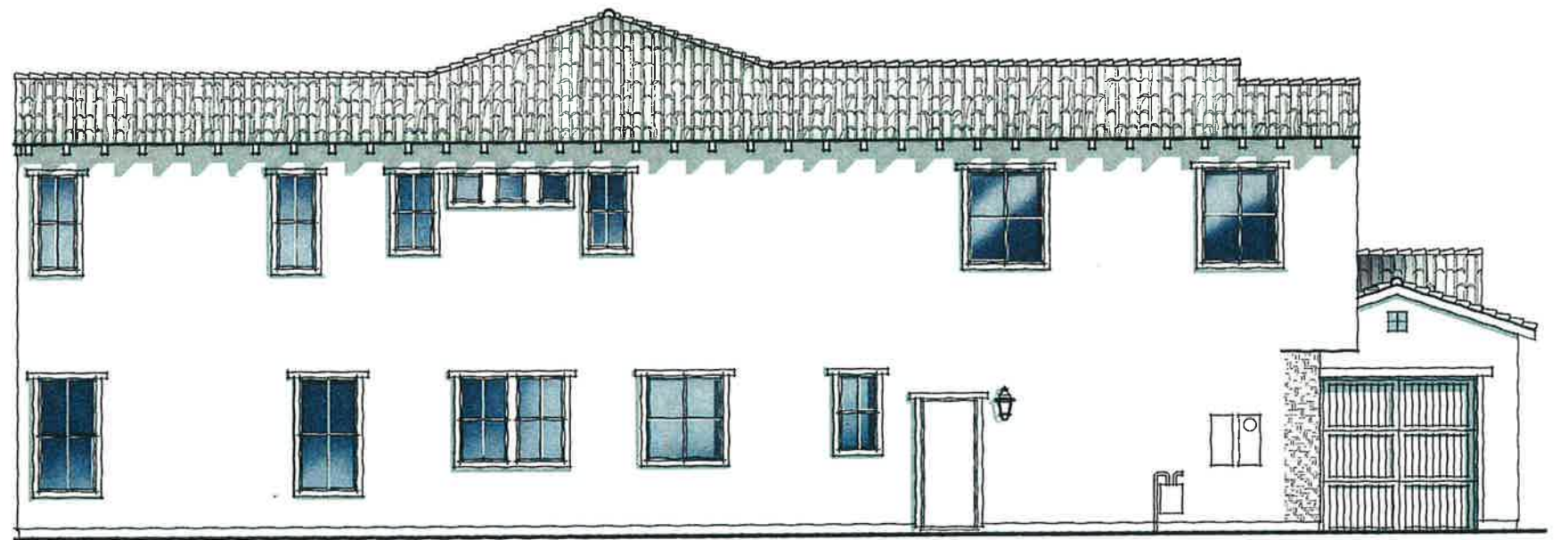
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rightELEVATION



scale: 1/4"=1'

rearELEVATION



scale: 1/4"=1'

leftELEVATION

planTHREE - A

elevationA

mission

ALORA
at TALEGA

william lyon homes

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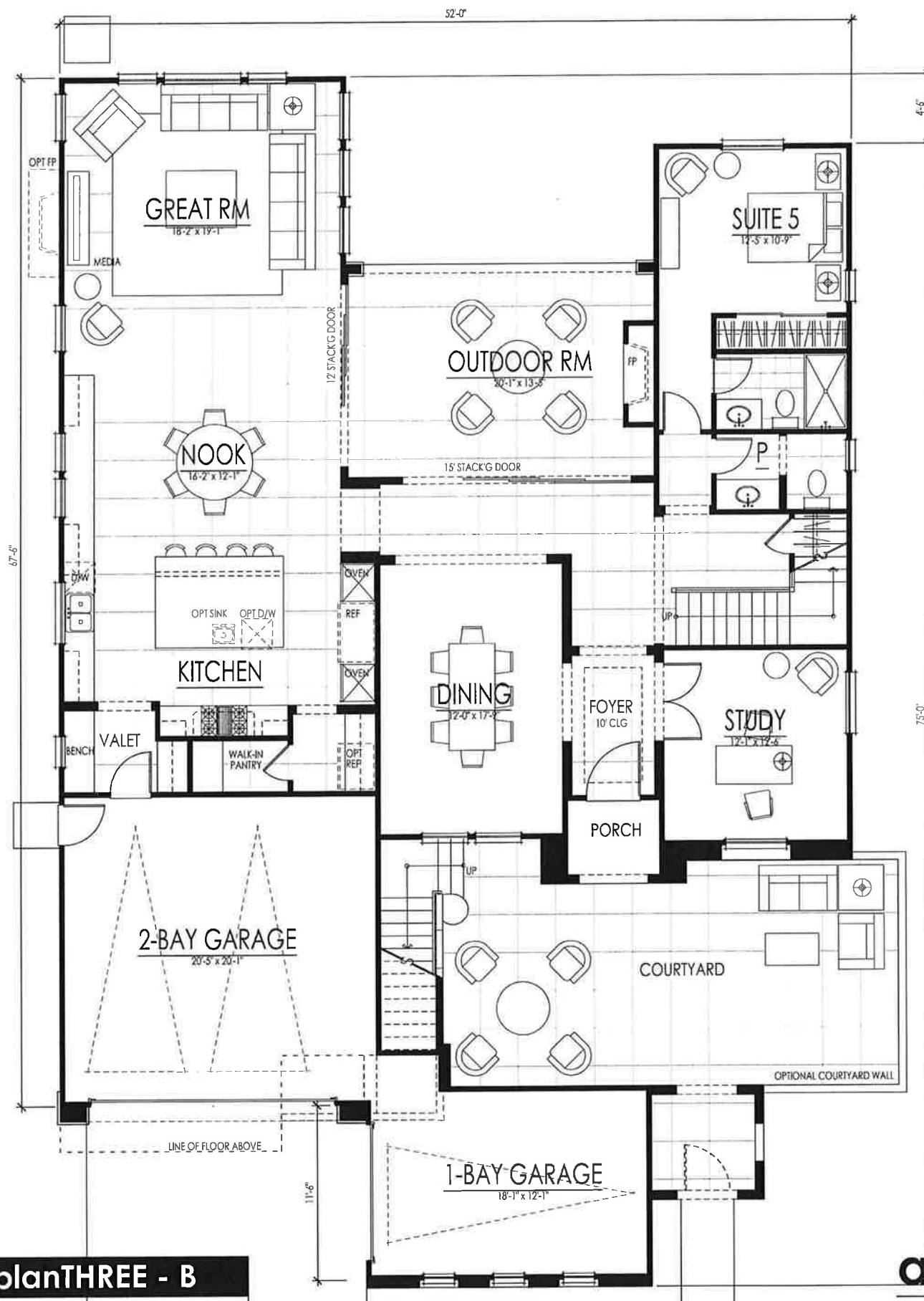
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secondFLOOR



