



**AGENDA FOR THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE**

Wednesday, April 23, 2014

10:00 a.m.

Community Development Department

Conference Room A

910 Calle Negocio, Suite 100

San Clemente, CA 92673

The purpose of this Subcommittee is to provide direction, insight, concerns and options to the applicant on how the project can best comply with the City's Design Guidelines and/or City Policies. The Subcommittee is not an approving body. They make recommendations to the Planning Commission and Zoning Administrator regarding a project's compliance with City Design Guidelines. Each of the Subcommittee members will provide input and suggest recommendations to the applicant based upon written City Design Guidelines and/or City Policies. The Subcommittee will not design the project for the applicant, nor will the members always agree on the best course of action. The applicant can then assess the input and incorporate any changes accordingly with the understanding that the Subcommittee is simply a recommending body. Decisions to approve, deny, or modify a project are made by the Planning Commission, City Council, or the Zoning Administrator with input and recommendations from the Subcommittee and City staff. The chair of the Subcommittee will lead the discussion. Planning staff will be available to provide technical assistance as necessary. Time is limited. Consequently, the Design Review Subcommittee will focus on site and project design rather than on land use issues, which are the purview of the Planning Commission, City Council or the Zoning Administrator.

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability-related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such a modification from the Community Development Department at (949) 361-6100. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

Written material distributed to the Design Review Subcommittee, after the original agenda packet is distributed, will be available for public inspection in the Community Development Department located at 910 Calle Negocio #100, San Clemente, CA during normal business hours.

1. APPROVAL OF MINUTES

Minutes to be considered for approval: April 9, 2014

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Pre-App 14-106, Elena Lane 6-Unit Condos (Atamian)

A request to consider a new 6-unit condo complex adjacent to historic properties located at 515 Elena Lane.

B. Discretionary Sign Permit 14-066/ Minor Cultural Heritage Permit 14-067, Pep Boys Signage (Atamian)

A request to consider a Master Sign Program and exterior modifications to an automobile service station building within the Architectural overlay. The project is located at 1606 North El Camino Real in the Mixed-use (MU2-p-A) zoning district.

C. South El Camino Real Duplexes (Gregg)

- i. **Conditional Use Permit 14-084/Minor Exception Permit 14-085, Koastal Duplex**
- ii. **Conditional Use Permit 14-086/Minor Exception Permit 14-087, Resmkv Duplex**
- iii. **Conditional Use Permit 14-088/Minor Exception Permit 14-089, Cade Duplex**
- iv. **Conditional Use Permit 14-090/Minor Exception Permit 14-091, Bellers Duplex**
- v. **Conditional Use Permit 14-092/Minor Exception Permit 14-093, SClementem Duplex**

A request to consider five separate projects, each consisting of two duplexes to be built on ten separate, but contiguous lots, for a total of 20 units. A Minor Exception Permit is requested for each project to consider reduced side yard setbacks on the corner lot and for walls exceeding 42 inches in the front yard setback up to five feet. There are five separate owners that commissioned the same architect to design their properties.

D. Amendment to Conditional Use Permit 10-105/Amendment to Minor Architectural Permit 10-503/Discretionary Sign Permit 4-144, Aloha Surf Company (Nicholas)

A request for modifications to an approved building for the lease area within the Vista Hermosa Sports Park, and review of the proposed Master Sign Program.

E. Minor Cultural Heritage Permit 14-050, Del Mar Plaza Courtyard Remodel (Jones)

A request for exterior changes to a building at 111 Avenida Del Mar. The project is located within the Mixed Use Zoning District, and within the Architectural and Central Business Overlays (MU3-CB-A).

3. NEW BUSINESS

A. Cultural Heritage Permit 14-077, Harry Residence DRSC Waiver of Review (Ciampa)

A request for a 293 square foot addition, expanded porch, and new covered patio for a house that is adjacent to a historic house. The project site is located at 220 Paseo De Cristobal within the Residential Low (RL) zoning district.

4. OLD BUSINESS

None.

5. ADJOURNMENT

Adjourn to the Design Review Subcommittee meeting of Wednesday, May 14, 2014 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
APRIL 9, 2014**

Subcommittee Members Present: Michael Kaupp, Julia Darden and Bart Crandell

Staff Present: Jim Pechous, Cliff Jones, Amber Gregg and John Ciampa

1. MINUTES

Minutes from March 26, 2014 approved.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Minor Architectural Permit 13-427, Knottnerus Addition (Gregg)

A request to consider a first and second story addition, totally 777 square feet, to a legal non-conforming single-family residence located at 161 Avenida San Antonio.

Associate Planner Amber Gregg summarized the staff report.

Committee Member Julia Darden recused noting she owns property within 500 feet of the project.

Subcommittee Member Bart Crandell requested clarification on the City's policy concerning cars overhanging the sidewalk. Associate Planner Cliff Jones stated that the overhang is not enforced as a violation unless the entire length of the street has sidewalk. Associate Planner Amber Gregg noted this side of the street does not have contiguous sidewalk and identified areas where sidewalk has not yet been constructed.

The Subcommittee Members concurred that they liked the addition and that it fits into the neighborhood.

B. Secretary of the Interior's Standards Training (Ciampa)

Training and review of the Secretary of the Interior's Standards.

Associate Planner John Ciampa provided training and review of the Secretary of the Interior's Standards to the DRSC.

The Subcommittee Members stated that the information provided was valuable and could be used for future design guidelines for historic properties.

The Subcommittee Members stated that they would like the following issues discussed when this is presented to the Planning Commission for a Study Session:

- State the specific standards
- Provide examples of the four types of preservation standards
- Discuss San Clemente's interpretation of Standards 9 and 10
- Review roof top additions
- Provide more examples from San Clemente

3. NEW BUSINESS

None

4. OLD BUSINESS

None

5. ADJOURNMENT

Adjourn to the Regular Meeting of the Design Review Subcommittee to be held April 23, 2014 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Respectfully submitted,

Michael Kaupp, Chair

Attest:

Cliff Jones, Associate Planner



Design Review Subcommittee (DRSC)

Meeting Date: April 23, 2014

PLANNER: Adam Atamian, Assistant Planner

A handwritten signature in blue ink, appearing to be "AA", enclosed in a blue circle.

SUBJECT: **PRE-APP 14-106, Elena Lane 6-Unit Condos**, a request to review massing and scale of a proposed 6-unit condo complex, adjacent to historic properties, located at 515 Elena Lane within the Residential Medium (RM) zoning district.

BACKGROUND:

Project Description

The applicant, Rick Del Carlo, proposes to demolish a one-story, single family residence located at 515 Elena Lane and replace it with a two-story, six-unit condominium complex that includes a basement level for parking. The purpose of this pre-application review is to obtain feedback from the Design Review Subcommittee regarding the potential design, scale, and massing of the project.

Why is DRSC Review Required?

Design Review is not required for a Pre-Application review, but it is available if applicants desire it. The applicant requested DRSC review help to assess the feasibility of a project of this magnitude in the context of the neighborhood prior to a decision to purchase the property.

Site Data

The project site is a 13,000 square foot lot, which currently contains a single-story 2,589 square foot single family residence. The project site is located across the street from two historic properties, 516 Elena Lane and 325 Cazador Lane. Additionally, the project site is located within 300 feet of 5 additional historic properties, 410 and 412 Cazador Lane, 505 and 508 Elena Lane, and 232 Trafalgar Lane.

Though most of the properties in the vicinity are single family residences, there are two large multi-family developments nearby. The first is a six-unit townhouse development adjacent to the subject site at 320 Cazador Lane. The other is an eight-unit condominium complex located at 410 Cazador Lane. Based on the development standards applicable to this zone, the 13,000 square foot lot would permit up to seven units. As shown in the preliminary plans, the proposed project meets the minimum setbacks and parking requirements.

ANALYSIS:*Previous DRSC Review*

The DRSC reviewed this proposal at the meeting of March 26, 2014. At that meeting, the DRSC, along with members of the public, voiced concerns over the massing, scale, form and building placement of the preliminary design. The design presented was seen as large and monolithic, not scaled to the neighborhood, and out of character with the design of the historically significant area.

Concerns related to the project's impact to surrounding land uses, significant landscape features of the subject site, view corridors, and nearby historic resources were also discussed. Several people recommended that the project should preserve the mature Star Pine located at the northwest corner of the property, along Elena Lane, as that is a significant neighborhood landscape feature. The DRSC recommended preserving public views to the adjacent historic properties by setting the building back from the intersection of Elena Lane and Cazador Lane. The proposed building's massing, especially the vertically stacked two story design, was considered as lacking building wall and roof articulation. The DRSC recommended that the design incorporate stepping the second story back and creating articulation at each level to reduce the structure's visual austerity.

Building and Roof Design

The applicant revised the preliminary designs to address many of the above concerns. Specifically, the project incorporates more recessed and projecting architectural elements to increase the articulation of the building façade. The building footprint still follows required minimum setbacks closely, however some of the massing toward the intersection of Elena Lane and Cazador Lane was replaced with an open roof deck. The majority of the structure still remains two levels of living space over a partial basement level garage.

The applicant revised part of the roof to provide more independent segments that break up the originally monolithic look of the roof. There are also additional roof deck areas that provide more open space for each unit than the previous plan.

Despite these changes, the project still appears to have many of the impacts identified at the DRSC meeting of March 26. The Design Guidelines state that "building scale, mass, and form should be compatible with adjacent development" (Design Guidelines II.B.3). The structure is still a large development for a predominately single family residential neighborhood. Additionally, there is only a minimal amount of building step-back from the intersection, most of which is what is required by the setbacks. The first building section in this area is living space with a roof deck over a partially exposed basement garage, which staff estimates is at least 16 feet tall to the top of the deck railing.

Most of the new building articulation is located on the Elena Lane side of the building. Utilizing building off-sets, the project provides some visual separation between the three units with front entrances facing Elena Lane. However, there is only minimal second story

step-backs, which creates a tall and vertical street presence. Unlike the Elena Lane side of the structure, the elevation facing Cazador Lane retains a long, less modulating façade and appears as a three-story structure that lacks any third story recesses. The Design Guidelines state that “building components are divided into parts scaled to human size (Design Guidelines II.C.2). Though there are front entrances facing Cazador Lane for two of the units, the majority of this façade appears less articulated than the Elena Lane side of the structure.

Site Design

The plans show an opening in the roof that allows light and air into the interior of the building and garage, however there is no indication of open space when viewed from off-site. The Design Guidelines specify that projects should incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards (Design Guidelines II.C.3). Most of the outdoor space is located on the roof or the interior of the structure, which deprives the building of any defined exterior living spaces such as the “sequence of street, landscaped entry court, then building” (Design Guidelines II.C.2).

Landscape Design

The revised plans demonstrate a moderate landscape buffer along the front and street-side property lines. However, the building’s size and massing and the narrow width of most of the landscaped areas do not appear adequate to provide landscaping capable of blending the building into the general landscaped character of the neighborhood. It is unclear if there is enough space to maintain the Star Pine at the northwest corner of the lot in this scenario. The Design Guidelines state that “mature trees should be retained” (Design Guidelines II.A.3). Also, there is very little relief provided between the proposed 6-unit condominium building and the single-family residence located next door to the north, on Elena Lane.

RECOMMENDATIONS:

Staff recommends the following modifications be made to any applications submitted based on the proposed design:

1. Because the basement level garage appears as a first, or partial first, story along much of the building’s façade, the majority of the second story should be stepped back from the exterior line of the first story. Additionally, the scale of the neighborhood is primarily single level development. The amount of second floor living space should be reduced to allow more variation in the height of the structure as well as allow opportunities to create visual separations between units.
2. More emphasis should be placed on the landscaped areas surrounding the building on all sides by reducing the areas for entry sidewalks and parking

access to the minimum necessary and providing a wider landscape buffer along Elena Lane. This will allow adequate room for plants that can reduce the impact of the structure. This will also increase compatibility with the landscaping of the neighboring single-family residences.

3. The Cazador Lane side of the building should have much more building and roof articulation and incorporate architectural designs that create a human scaled, segmented structure. This could be accomplished by reducing the amount of the building that has two floors of living space, stepping back the areas that do, and providing more separate roof elements with various roof types.
4. The building should be pulled farther away from the intersection to allow views of both adjacent historic structures from Cazador Lane and Elena Lane. The impact of the proposed development on this corner could overshadow the smaller scaled abutting historic structures and negatively affect public views of both.
5. Overall, the bulk of the building should be placed toward the north end of the property, gradually stepping down to a single-family residentially-scaled structure near the corner. The proposed building section near the intersection is not scaled compatibly with the adjacent historic structures.

Staff seeks DRSC comments and any additional recommendations.

Attachments:

1. Location Map
2. Photos Location Map
3. Colored Renderings
Conceptual Plans



LOCATION MAP

PRE-APP 14-106, Elena Lane 6-Unit Condos
515 Elena Lane

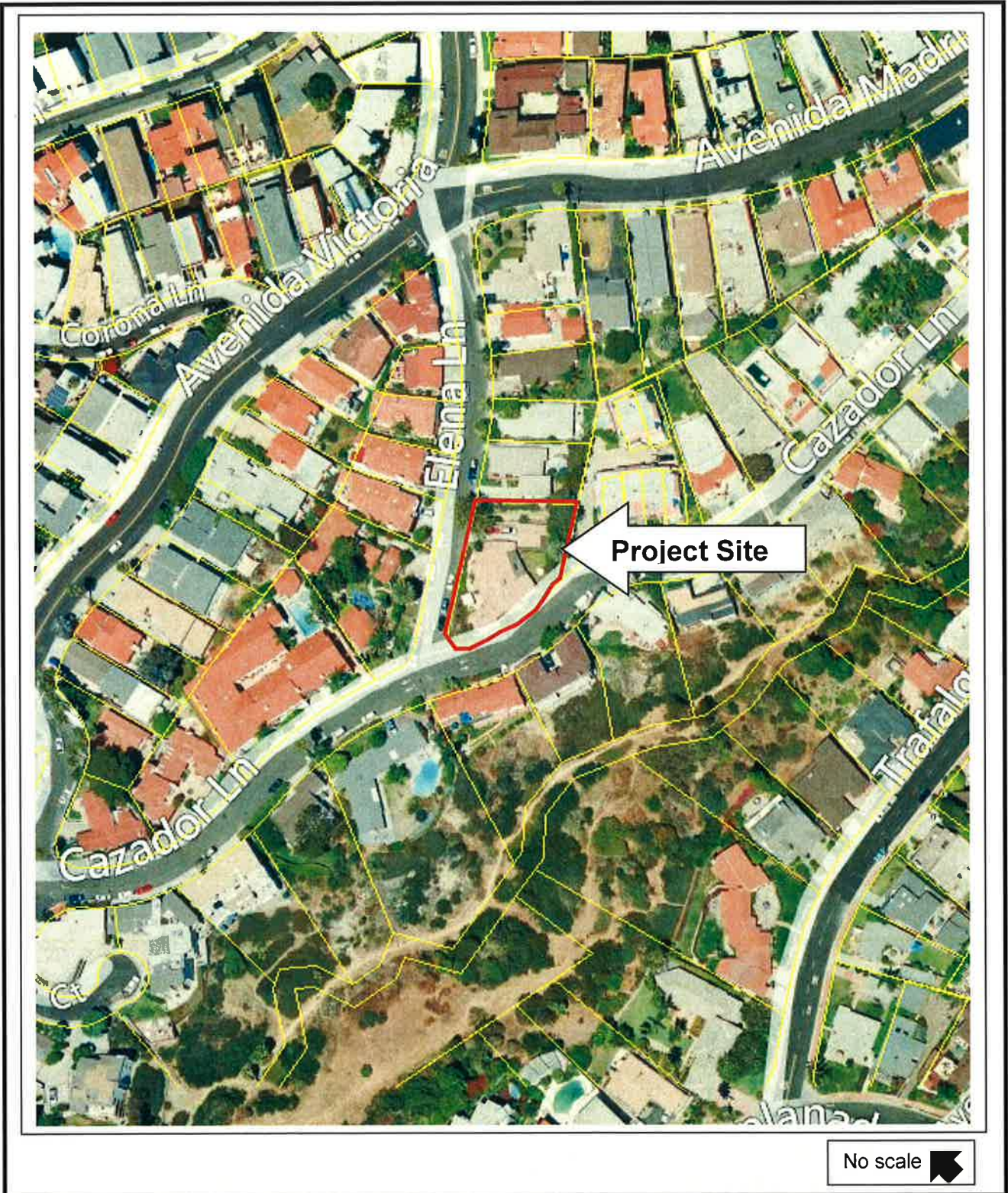


PHOTO LOCATION MAP

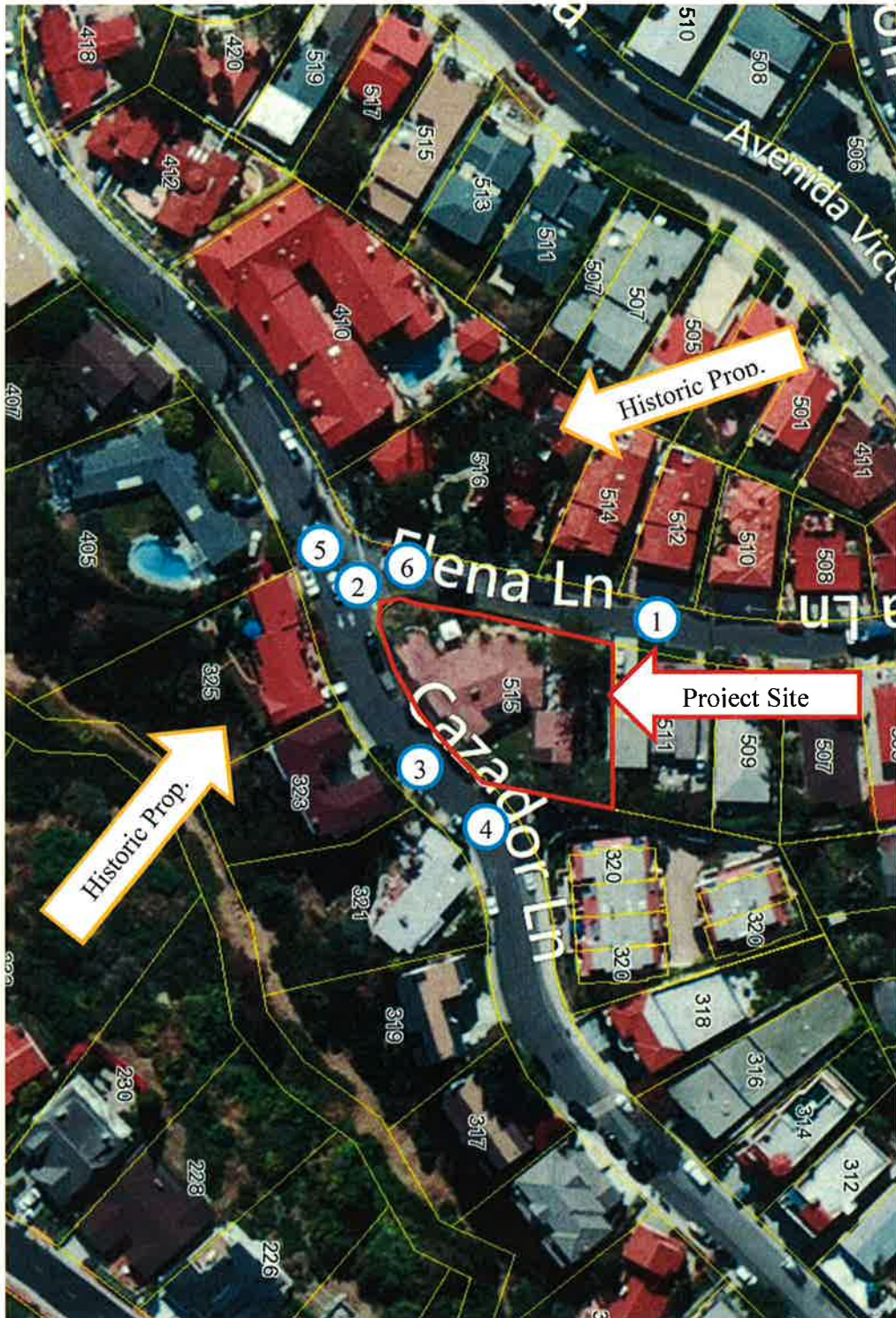




Photo 1



Photo 2



Photo 3



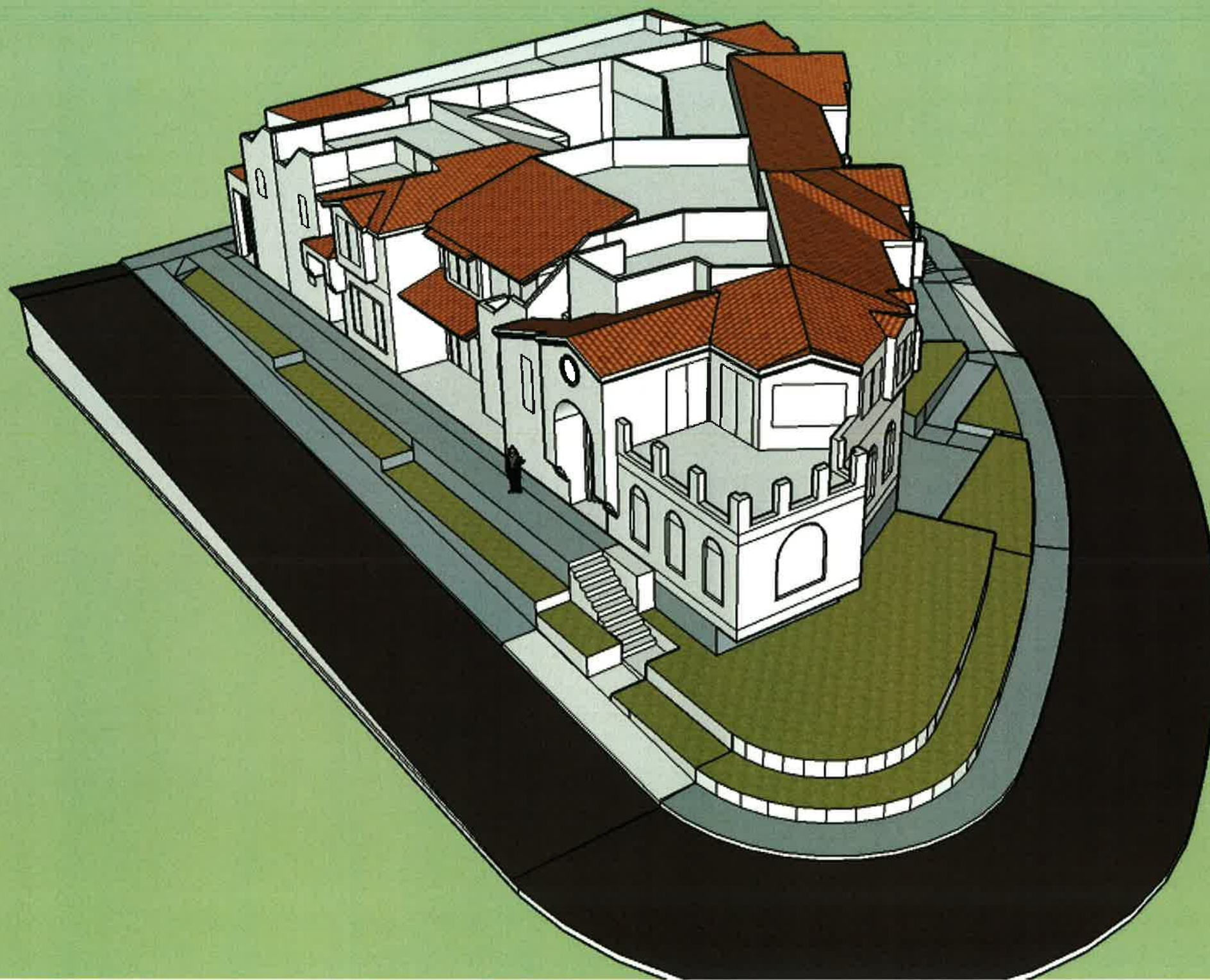
Photo 4

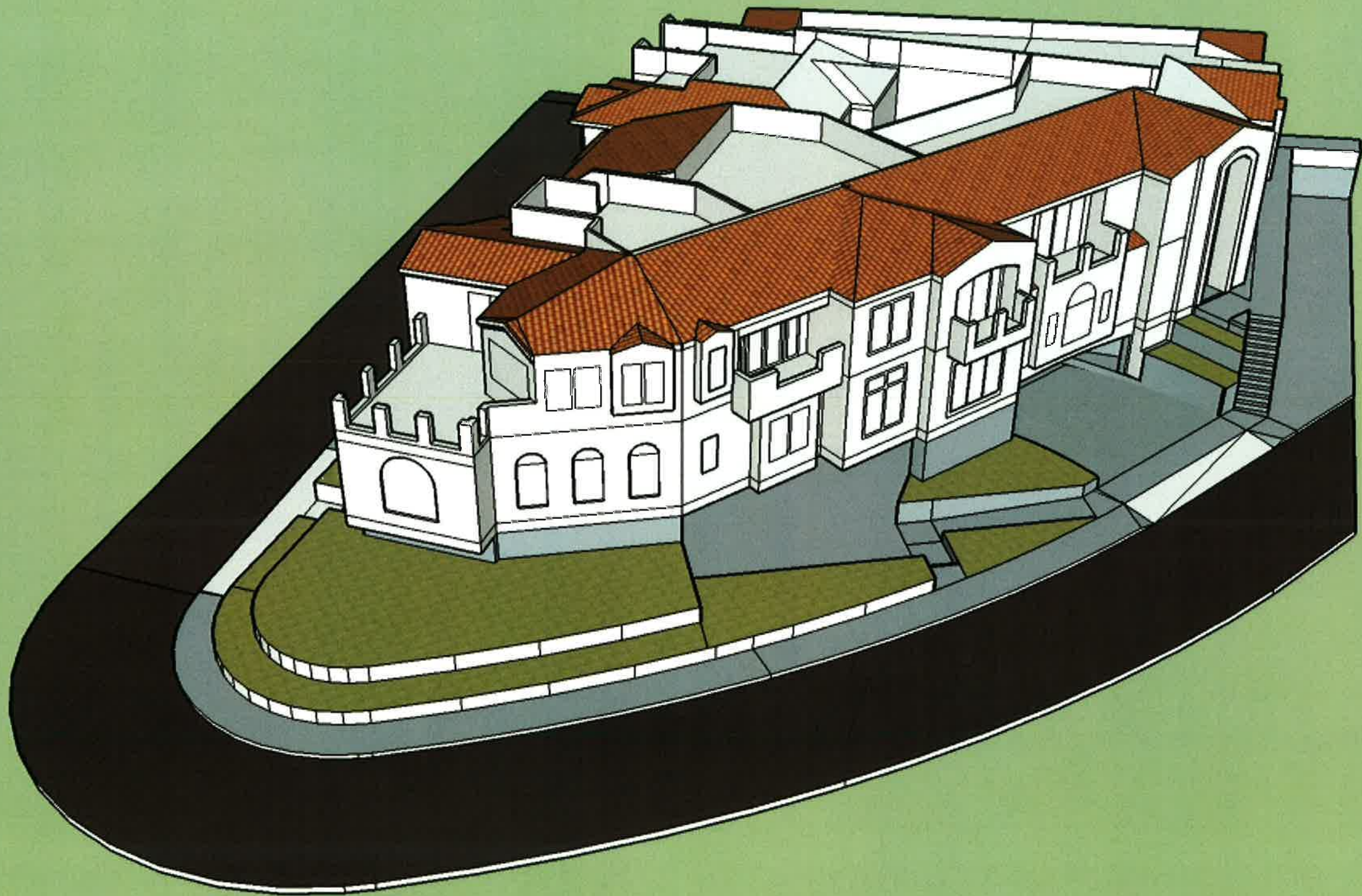


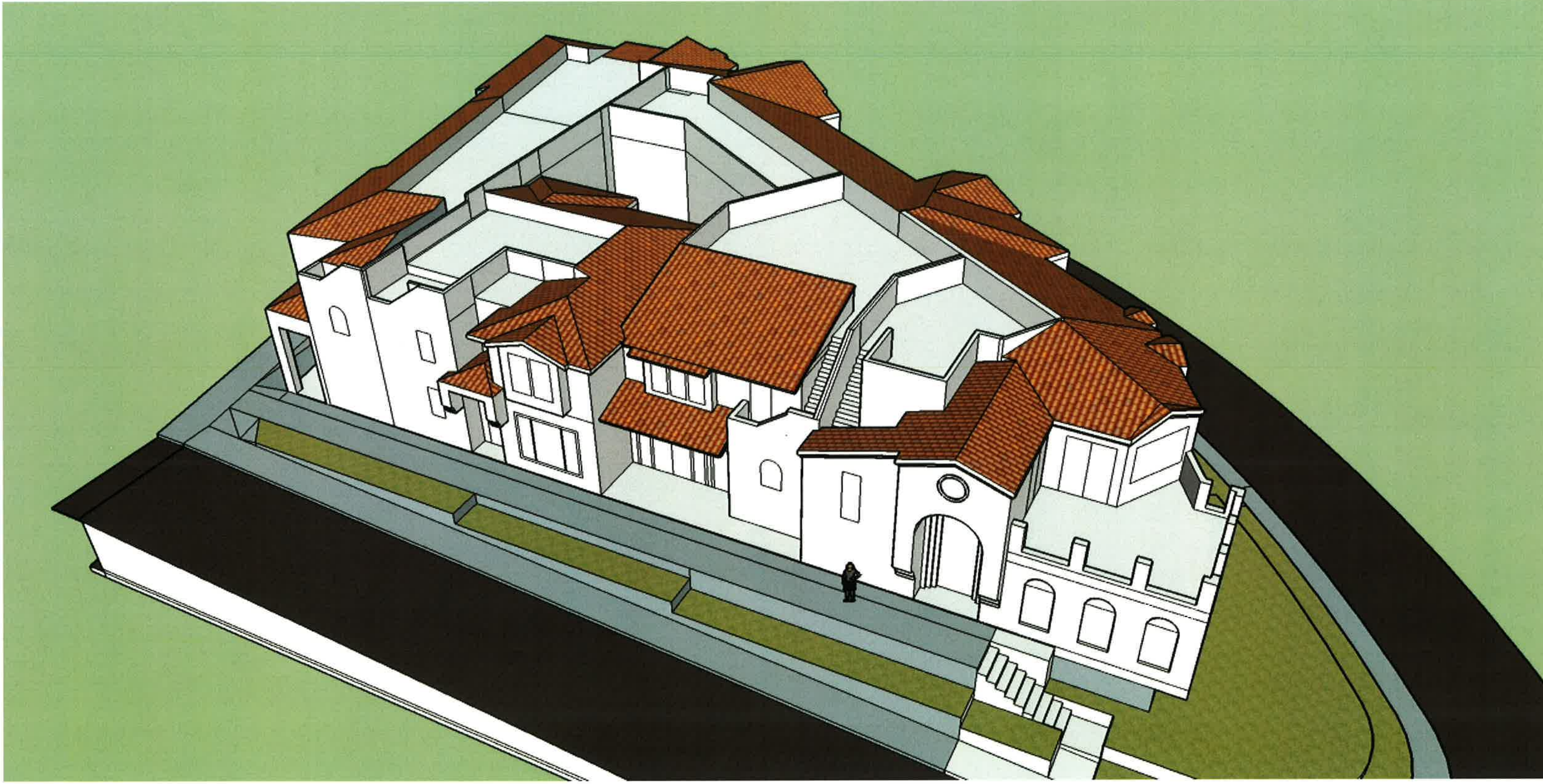
Photo 5



Photo 6









Design Review Subcommittee (DRSC)

Meeting Date: April 23, 2014

PLANNER: Adam Atamian, Assistant Planner

A handwritten signature in blue ink, appearing to be "AA", enclosed in a blue circle.

SUBJECT: **Discretionary Sign Permit 14-066/ Minor Cultural Heritage Permit 14-067, Pep Boys Signage**, a request to consider a Master Sign Program and exterior modifications to an automobile service station building within the Architectural Overlay. The project is located at 1606 North El Camino Real in the Mixed-Use (MU2-p-A) zoning district and Pedestrian and Architectural Overlays.

BACKGROUND:

Project Description

In September 2013, Pep Boys purchased an automotive service business owned by Discount Tires located at 1606 North El Camino Real. Pep Boys immediately started operations and in the transition, removed the main tenant wall signs from the building and installed temporary banners.

The applicant proposes new building signage and new building colors reflective of their corporate image. Staff approved a waiver of a Minor Cultural Heritage Permit in March, 2014, allowing the applicant to paint the grey and purple portions of the building to match the white portion.

Why is DRSC Review Required?

A Discretionary Sign Permit (DSP) is required to modify any signage related to an "automotive service station." A Minor Cultural Heritage Permit (MCHP) is required to modify the exterior of non-residential structures located in the Architectural Overlay. The Design Review Subcommittee (DRSC) reviews DSP and MCHP applications to ensure that the design, scale and materials of the signs and exterior modifications harmonize with the architectural design and details of the building and site they serve, as well as being consistent with the Design Guidelines and character of the neighborhood.

Site Data

The subject site is a 12,000 square foot lot with a 4,300 square foot building. The building includes an office and reception area on the side closest to North El Camino Real, and the rest of the building is used for light automotive service.

The property is located in the Mixed-Use zoning district and Pedestrian and Architectural Overlays. The General Plan designates this area as the North Beach/ North El Camino Real (NB/NECR) Focus Area, and describes it as, "a unique, community- and coastal visitor-oriented entertainment hub and recreation area" that "is an important City gateway along the historic El Camino Real/Pacific Coast Highway" which includes "a rich inventory of historic buildings."

ANALYSIS:*Master Sign Program*

A Master Sign Program is required for any "gas/service station" that proposes new signs or modifications to existing signs (Zoning Ordinance Section 17.84.20.G.d.). According to the definitions of the Zoning Ordinance, a "gas/service station" includes businesses "where gasoline and other fuel products are sold and/or light maintenance activities such as engine tune-ups, lubrication, minor repairs, and carburetor cleaning are conducted." Regardless of the number of signs proposed or the size of the signs, a Master Sign Program approved through the Discretionary Sign Permit process is required for any signage proposed for automotive service stations.

The applicant is proposing two signs. The first is a 56 square foot sign located on the north wall directly facing North El Camino Real. This sign consists of a painted red rectangle on the wall with two lines of white pin-mounted aluminum letters and white and black pin-mounted aluminum logo. The second sign is 27 square feet and located on the west wall facing south bound traffic on North El Camino Real. This sign consists of a red painted rectangle on the wall with one line of white pin-mounted aluminum letters. Both signs are externally lit with black goose-neck light fixtures attached to the wall above the signs. There is no signage proposed over the auto repair bays.

Businesses located in the Architectural Overlay are allowed up to 25 square feet of total signage, unless the proposed signs meet the required findings for, and receive approval of, a Discretionary Sign Permit. One of the findings that must be met for that approval is that "The design and scale of the sign[s are] appropriate to the distance from which the sign[s are] normally viewed" (Zoning Ordinance Section 17.16.250.F.3).

The 56 square foot sign located on the north wall is parallel to the direction of traffic and is across the street from a two-story building that blocks any long-range visibility from the northeast. The sign would also be hard to see for north-bound motorists because the view is distorted until they are nearly directly in front of it. By the time the sign comes into full view a 56 square foot sign is not necessary to attract their attention. This sign is not necessary to attract south-bound motorists, because the 27 square foot sign on the west wall is much more visible in that direction. Photos demonstrating the visibility of this sign are included as Attachment 3.

From a pedestrian perspective, a 56 square foot sign that is within a few feet of the sidewalk and 10 feet above grade is out of scale and dominates the building's façade,

while providing poor pedestrian visibility. The General Plan states that development in the NB/NECR Focus Area is required to “be of high quality design and materials that promote pedestrian activity” (LU-10.06). The size of this sign does not promote pedestrian activity, nor is it necessary for adequate business identification.

The second, 27 square foot sign located on the west wall is more consistent with the required findings necessary to approve signage over 25 square feet in the Architectural Overlay. Though the sign is oriented for vehicular traffic, it appears to be compatible with the scale of the building and sensitive to the pedestrian scale of development in the neighborhood. Staff supports the size of this sign, and the goose-neck lighting proposed for both signs.

Both signs include a red painted rectangle to provide contrast against the white lettering and logo. Though contrast is a necessary aspect of adequate signage, the addition of the red background is not consistent with other recent sign approvals for businesses along El Camino Real or the requirement that signage in the Architectural Overlay have a hand-made appearance. An example of this can be seen at the new Ralph’s grocery store located at 800 South El Camino Real. That business’s corporate logo is also white letters on a red background, however the approved signage consists of a dark bronze pin-mounted logo against the white building walls. Unlike the new Ralph’s, Pep Boys is located in the Architectural Overlay, and the City’s Design Guidelines and General Plan are more specific about the architectural compatibility with the surrounding neighborhood.