firstFLOOR

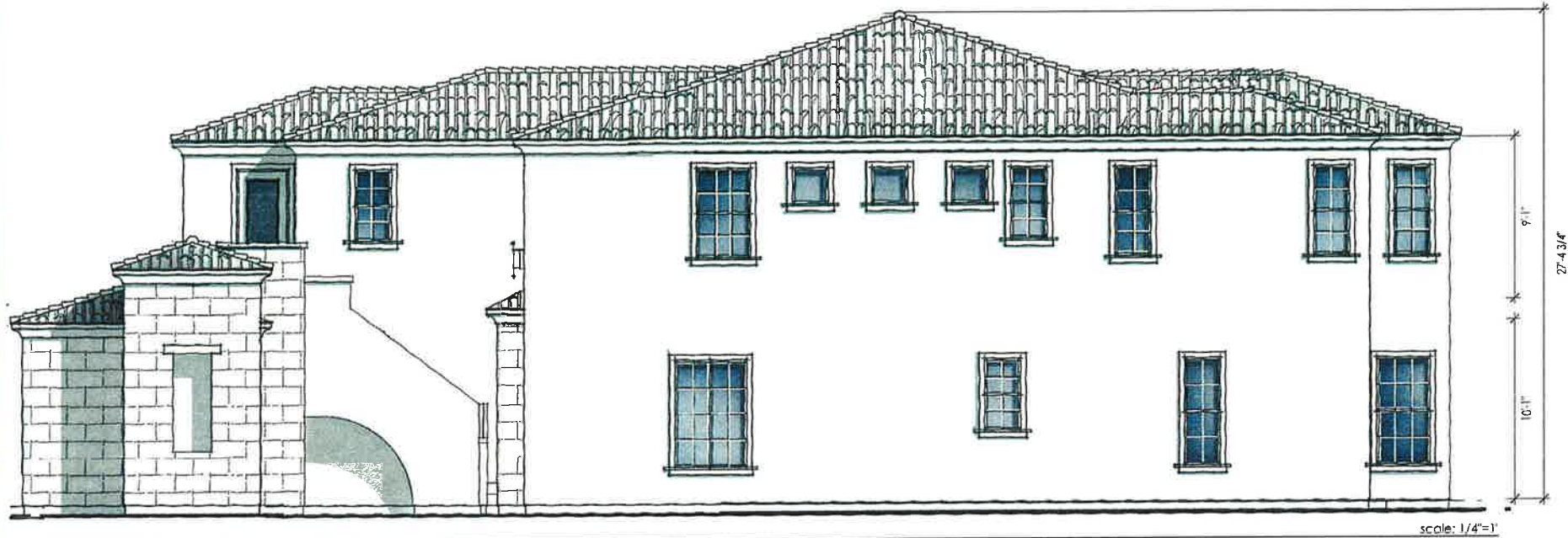
planTHREE - B

first floor: 2010 sf
 second floor: 2639 sf
total living: 4649 sf

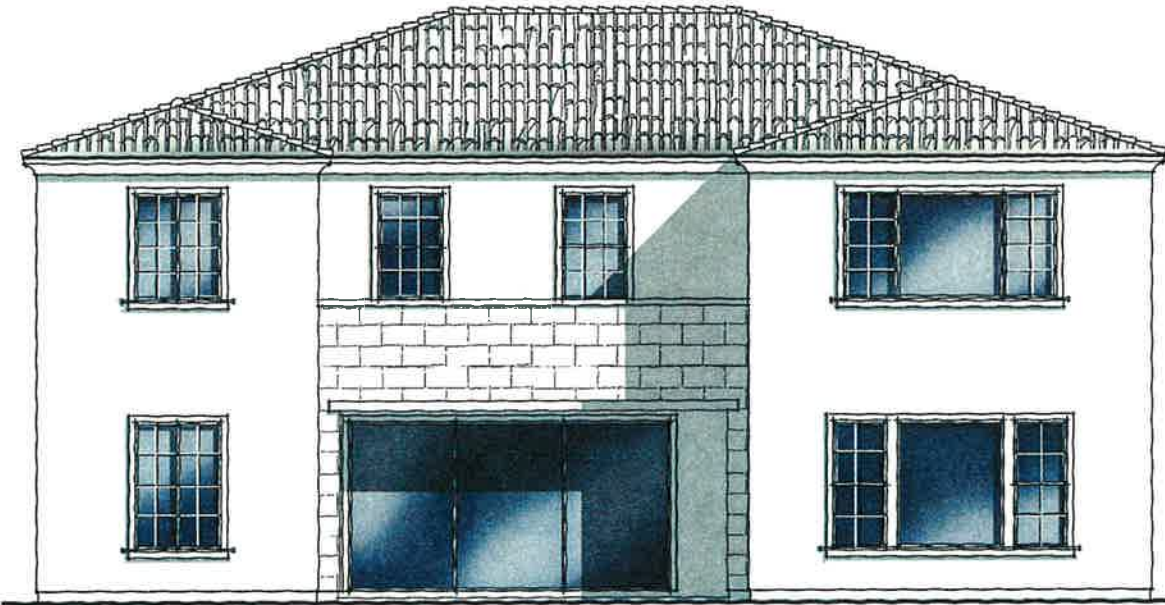
**ALORA
 at TALEGA**

william lyon homes

06 • 17 • 2013

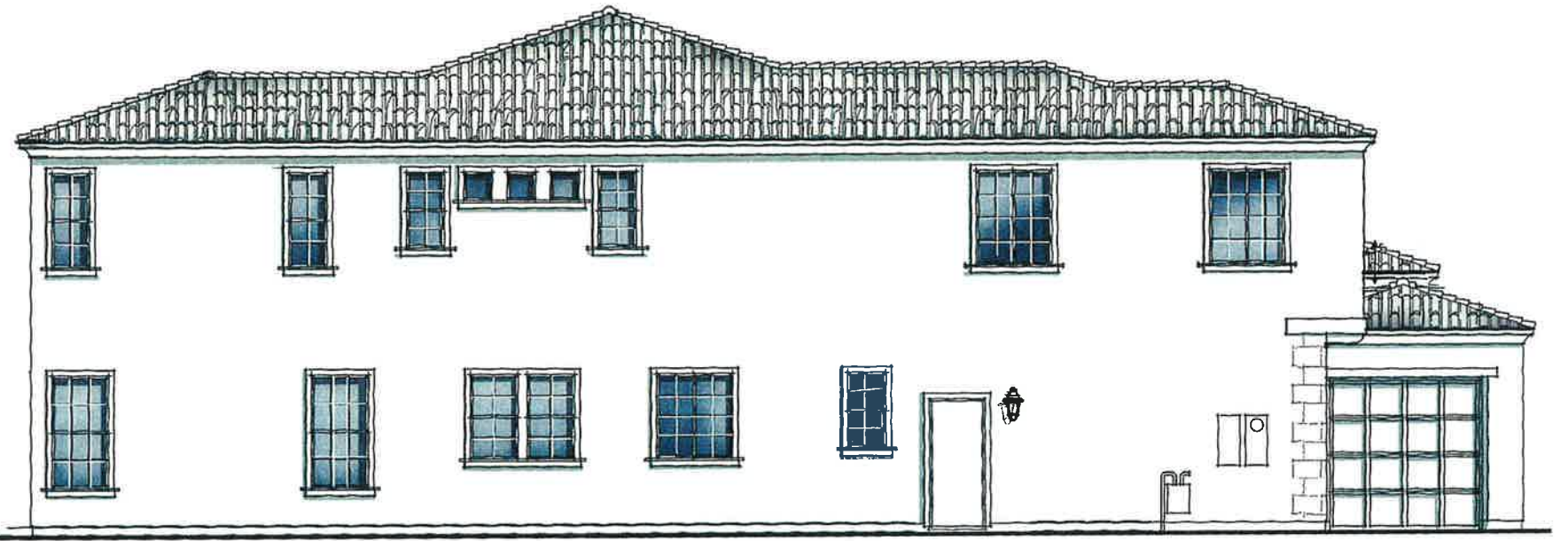


rightELEVATION



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTHREE - B

elevationB

spanishCOLONIAL

ALORA
at TALEGA

william lyon homes

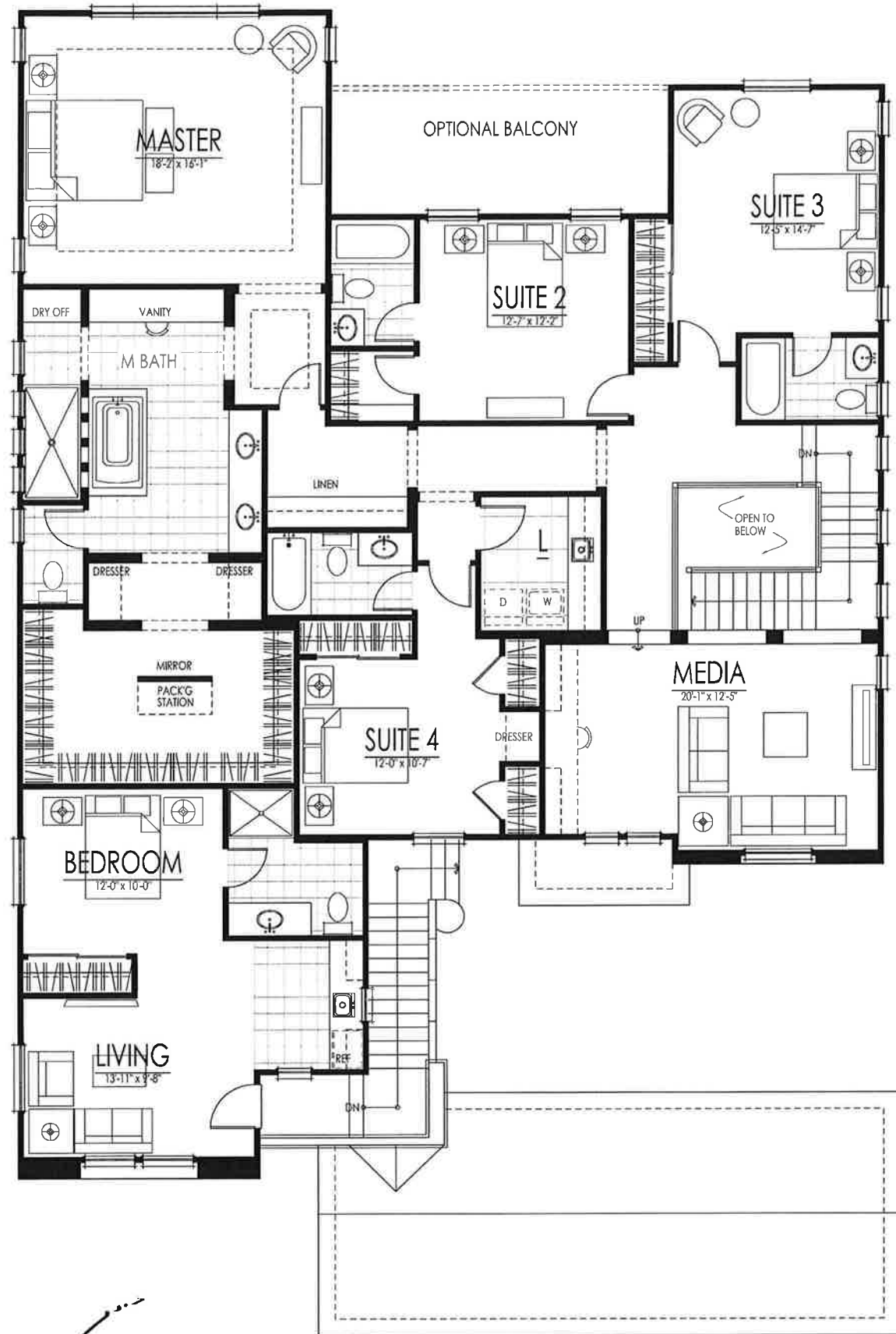
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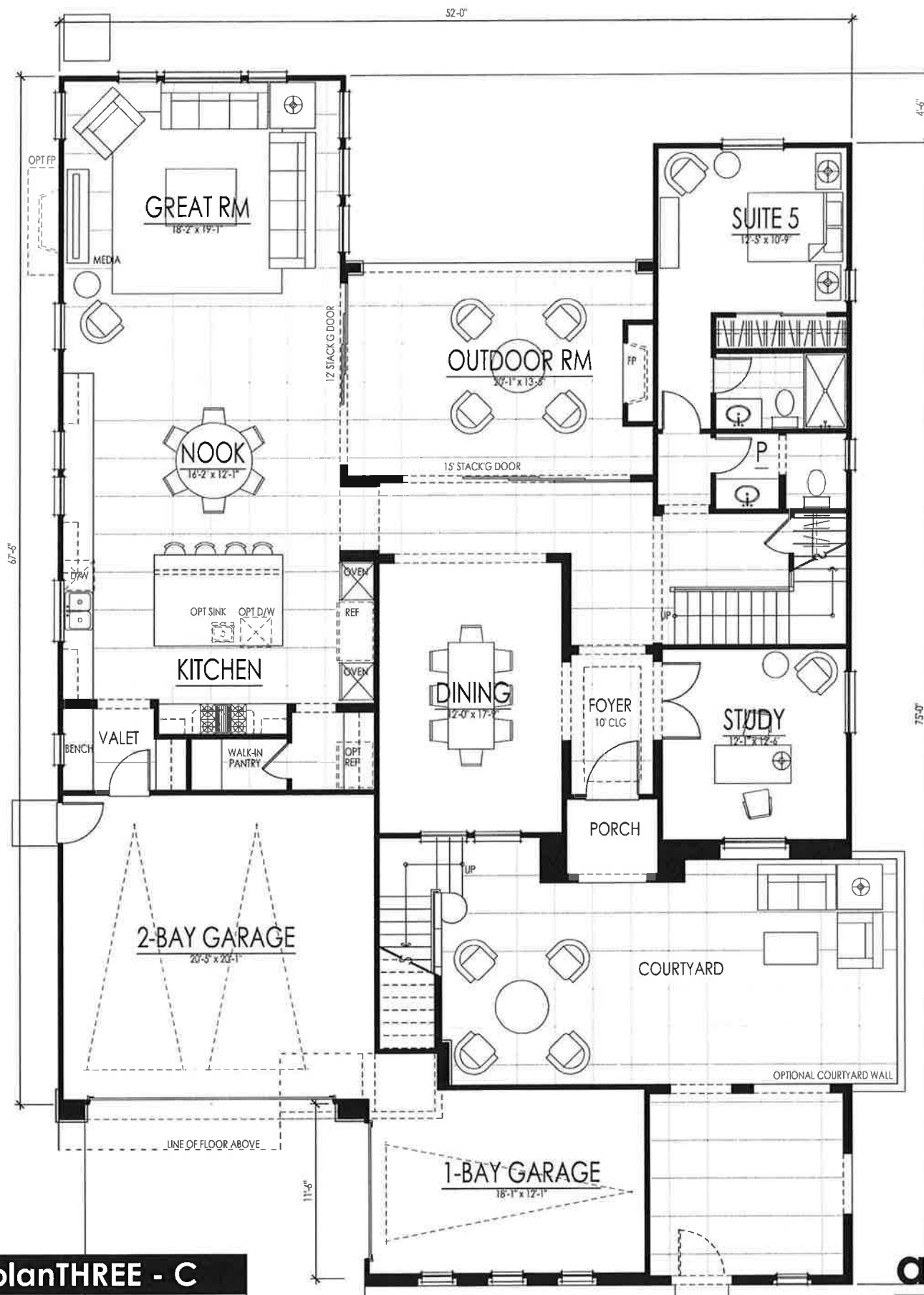
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secondFLOOR



firstFLOOR

planTHREE - C

first floor: 2010 sf
 second floor: 2639 sf
 total living: 4649 sf

**ALORA
 at TALEGA**

william lyon homes

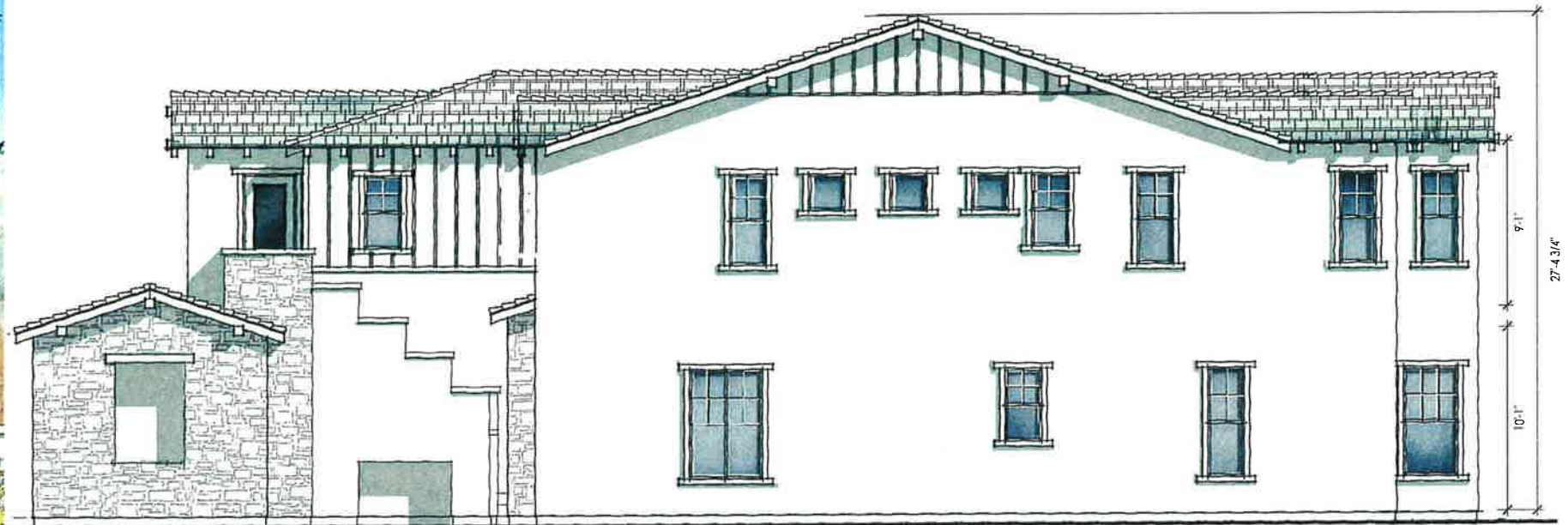
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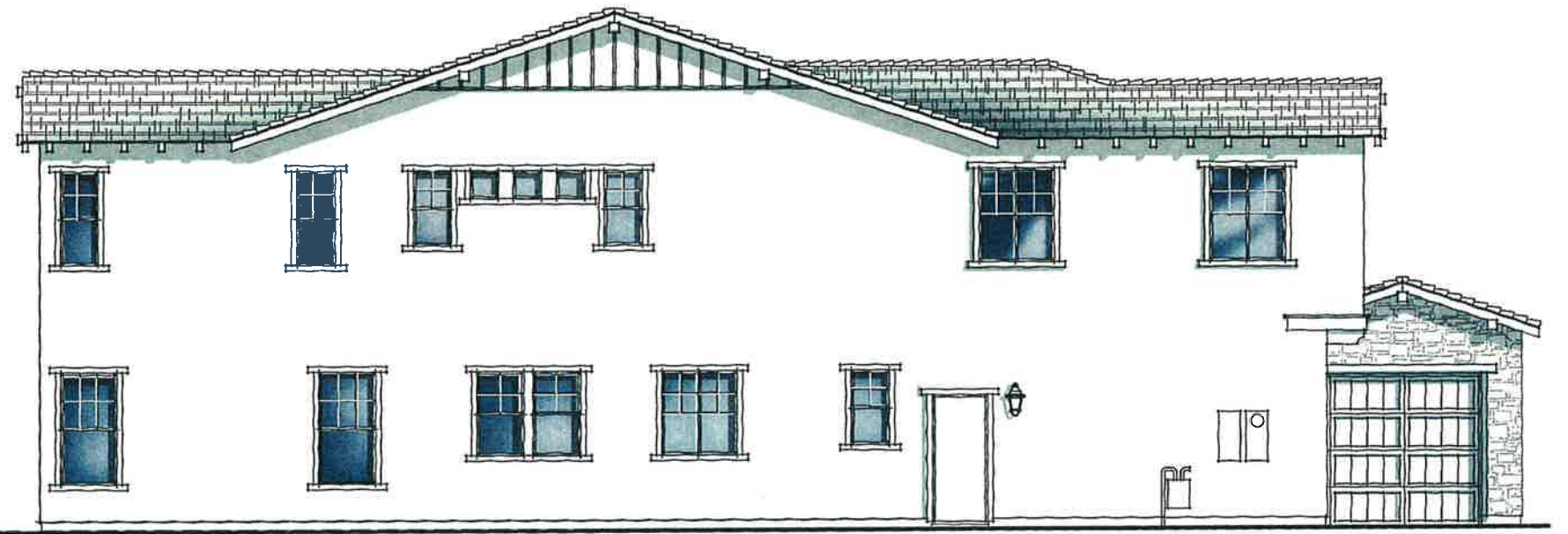
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scale: 1/4"=1'



rearELEVATION

scale: 1/4"=1'



leftELEVATION

scale: 1/4"=1'

planTHREE - C

elevationC

californiaRANCH

ALORA
at TALEGA
william lyon homes

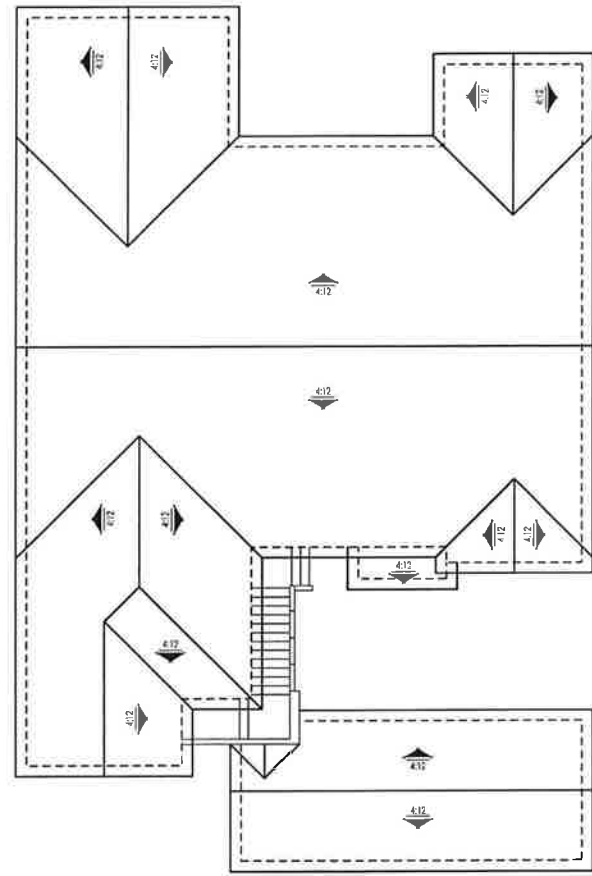
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woodleyarchitecturalgroup, inc

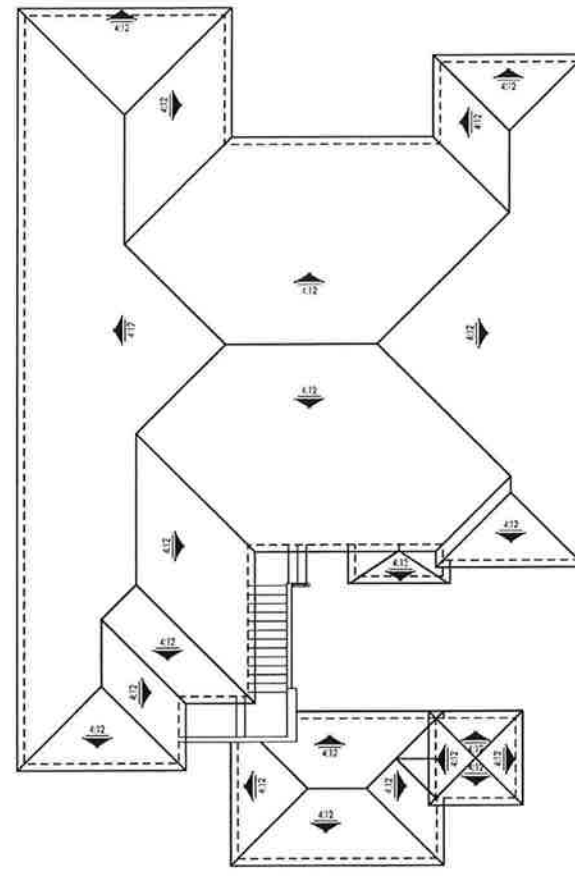
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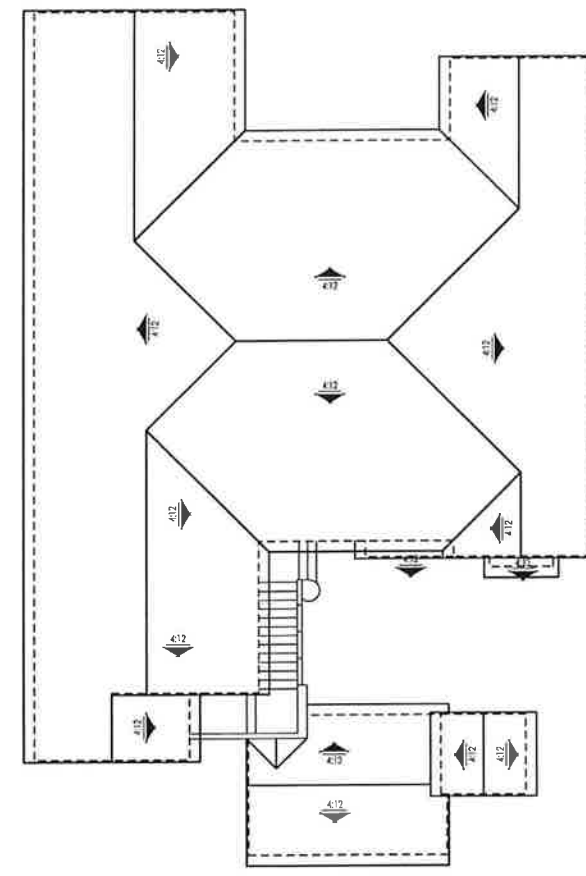
roofPLAN - C

scale: 1/8"=1'



roofPLAN - B

scale: 1/8"=1'



roofPLAN - A

scale: 1/8"=1'