The General Plan states that new automobile uses are prohibited in the NB/NECR Focus Area and that the City must be proactive to, “to improve the appearance and compatibility of such properties” (LU-10.15). Additionally, the Design Guidelines do not explicitly describe mixed-media signage, and though hand-painted signs are permitted, the illustrated examples of acceptable sign types show hand-painted letters, not pin-mounted letters on a high contrast painted background. The intent of the Architectural Overlay Sign Design standards is to, emphasize “a pedestrian orientation giving the area a distinct identity” (Zoning Ordinance Section 17.84.020.C).

Exterior Modifications

The applicant proposes to paint the building Sherwin Williams “Nantucket Dune.” The color is an off-white, sand color that is darker than the paint on most other commercial buildings in this area. The Design Guidelines identify the North Beach area as a “Spanish Colonial Revival” district and specify that buildings in this area should incorporate applicable design elements into their designs. While this building is not Spanish Colonial Revival, there are certain design elements that could be included to help increase its compatibility with the district. The Design Guidelines state that for this district, “Plain whitewashed smooth wall surfaces” (Design Guidelines IV.G.2.a) should be used.

RECOMMENDATIONS:

Staff recommends the applicant revise the proposal to increase compatibility with the General Plan, Design Guidelines, and Sign Ordinance in the following ways:

1. Staff recommends the sign located on the north wall be no larger than 20 square feet, or be modified to a blade sign that hangs out from the building.
2. Staff recommends the applicant revise the signs to be black pin-mounted aluminum letters with a black pin-mounted outlined logo to maintain consistency with other approvals and to enhance the building's compatibility with the surrounding properties and the entire NB/NECR Focus Area.
3. Staff recommends the walls remain white to increase compatibility with the North Beach district, and to increase contrast against the recommended black pin-mounted signs.

Staff also has concerns regarding items not included in the proposed Master Sign Program and exterior modification plans, which were not discussed above. These items consist of the following:

1. The Master Sign Program does not discuss banner signs. Between the months of December and February, the Code Compliance division had an open case on this Pep Boys location for failing to reduce the three banner signs originally installed down to the one that was approved with a Temporary Banner Sign Permit. Because of this, and the similar prohibition included in other recently approved master sign programs, staff recommends that the proposed Master Sign Program include a prohibition of all banner, window and temporary signage. Other additional signage devices, such as a portable sign, or an outdoor merchandise display, could be approved by the City Planner in the future. However, the use of banners, window signage and other temporary signs is inconsistent with the intent of the Design Guidelines for handcrafted signage that enhances the character of the area.
2. The proposed Master Sign Program does not include any repair bay signage. If it is to be included, staff recommends that all repair bay signage be limited to a total of 10 square feet. If it is not included as part of this Master Sign Program, it will require an amendment to the Discretionary Sign Permit to add those signs later.
3. The property does not comply with the City's minimum landscaping requirements. While the site, in its current configuration, doesn't leave much space available for additional landscaping, staff recommends that the applicant incorporate

landscaping into the site where possible. Some possibilities are espaliered vines on the block portion of the north wall and the west wall closest to the alley at the rear of the property, taller shrubs in the planter area in front of the north wall, and the removal of some asphalt along the west side of the lot fronting North El Camino Real and the installation of medium height shrubs and trees.

Staff seeks DRSC comments and any additional recommendations for the proposal.

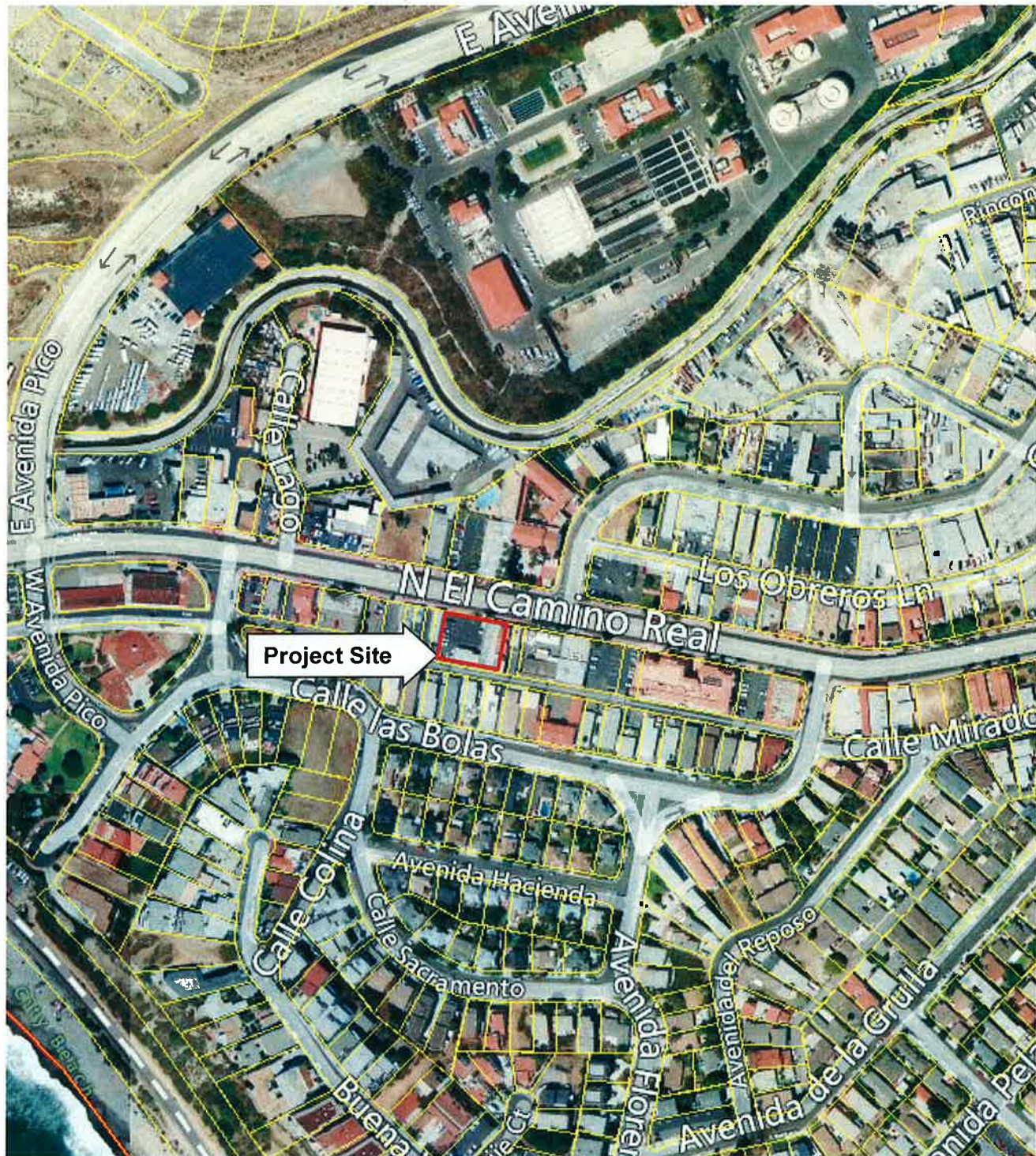
Attachments:

1. Location Map
2. Photo of building
3. North wall sign visibility photos
4. Master Sign Program, with proposed exterior modifications



LOCATION MAP

Discretionary Sign Permit 14-066/ Minor Cultural Heritage Permit
14-067, Pep Boys Signage
1606 North El Camino Real



No scale 



04/07/2014



North Wall Sign Visibility Traveling South



North Wall Sign Visibility Traveling North



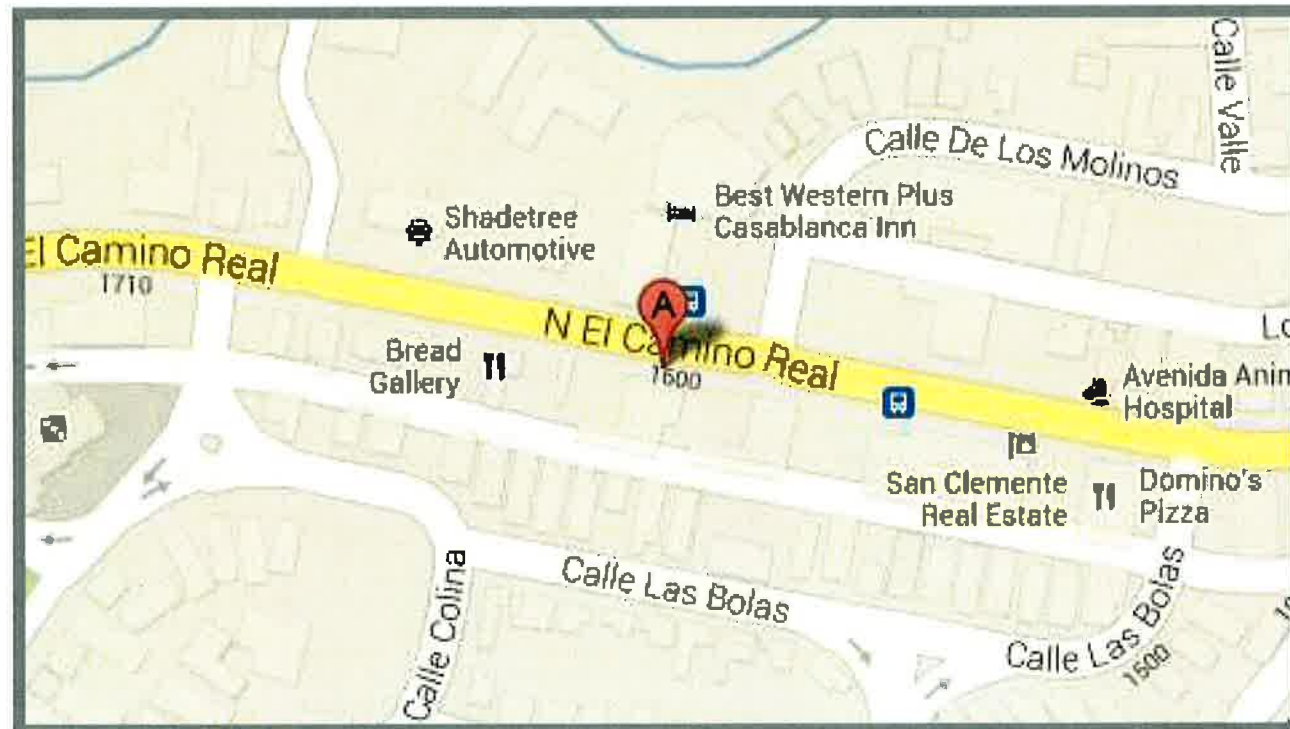


SCHEDULE

- N1 - PROPOSED ILLUMINATED WALL SIGN
- N2 - PROPOSED ILLUMINATED WALL SIGN

DISCRETIONARY SIGN PERMIT APPLICATION
MINOR ARCHITECTURAL PERMIT APPLICATION

LEGAL DESCRIPTION: TRACT 821, BLOCK 1, LOTS 16, 17, 18
APN: 692-371-11
LOT SIZE: 12,000 SQ. FT."

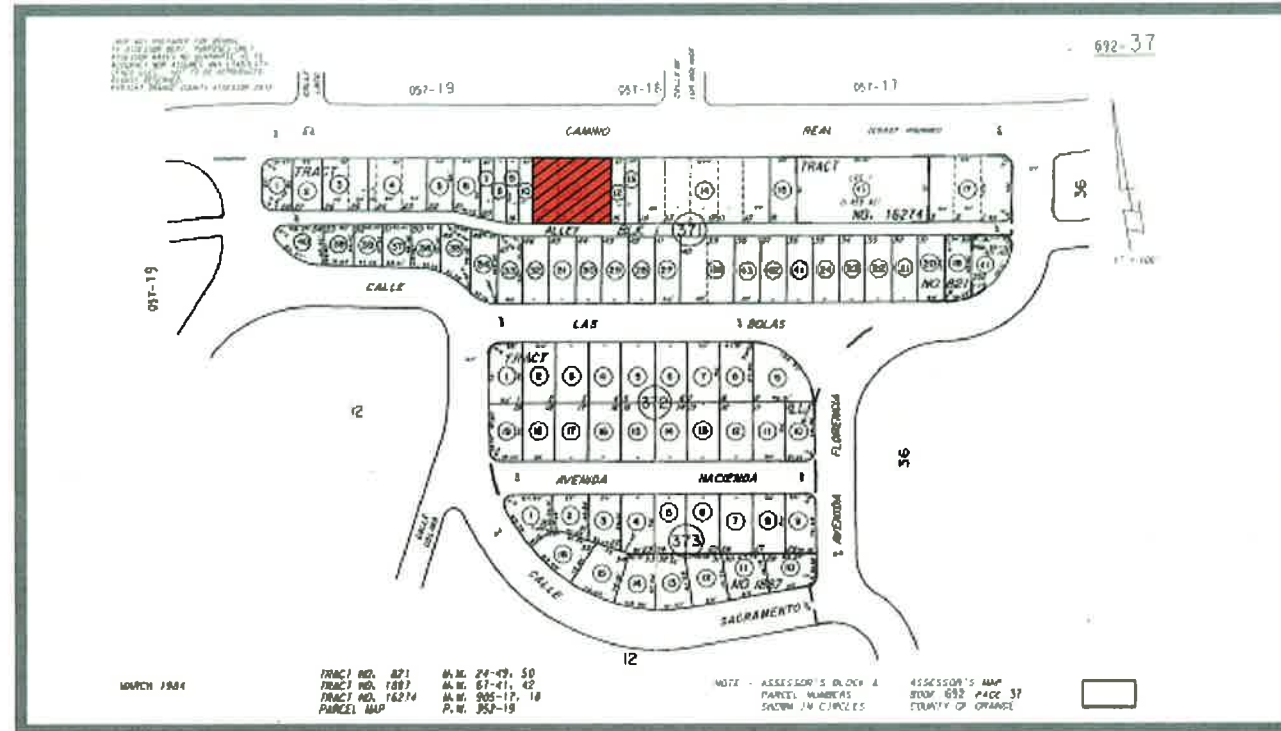


VICINITY MAP

Not To Scale

PEPBOYS

1606 N. El Camino Real
San Clemente CA 92672



ASSESSOR'S PARCEL MAP

Not To Scale



AERIAL PHOTO / SITE PLAN

Not To Scale



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Los Angeles, CA



DRAWING/REVISION NO.:
06-13-0175R13

PAGE NO.:

1 OF 6

CLIENT:

Pep Boys

ADDRESS

1606 N. El Camino Real
San Clemente CA 92672

CONTACT:

DATE:

06/11/2013

SALES REP.:

Dan Lorenzon

DESIGNER:

JAMES JAVIER

REVISION DATE:

03/24/14

REVISION BY:

NICK MORA

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2 OF 6

CLIENT:
Pep Boys

ADDRESS
1606 N. El Camino Real
San Clemente CA 92672

CONTACT:

DATE:
06/11/2013

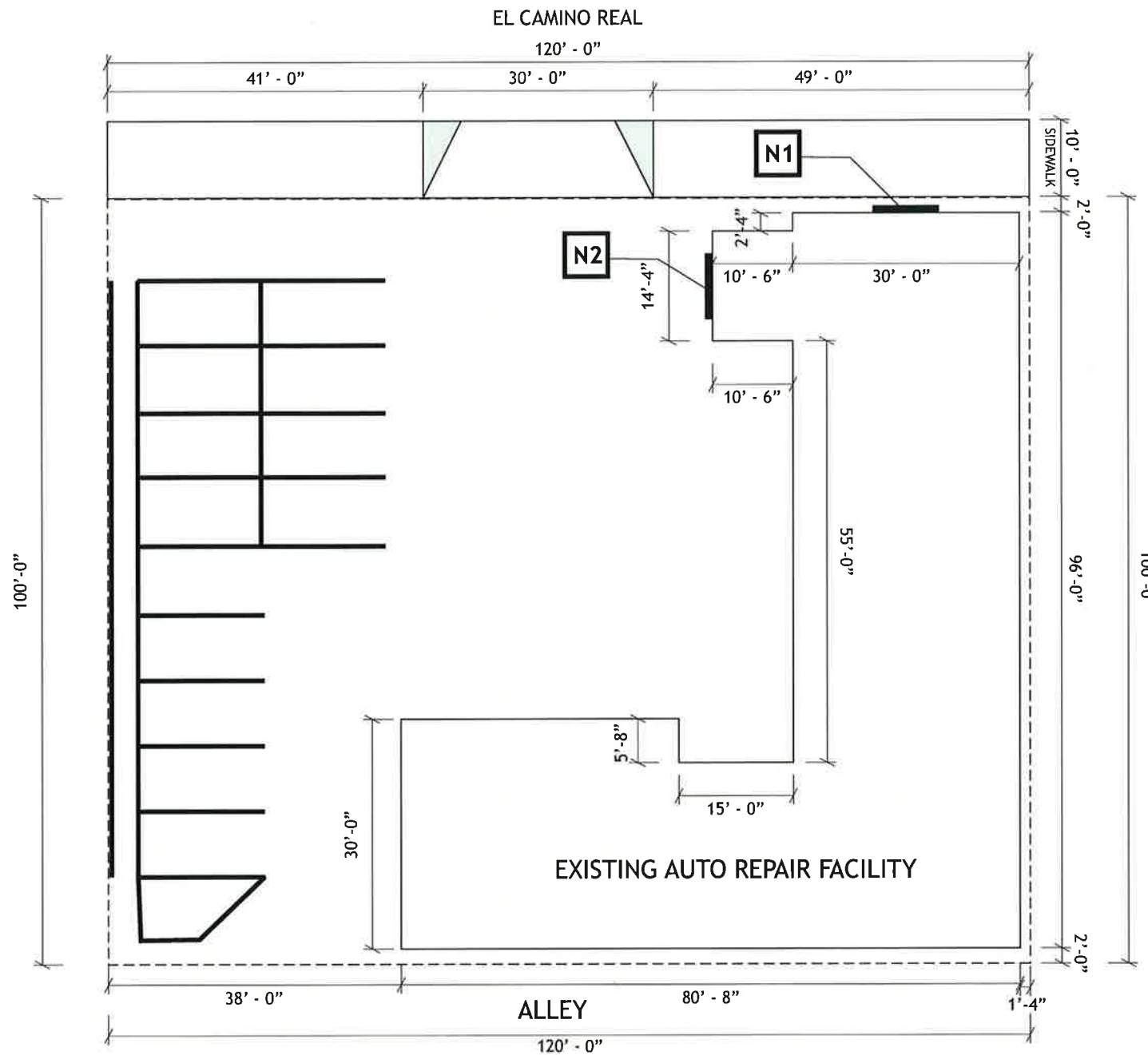
SALES REP.:
Dan Lorenzon

DESIGNER:
JAMES JAVIER

REVISION DATE:
03/24/14

REVISION BY:
NICK MORA

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LEGEND:

N1 NEW PROPOSED 55.94 SQ. FT. EXTERNALLY ILLUMINATED "PEP BOYS AUTO SERVICE & TIRES" WALL SIGN

N2 NEW PROPOSED 26.9 SQ. FT. EXTERNALLY ILLUMINATED "PEP BOYS AUTO SERVICE & TIRES" WALL SIGN



SITE PLAN

Scale: 1" = 20'



N1 EXTERNALLY ILLUMINATED F.C.O. 1/4" ALUMINUM PLATE LOGO AND LETTERS
SIGN AREA = 55.94 SQ. FT.