planTHREE - A,B,C

ROOF PLANS

ALORA
at TALEGA
william lyon homes

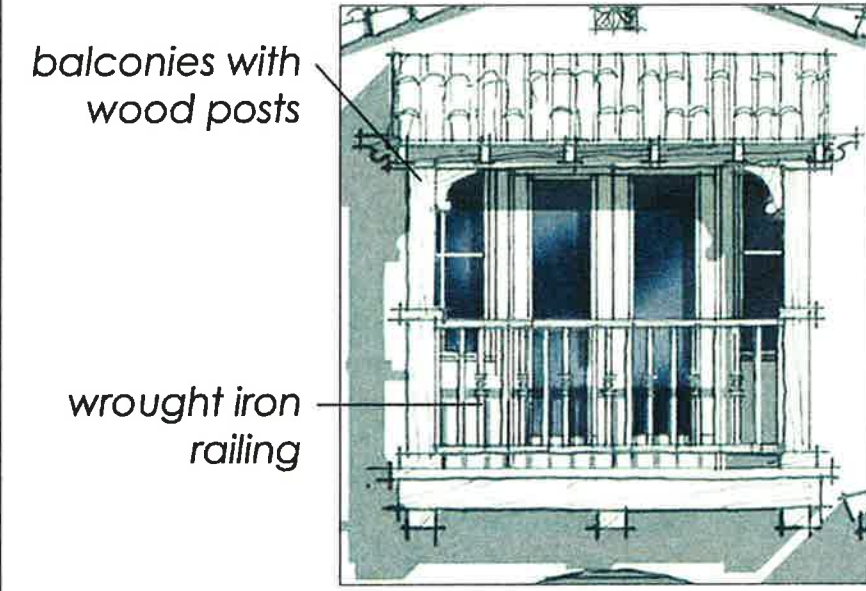
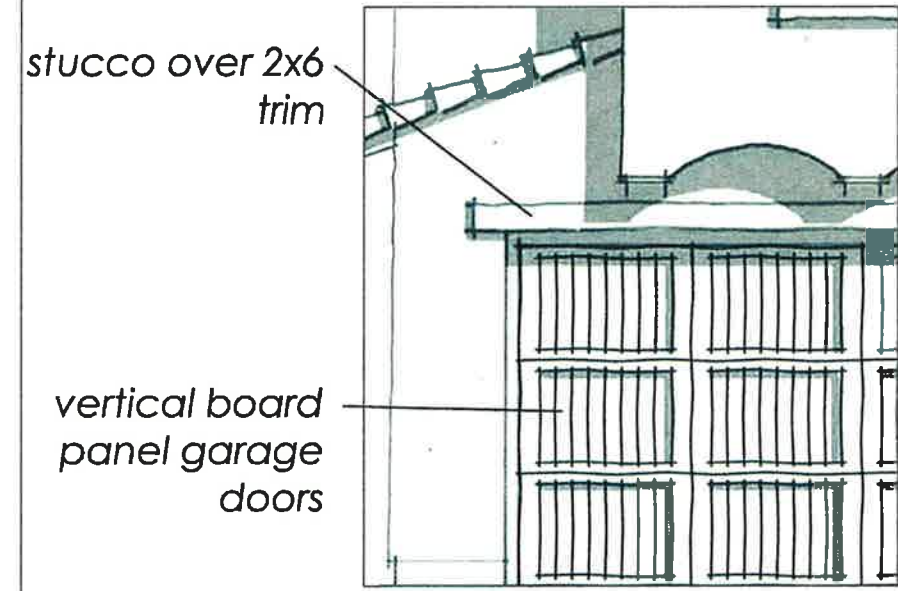
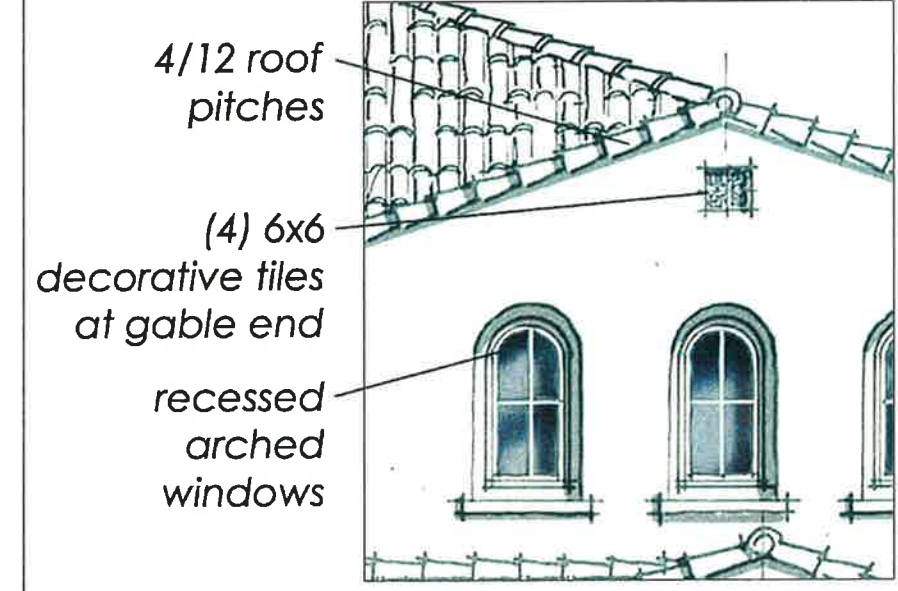
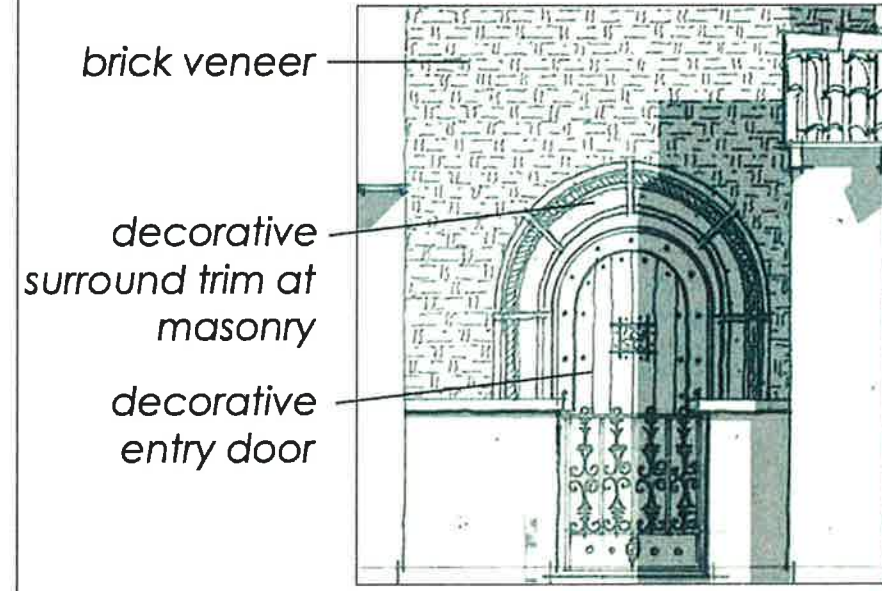
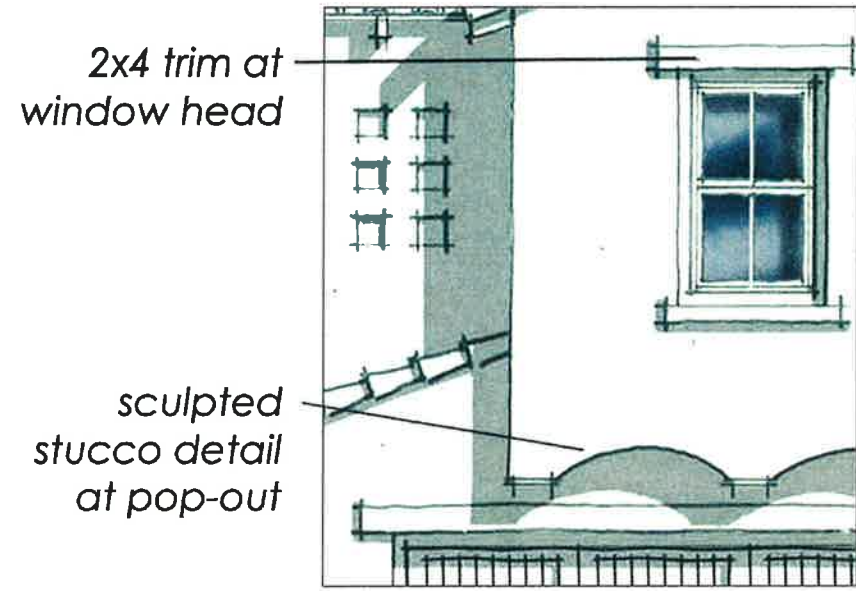
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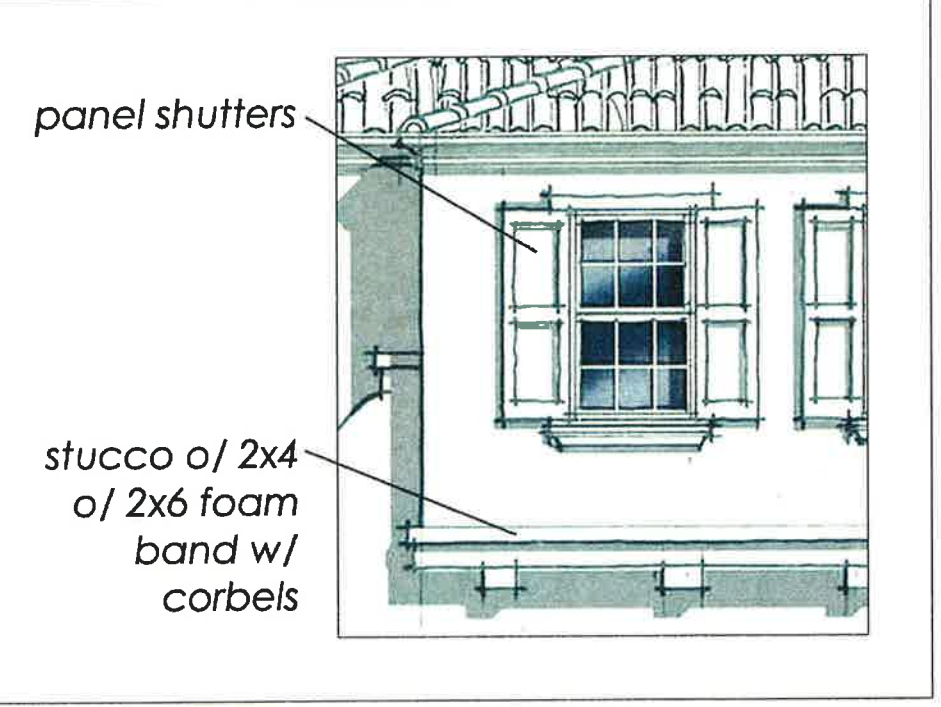
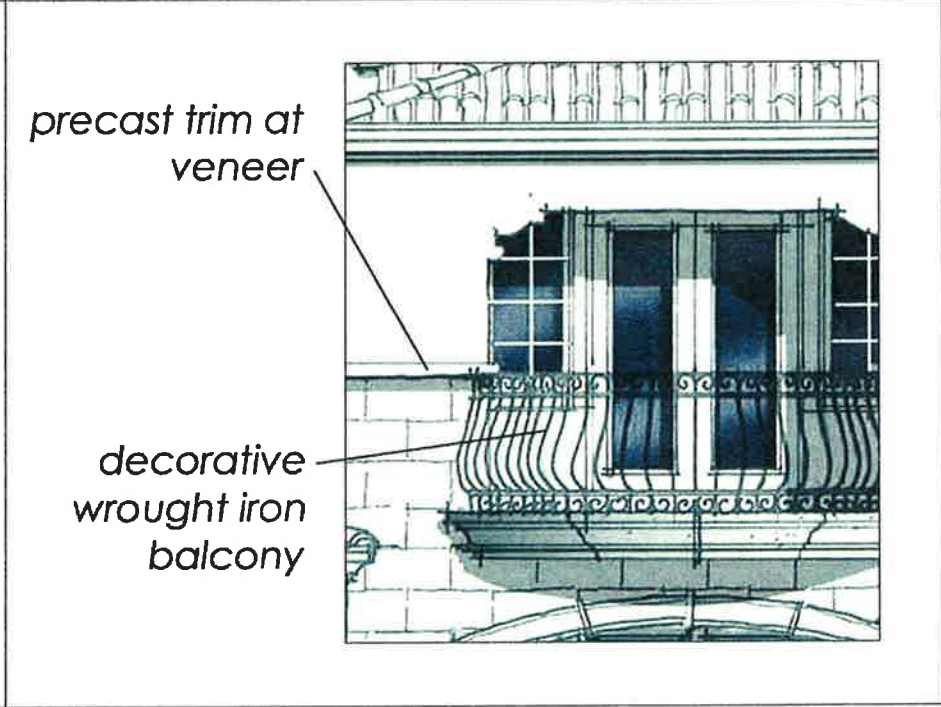
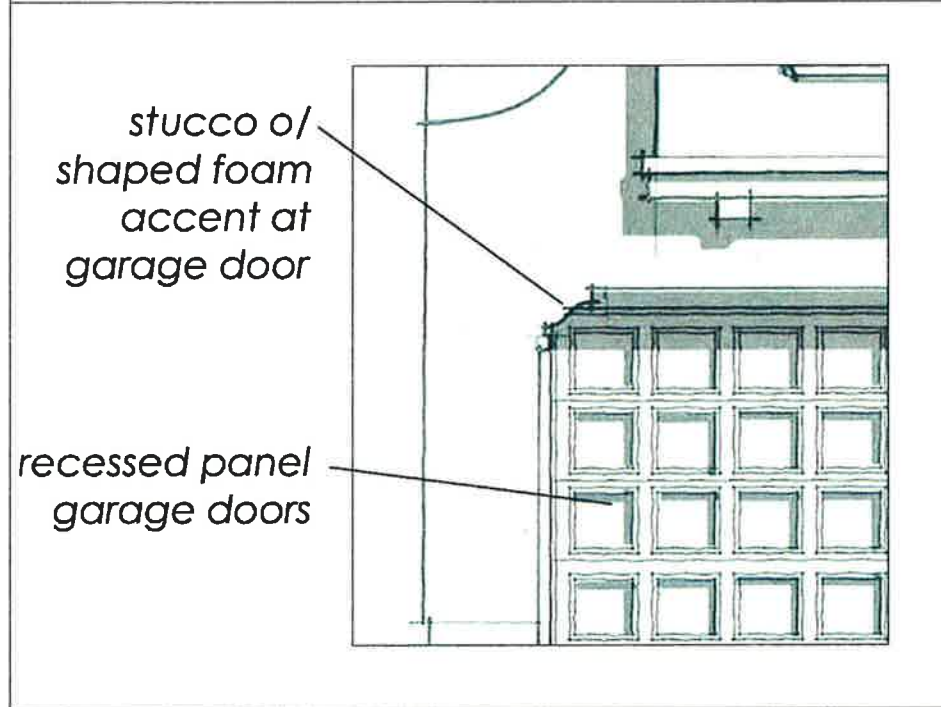
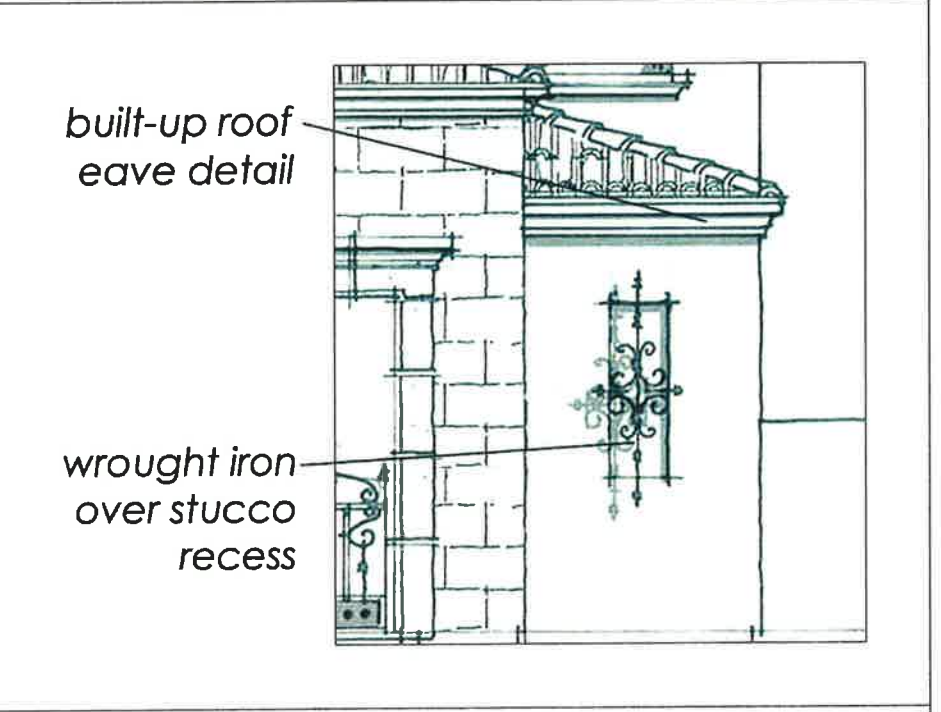
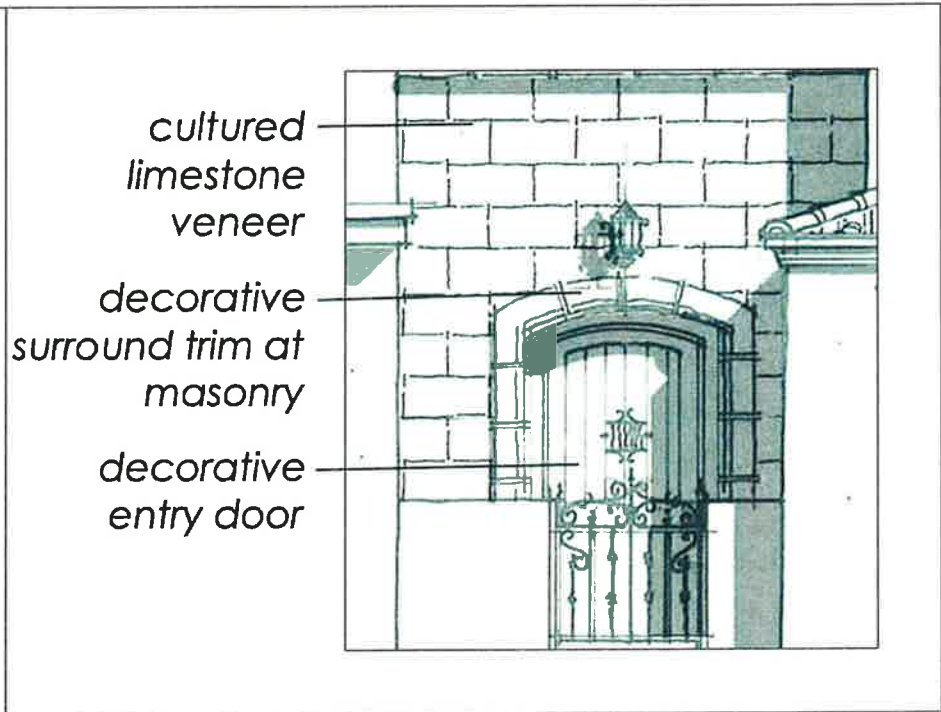
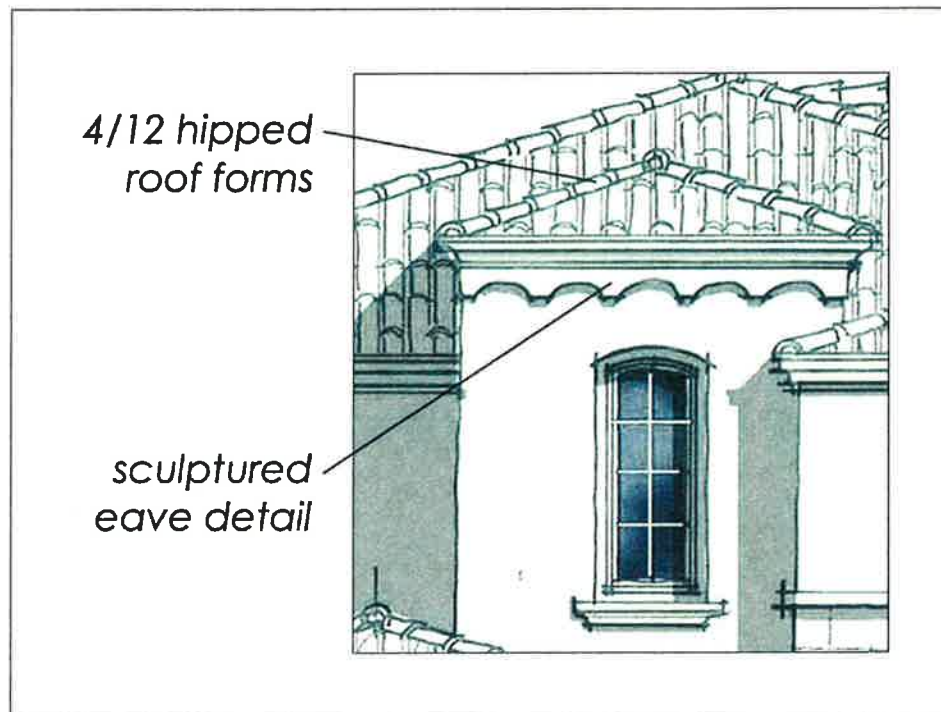
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 california: 2943 pulman st, suite A / santa ana, ca 92705 / 949.553.8919 / 949.553.8909