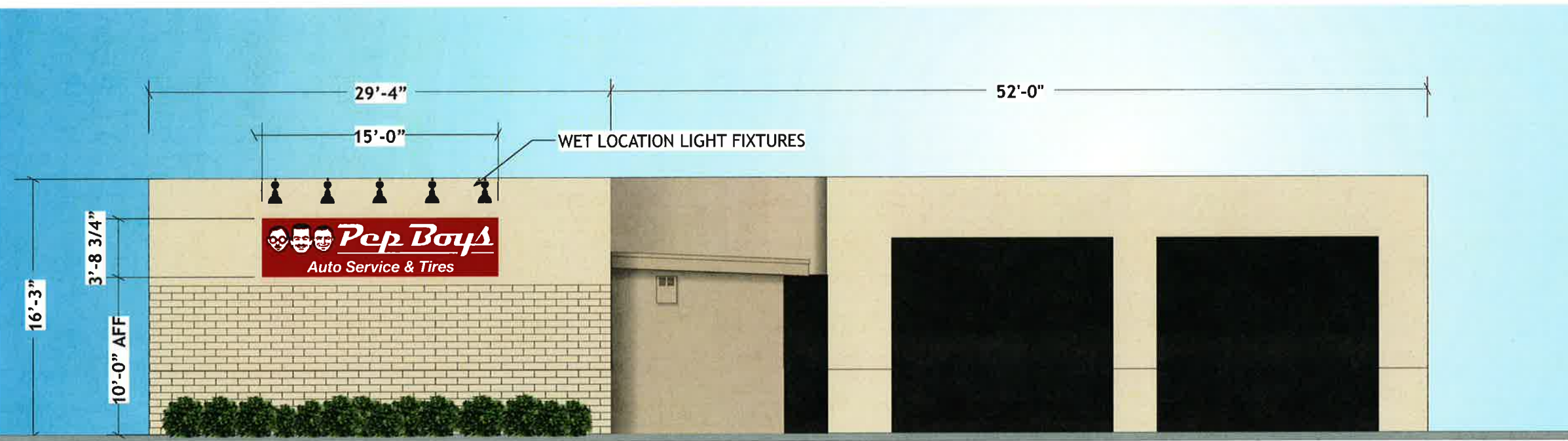
Scale: 1/2" = 1'-0"

SCOPE OF WORK

- 1.) REMOVE EXISTING SIGNS
- 2.) PAINT BUILDING AS SHOWN
- 3.) MANUFACTURE AND INSTALL (1) SET OF EXTERNALLY ILLUMINATED LOGO AND LETTERS

BUILDING MATERIAL/COLOR SPECIFICATIONS

RED	GREEN	BLUE	Benjamin Moore
			Sherwin Williams
	R187	G47 B54	Sw6865 Gypsy Red
	R208	G192 B171	SW7527 Nantucket Dune
	R174	G158 B136	SW7549 Studio Taupe



NORTH ELEVATION

Scale: 1/8" = 1'-0"



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12226 Coast Drive
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Tel: (562) 946-7545
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St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

06-13-0175R13

PAGE NO.:

3 OF 6

CLIENT:

Pep Boys

ADDRESS

1606 N. El Camino Real
San Clemente CA 92672

CONTACT:

DATE:

06/11/2013

SALES REP.:

Dan Lorenzon

DESIGNER:

JAMES JAVIER

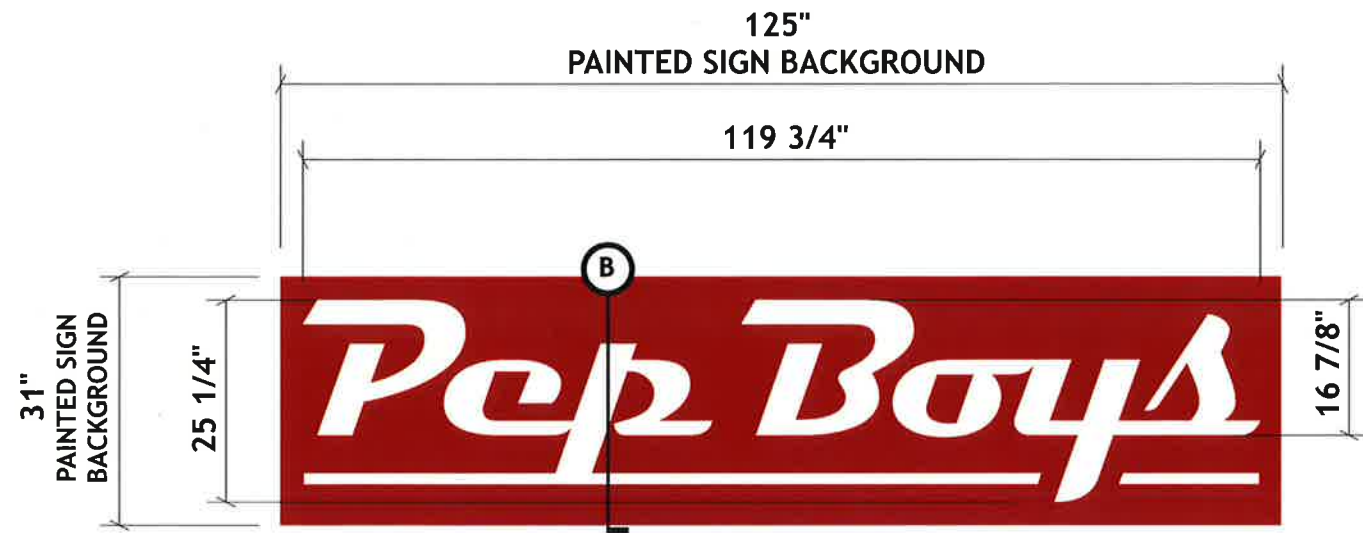
REVISION DATE:

03/24/14

REVISION BY:

NICK MORA




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SCOPE OF WORK

- 1.) REMOVE EXISTING SIGNS
- 2.) PAINT BUILDING AS SHOWN
- 3.) MANUFACTURE AND INSTALL (1) SET OF EXTERNALLY ILLUMINATED LOGO AND LETTERS

BUILDING MATERIAL/COLOR SPECIFICATIONS

	RED	GREEN	BLUE	Benjamin Moore	Sherwin Williams
	R187	G47	B54	Sw6865 Gypsy Red	
	R208	G192	B171	SW7527 Nantucket Dune	
	R174	G158	B136	SW7549 Studio Taupe	

N2 EXTERNALLY ILLUMINATED F.C.O. 1/4" ALUMINUM PLATE LETTERS
SIGN AREA = 26.9 SQ. FT.

Scale: 1/2" = 1'-0"



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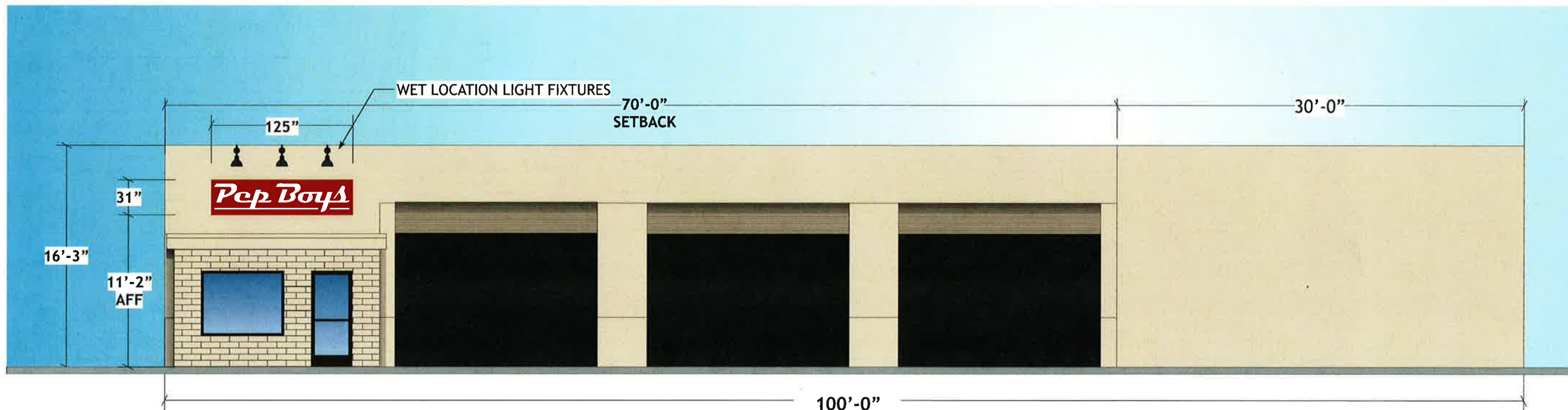
JAMES JAVIER

REVISION DATE:

03/24/14

REVISION BY:

NICK MORA



WEST ELEVATION

Scale: 1/8" = 1'-0"

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06/11/2013

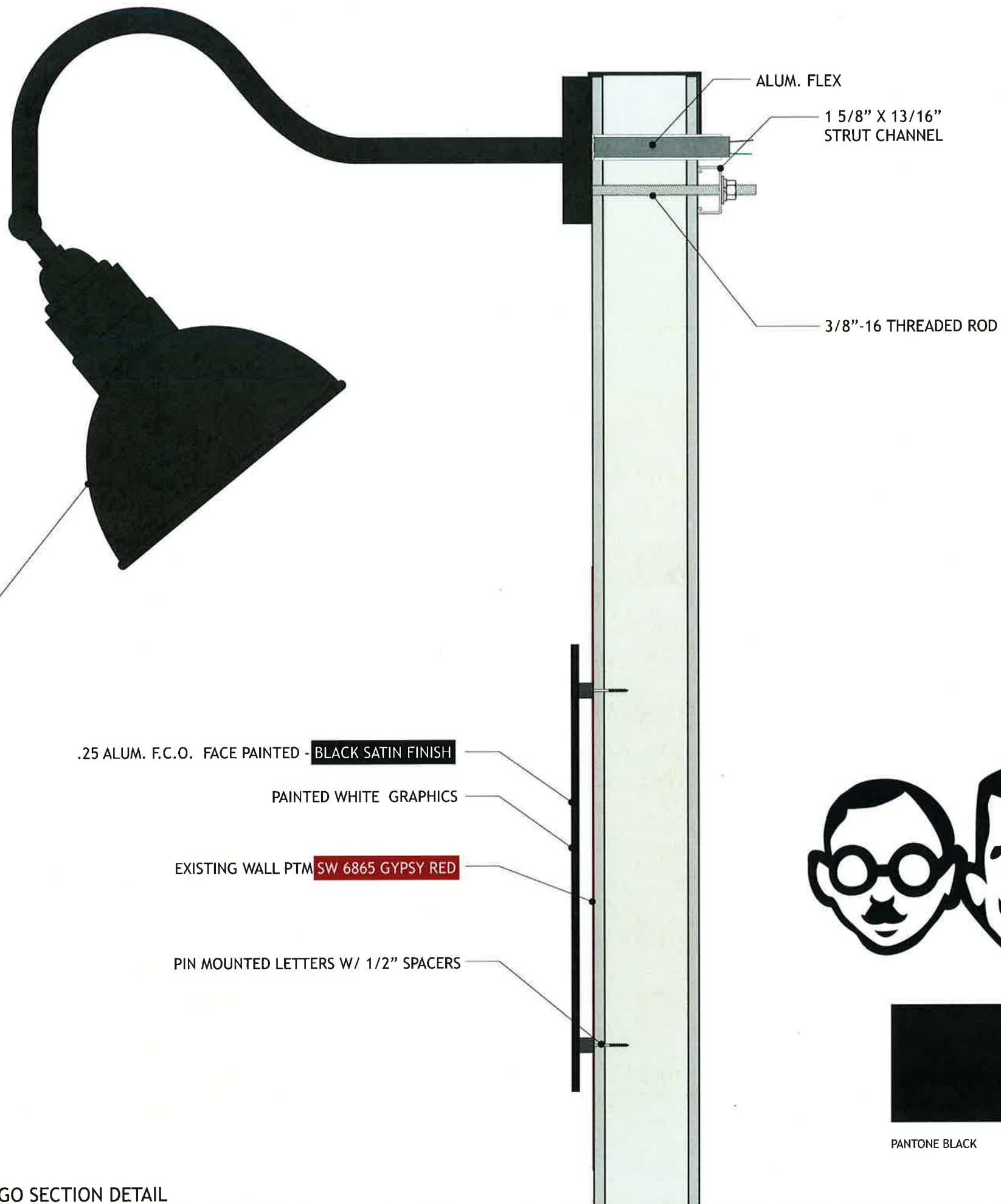
SALES REP.:
Dan Lorenzon

DESIGNER:
JAMES JAVIER

REVISION DATE:
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LOREN PART#GN-20\850

.25 ALUM. F.C.O. FACE PAINTED - **BLACK SATIN FINISH**

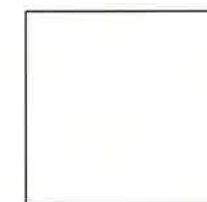
PAINTED WHITE GRAPHICS

EXISTING WALL PTM **SW 6865 GYPSY RED**

PIN MOUNTED LETTERS W/ 1/2" SPACERS



PANTONE BLACK

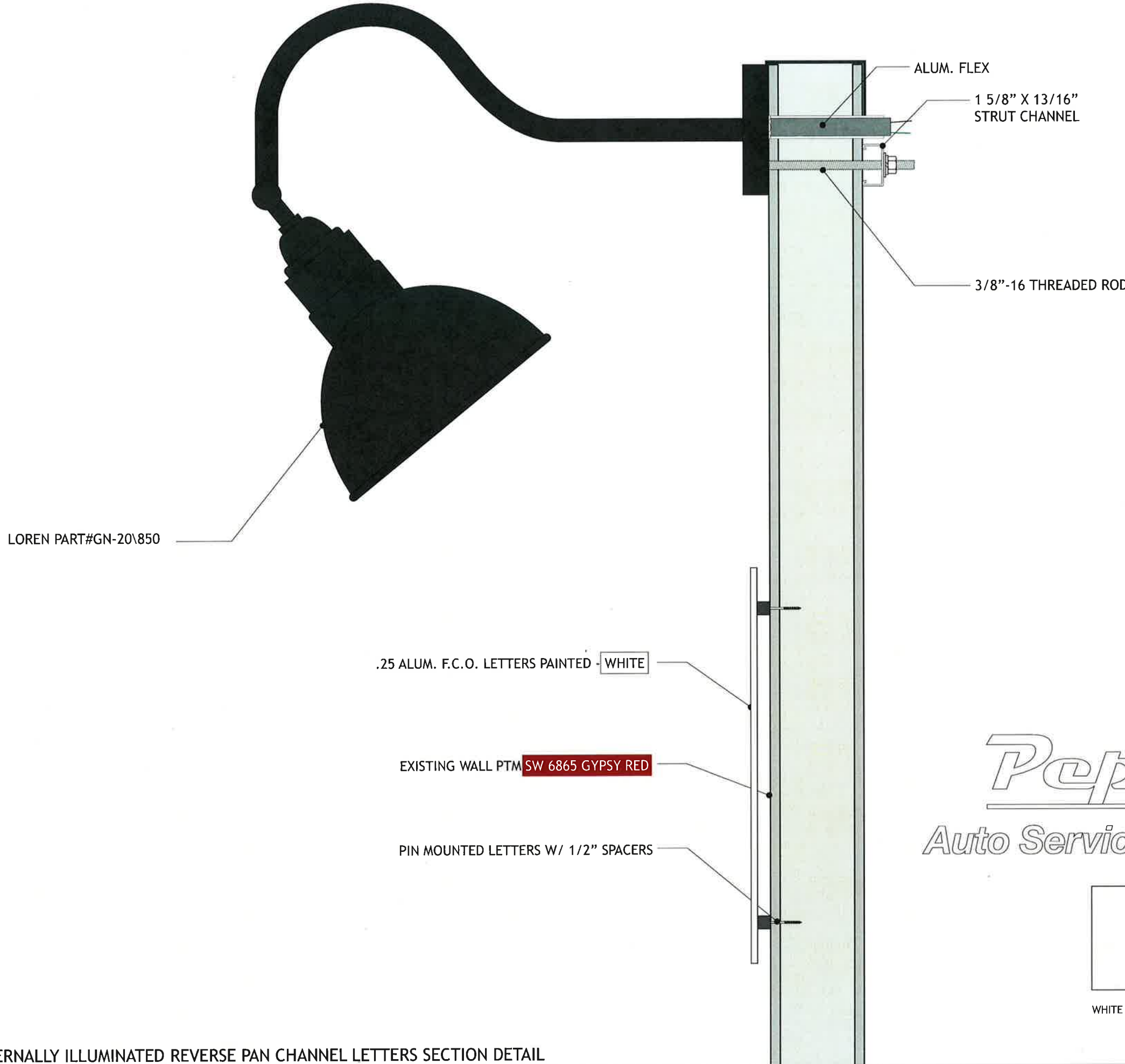


WHITE

A

EXTERNALLY ILLUMINATED F.C.O. LOGO SECTION DETAIL

Scale: N.T.S.



LOREN PART#GN-20\850

ALUM. FLEX

1 5/8" X 13/16" STRUT CHANNEL

3/8"-16 THREADED ROD

.25 ALUM. F.C.O. LETTERS PAINTED - WHITE

EXISTING WALL PTM SW 6865 GYPSY RED

PIN MOUNTED LETTERS W/ 1/2" SPACERS

Pep Boys
Auto Service & Tires



WHITE

B EXTERNALLY ILLUMINATED REVERSE PAN CHANNEL LETTERS SECTION DETAIL

Scale: N.T.S.



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Design Review Subcommittee (DRSC)

Meeting Date: April 23, 2014

PLANNER: Amber Gregg, Associate Planner 

SUBJECT: Conditional Use Permit 14-084 and Minor Exception Permit 14-085 Coastal Duplex/ Conditional Use Permit 14-086 and Minor Exception Permit 14-087, Resmky Duplex/ Conditional Use Permit 14-088 and Minor Exception Permit 14-089, Cade Duplex/ Conditional Use Permit 14-090 and Minor Exception Permit 14-091, Beller's Duplex/ Conditional Use Permit 14-092 and Minor Exception Permit 14-093, Sclementem Duplex, a request to consider five separate projects each consisting of two duplexes to be built on ten separate, but contiguous, lots for a total of 20 units. A minor exception permit is requested for each project to consider walls exceeding 42 inches high in the front yard setback up to five feet and MEP14-093, Lot 114 request a reduced side yard setbacks on the corner lot.

BACKGROUND:

This project was reviewed by Design Review Subcommittee (DRSC) preliminarily on January 15, 2014. The project was called Surfer's Row. There are now five separate applications, and each application consists of two duplexes, for a total of 20 units. The project is proposed on ten separate, but contiguous lots at 2721-2739 South El Camino Real, in the area described as the "Surf Zone" in the Draft General Plan.

The duplexes' parcels each measure approximately 4,000 square feet and have dimensions of 40 by 100 feet. They are through lots with frontage on El Camino Real and Avenida Comercio. Visually, the front of the units will be off El Camino Real and the garages will face Comercio. Per Zoning Ordinance Section 17.040.030, a Conditional Use Permit is required for residential projects in a mixed use zone (MU5.1).

Surrounding land uses include commercial/office to the north, residential to the east, the I-5 freeway to the west and commercial to the south.

ANALYSIS:

As shown in Table 1, the proposed project complies with development standards for the MU5.1 zone, with the exception of two developer requests which will be detailed later in this report.

Table 1
MU5.1 Zone Development Standards

	<i>Requirements/Allowed</i>	<i>Proposed Project</i>
<u>Density</u>	1 du/1,200 sf of lot area	1 du/2,000 of lot area
<u>Setbacks</u> (Minimum)		
Front	10'	10'
Garage	18'	18'
Side	5'	5'
Street-Side	8'	6'5" *
<u>Lot Coverage</u> (Maximum)	55%	55%
<u>Building Height</u> (Maximum)	33'; 26' plate line & 2 Stories	31'; 26' plate line & 2 Stories
<u>Parking</u> (Minimum)	4 spaces (2 per unit)	4 spaces (2 per unit)

* Applicant has applied for an MEP for a reduction of 20% to the street side yard setback.

The minor exception requests are for reduced side yard setback on the street corner lot, and an increase in the permitted front yard wall height from 42 inches to five feet. This request is to help mitigate noise generated from the freeway across the street, and to provide yard privacy.

For analysis on the architecture and site plan, please refer to the previous DRSC Staff Report, Attachment 2.

Table 2 provides DRSC comments from the previous review, and summarizes how the applicant has addressed them.

Table 2
DRSC Comments and Modifications

DRSC Comments	Modified
Remove the "dog houses" or third story from the back of the buildings.	Modified as requested. The applicant has removed.
Modify deck openings along El Camino	Modified as requested. Enhanced balcony elevation with additional wood column at center of span and added high wood louvered valances between columns.

DRSC Comments	Modified
Add landscaping between the wall and sidewalk	Slightly Modified. The applicant believes there is sufficient landscaping in the planters shown along the wall, and that adding a pocket vine would cover the decorative veneer. The applicant has added landscaping between the wall and sidewalk on the front of the end lot.
Increased architectural details.	Modified as requested. Applicant added additional plantation shutters to the elevations and increased the roof pitch.
Add color to project so the aqua color does not stand out so much.	Modified as requested. A fourth color scheme of a “sea foam” green color with darker trim has been added. Color schemes will be provided at meeting.

RECOMMENDATIONS:

Staff recommends the DRSC provide comments and feedback. Staff recognizes that the applicant has addressed a majority of DRSC concerns, with the exception of the landscaping between the walls and the sidewalk along El Camino Real. The architectural details give the structures a more traditional Polynesian look.

Attachments:

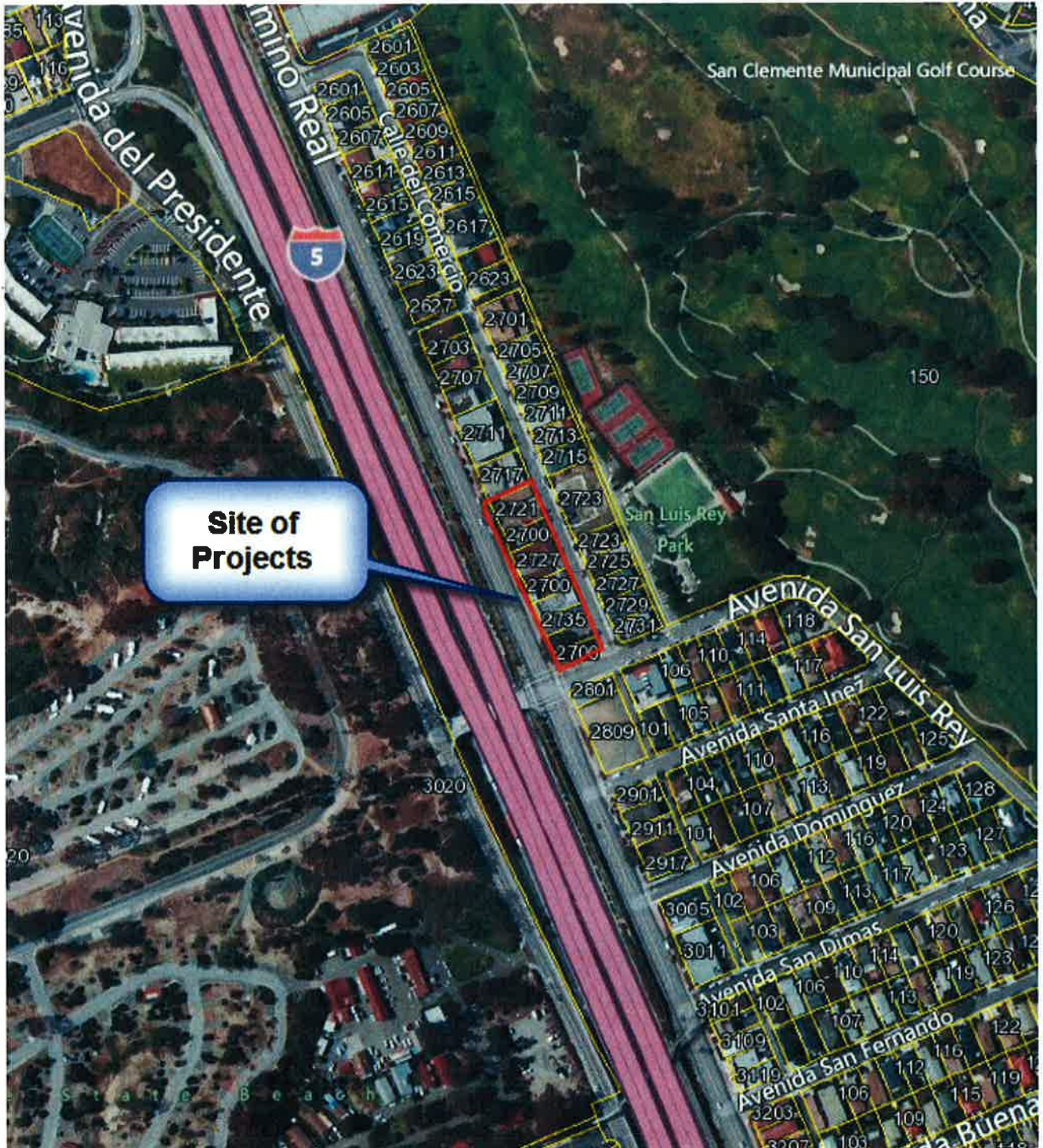
1. Location Map
2. DRSC Report, January 15, 2014
3. DRSC Minutes, January 15, 2014
4. Photos of Existing conditions
5. Previous Elevations
6. Proposed Street Scene

Plans



LOCATION MAP

El Camino Real Duplexes
2721 to 2739 South El Camino Real



No scale



Design Review Subcommittee (DRSC)

Meeting Date: January 15, 2014

PLANNER: Amber Gregg, Associate Planner

SUBJECT: **Conditional Use Permit 13-496 and Minor Exception Permit 13-503, Surfer's Row**, a request to consider ten duplexes to be built on ten separate, but contiguous, lots for a total of 20 units. A minor exception permit is request to consider reduced side yard setbacks on the corner lot, and for walls exceeding 42 inches in the front yard setback up to five feet.

BACKGROUND:

This is a preliminary review of ten duplexes proposed at 2721-2739 South El Camino Real, part of the area described as the "Surf Zone" in the Draft General Plan. Since this is the first the first proposed project in the Surf Zone, staff wants to get early feedback from the Design Review Subcommittee (DRSC) on the design and architecture to ensure it is consistent with the goals and vision for the area. The project will return to DRSC for a detailed review in the near future.

The project consists of ten separate, but contiguous lots. The parcels each measure approximately 4,000 square feet and have dimensions of 40 by 100 feet. The parcels are through lots with frontage on El Camino Real and Avenida Comercio. Visually, the front of the units will be off El Camino Real with the garages facing Comercio. Per Zoning Ordinance Section 17.040.030, a Conditional Use Permit is required for residential projects in a mixed use zone (MU5.1).

Surrounding land uses include commercial/office to the north, residential to the east, the I-5 freeway to the west and commercial to the south.

ANALYSIS:

The proposed project complies with development standards for the MU5 zoning district with the exception of two minor exception requests which will be detailed later in this report.

Table 1
Development Standards

	<i>MU5 Zone Requirements</i>	<i>Proposed Project</i>
<u>Density</u>	1 du/1,200 sf of lot area	1 du/2,000 of lot area
<u>Setbacks</u> (Minimum)		
Front	10’	10’
Garage	18’	18’
Side	5’	5’
Street-Side	8’	6’5” *
<u>Lot Coverage</u> (Maximum)	55%	55%
<u>Building Height</u> (Maximum)	33’; 26’ plate line & 2 Stories	31’; 26’ plate line & 2 Stories
<u>Parking</u> (Minimum)	4 (2 per unit)	4 (2 per unit)

* Applicant has applied for an MEP for a reduction of 20% to the street side yard setback.

The minor exception request are for a reduced side yard setbacks on the street corner lot, and an increase in the permitted front yard wall eight of 42 inches to five feet. This request is to help mitigate noise generated from the freeway across the street, as well as provide yard privacy.

General Plan

The Draft Centennial General Plan states the following for the Surf Zone area.

GOAL:

Create a coastal visitor- and community-serving corridor that welcomes travelers and celebrates the City’s surf history and culture and a vibrant, mix of shops, dwellings, services and public spaces easily accessed by pedestrians and bicyclists.

Policy LU-14.03. **Surf Culture Design.** We acknowledge and promote the South El Camino Real’s eclectic, surfing heritage by encouraging a wide range of architectural styles and materials, including “surf culture” architectural style, consistent with the City’s Design Guidelines.

Architecture

The applicant is proposing "Polynesian/Hawaiian" architecture. The applicant has incorporated the following character-defining details in the product: higher and variable pitched roofs, simulated wood shake roofing material, board and batten siding, covered "lanai" porches, wood shutters, bright exterior color palette and wood tones.

There are two designs, the Tortola and the Antigua, and each design has three different color schemes. The applicant is proposing to use one floor plan on six lots and the second floor plan on four. The designs will be repeated and reversed in a similar manner as a tract home development.

Staff has concerns with the Tortola floor plan. The Tortola floor plan is two-stories in height, with the Avenida Comercio elevation having a covered staircase to the roof deck. The covered stairway spans about half the width of the structure and gives the appearance of the three-story building from Avenida Comercio. These structures are locally known as "dog houses". Staff has concerns with this element which will be reviewed in the *Recommendation* section of this report.

Site Design

There is a two-foot grade difference between El Camino Real and Avenida Comercio, with Comercio having the higher elevation. All vehicular access is provided off Avenida Comercio so there will be no curb cuts needed on El Camino Real. With the freeway directly adjacent to the project, the applicant is requesting a five-foot tall garden wall along El Camino Real for noise mitigation. The wall would be treated with a decorative stone veneer and will have pockets of landscaping between each of the units to help provide undulation and pedestrian interest along the frontage.

RECOMMENDATIONS:

Staff commends the applicant for embracing the Surf Zone policy and crafting a project that they believe is supportive of the City's goals and vision. With limited direction in the Draft Centennial General Plan regarding design, and no design guidelines for the surf zone, it is difficult for staff and the applicant to precisely define the envisioned style of new developments. For that reason, staff is requesting preliminary review and feedback from DRSC.

In addition, staff would like DRSC's opinion concerning the covered roof deck stairs, "dog house" on the Tortola plan.

Concerning the covered stairs, in the MU3 and RM zones the DRSC has generally discouraged covered stairways. Staff believes that the structure falls under the "story" definition and thus, would be considered a third story.

"Story" means that portion of a building included between the surface of any floor and the surface of the floor above it. If there is no floor above the surface floor, then a story shall be the space between the surface of a floor and the ceiling above it.

If the DRSC concurs that this feature meets the "story" definition, the structure would not be permitted.

Attachments:

1. Location Map
 2. Photos of Existing conditions
- Plans

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
JANUARY 15, 2014**

Subcommittee Members Present: Michael Kaupp, Julia Darden and Bart Crandell

Staff Present: Cliff Jones, Adam Atamian, Amber Gregg and John Ciampa

1. MINUTES

Minutes approved: December 11, 2013

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

**A. Minor Architectural Permit 13-475, Stewart Surfboards Tree Carving
(Atamian)**

A request to consider an artistic carving of a palm tree on private property, located at 2102 S. El Camino Real in the Neighborhood Commercial zoning district (NC3).

Assistant Planner Adam Atamian summarized the report.

During Mr. Atamian's presentation, Subcommittee Member Darden stated that she had difficulty locating all of the required trees on the property, and asked if the applicant would consider adding another tree to the portion of the property fronting South El Camino Real. Mr. Atamian stated that the landscaping standards that apply to this site require at least six 15-gallon trees or equivalent. He went on to explain that this site includes a grove of 15-gallon or larger palm trees on the side of the property facing East Avenida Cornelio and in conjunction with the other trees on the site, this requirement is amply met. Mr. Atamian stated that he does not know whether the applicant would be willing to include the addition of a new 15-gallon tree in the application, but stated that he will discuss it with the applicant.

Subcommittee Member Kaupp had some questions for staff. First, he asked whether the applicant would be allowed to simply cut the tree down, and if design review would be required to do so. Mr. Atamian stated that they could cut down the tree without going through the design review process. Second, Mr. Kaupp asked if there was any requirement that the applicant demonstrate that the tree was diseased prior to carving it. Mr. Atamian answered in the negative. Third, Mr. Kaupp asked how this carved tree, and the mural on the building, are not considered signage

when other art pieces, such as the previous application for the Apple Market mural, are considered signage because they illustrate a product or service sold on the premises. Mr. Atamian stated that the mural on the side of the building is ocean-themed, and not directly surf-related. As for the tree carving, Mr. Atamian stated that staff determination is based on the Centennial General Plan's designation of this area as the South El Camino Real Focus Area which promotes the City's surfing heritage. Staff finds that the tree carving is reflective of this designation and promotes the area's surf heritage, and therefore can be defined as art rather than signage.

City Planner Jim Pechous stated that he agreed with Mr. Atamian's assessment of the tree carvings description, and discussed the need to address art in the Design Guidelines. Furthermore, he stated that a budget proposal currently in the development stages involves a collaboration project with Cal Poly San Luis Obispo students to help further define the South El Camino Real Focus Area's design guidelines and streetscape design goals.

Subcommittee Member Kaupp stated that he doesn't necessarily have any issues with this application, but he thinks that in order to provide credible design review, better tools are needed for reviewing these types of projects.

Subcommittee Member Darden stated that she believes that the City has approved a surfing-themed mural on a surf shop building previously, and that the lines between art and signage are somewhat blurred. She stated that she sees this tree carving as art, but would like to see the applicant include the planting of a new tree in the application.

Mr. Atamian added that in discussions with the applicant since the time of the completion of the staff report, the applicant, Bill Stewart, has made it clear that the carving is not complete and that further refinement of the human figure will be done pending approval of the application. Mr. Atamian introduced the applicant's representative, Leah Evans. Ms. Evans stated that the applicant would take additional landscaping into consideration, and probably would have no objections to it.

Subcommittee Member Crandell asked if someone cut a tree down to a stump, whether the City would have any authority to require the stumps removal. Mr. Atamian stated that any site modifications to a non-residential property require some type of design review.

Subcommittee Member Crandell displayed some pictures of tree carvings from a public park in Oregon where the city invited artists to carve trees into public art. Mr. Crandell stated that the design of the tree carving is an

iconic surfing image and that most cities that have public art in private development requirements allow depictions of the services provided on-site as long as there is no branding.

Ms. Evans stated that the tree carving is meant to be art and not specifically an advertisement for the business. She passed out some artistic renderings of how the carving will look when finished. She stated that the applicant decided to leave the base uncarved to help maintain the structural rigidity of the piece. Additionally, the applicant intends to seal the carving with a clear sealant, to maintain the unstained look of the piece.

The Subcommittee suggested the project move forward for Zoning Administrator for review.

B. Cultural Heritage Permit 13-215, Casa Ammirato (Ciampa)

A request to consider an addition to a historic house and hardscape improvements to the property. The project is located at 418 Cazador Lane in the Medium Density Residential zoning district and Architectural Overlay of the Pier Bowl Specific Plan (PBSP/RM-A).

Associate Planner John Ciampa summarized the report.

Subcommittee Member Darden asked staff to clarify the background in the report because there seemed to be some discrepancy with the direction provided by the Planning Commission on the December 4, 2013 meeting.

Mr. Ciampa explained that staff researched the historic photos of the property and the applicant's inspection and photos of the enclosed balcony and it was determined that the enclosed balcony was either original to the construction of the house or added shortly after the house was constructed. Either way the enclosed balcony would be considered historic and should remain.