mission
 elevation
 details

ALORA
at TALEGA
 william lyon homes

06 • 17 • 2013

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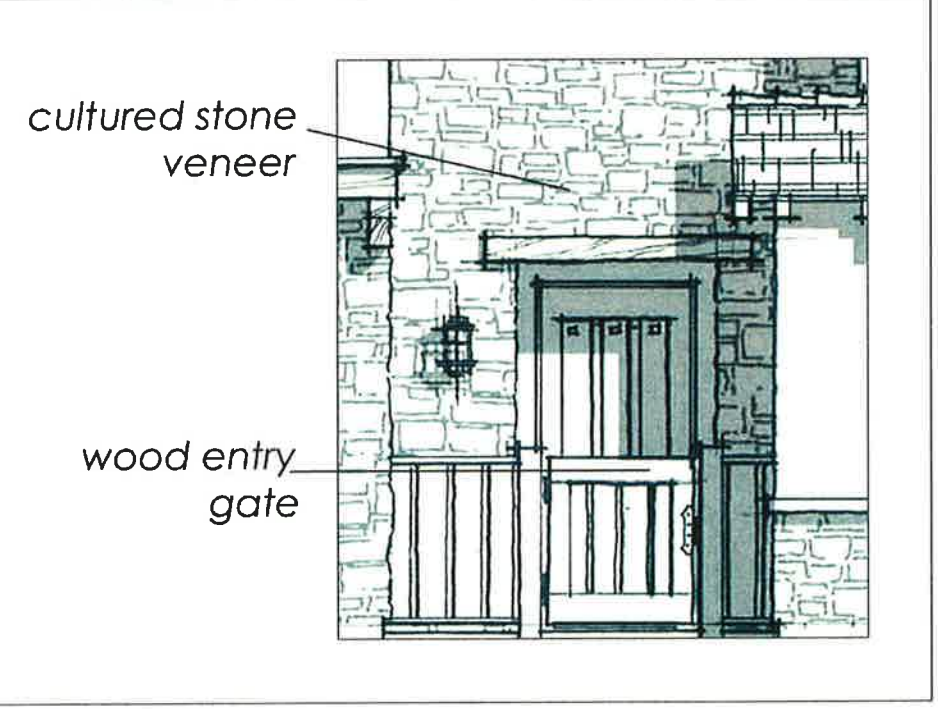
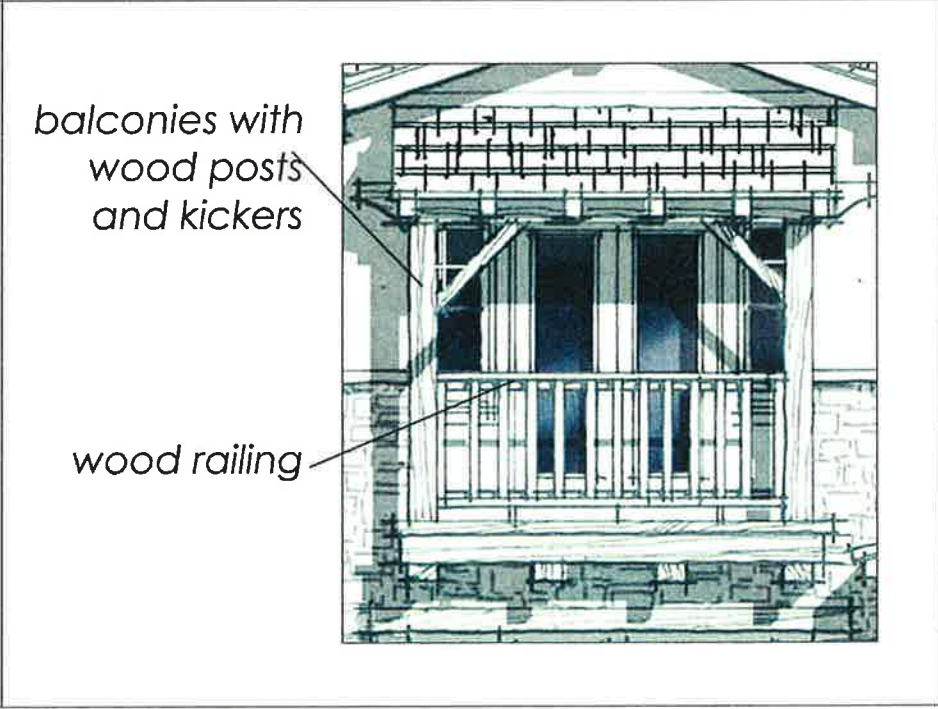
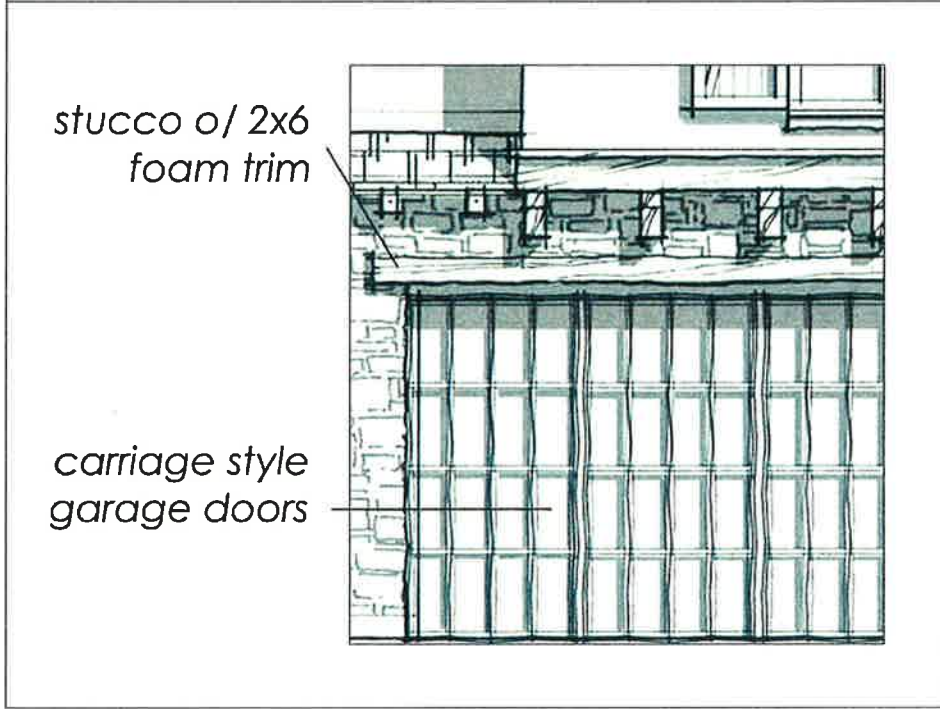
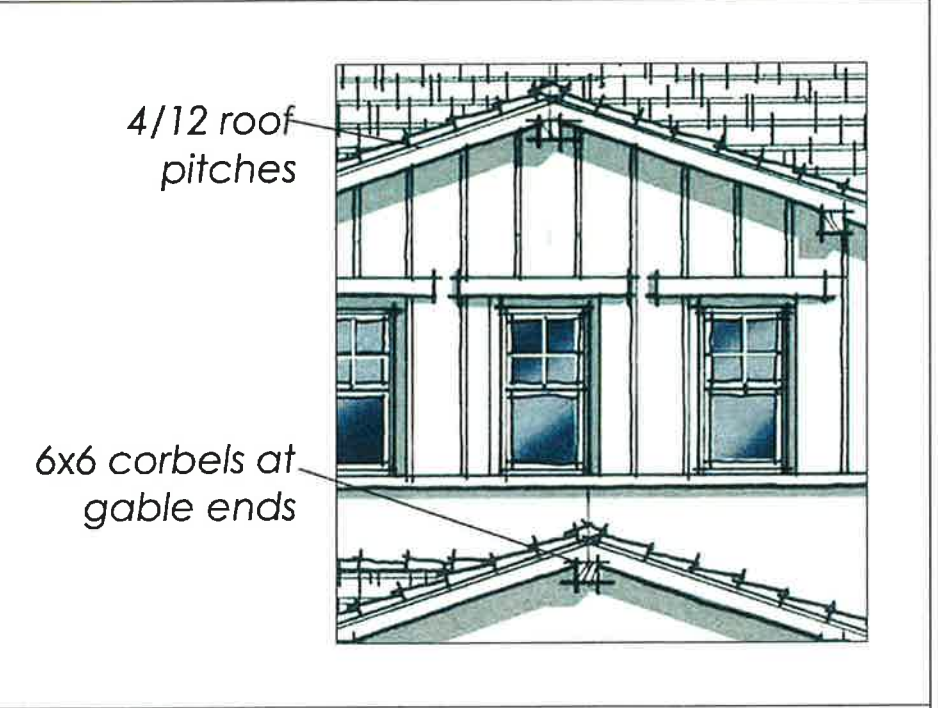
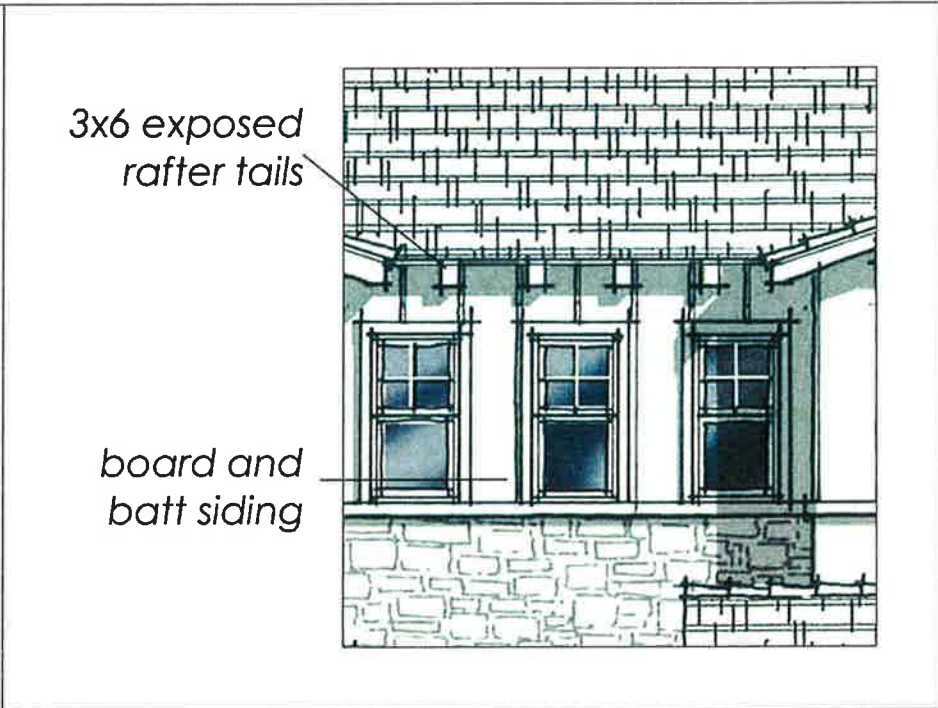


spanishCOLONIAL

elevation details

ALORA
at TALEGA
william lyon homes

06 • 17 • 2013



californiaRANCH
elevation details

ALORA
at TALEGA
william lyon homes

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Design Review Subcommittee (DRSC)

Meeting Date: July 10, 2013

PLANNER: Sean Nicholas, Associate Planner *SN*

SUBJECT: **Cultural Heritage Permit 13-158, Cappello Residence**, a request to consider an addition to a nonconforming residence located at 115 East El Portal. The site is across the street from a historic structure at 116 East El Portal.

BACKGROUND:

Project Description

The proposed project is an addition to a legal-nonconforming residence located across the street from a historic structure. The subject residence is one-story with 878 square feet of floor area. The proposed project includes: a 762 square foot second story, 197 square foot deck, and 264 square foot drought tolerant roof garden. The applicant is proposing to utilize reclaimed wood for the façade, removing impervious surfaces to allow for better water infiltration, and proposes the use of drought tolerant landscaping to make the residence more environmentally friendly. The applicant is not proposing to modify the footprint of the existing structure, thus the engineering division is not requiring modifications to the existing driveway which is only 8 feet 8 inches wide. The addition of the second story will not further impact functionality of the driveway and access to the garage located at the rear of the property.

Why is DRSC Review Required?

Zoning Ordinance Table 17.16.100B requires Planning Commission approval of a Cultural Heritage Permit (CHP) because the project involves an addition (over 200 square feet) and remodel of a legal-nonconforming residence that abuts a historic structure. Cultural Heritage Permit applications are reviewed by the DRSC to ensure the project is compatible with the adjacent historic structure, is in character with the neighborhood, and is consistent with Design Guidelines.

Per Zoning Ordinance Section 17.72.050(I)(3)(a)(i), DRSC review is also required to allow legal-nonconforming residences under 1,400 square feet to be expanded up to a maximum of 2,100 square feet. The proposed project expands the residence's floor area 88%, to 1,640 square feet.

Site Data

The subject site is a 3,600 square foot lot located in the Residential Medium Density zone and Coastal Overlay (RM-CZ) at 115 East El Portal. The subject residence was constructed in 1957.

Abutting historic structure

The historic residence is located at 116 East El Portal (see Attachment 1 for a vicinity map). The two-story house was built in 1928, and is an example of the Spanish Colonial Revival Design of the Ole Hanson era in San Clemente. Refer to Attachment 4 for the most recent historic resource survey of the residence's historical significance, condition, and character defining features.

ANALYSIS:

Development Standards

The residence and detached garage are legal-nonconforming structures because they do not comply with the required front and side yard setbacks. The proposed addition meets development standards, is consistent with the neighborhood, will not impact parking accessibility, and will add landscaping to the site. Table 1 outlines development standards and the project's consistency with them.

Table 1 – Development Standards

Development standard	Zoning requirement	Proposed project
Building Height Maximum	25'	20.57'
Setbacks (Minimum):		
1. Front	15'	13'
2. West Side Yard	5'	4'
3. East Side Yard		
Ground Level	5'	8'-8"
Second Story	5'	5'
Garage	5'	1'-9"
4. Rear	5'	15'
Garage	5'	5'-7"
Lot Coverage	55% (Max)	51.9%
Required Parking (Minimum):	2 covered spaces	2 covered spaces
Drought tolerant front yard landscaping (Minimum)	45%, 2-15 gallon trees	47.5%, 1-15 gallon tree

Design Guidelines

The structure is not located in the Architectural Overlay so Spanish Colonial Revival (SCR) Guidelines do not apply. Design Guidelines related to massing and neighborhood compatibility are particularly important when considering this project, to determine whether the addition and facade remodel are compatible with historic resources. Analyses of the most relevant guidelines for this project are below:

1. ***Relationship to Neighboring Development II.B*** “All development proposals should demonstrate sensitivity to the contextual influences of adjacent properties and the neighborhood.”

The proposed materials, massing, and exterior finishes are consistent with contemporary architecture and are high quality. The style of design would blend in with the variety of architecture styles in the neighborhood, including Spanish Colonial Revival (historic home), 50s-era multi-family structures, and Beach Cottages. The applicant proposes smooth white stucco for the stucco portions of the residence in conjunction with the use of reclaimed wood siding to create a contemporary look to distinguish the structure from the adjacent residences. Overall, the materials are high quality and will improve the look of the structure and neighborhood. The building’s height and mass would be comparable or smaller than adjacent residences.