The applicant, James Glover, discussed the changes to the project throughout the process and how the applicants met with the City and the San Clemente Historic Society and all presumed the enclosed balcony was not original and were in favor of its removal. He stated that the revised design is to increase the size of the original windows for the enclosed balcony from 12 to 20 inches in width to improve the ocean view and still be in proportion with the elevation. He stated that the new property owners have had issues with a fire in their home and are requesting the exterior stairs for an alternative exit. The applicants have a concern with moving the north facing window away from the decorative post because it would impact the spacing to allow for a bed in the master

bedroom. The applicant and owners requested to get clear direction and resolution on the project because they have been in the process for almost a year and would like to move forward and get their project approved.

Subcommittee Members Kaupp and Darden stated that it may be appropriate to have the enclosed balcony analyzed by a historic preservation architect to determine if the element is historic and should remain or if the enclosed portion of the balcony could be eliminated and still comply with the Secretary of the Interior's Standards.

Subcommittee Member Crandell stated that in his opinion the enclosed balcony is a detriment to the building. He believed it was likely a later addition and is still in favor of eliminating the enclosed balcony. He was not in favor of the exterior stairs because they are attached to the house and because they would not look like they were originally intended for the house.

President of the Historic Society, Larry Culbertson, stated that a historic preservation historian or architect should review all projects that have a potential to impact a historic resource. He stated the importance of the review for this project because it is a Historic Landmark and the area has the potential to be a historic district. He stated the City should not approve any projects that have the potential to have a negative impact on a historic resource. He also expressed his concern of how much a historic structure can be altered and still qualify for the Mills Act.

Neighbor to the project, Kim Miles and her husband Michael Schmit, stated that they do not dispute that the enclosed balcony does not look original but it is shown in photographs from 1927. They stated that the property is a Historic Landmark and the project should comply with the Secretary of the Interior's Standards. His concern for the project was when changes are made to a historic property it will never be able to be put back. He noted that the Sea Cliff property has a similar balcony as the subject property.

The applicant stated that they want the project to move forward and want the path of least resistance.

Neighbor of the property, Dorothy Prohaska, stated that the property is operating as three units and it is creating a serious parking issue in the neighborhood.

The applicant and owner stated that when the property was purchased it was three separate units and they are planning on converting the property back to a single family residence as part of the project.

Subcommittee Member Crandell explained to the members of the public that the DRSC does not design the project they only give recommendations for the applicants consideration.

The Subcommittee stated that if the applicants wanted to hire a historic preservation architect or historian to determine if the balcony is a critical and character defining feature of the historic house, they would support eliminating the enclosed portion of the balcony.

The Subcommittee supported enlarging the enclosed balcony windows, modifying the first floor window to French doors, preferred the Juliet balcony design over the exterior stairs for the north elevation, and felt the new window on the north elevation should be pulled away from the wood post to be consistent with Spanish Colonial Revival design.

Subcommittee Member Darden stated that the City should take an internal look at the overall process for these types of projects and also the roll of the San Clemente Historic Society in giving applicants advice early on in developing a project. The City should try and take steps to make the process easier to navigate.

The Subcommittee suggested the project move forward for Planning Commission review.

C. Surfer's Row Preliminary Review (Gregg)

A request to consider ten duplexes to be built on ten separate, but contiguous, lots for a total of 20 units. A minor exception permit is requested to consider reduced side yard setbacks on the corner lot, and for walls exceeding 42 inches in the front yard setback up to five feet. The project is proposed from 2721-2739 South El Camino Real and is within the Mixed Use (MU5) zoning district.

Associate Planner, Amber Gregg summarized the staff report and noted that this was a preliminary review of the project.

Michael Luna, architect, gave a recap of the project and some background of the project site. He noted that there will be no HOA's or subdivisions as part of this project. The MEP requested is not unique to the area and there are five nearby duplexes that needed MEP's because of the small and narrow lots; only 4,000 square feet each.

Staff went over the architecture and noted that there were some questions regarding the covered stairways to the roof, or "dog houses", and whether they were considered three-stories or not. Staff went over the definition of three-stories. Subcommittee Member Darden stated she believes that the

structures do qualify as a third story and that they need to be removed or modified. Subcommittee Member Kaupp stated that whether they are considered three-stories or not, they exude a bad architectural feeling that makes you believe it's a three-story structure.

Subcommittee Member Crandell agrees that the "dog house" is a third-story based on the definition staff provided. He likes the architectural style of the proposed project, but the horizontal openings on the Tortola need to be modified. He also has concerns about the stone treatment of the five-foot wall along El Camino Real and the lack of landscaping between the wall and the sidewalk.

Subcommittee Member Darden concurred that she did not believe that the veneer was an appropriate material on the wall but believes it should have some sort of veneer or treatment and there should be landscaping in front of the wall.

Subcommittee Member Kaupp concurred with the other Subcommittee Members concerns about the wall and indicated landscaping is needed. Subcommittee Member Kaupp noted whatever architectural style is used needs to be true to style and not a mixed design. He went on to state that the proposed project is clearly a huge improvement over what is existing.

City Planner, Jim Pechous, stated that the trademark design of the proposed architectural style is the balconies. The plans don't really reflect that.

Mr. Luna stated that true Polynesian style can not hold up in our environment here and requires use of stucco. He also noted that they have a lot of constraints on building design because of the noise from the adjacent freeway.

Subcommittee Member Darden noted the project needs more architectural details. She also noted the tongue and groove is only used on the Tortola plan and not on the Antigua, but should be used on both.

Subcommittee Member Crandell believes that removing the tower element will help the design of the building. Subcommittee Members Kaupp and Darden agreed that the tower element should be removed. Subcommittee Member Crandell would like to see a fourth color scheme option that provides more color so the teal design didn't stand out so much. Subcommittee Members Kaupp and Darden agreed they would like to see more color.

Mr. Pechous brought up the possibility of a zero lot line configuration if the applicant would be interested and suggested it could help the design. Mr.

Luna thanked Mr. Pechous for the suggestion but indicated a zero lot line configuration would require a complete redesign.

The Subcommittee Members asked for picture of buildings in the surrounding area that are driving this trend to be provided at the next review of the project. Mr. Luna noted that he will bring a street scene of Comercio as well for their review.

Subcommittee Member Kaupp opened the meeting to public comment.

Resident, Larry Culbertson, stated that as a lay person the “dog houses” should go. He was concerned about the new property owners changing the colors of the building after they move in. Staff noted that a condition of approval can be added noting that the colors can not be changed without City approval.

The Subcommittee suggested the revised plans return to the DRSC for review.

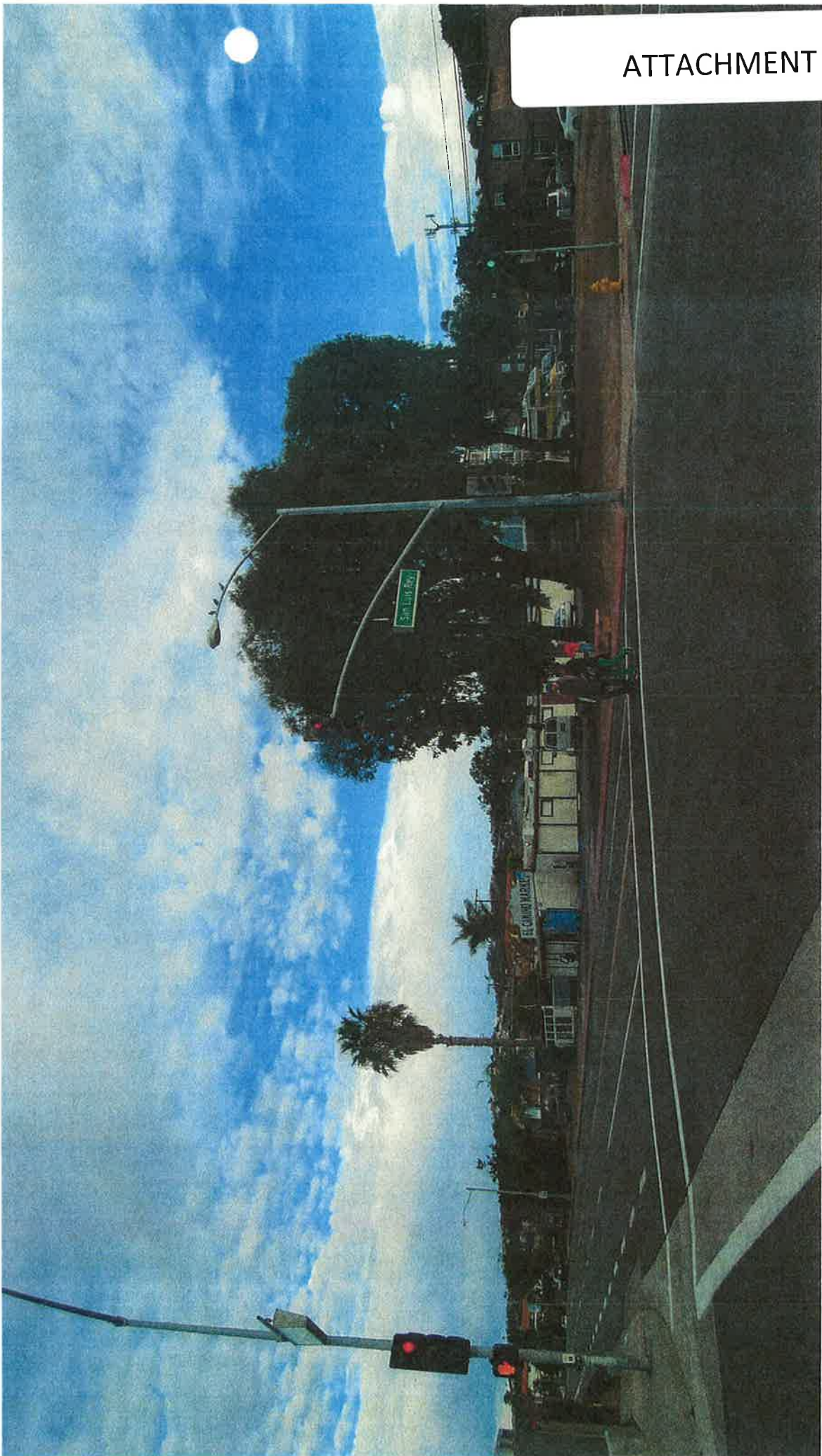
D. Amendment to Cultural Heritage Permit 09-452, Pier Bowl Mixed Use Windows (Jones)

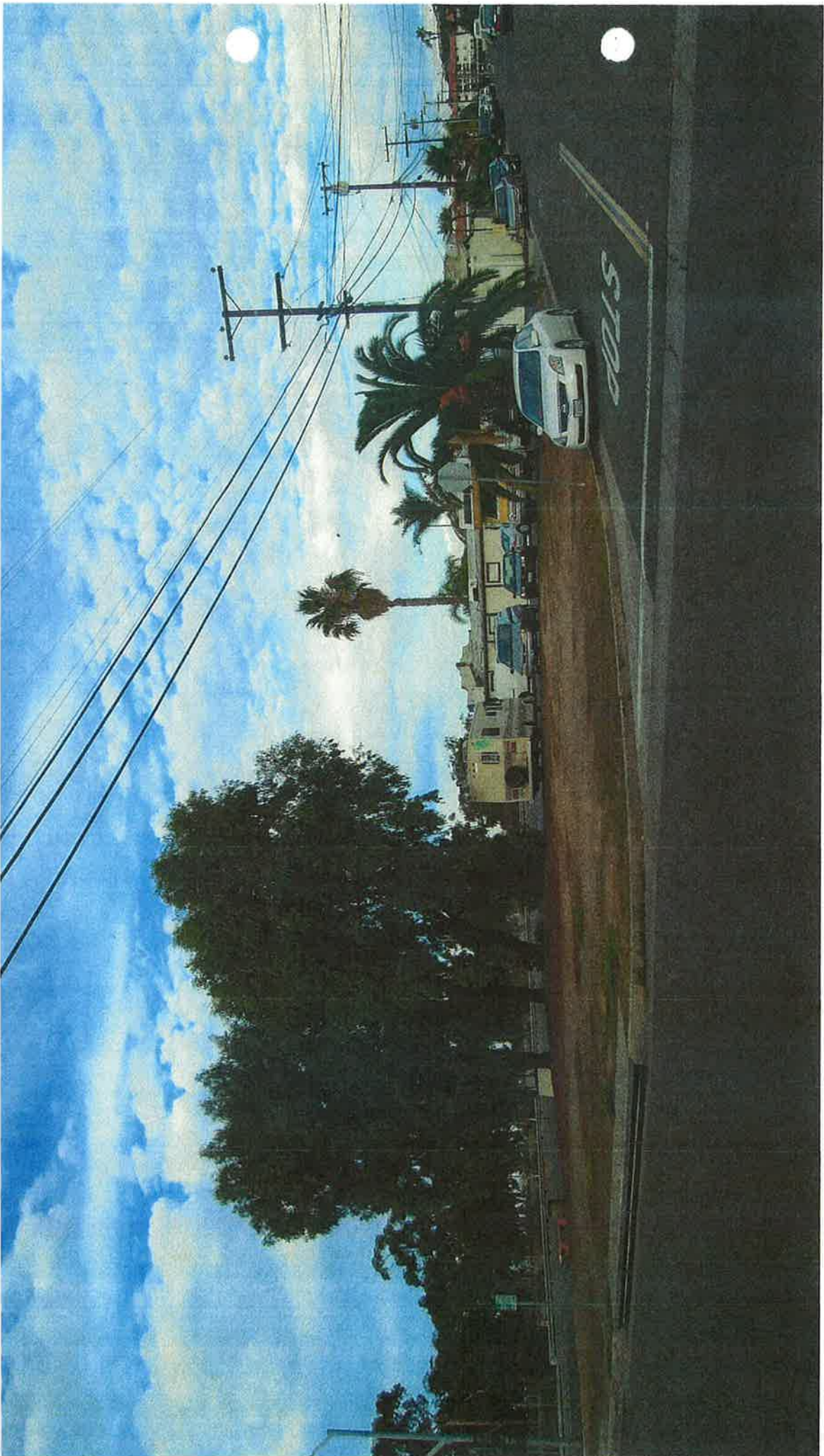
A request to consider non-wood windows on a non-historic Spanish Colonial Revival style building under construction at 614 Avenida Victoria located within the Pier Bowl Core - Mixed Use land use designation of the Pier Bowl Specific Plan and the Architectural Overlay (MU 4.1 P-A).

Associate Planner Cliff Jones summarized the report.

The Subcommittee agreed with staff’s recommendation that the proposed aluminum wood clad window by Sierra Pacific Windows was consistent with the Window Material Policy for the Architectural Overlay. The Subcommittee also agreed: 1) a dark brown finish should be chosen; 2) the 7/8” colonial simulite was preferred; and 3) wood doors and windows should be used only within the covered courtyard facing Avenida Victoria because the courtyard frontage is in a highly visible pedestrian oriented area and the building is Spanish Colonial Revival architectural style.

The Subcommittee suggested the project move forward for Zoning Administrator for review.

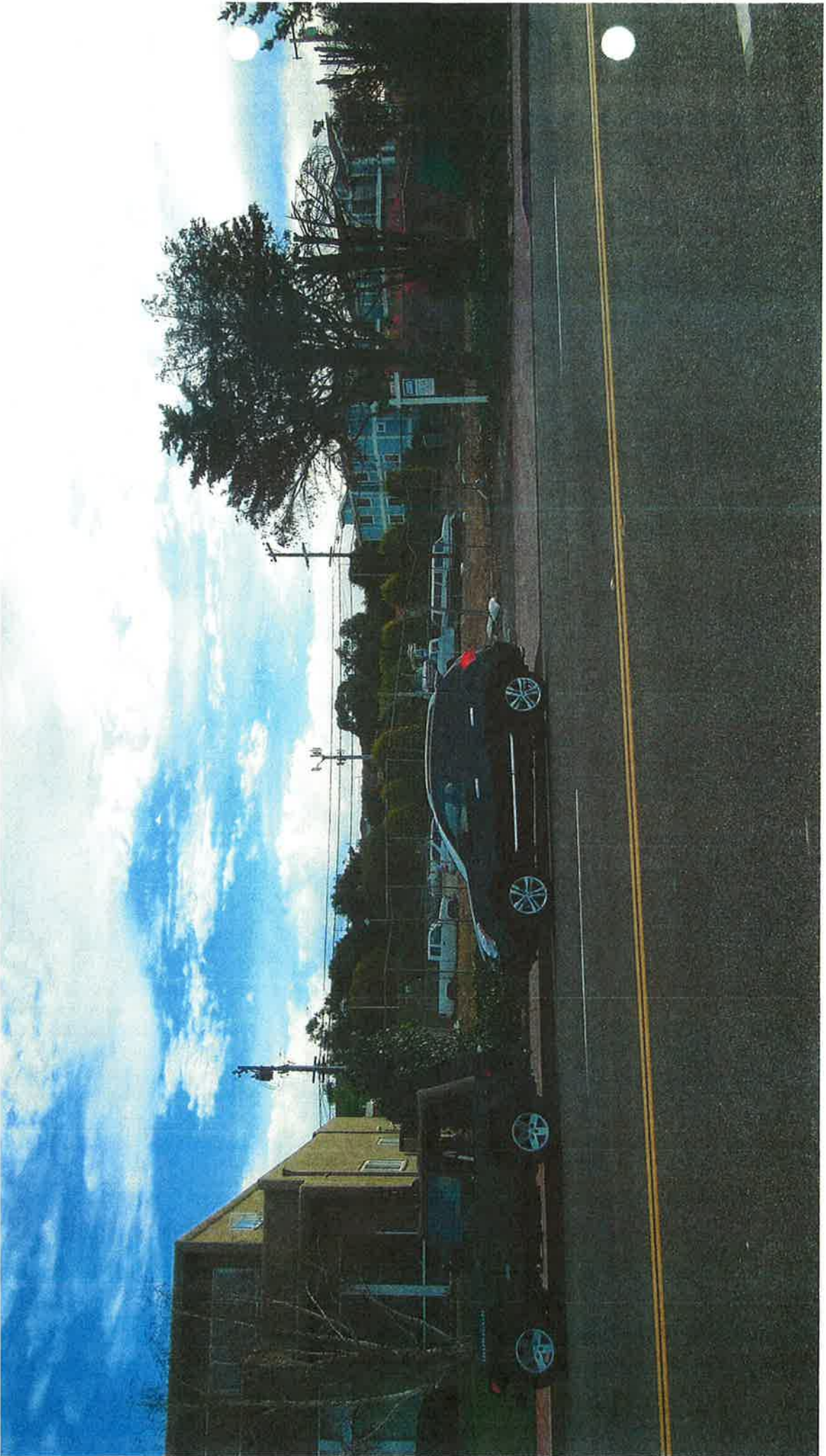




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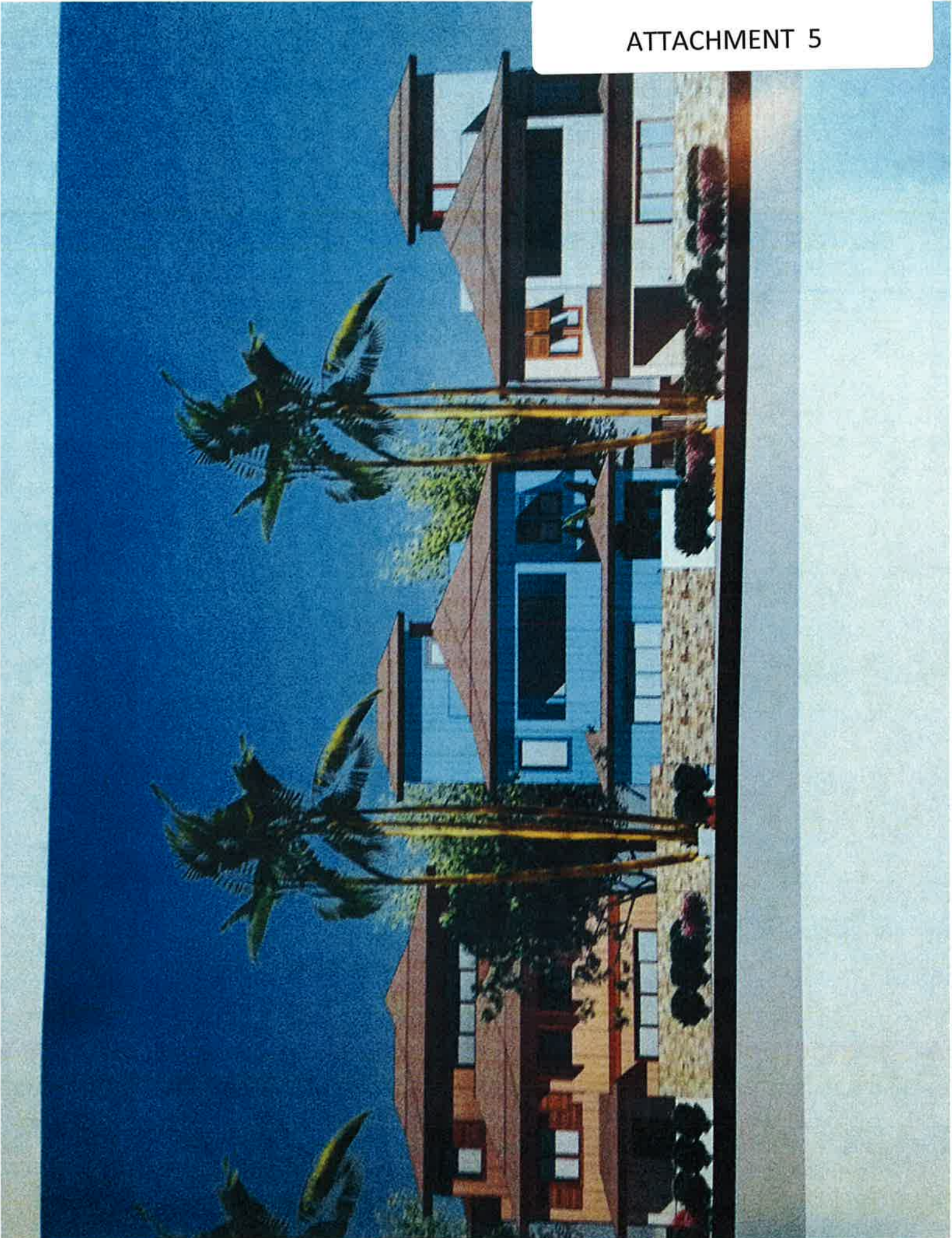
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5



9





2721 - 2739 S. El Camino Real

CUP 13-496

Michael
Luna
ARCHITECTS



Design Review Subcommittee (DRSC)

Meeting Date: April 23, 2014

PLANNER: Sean Nicholas, Associate Planner *SN*

SUBJECT: **AM CUP 10-105/AM AP 10-503/DSP 14-144, Aloha Surf Co.**, a request to consider modifications to the approved lease area, including an expansion of the restaurant use, and a master sign program for four new signs associated with the proposed use within the Vista Hermosa Sports Park.

BACKGROUND:

Project Description

On March 15, 2011, City Council approved a miniature golf, flow rider wave feature, and ancillary restaurant use on the lease area of the Vista Hermosa Sports Park. Since that time the applicant, Aloha Surf Company (Scott Melcher and Jourdan Groves), has made modifications to the wave feature for the site and the size and scale of the restaurant use. The applicant is now proposing a unique water feature experience at the site, as well as a larger standalone Oggi's restaurant. While there was a restaurant associated with the previous approval, it was smaller scale and seen as ancillary to the primary miniature golf and wave feature use. Oggi's is a successful restaurant chain from San Diego County, and whose corporate offices are located in San Clemente. The application also includes a request for a Master Sign Program to approve four signs.

Why is DRSC Review Required?

The changes to the building design are substantially different from the previously approved design and therefore requires DRSC review.

ANALYSIS:

The applicant proposes a full service restaurant on the leasable area of the Vista Hermosa Sports Park. Originally the restaurant was approved to be ancillary to the primary use of miniature golf and a wave feature. The restaurant is now a primary function. All three components are still proposed.

The Oggi's restaurant is proposed to have 132 indoor seats and 32 outdoor seats. This is in addition to the people on the miniature golf course and wave feature. The proposed building is 4,983 square feet, and will have restrooms and changing rooms for the miniature golf and wave feature. The restaurant is 3,605 square feet. The total parking and maximum occupancy for the whole site will be evaluated and presented to the Planning Commission.

The building is designed in a Spanish Colonial Revival architectural style. The applicant proposes utilizing these standard features of Spanish Colonial Revival architecture: smooth white stucco, red clay tile roofs, wood rafter tails, wrought iron, decorative Spanish tiles, and recessed windows and doors. The applicant, in redesigning the building, took inspiration from both the Aquatic Center, and the San Clemente Municipal Golf Course Clubhouse. The building is proposed to be one-story and now includes a full red tile roof for the entire building instead of two flat roof areas for roof equipment. The applicant has proposed all of the roof mounted equipment be located in the area of the "second floor" completely hidden from public view.

During the Development Management Team (DMT) review Beaches, Parks, and Recreation had a concern the building seemed too large compared to the Aquatic Center. The Aquatic Center primary building ridge line is 30 feet and 8 inches tall, and the proposed structures main roof line ridge is 27 feet and 10 inches tall. Though the tower element is proposed at 33 feet (staff is recommending (below) a higher roof pitch that will result in some additional height to be determined). The lease area is also located on a higher elevation, which will exacerbate the condition. There are future plans for a gymnasium adjacent to the lease area, which will be larger than both buildings; and potentially a Community Center that may also be larger than the proposed building and be at a more prominent topographic location, but there are no time tables for development of those structures. The primary Aquatic Center building is 7,495 square feet and the pool equipment building is 1,495 square feet for a total of 8,990 square feet. The proposed lease area building is 4,983 square feet.

The applicant is also proposing four signs associated with the use, which requires a Master Sign Program. The signs proposed are primarily individual pin mounted, metal signs with halo illumination. The color is proposed to be bronze to match other lettering within the park. All four signs will either have the same design or one of the four signs may be a sand blasted wood sign and externally illuminated with goose neck lighting. This sandblasted wood sign may be utilized directly above the primary entrance only. The square footage of signage proposed is 58.26, below the 125 square feet allowed by code based on the size of the building. As designed, even with the alternative option for the one sandblasted wood sign, staff supports the proposed design, scale, and location of signage, as it is consistent with other signage in the park and in character with the building's design and scale.

RECOMMENDATIONS:

The propose project is located within a public park. The Municipal Code requires the architecture to be consistent with the City's Design Guidelines, thus requiring Spanish Colonial Revival. Consistency with Spanish Colonial Revival architecture and the Design Guidelines are the basis for staff's recommendations.

The applicant has submitted two building design options. Option one has a 5/12 roof pitch for the primary building, and Option two has a 3/12 roof pitch for the primary building.

Both options include a 3/12 roof pitch for the tower element. The applicant has stated that the necessary mechanical equipment can fit within both roof pitches. Staff has evaluated both options, and supports Option two utilizing the 3/12 roof pitch for the primary structure because a 3/12 roof pitch for the primary structure is a more traditional roof pitch for Spanish Colonial Revival. For this reason, staff has focused on sheets A 2.2 and A3.2 for the comments below. If DRSC and the Commission believe Option one is more appropriate, staff's design recommendations would also apply to those elevations. Staff has the following detailed recommendations:

1. **Tower Roof Pitch**-Staff recommends the roof pitch of the tower be increased to 5/12 to provide more prominence to the element.
2. **Tower Finial Element**-Staff recommends a more substantial finial or weathervane to be more in scale with the size of the tower.
3. **Primary Tower Entry**-The primary doors into the building should be recessed at least one foot, which includes some of the area surrounding the door. This will create a heightened sense of entry.
4. **Tower Lower Windows**-The windows on either side of the primary entry should be narrower and provide more stucco mass between the primary entrance and the windows. The windows should be slightly reduced in height to provide more mass to the area below the windows.
5. **Tower Element Louvers**-These should be changed to windows to provide light if the tower is open to the roof portion of the element.
6. **North Elevation Wrought Iron Grille Details**-These grilles should be inset into the stucco.
7. **North Elevation Roof Tile Rollover (far right side of elevation)**-The edge roof element shown on this portion of the building should have the roof tile roll over as shown for the primary building.
8. **South Elevation Circular Vent**-This feature should be increase in size, and be lowered to provide a more substantial use of the space and be in scale with the elevation.
9. **South Elevation Inset Tiled Arch**-To create a full arch, the height of the arch should be increased. This will also be more in scale with the size of the elevation.
10. **South Elevation Roof Tile Rollover (far left side of elevation)**-The edge roof element shown on this portion of the building should have the roof tile roll over as shown for the primary building.
11. **East Elevation Louvers**-Unless needed for equipment ventilation, the louvers above the roof element should be removed.
12. **West Elevation Rafter Tails**-The size of the rafter tails should be increased to match the rafter tails on the East Elevation.
13. **West Elevation Windows**-Should be elongated to utilize more of the space and be more vertical in nature.
14. **West Elevation Wrought Iron Grill Detail**-This detail should be inset within the stucco.
15. **West Elevation Louvers**-These should be lowered to be centered between the two roof elements.

16. **West Elevation Lower Roof (far right side of elevation)**-The roof should end at the building and incorporate the roof tile rollover recommended in item 10.

17. **West Elevation/Tower Aloha Surf Sign**-Should be centered above the grand entry and not off to the side.

CONCLUSION

Staff believes the addition of a full roof would enhance the overall appearance of the building, and bring it more in conformance with the Aquatic Center building design. Staff supports the sign designs, materials, and scale as shown on the plans. Overall, staff supports the design modifications, with the above recommended changes. Staff seeks Design Review comments and recommendations on the overall design of the building.

Attachments:


1. Location Map
2. Previously approved elevations
Plans

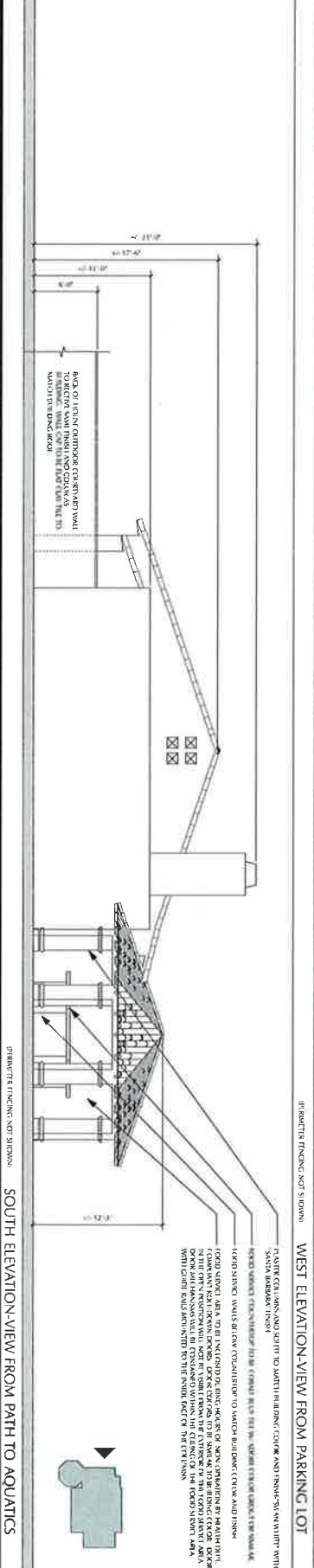
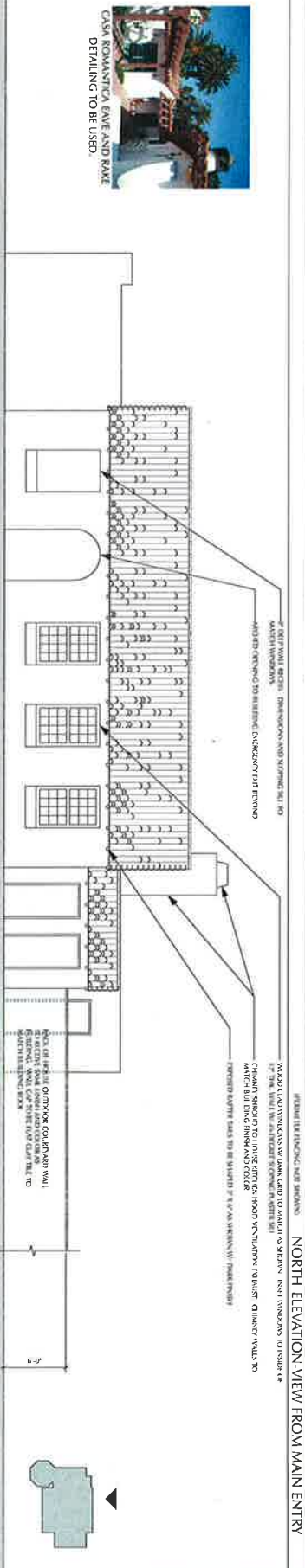
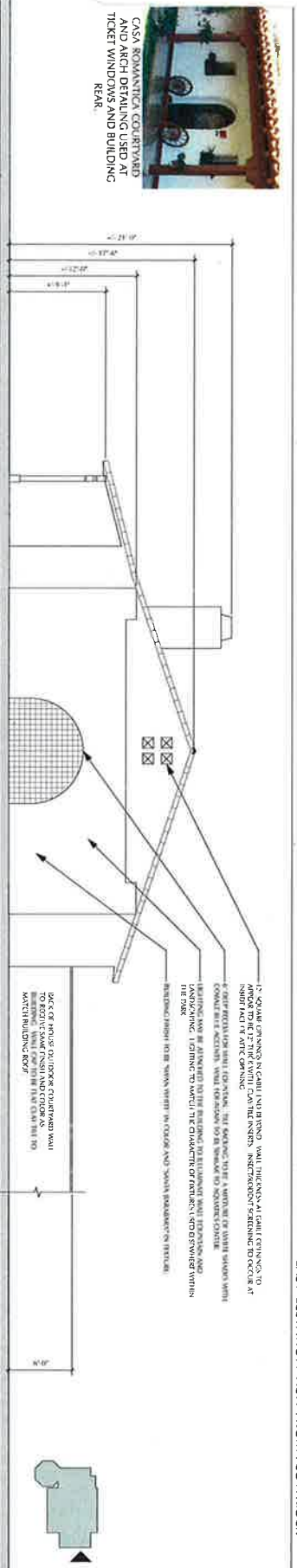
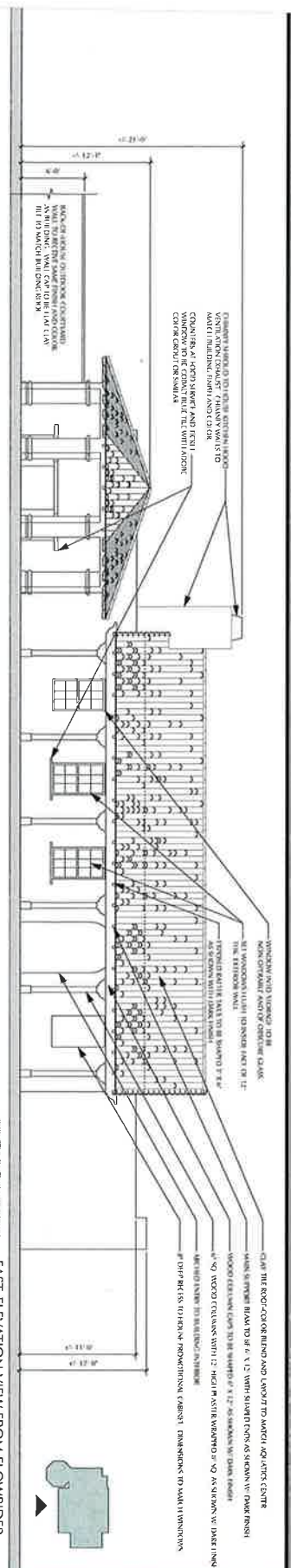


LOCATION MAP

AM CUP 10-105/AM AP 10-503/DSP 14-144, Aloha Surf Co.,
Vista Hermosa Sports Park



No scale 



CASA ROMANTICA COURTYARD AND ARCH DEMANDING USED AT TICKET WINDOWS AND BUILDING REAR.



CASA ROMANTICA EAVE AND RAKE DEMANDING TO BE USED.



Design Review Subcommittee (DRSC)

Meeting Date: April 23, 2014

PLANNER: Cliff Jones, Associate Planner

SUBJECT: **Minor Cultural Heritage Permit 14-050, Del Mar Plaza Courtyard Remodel** a request for exterior changes to a building at 111 Avenida Del Mar. The project is located within the Mixed Use Zoning District, and within the Architectural and Central Business Overlays (MU3-CB-A).

BACKGROUND:

Project Description

The applicant proposes exterior improvements to open the front entry, create a waiting area for Carbonara's restaurant, and to relocate the flower kiosk to the rear courtyard.

The property is a 20,000 square foot lot with a 10,578 square foot building located at 111 Avenida Del Mar in the Mixed Use zone, MU3-CB-A. Surrounding land uses include retail, office, and restaurant uses. The building is two-story and Spanish architectural style.