2. ***Relationship to Neighboring Development II.B.3*** “Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.” *Relationship to Neighboring Development II.B.3*

The project is consistent with this guideline for reasons summarized below:

- a. The project would not have adverse impacts on the historic house or the street scene. From the street and historic house, the front portion of the building located closet to the street will maintain the mass of a one-story building with an average height of 10 feet-6 inches. The proposed second story is setback 13 feet from the front of the existing residence, and is approximately 26 feet from the front property line. The applicant is proposing to remodel the front setback area by removing some of the concrete that is prevalent and incorporate permeable surfaces and other drought tolerant landscaping to soften the visual appearance from the street and historic residence.
- b. The building’s mass and scale would be smaller than the adjacent building on the northeast side. The single story residence located to the southwest is setback about 25 feet from the proposed second story, as the massing is proposed adjacent to the larger multi-family development on the northeast side. The front

portion of the residence will be maintained as a single-story structure for 13 feet (26 feet from the front property line). The applicant is proposing to enhance the front facade with new stucco, wood siding, roofing, as well as increase permeable surfaces and landscaping, where none currently exist. Because the second story addition is set back from the front of the residence, and with the new landscaping proposed, the scale and massing will remain similar to the existing condition and will not impact the prominence of the historic residence.

- c. The RM zoning would allow a larger building to be constructed on the site if the residence were made conforming, or demolished and re-developed.

3. **General Site Design Objectives II.A.2.** *“Provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other appropriate means.”*

The design of the home being modern is unique to the neighborhood. Though staff does not have concern about the home being designed modern architecture, staff does have a concern regarding the intersection of the existing residence and the new addition. A defining character of modern architecture is clean lines, and Staff believes there may be a better way for the existing and proposed portions of the project to be better incorporated together to achieve this objective.

RECOMMENDATIONS:

Staff supports the project and has only minor changes recommended:

- 1) **Additional tree in front setback**-To satisfy the street tree requirement, one additional street tree is required to be planted. The applicant can decide if they wish to plant another olive tree or something else.
- 2) **Deck railing material**-The railing material for the second story deck needs to be identified.
- 3) **Transition of existing and proposed**-Staff has concern regarding the relationship between the existing residence and the new addition. As designed the lowers story does not integrate well with the second story addition. This is particularly important for modern style of architecture which is known for its clean lines and form. Staff recommends having a discussion with the applicant to discuss ways in which the residence could be better blended so it appears as one unified residence.

CONCLUSION:

The project is a contemporary design, and utilizes high quality materials. The project also attempts to break up some of the impervious surface of the front area and create more landscaping opportunities to soften the front of the house. Overall, staff's position is that the project is consistent with the neighborhood, even while maintaining the non-conforming setbacks, and will not detract from the historic resource located across the street. Staff is seeking DRSC concurrence with the above recommendations, and any other comments DRSC may have.

Attachments:

1. Location Map
2. Compatibility assessment
3. Historic survey sheet on 116 East El Portal
Plans



LOCATION MAP

CHP 13-158, Cappello Residence
115 East El Portal



Neighborhood Compatibility Study
for:

Cappello Remodel / Addition

**115 East El Portal
San Clemente**

Prepared by

a2 design

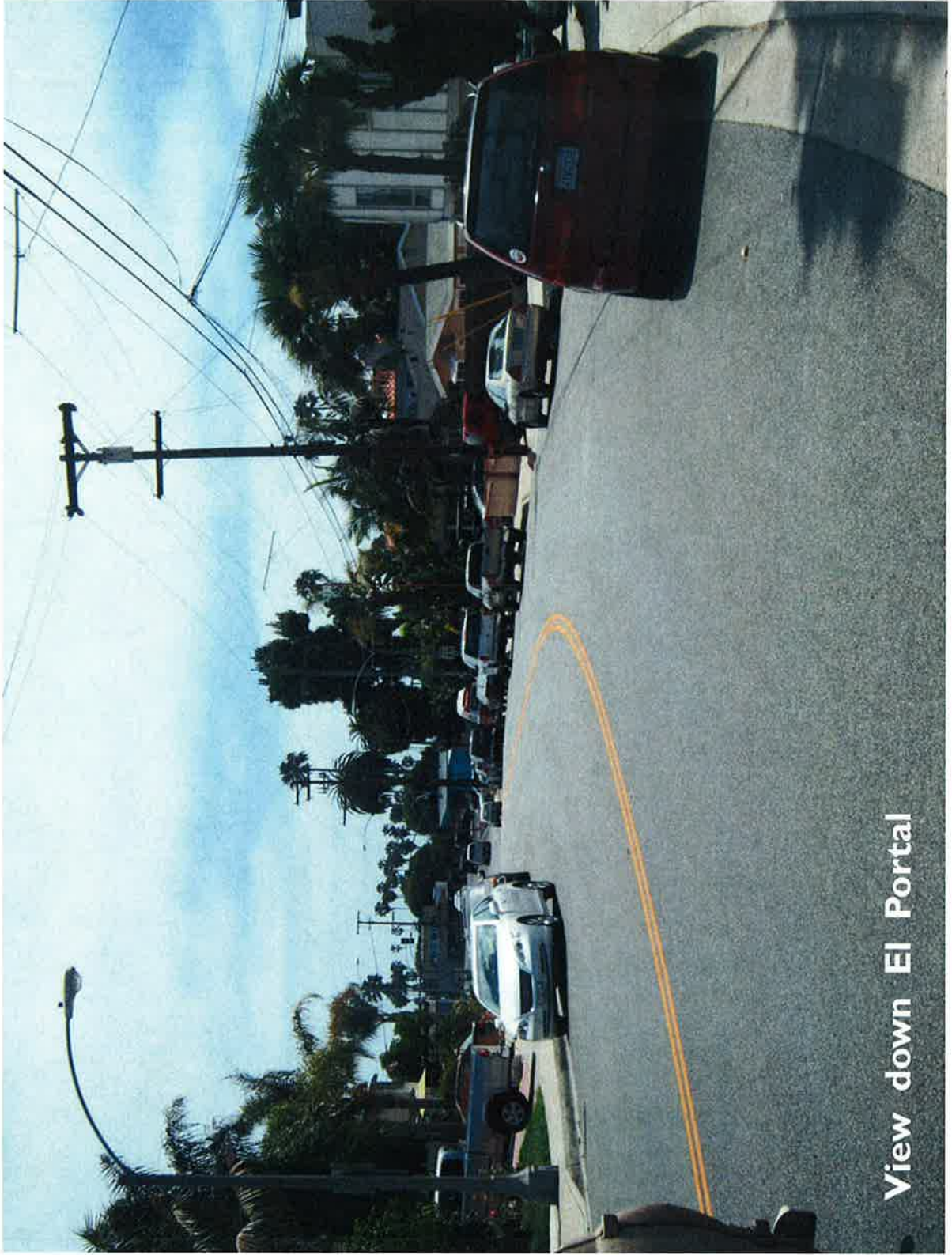
**alura aguilera, AIA, LEED AP
anthony aguilera**

East El Portal includes 1 and 2 story single family residences as well as 1 story and 2 story multi family residential units comprised of 2 and 3 unit apartments.

The **Ole Hansen** structure is **across the street** from our proposal. It is a **2 story single family residence** with a non-conforming **detached garage** at the rear of the property located in a similar manner to our proposal.

After studying the area, we noticed that there has been little remodeling on this street. **Improvement** to this area would be beneficial to the neighborhood.

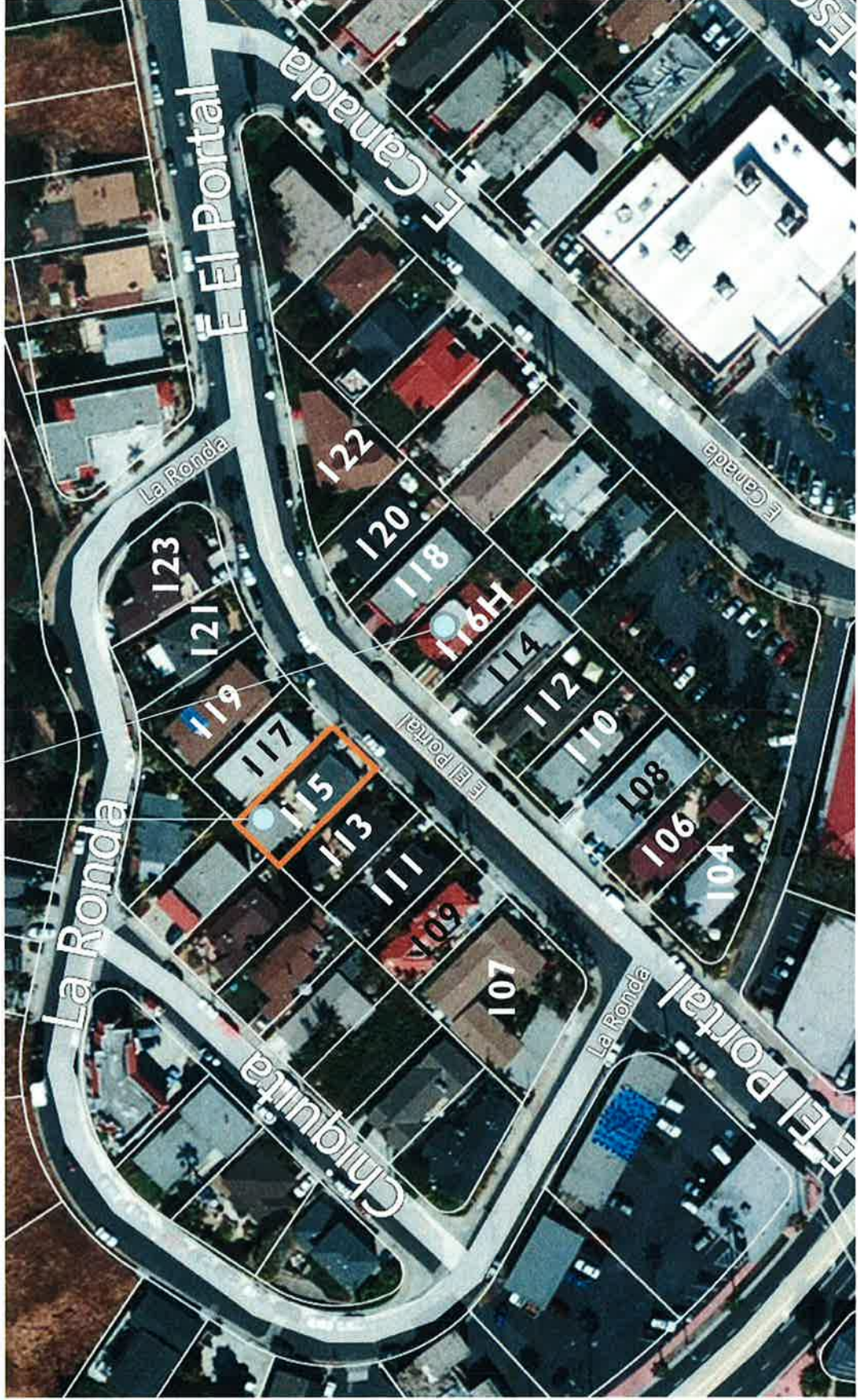
Properties in the vicinity enjoy reduced side yard setbacks and **non-conforming detached garages**, and there is an abundance of **2-story** residences.



View down El Portal

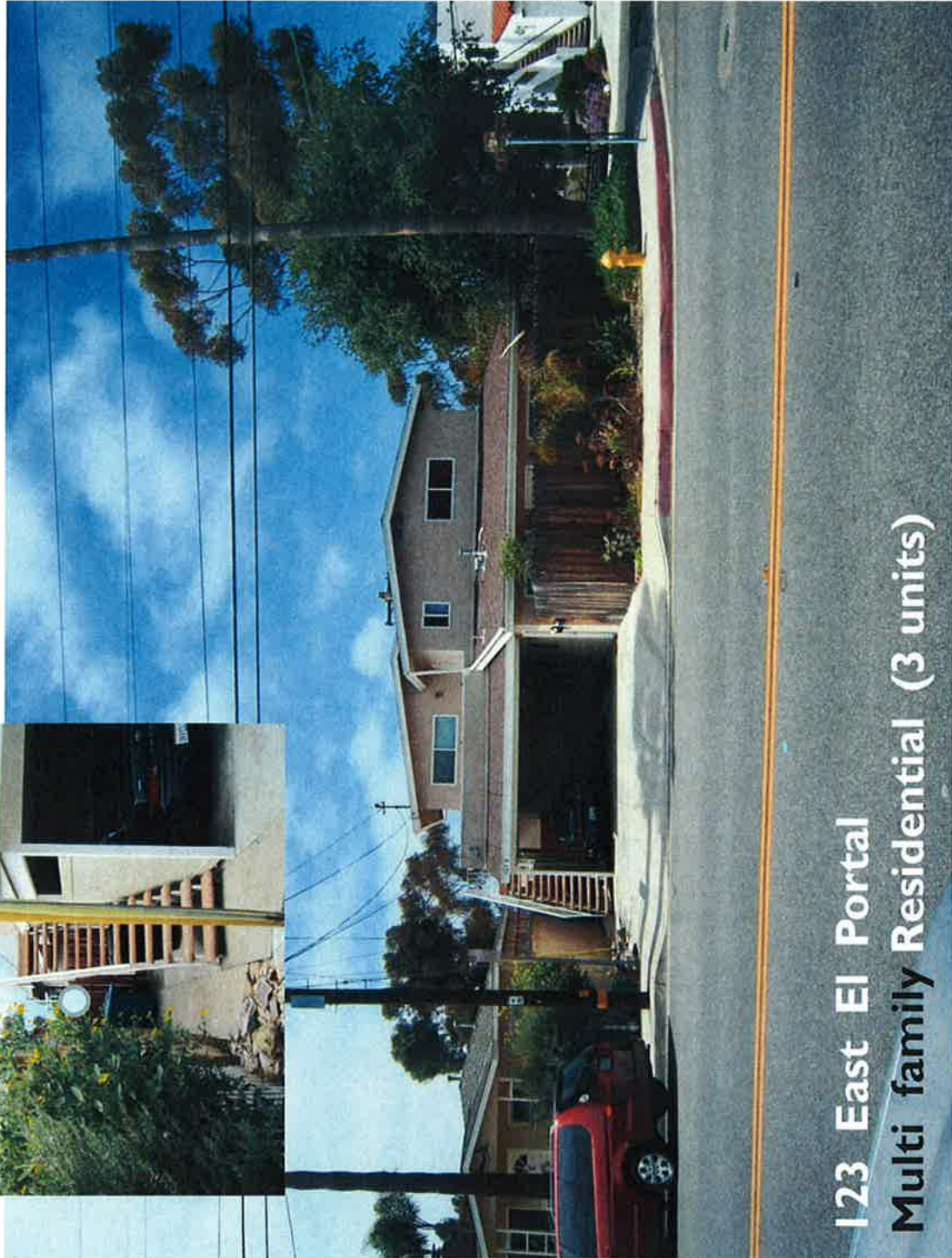
Aerial View East El Portal

Historic Structure
Cappello Remodel / Addition





2 story structure
reduced side yard setback



123 East El Portal
Multi family Residential (3 units)

1 story structure
reduced side yard setback



121 East El Portal
Single Family Residence

2 story structure



119 East El Portal
Multi Family Residential (3 units)

adjacent to
Cappello Residence

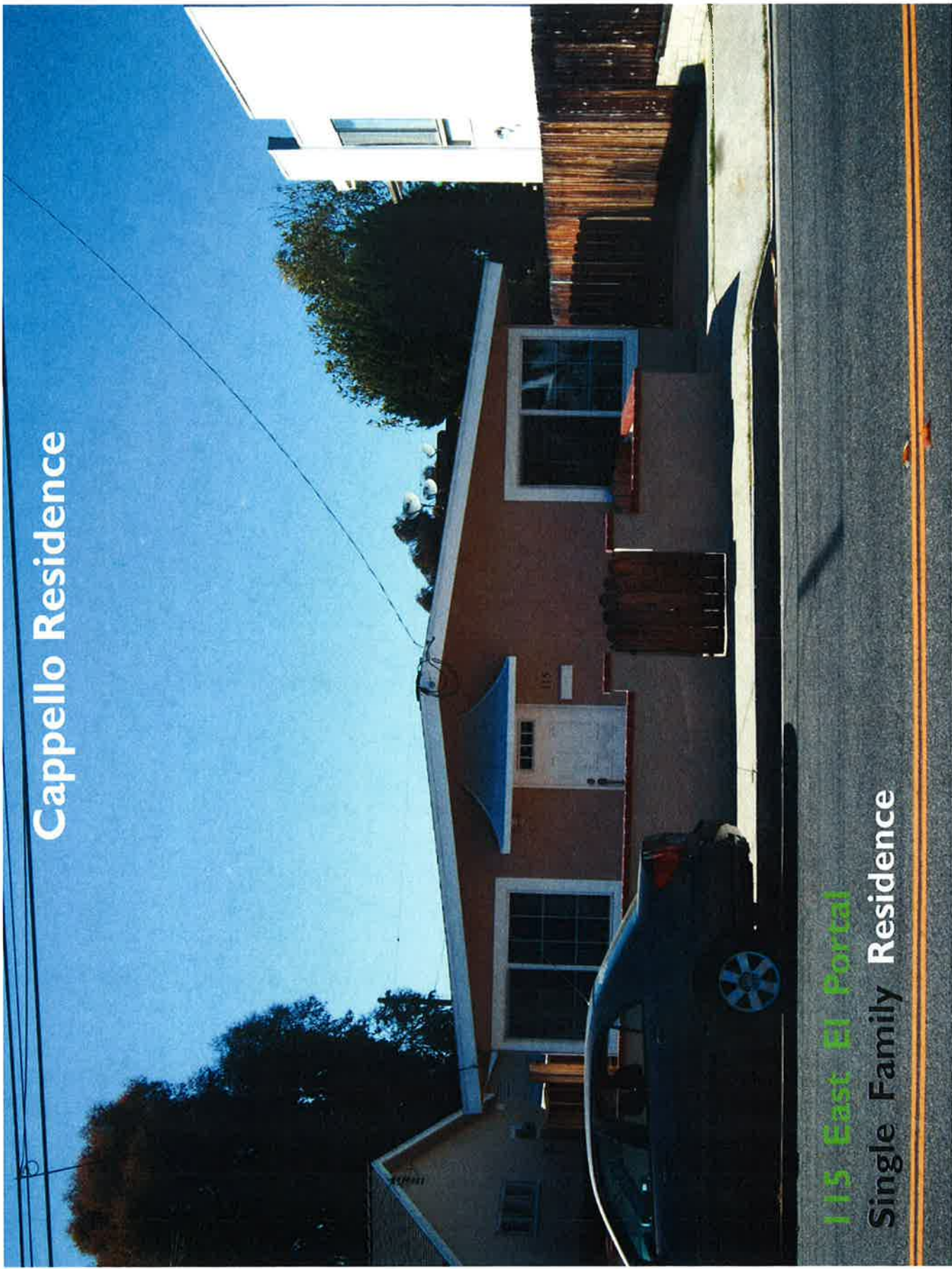
2 story structure
reduced side yard setback