Why DRSC Review is Required

A Minor Cultural Heritage Permit is required because the project includes exterior modifications to a non-residential structure located within the Architectural Overlay and abuts two historic properties across the street at: 1) 114 Avenida Del Mar; and 2) 106 Avenida Del Mar. Attachments 2 and 3 provide descriptions of the historic properties. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and to review the project for consistency with the Design Guidelines. DRSC comments will be forwarded to the Zoning Administrator.

ANALYSIS:

The project site is located within the Architectural Overlay, which specifies Spanish Colonial Revival architectural style. The applicant proposes to incorporate traditional materials in keeping with the Spanish style of the building, abutting historic resources, and the requirements of the Architectural Overlay.

As seen in the before and after images below, the proposed exterior changes open up the courtyard as viewed from Avenida Del Mar and from within. The exterior changes include: 1) removing the 90 square foot flower kiosk and creating a new 60 square foot flower display area and 67 square foot storage located at the rear of the courtyard; 2)

removing the iron entry gates; 3) creating an outdoor waiting area for Carbonara’s restaurant; 4) adding a new entry to Carbonara’s, with wood doors to match existing doors; 5) adding a seat wall within the outdoor waiting area topped with wrought-iron fence; 6) adding red stained concrete within the outdoor waiting area to compliment the red floor tile; and 7) adding a roll-up metal security gate “rolling grille”.

Before



After



Not depicted in the images is the proposed “rolling grille” constructed of anodized aluminum in a dark bronze finish that is proposed to be hidden behind the “Del Mar Plaza” wood trellis sign. The rolling grille would be lowered when the on-site uses are closed. A product brochure will be provided at the DRSC meeting.

The proposed project meets the Design Guidelines requiring Spanish Colonial Revival (SCR) architectural elements within the Architectural Overlay by incorporating SCR details. Table 1 summarizes the project’s consistency with the Design Guidelines.

Table 1 – Project Evaluation


Design Guideline or Policy	Project Consistency	Comments
Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture (Design Guidelines II.C.2)	Consistent. Proposed architectural details (materials and colors) generally follow SCR style.	Specific architectural recommendations to improve project’s consistency with Spanish Colonial Revival architecture and Design Guidelines are recommended below.




Design Guideline or Policy	Project Consistency	Comments
Incorporate defined outdoor spaces, including courtyards, patios, plazas and courtyards (Design Guidelines II.C.3)	Consistent. The project opens the courtyard area to Avenida Del Mar by relocating the flower kiosk use and creating an outdoor waiting area for the restaurant.	Specific architectural recommendations to improve project's consistency with Spanish Colonial Revival architecture and Design Guidelines are recommended in Table 2.


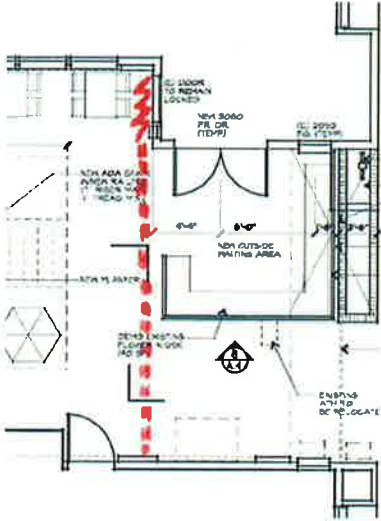

RECOMMENDATIONS:

Staff supports the overall design of the project but does have some minor suggestions to improve the architecture of the building and enhance the project's consistency with the Design Guidelines as outlined in Table 2 below. Images provided are for reference only, providing examples of successful SCR design elements.

Table 2 – Architectural Recommendations

Recommendation	Sample Image
1. Solid wrought-iron should be utilized. Plans need more detail related to wrought-iron style.	
2. Doors for new Carbonara's entry should be constructed of wood and match existing.	

Recommendation	Sample Image
<p>3. New signage for flower shop is not depicted. Signage should be traditional in appearance consisting of sand blasted wood, painted signage with goose neck lighting, or pinned metal letters.</p>	
<p>4. If outdoor heating is proposed it should be incorporated in the design of the project.</p>	
<p>5. Please indicate how the underneath of the staircase will be finished. Staff recommends smooth white stucco if stucco is considered.</p>	

Recommendation	Sample Image
<p>6. The dark bronze rolling grille is not consistent with SCR design. However, alternative methods to secure the site at the entry of the courtyard would visually enclosure the courtyard, which is undesirable.</p> <p>Staff recommends an alternative option to secure the courtyard, which is to locate a metal accordion style gate behind the proposed waiting area. The accordion style gate could be tucked behind an existing wall as seen in the image to the right.</p>	<div style="text-align: center;">  <p>Not A SCR Design Element</p> </div> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  </div> <div style="text-align: center;">  </div> </div>

CONCLUSION:

The comments provided are intended to bring the project more into conformance with Design Guidelines. Staff seeks the DRSC’s comments and welcomes any additional recommendations.

Attachments:

1. Location Map
2. DPR Form for 114 Avenida Del Mar
3. DPR Form for 106 Avenida Del Mar

Plans

Rendering



LOCATION MAP

MCHP 14-050, Del Mar Plaza Courtyard Remodel
111 Avenida Del Mar



CONTINUATION SHEET

Page 1 of 3 Resource Name or #: 114 AVENIDA DEL MAR

Recorded by: Historic Resources Group

Date: 9/18/2006

 Continuation Update

PROPERTY NAME Hotel San Clemente

HISTORIC NAME Hotel San Clemente

PROPERTY ADDRESS 114 Avenida Del Mar

ASSESSOR PARCEL NUMBER 058-081-25

PROPERTY TYPE Multi-family residential (apartments)

OTHER DESCRIPTION Originally a hotel.

DATE OF CONSTRUCTION 1927 (E) Tax Assessor

 INTEGRITY No substantial changes post-1988 Historical Photo Log prepared by the City of San Clemente.

SIGNIFICANCE This three-story residential building first opened in November 1927 as a 60-room hotel. The Hotel San Clemente was listed in the National Register of Historic Places in 1998. It appears eligible at the local level under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development (1925-1936), and under Criterion C for its distinctive interpretation of the Spanish Colonial Revival style as represented in San Clemente.

STATUS CODE 1S

STATUS Listed in the National Register as an individual property. The property also appears eligible at the local level both individually and as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

Project	City of San Clemente Historic Resources Survey Update
Prepared for	City of San Clemente 910 Calle Negocio, Suite 100 San Clemente, CA 92673
Prepared by	Historic Resources Group 1728 Whitley Avenue Hollywood; CA 90028

CONTINUATION SHEET

Page 2 of 3

Resource Name or #: 114 AVENIDA DEL MAR

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property:



CONTINUATION SHEET

Page 3 of 3

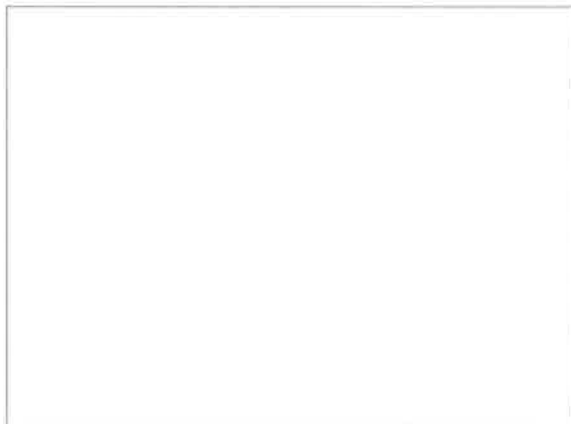
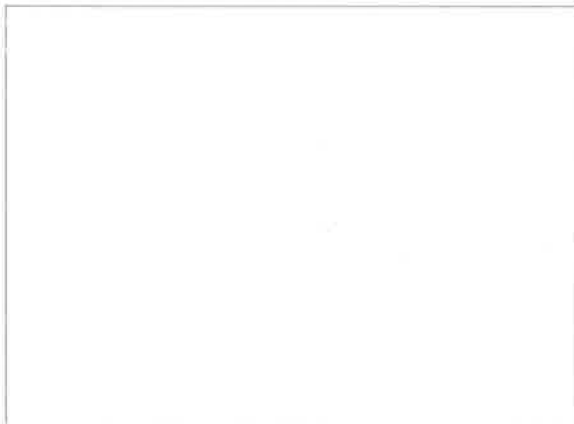
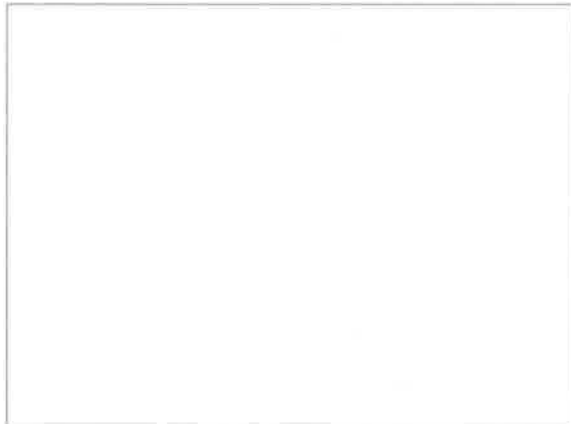
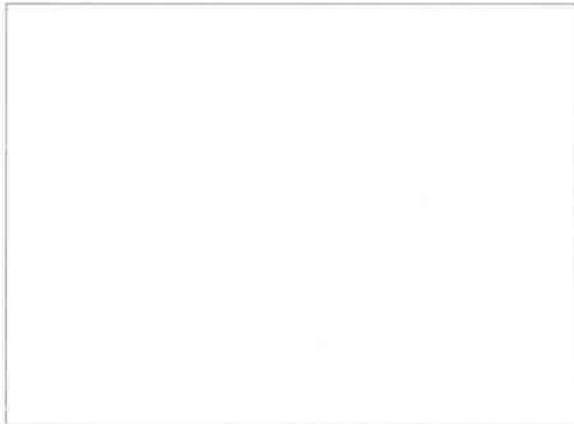
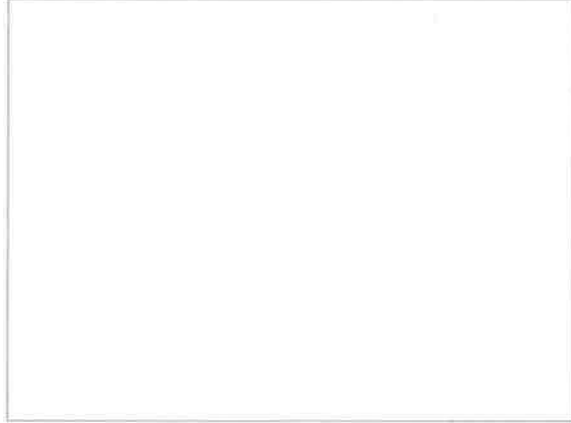
Resource Name or #: 114 AVENIDA DEL MAR

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property, Continued:



PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 106-108 AVENIDA DEL MAR

P1. Other Identifier: Stanford Court / Taylor Building

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 106-108 Avenida Del Mar City San Clemente Zip 92672

d. UTM: Zone; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 058-081-24

P3a. Description:

The property contains a three-story mixed use building with multifamily residential and retail uses, with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has low-pitch side-gable and shed roofs with clay tiles and exposed rafter tails. The exterior walls are clad with smooth stucco. The fenestration consists of both original and non-original wood casement and fixed windows throughout the building. The ground level facade is dedicated to retail use and clad in brick veneer, with a central entry flanked by fixed storefront windows. Adorning the second level roofline are two decorative stucco endposts. Entrance to the neighboring building is located at the northeastern edge of the ground level facade. The building is in good condition. Its integrity is good.

P3b. Resources Attributes: 06 Commercial Building, 1-3 stories

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

South elevation, north view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1926 (E) Tax Assessor

P7. Owner and Address:

Kaupp, Michael W.
322 W Avenida Valencia

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/18/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code 3D

Resource Name or #: 106-108 AVENIDA DEL MAR

- B1. **Historic Name:** Taylor Building
- B2. **Common Name:** Stanford Court
- B3. **Original Use:** Commercial
- B4. **Present Use:** Mixed use - commercial and residential
- B5. **Architectural Style:** Spanish Colonial Revival
- B6. **Construction History:**

- B7. **Moved?** No Yes Unknown **Date:** **Original Location:**
- B8. **Related Features:**

- B9a. **Architect:** (Unknown) **b. Builder:** (Unknown)
- B10. **Significance:** **Theme** Ole Hanson/Spanish Village by the Sea **Area** City of San Clemente
Period of Significance 1925-1936 **Property Type** Commercial building **Applicable Criteria** A

This three-story mixed-use commercial and multi-family building was built in 1926. The building was historically known as the Taylor Building. It is a unique example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. The property also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

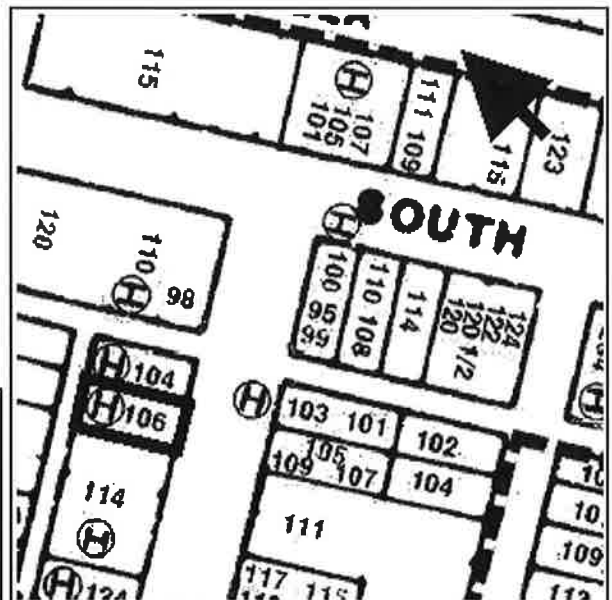
- B11. **Additional Resource Attributes:** 06 Commercial Building, 1-3 stories, 03 Multiple Family Property

- B12. **References:** Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

- B13. **Remarks:** (none)

- B14. **Evaluator:** Historic Resources Group, Hollywood, CA
Date of Evaluation: 9/18/2006

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3

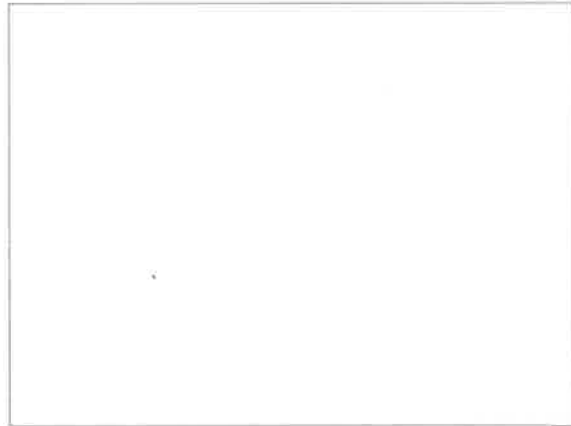
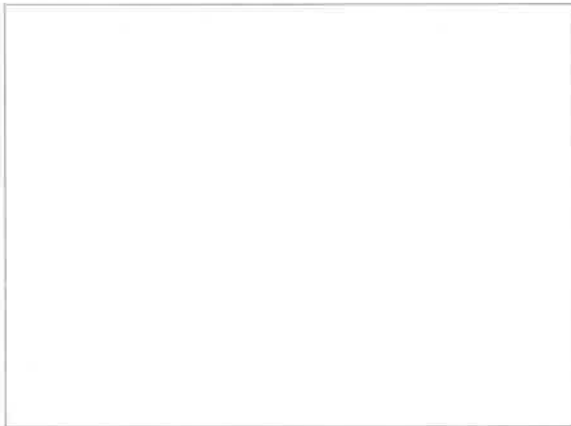
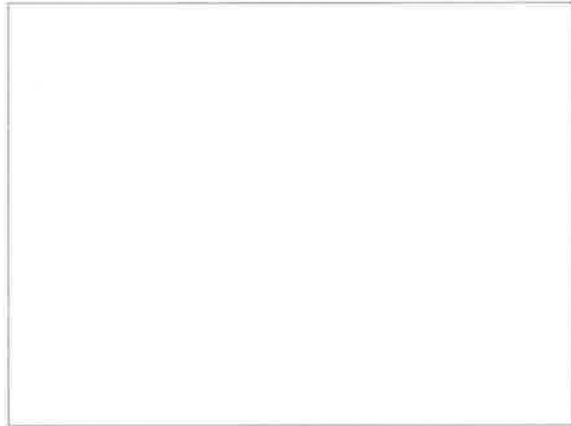
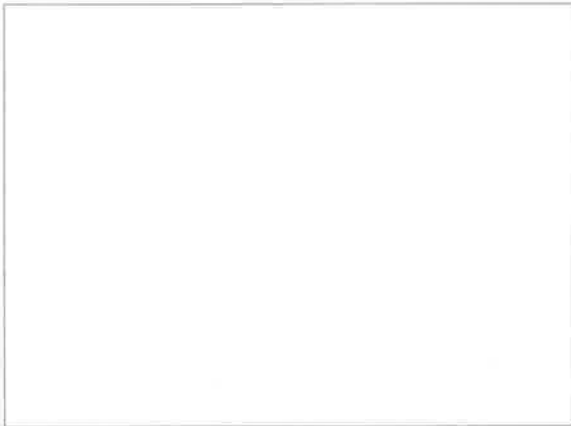
Resource Name or #: 106-108 AVENIDA DEL MAR

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property:





Memorandum Planning

4/23/14

To: Design Review Subcommittee
From: John Ciampa, Associate Planner
Subject: CHP 14-077, Harry Residence DRSC Waiver of Review
Copies: Jim Pechous, City Planner

The Harry residence project is proposing a Waiver of the DRSC review because of the project's scope and its proximity to the adjacent historic house.

The property is a craftsman style home located at 220 Paseo De Cristobal. The property is located within the Residential Low (RL) zoning district. The applicant is proposing an addition of 293 square feet to the 2,148 square foot, one story house. The addition would be located at the back of the house. The project also includes a new covered porch at the front of the property and a covered patio/lanai at the back of the house.

The project requires a Cultural Heritage Permit because the property abuts a historic property to the rear (see Attachment 1). Staff believes the DRSC waiver is justified for the following reasons:

1. The addition maintains the structure as a single story.
2. The addition, covered patio, and porch are consistent with the Design Guidelines and maintains architectural style of the house.
3. The historic house (located at 217 Avenida Esplanade) is abutting the subject property to the rear.
4. The proposed improvements are 110 feet from the historic house.
5. Based on the project scope and location there would no physical or visual impact to the historic house.

Location Map

220 Paseo De Cristobal