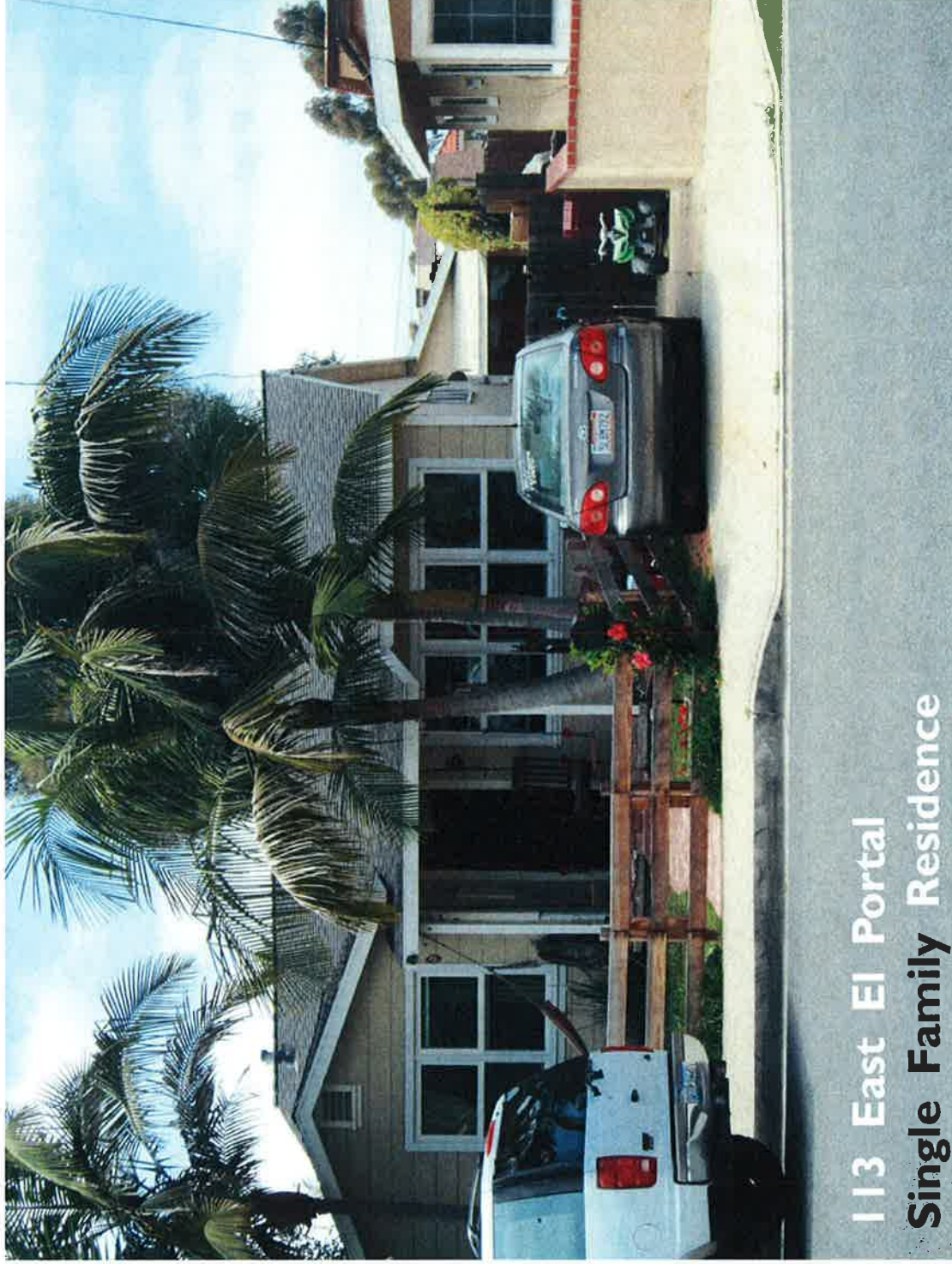
117 East El Portal
Multi Family Residential (3 units)

Cappello Residence

115 East El Portal
Single Family Residence



adjacent to detached non-conforming garage
Cappello Residence at rear w/ reduced side yard setback



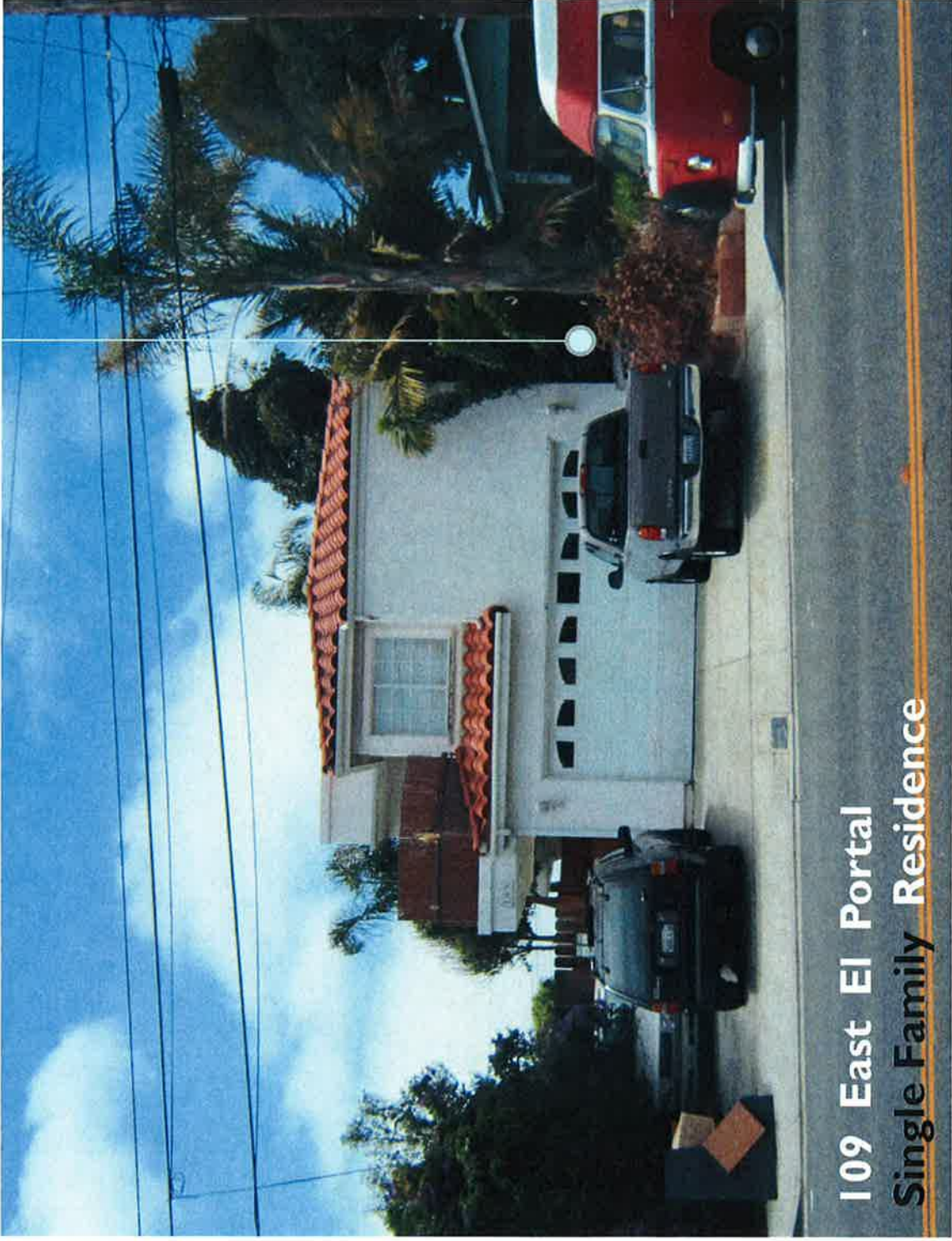
113 East El Portal
Single Family Residence

**detached non-conforming garage
at rear w/ reduced side yard setbacks**



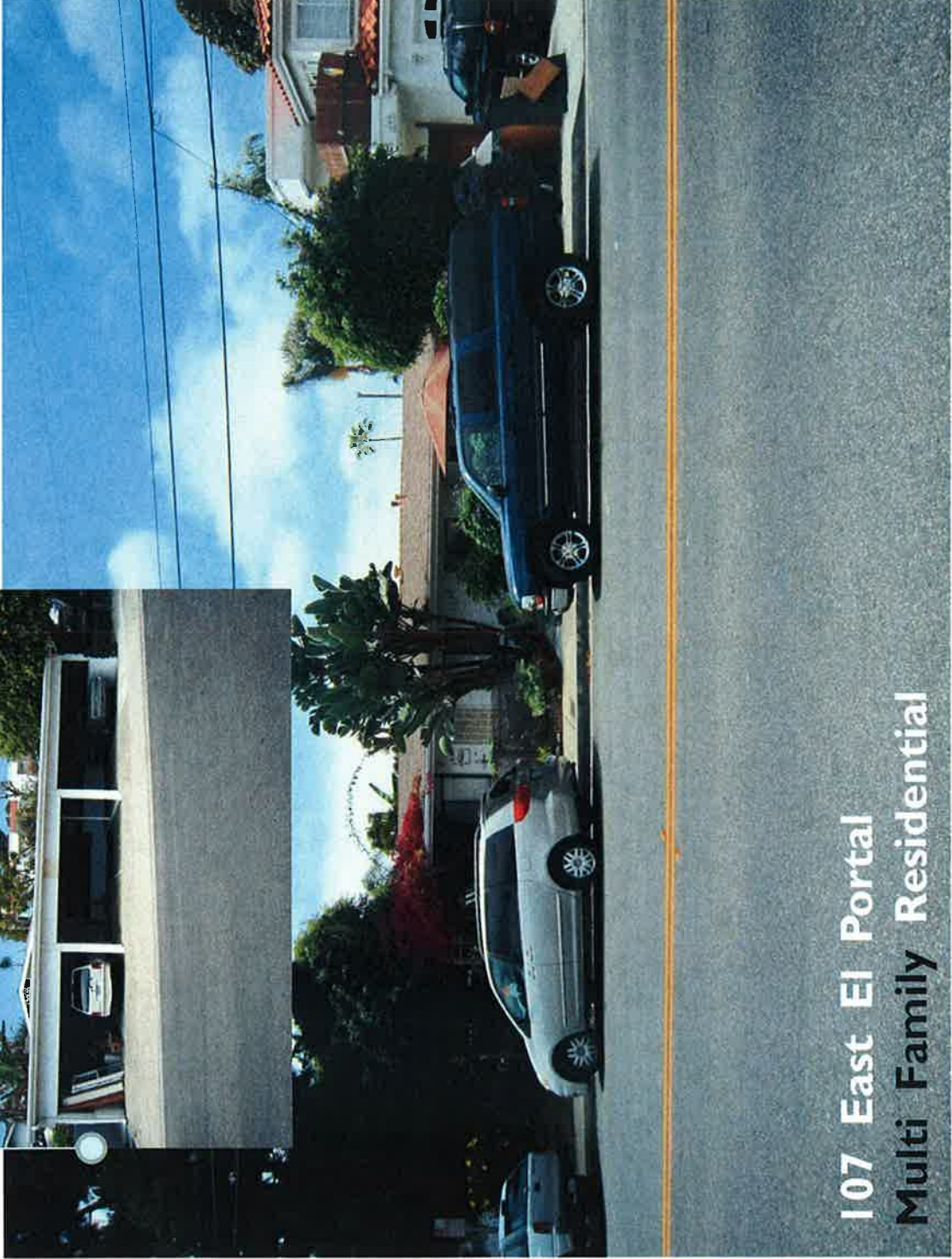
**111 East El Portal
Single Family Residence**

2 story structure
reduced side yard setback



109 East El Portal
Single Family Residence

carport parks 6 cars
reduced side yard setback



107 East El Portal
Multi Family Residential

2 story structure
2 car garage and carport



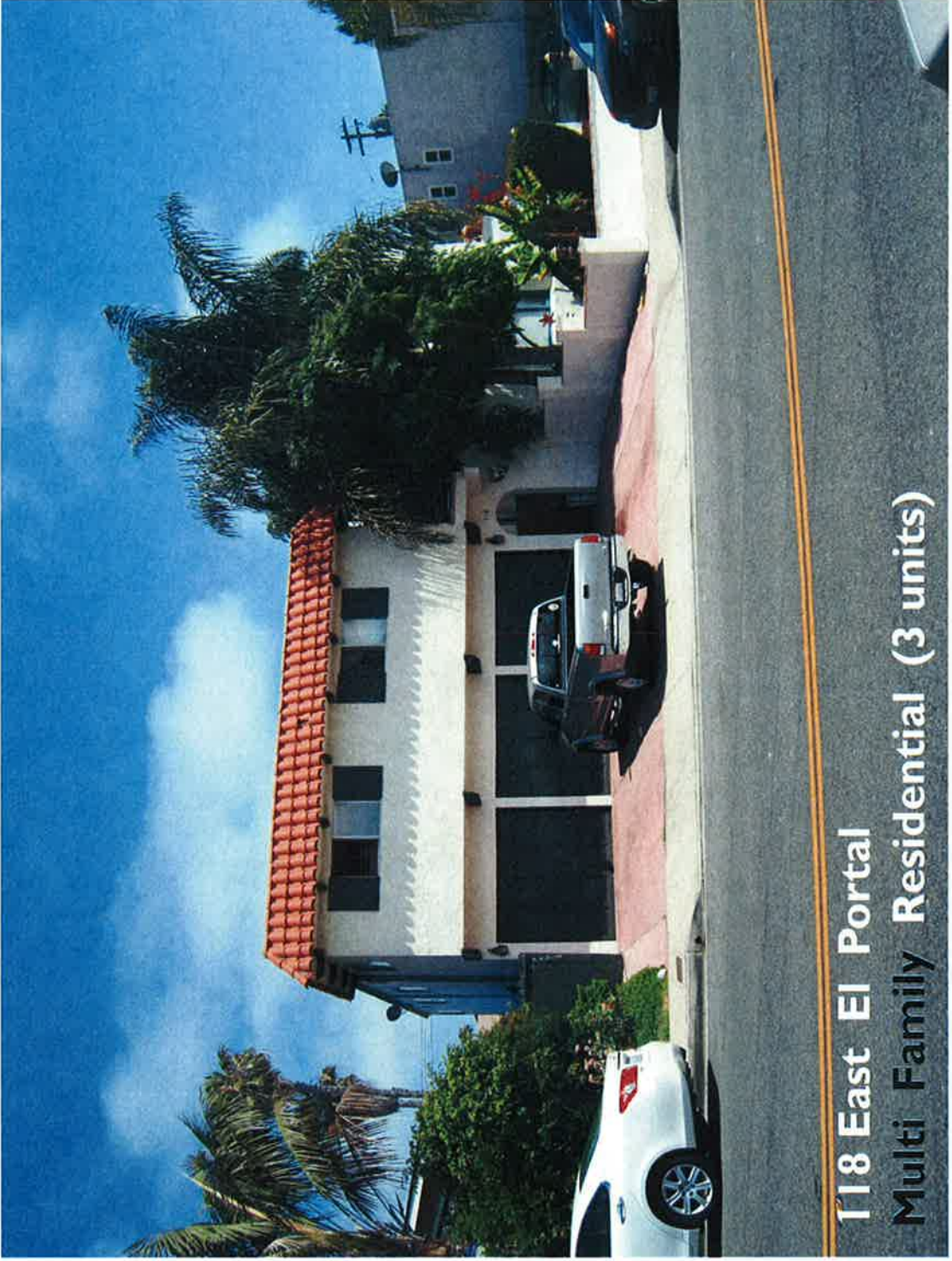
122 East El Portal
Multi Family Residential

1 story **addition** at front
carport



**120 East El Portal
Single Family Residence**

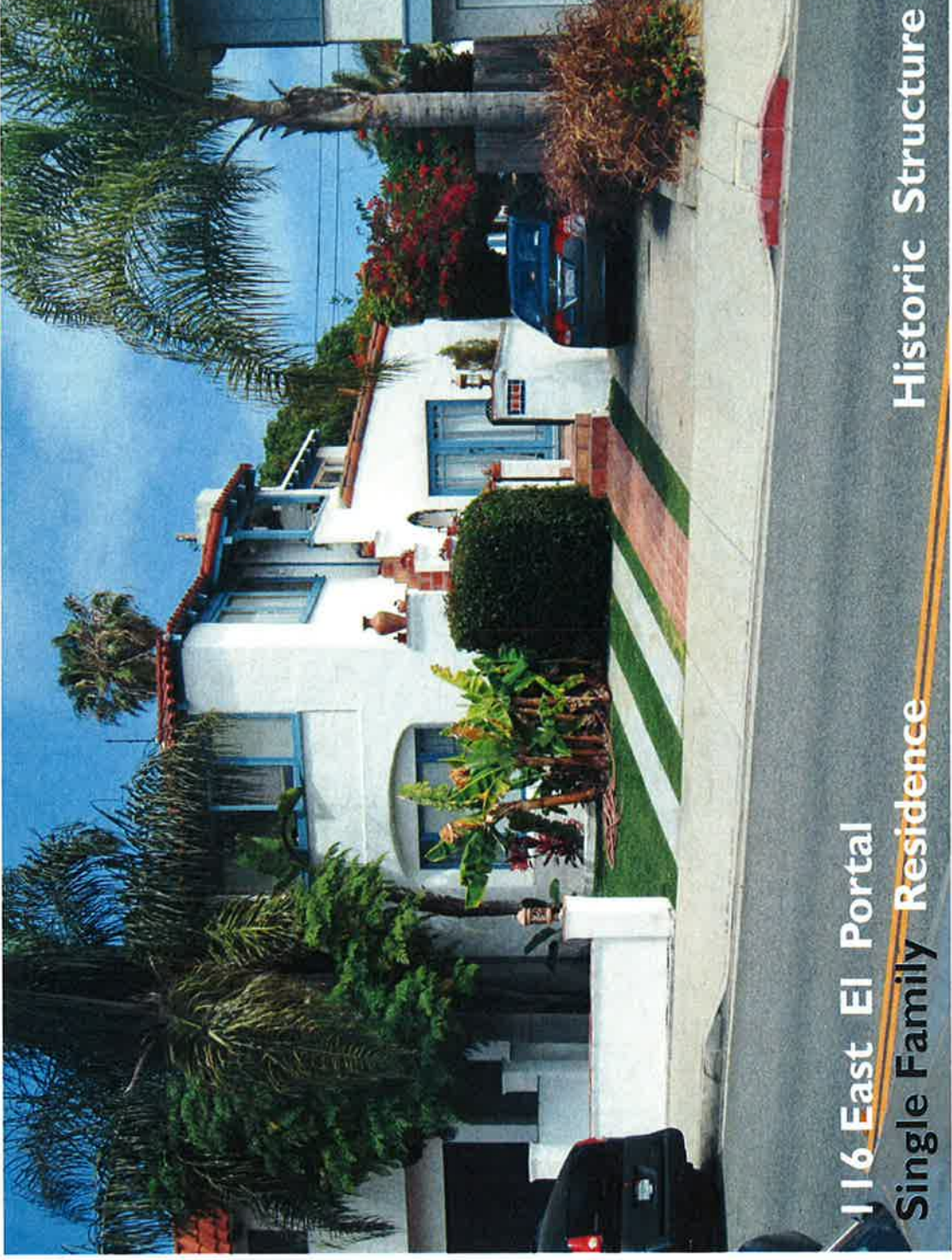
2 story structure



**118 East El Portal
Multi Family Residential (3 units)**

across the street from
Cappello Residence

2 story structure
reduced side yard setback
non-conforming garage at rear



116 East El Portal
Single Family Residence

Historic Structure

2 story structure



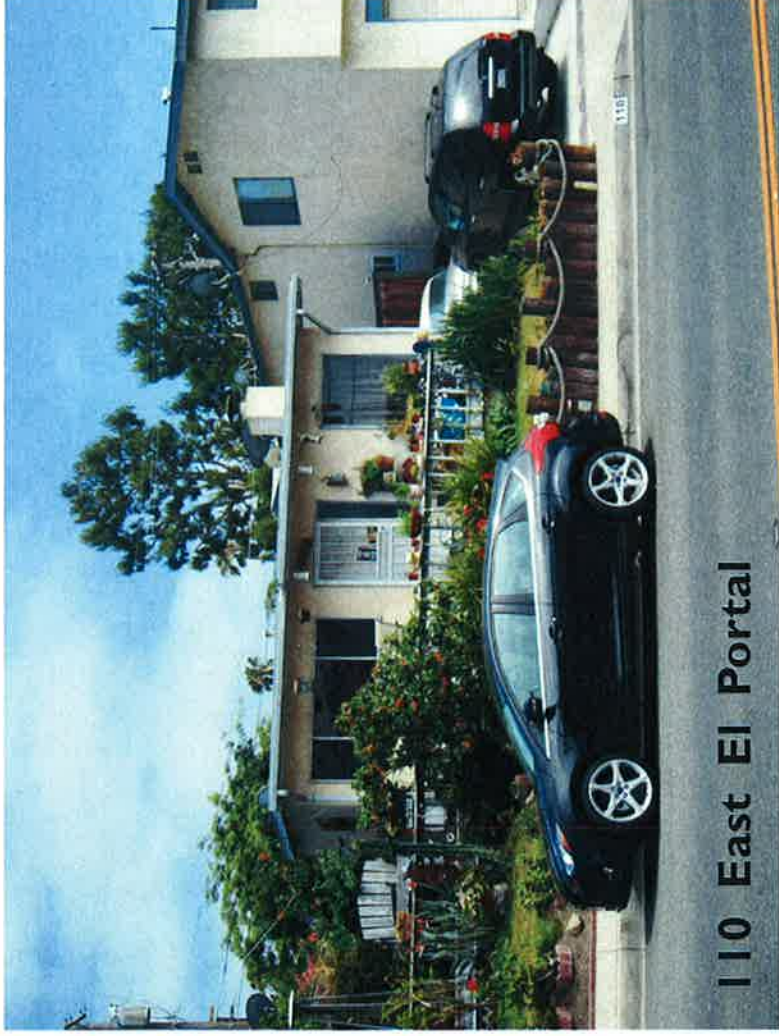
114 East El Portal
Multi Family Residential (3 units)

(2) 1 story structures

reduced side yard setbacks
between the 2 structures



112 East El Portal



110 East El Portal

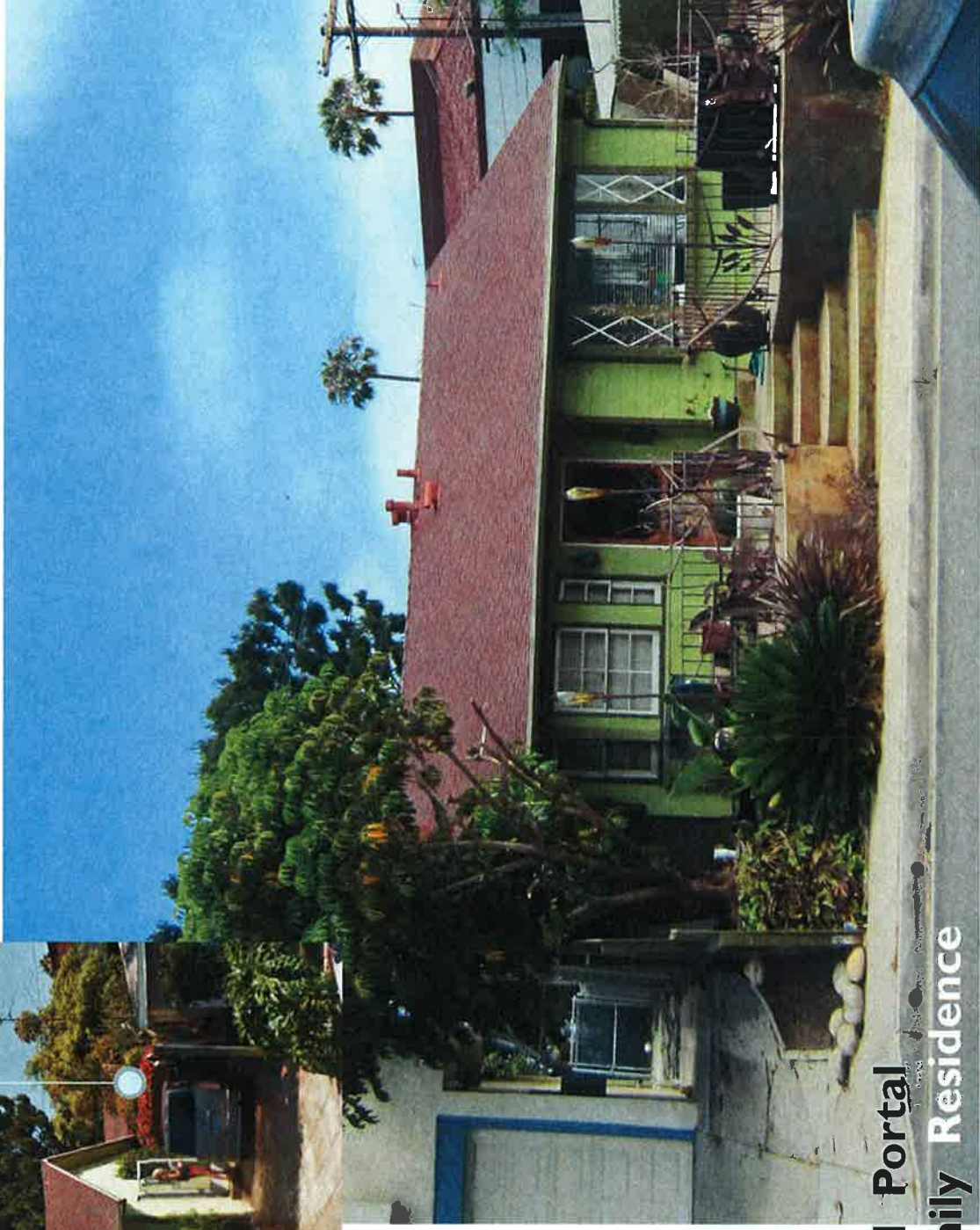
Single Family Residences

2 story structure
reduced side yard setbacks (both sides)



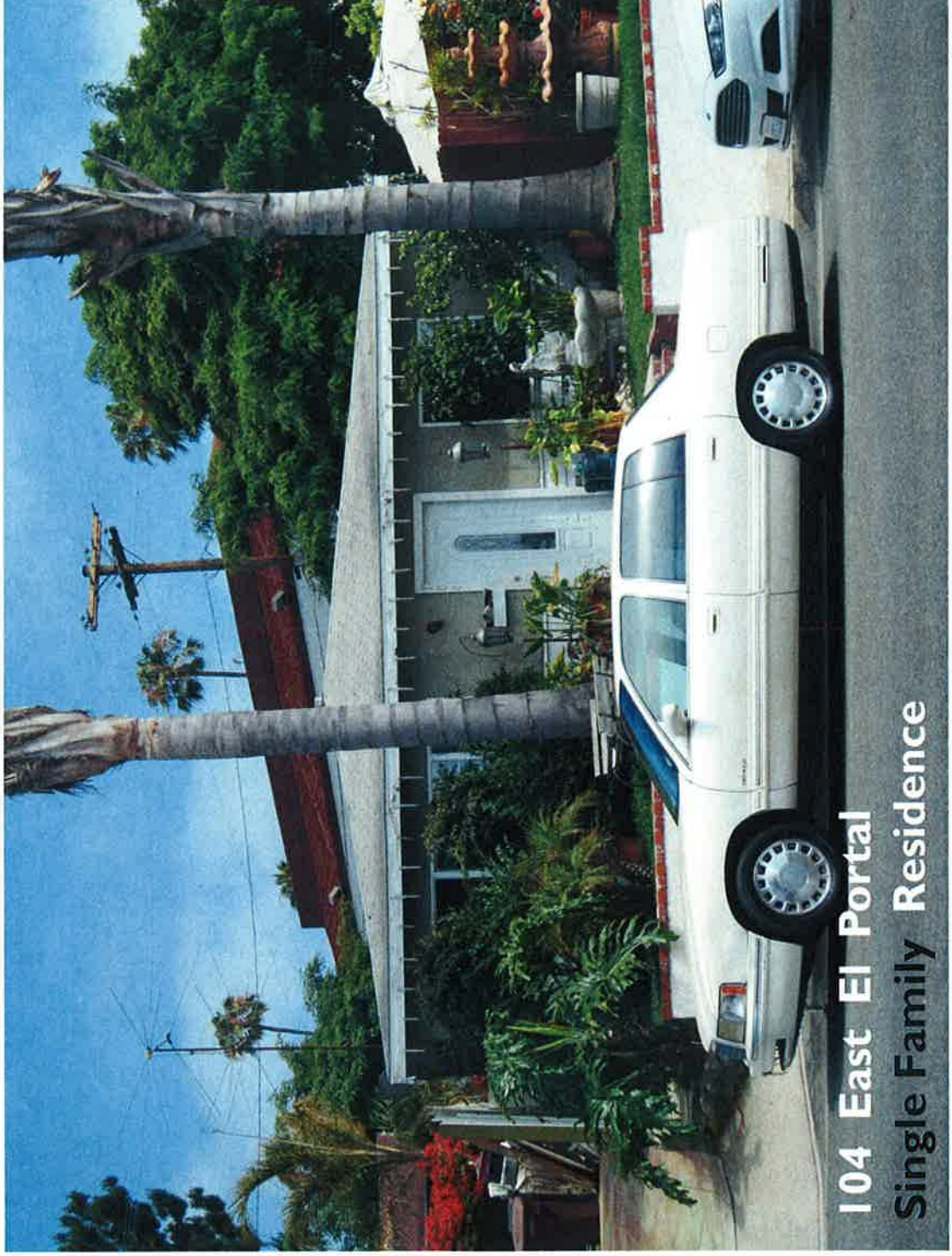
108 East El Portal
Multi Family Residential (3 units)

detached non-conforming garage
at rear w/ **reduced side yard** setback



106 East El Portal
Single Family Residence

- | story structure
- | car garage



**104 East El Portal
Single Family Residence**

The proposed additions to 115 East El Portal will not increase the footprint of the structure and garage footprint will not change.

Other properties in the vicinity enjoy reduced setbacks and non-conforming rear yard garages. The residence will not impact views of the Historic structure across the street.

Our proposal will update the architectural style to incorporate a “Green” architectural vernacular with a succulent roof garden and reclaimed wood siding. We will add new landscaping, permeable paving, and a new tree. Finally, we will bring new life to this residence and will enhance the character of the neighborhood.

We seek approval of our requested proposal.

Thank you for your consideration.

PRIMARY RECORD

Trinomial
NRHP Status Code 3D

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource Name or #: 116 E El Portal

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County ORANGE
and (P2b and P2C or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec ; B.M.
c. Address 116 E EL PORTAL City SAN CLEMENTE Zip 92672
d. UTM: Zone ; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 057-154-04

P3a. Description:

The property contains a two-story single family residence with an irregular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a low-pitch hip roof with clay tiles and exposed rafter tails. A one-story wing with a shed roof projects from the side (south) elevation. The exterior walls are clad with original smooth stucco. The primary facade includes an open entry patio delineated by a low stucco wall. An upper level balcony features a shed roof and wood supports. The fenestration consists of original wood-frame casement windows, including some arranged in groups of three and four, throughout the residence. The residence is in good condition. Its integrity is good.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

West elevation, east view. May 2006.

P6. Date Constructed/Age and Sources: Historic Both Prehistoric

1928 (E) Tax Assessor

P7. Owner and Address:
Jones, Shawn Elise
116 E El Portal

P8. Recorded by:
Historic Resources Group, 1728
Whitley Ave., Hollywood, CA
90028

P9. Date Recorded: 7/27/2006

P10. Survey Type:
City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code 3D

Resource Name or #: 116 E El Portal

B1. Historic Name: Unknown.

B2. Common Name: Unknown.

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved? No Yes Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: Unknown.

b. Builder: Unknown.

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This two-story single family residence was built in 1928. This property is a typical example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

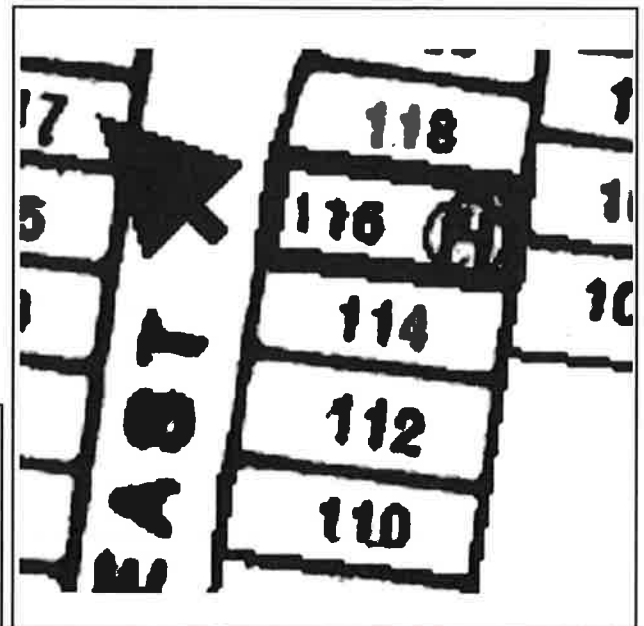
B12. References: Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 7/27/2006

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3

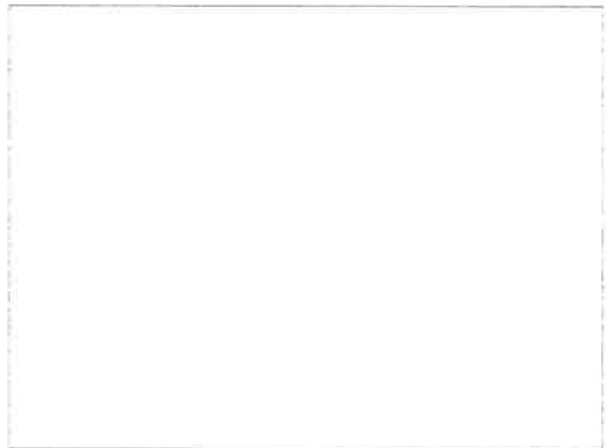
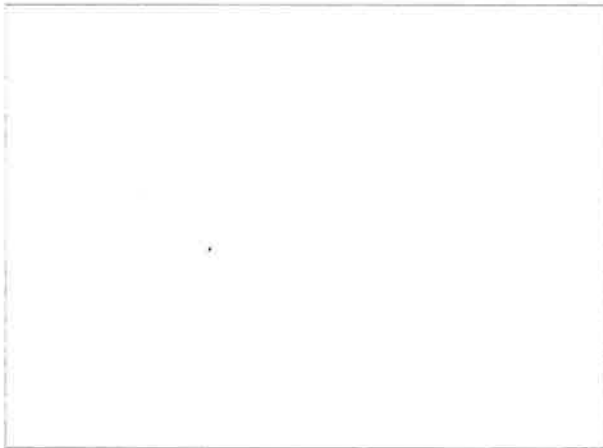
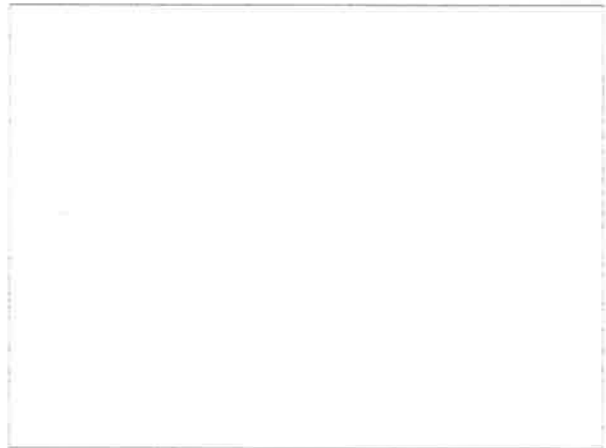
Resource Name or #: 116 E El Portal

Recorded by: Historic Resources Group

Date: 7/27/2006

Continuation Update

Photographs of the Subject Property, Continued:





Design Review Subcommittee (DRSC)

Meeting Date: July 10, 2013

PLANNER: Sean Nicholas, Associate Planner *SN*

SUBJECT: Conditional Use Permit 12-362/Cultural Heritage Permit 12-363/Discretionary Sign Permit 13-082/Minor Exception Permit 13-084/Outdoor Dinning Permit 13-085, North Beach Rooftop Grill and Bar, a request to convert a one-story commercial building into a restaurant with an uncovered roof top bar and grill, and new sign package. The project is located at 1509 North El Camino Real.

BACKGROUND:

The applicant is proposing to convert a single-story commercial building into a restaurant with an open roof top bar. The bar is proposed to span the entire length of the building, resulting in an addition of 2,975 square feet. The applicant is proposing to maintain the Spanish architecture and any exterior additions needed would continue the existing style. A request for a shared parking agreement and a license to serve beer, wine and distilled spirits is pending. The General Plan promotes North Beach to be an entertainment and restaurant hub for the community.

The project has already been brought to the Design Review Subcommittee (DRSC) for review of proposed building modifications and the previous sign package. This review focuses on the revised sign designs.

The applicant is proposing three signs:

- 1) A 63.36 square foot projecting sign on the building's El Camino Real façade;
- 2) A 10.5 square foot, six foot tall, monument sign on the El Camino Real frontage; and
- 3) A 7.25 square foot wall sign for the rear building facade facing Los Obreros Lane and Calle de Los Molinos.

Overall the applicant is proposing 81.11 square feet of signage. Pursuant to the Municipal Code, the applicant is permitted to have 82 square feet of signage with the approval of a Discretionary Sign Permit.

ANALYSIS:

The last time DRSC reviewed the sign package, they did not support the design because of concerns with the use of neon, the arrow shaped projecting sign, and the overall signage incompatibility with the buildings Spanish architectural style. Here are the previous signage designs:

Figure 1- Previous Signage Proposed

Projecting Sign



Facade facing El Camino Real

Monument Sign



Façade facing El Camino Real

Rear Wall Mounted Sign



In response to the concerns brought up at the previous DRSC meeting, the applicant has developed new signage for the site, as shown in Figure 2. The applicant is proposing the same type of signs but has changed the design from a route 66 look to a more contemporary design. Here are the sign designs (the locations for each sign is the same as shown above):

Figure 2: Proposed Signage

Projecting Sign



Monument Sign



Rear Wall Mounted Sign



Signs that have been approved recently for Spanish architectural buildings, especially within the Architectural Overlay, have primarily been either sand blasted wood or hand painted, with decorative goose neck lighting or individual pin mounted metal letters and halo illumination. The applicant is proposing to use sheet metal outer shell with cutout letters, and then use a product called polytechglass to provide color in the cutouts and be internally illuminated. The proposed materials appear more industrial than those that have typically been submitted in the Architectural Overlay. However, the signs will be handmade and will be unique for the site and in that way consistent with the Architectural Overlay standards. Instead of utilizing neon for illumination the applicant is proposing internal LED lights which will illuminate the polytechglass of orange and white.

The monument sign is proposed within a landscape area. The sign area is 10.5 square feet, and the height of the sign face is three feet. The overall height of the sign structure is six feet, which includes the three foot tall base. The base stucco and color is proposed to match the building, and the sign materials will be the same sheet metal case with cutout polytechglass with internal LED illumination.

CUP 12-362/CHP 12-363/DSP 13-082/MEP 13-084/ODP 13-085,
North Beach Rooftop Grill and Bar

The rear wall sign will be of matching materials and illumination.

RECOMMENDATIONS:

Staff has reviewed the signs and is generally supportive of the design concept. Staff has the following recommendation to improve the sign package:

Projecting Wall Sign

- 1) **Connection to wall:** Any support structure for the signage should utilize materials consistent with the Spanish architecture of the building. Staff recommends a black wrought iron rods and appropriate fasteners be used for support of the projecting sign and tie the sign in with the Spanish style of the building.

CONCLUSION

The applicant has simplified the sign design and removed the use of neon for illumination. Staff supports the signage, and while of a modern and contemporary design, the signs will be unique and hand made for a handcrafted look. The use of cutout letters and colored glass with the internal illumination will give a unique look to the signs. Overall the signs will be made of high quality materials and will enhance the look of the site. Staff seeks the DRSC's comments and welcomes any additional recommendations.

Attachments:

1. Location Map
2. Sign Plans
3. Images of similar types of signage




LOCATION MAP

ATTACHMENT 1

CUP 12-362/CHP 12-363/DSP 13-082/MEP 13-084/ODP 13-085,
North Beach Rooftop Grill and Bar
1509 N. El Camino Real



Not scaled 

REVISED FRONT WALL BUILDING SIGNAGE DOUBLE FACE

REVISED "FRONT WALL BUILDING SIGNAGE":

6' -6" wide x 4'-8" tall:
Double Face Sign:

31.68 sf. ea. face
63.36 sf. total

Support Arms:
Arms Extension:
Signage Material:
Signage Width:

2" Round Supports Arms (2 to 3)
24"
Sheet Metal
14" to 16" est.

Metal Face:
Letters Material:
Font Styles:
Letters Height:
Letters Height:

Cut-Out Letters ("Roof & TOP")
Polytechglass
Automatica BRK
18" est. (Roof & TOP)
10" est. (grill)

Letters "Roof & TOP":
Letters "grill":
Horizontal Line:
Border (top & right):
Signage Face:

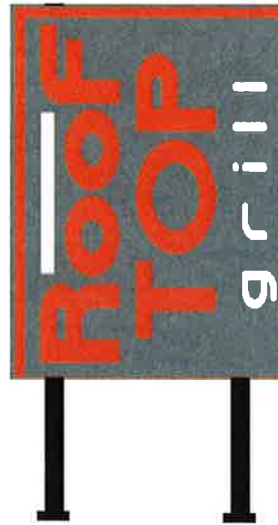
Orange color
White color
White color
Orange color
Dark Grey color

Lighting Type:
Light Location:
Raceway:
Access Panel:

LED Light Bulbs
Internal
Upper portion of metal housing
Outside (street) side face

Signage Height:
Signage Attachment:

16' (match existing top of wall)
Existing Masonry Wall



MONUMENT SIGNAGE: DOUBLE FACE



MONUMENT SIGNAGE:

3' - 6" wide x 3'-0" tall: 10.5 sf. ea. face
Double Face Sign: 10.5 sf. ea. face, counted 1 time

Signage Material: Sheet Metal
Signage Width: 10" to 12" est.

Metal Face: Cut-Out Letters ("Roof & TOP")
Letters Material: Polytechglass
Font Styles: Automatica BRK
Letters Height: 10" est. (Roof & TOP)
Letters Height: 5" est. (grill)

Letters "Roof & TOP": Orange color
Letters "grill": White color
Horizontal Line: White color
Border (top & right): Orange color
Signage Face: Dark Grey color

Lighting Type: LED Light Bulbs
Light Location: Internal
Raceway: Upper portion of metal housing
Access Panel: Outside (street) side face

Signage Height: 6' Monument Wall
Signage Attachment: New Masonry Wall (at top of wall)

WALL (REAR) SIGNAGE: SINGLE FACE

REAR BUILDING SIGNAGE:

Sign Face:
3' 0" wide x 2' 5" tall:
Single Face Sign:

Rear "Wall Face" Sign
7.25 sf. Total
7.25 sf. Total

Signage Material:
Signage Width:

Sheet Metal
4" to 6" est.

Metal Face:

Cut-Out Letters ("Roof & TOP")

Letters Material:

Polytechglass

Font Styles:

Automatica BRK

Letters Height:

12" est. (Roof & TOP)

Letters Height:

9" est. (grill)

Letters "Roof & TOP":

Orange color

Letters "grill":

White color

Horizontal Line:

White color

Border (top & right):

Orange color

Signage Face:

Dark Grey color

Lighting Type:

LED Light Bulbs

Light Location:

Internal

Raceway:

Upper portion of metal housing

Access Panel:

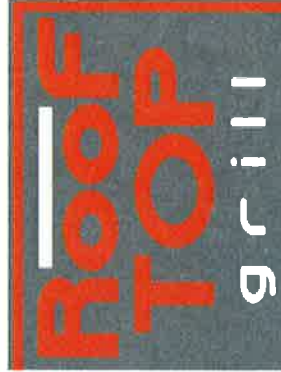
Front face

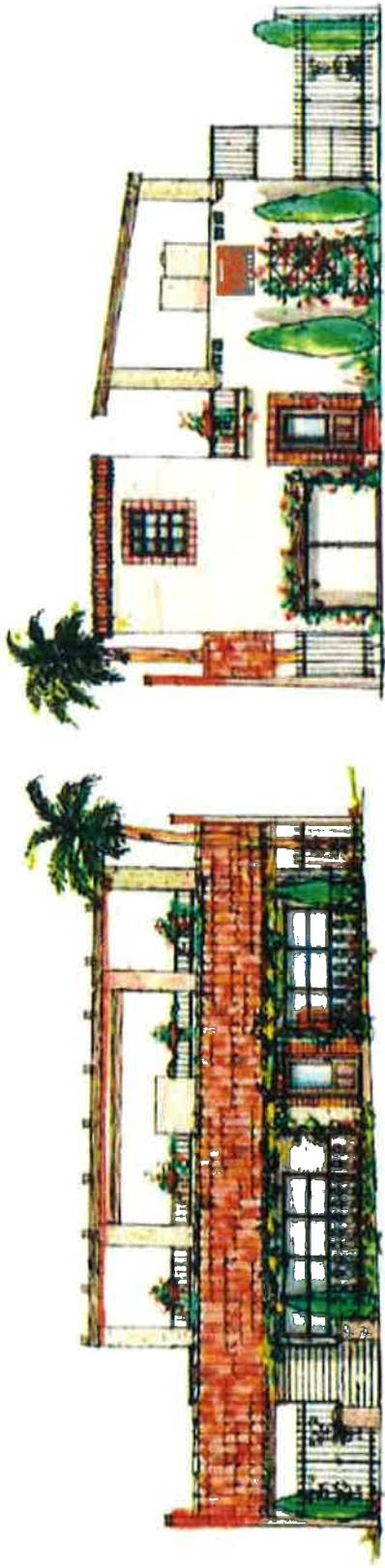
Signage Height:

12' est.

Signage Attachment:

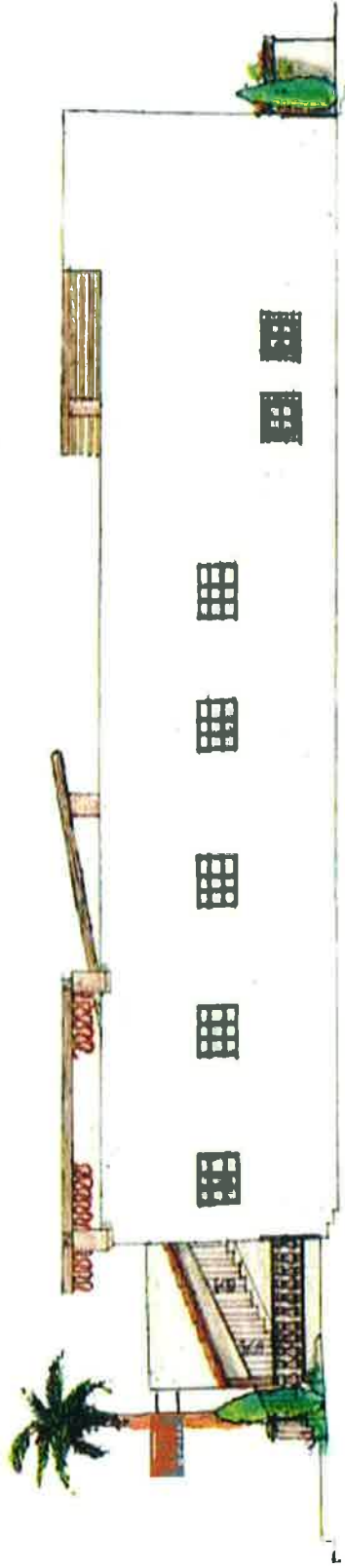
Building Face Rear



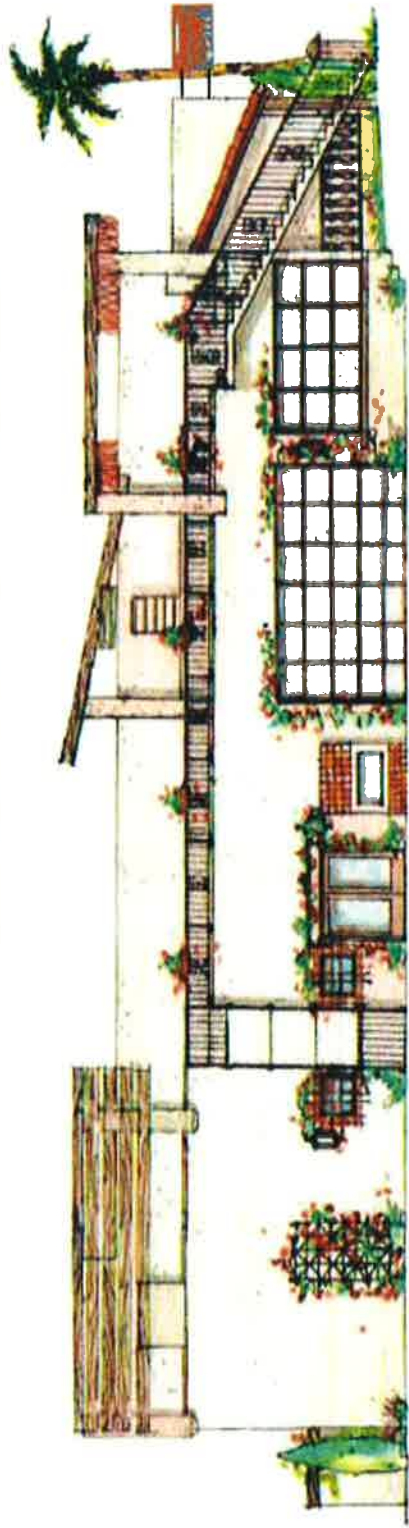


EL CAMINO REAL ELEVATION

LOS OBREROS LANE ELEVATION



SIDEYARD (SOUTH) SIDE ELEVATION



COURTYARD (NORTH) SIDE ELEVATION

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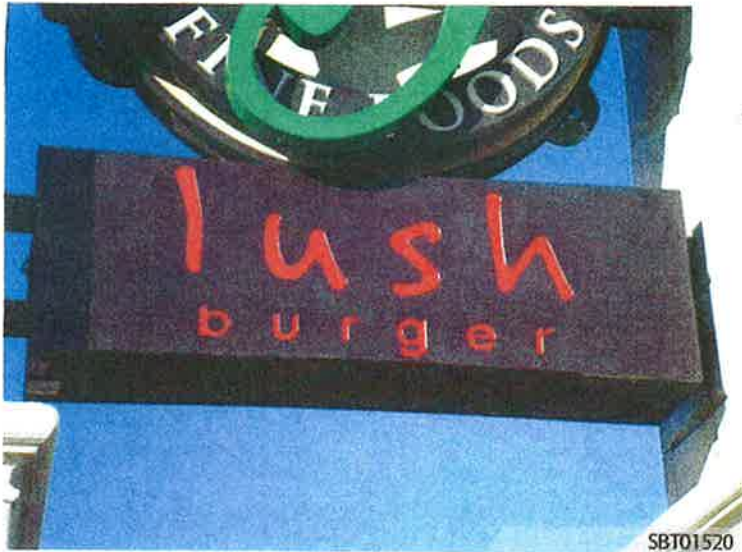
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