



**AGENDA FOR THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE**

Wednesday, June 11, 2014

10:00 a.m.

**Community Development Department
Conference Room A
910 Calle Negocio, Suite 100
San Clemente, CA 92673**

The purpose of this Subcommittee is to provide direction, insight, concerns and options to the applicant on how the project can best comply with the City's Design Guidelines and/or City Policies. The Subcommittee is not an approving body. They make recommendations to the Planning Commission and Zoning Administrator regarding a project's compliance with City Design Guidelines. Each of the Subcommittee members will provide input and suggest recommendations to the applicant based upon written City Design Guidelines and/or City Policies. The Subcommittee will not design the project for the applicant, nor will the members always agree on the best course of action. The applicant can then assess the input and incorporate any changes accordingly with the understanding that the Subcommittee is simply a recommending body. Decisions to approve, deny, or modify a project are made by the Planning Commission, City Council, or the Zoning Administrator with input and recommendations from the Subcommittee and City staff. The chair of the Subcommittee will lead the discussion. Planning staff will be available to provide technical assistance as necessary. Time is limited. Consequently, the Design Review Subcommittee will focus on site and project design rather than on land use issues, which are the purview of the Planning Commission, City Council or the Zoning Administrator.

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability-related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such a modification from the Community Development Department at (949) 361-6100. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

Written material distributed to the Design Review Subcommittee, after the original agenda packet is distributed, will be available for public inspection in the Community Development Department located at 910 Calle Negocio #100, San Clemente, CA during normal business hours.

1. APPROVAL OF MINUTES

Minutes to be considered for approval: May 14, 2014

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Pre-App 14-187, Talega Village Center Sign Amendments (Nicholas)

A second review of the preliminary designs of potential modifications to the Master Sign Program for the Talega Village Center.

B. Minor Cultural Heritage Permit 13-264/Minor Exception Permit 13-333, Eklund Residence (Atamian)

A request to consider a 106 square foot accessory structure, six foot tall stucco block wall fronting Avenida Del Poniente, and the demolition of a nonconforming accessory structure at a historic property located at 238 West Avenida Canada. The property is within the Residential Medium (RM-CZ) zoning district.

C. Site Plan Permit 13-161/Cultural Heritage Permit 13-162/Conditional Use Permit 13-163, Cabrillo Mixed-Use (Atamian)

A request to consider a new mixed-use development consisting of a two-story commercial building and a separate two-story residential structure with basement level parking. The project is located at 176 Avenida Cabrillo within the Mixed-Use zoning district (MU3-p-A-CZ).

D. Cultural Heritage Permit 14-146, Price Residence (Ciampa)

A request for a second story addition to a legal nonconforming historic house located at 135 Avenida Florencia.

E. Conditional Use Permit 14-137/Site Plan Permit 14-138/Architectural Permit 14-139, Silver Hinge Mixed-Use Victoria (Jones)

A request to consider a three-story mixed use building on the vacant lot of the 100 block of Avenida Victoria (APN 058-083-44). The project is located within the Mixed Use Zoning District, and within the Architectural and Coastal Overlays, MU3.1-A (CZ).

3. NEW BUSINESS

None

4. OLD BUSINESS

None

5. ADJOURNMENT

Adjourn to the Design Review Subcommittee meeting of Wednesday, June 25, 2014 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
May 14, 2014**

Subcommittee Members Present: Michael Kaupp, Julia Darden and Bart Crandell

Staff Present: Cliff Jones and Amber Gregg

1. MINUTES

Minutes from April 23, 2014 approved.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

A. Minor Cultural Heritage Permit, 13-523, Russell Car Wash (Gregg)

A request to install a tiled accent stripe along the top of the Russell Car Wash and auto service buildings located at 1731 North El Camino Real. The project is zoned Commercial (C-2) and is within the North Beach Study area, Architectural, Pedestrian and Coastal Zone Overlays.

Associate Planner Amber Gregg summarized the staff report. The applicant was not present but Ms. Gregg noted that he was informed of the meeting and was provided a copy of the staff report and agenda.

The Subcommittee Members concurred that the horizontally oriented terra cotta tile detail is not a traditional Spanish Colonial Revival feature and is still perceived as a "raceway." They noted that just because the detail is terra-cotta tile, it does not make it consistent with the required architecture as it is proposed to be affixed to the building in a way that is inconsistent with Spanish Colonial Revival architecture.

Subcommittee Member Darden stated that the Subcommittee provided the applicant with a lot of suggestions at the last meeting which they thought would help meet his goals and improve visual impact and signage. Ms. Darden reiterated that she believed their previous suggestions would be a "win-win" for the applicant and the City.

B. Conditional Use Permit 13-249/Architectural Permit 13-251/Site Plan Permit 13-252, La Ventura Event Facility (Gregg)

A request to consider modifications to a previously reviewed commercial building for a special event facility totaling 5,456 square feet. The project is

zoned Neighborhood Commercial (NC3) and is located at 2316 South El Camino Real.

Associate Planner Amber Gregg summarized the staff report and narrated a PowerPoint presentation that included the revised colored elevations and site plan.

The Subcommittee Members supported the proposed revisions. Chair Member Kaupp concurred with staff that the architectural treatment of the property line elevation would be more successful if larger arches were used and recommended mimicking the size and height of the archways in the courtyard leading to the inside of the building.

Subcommittee Member Crandell noted that they were less stringent on the application of the control joints on this building because the project is not located in the Architectural Overlay.

The DRSC recommended the project move forward to the Planning Commission.

3. NEW BUSINESS

None

4. OLD BUSINESS

None

5. ADJOURNMENT

Adjourn to the Regular Meeting of the Design Review Subcommittee to be held June 11, 2014 at 10:00 a.m. in Conference Room A, Community Development Department, 910 Calle Negocio, Suite 100, San Clemente, CA 92673.

Respectfully submitted,

Michael Kaupp, Chair

Attest:

Cliff Jones, Associate Planner

DRAFT



Memorandum Planning

Wednesday, June 11, 2014

To: Design Review Subcommittee
From: Sean Nicholas, Associate Planner *SN*
Subject: Pre-Application-Talega Village Center Master Sign Program
Amendment (second review)

The original preliminary designs were reviewed by Design Review Subcommittee (DRSC) on March 26, 2014. These revised plans are the applicant's revisions to address DRSC's and staff's comments. Please refer to Attachment two for the previous DRSC Staff Report and Minutes from the March 26th meeting.

The new property owner of the Talega Village Center is looking to better identify the Talega Village Center, both within the facility (wayfinding signage) as well as from off-site. To accomplish this goal, the owner hired a sign consultant to design new wayfinding signage and to propose modifications to existing signage. This is still a preliminary application; therefore, staff's comments are also preliminary.

The goal of this meeting is to review the revised sign plans. The feedback will help the applicant move forward with the amendment process.

The property owner has stated that this sign program amendment is necessary because of the difficulties many of the tenants are having within the facility. The property owner states that the existing wayfinding signage is difficult to read and it is hard to find businesses due to the Center's layout. To address this, the property owner proposes new wayfinding monument signs.

To address visibility of the Center from off-site, the applicant proposes modifications to the entry monuments and wants to add a large "Ralphs Fresh Fare" sign to the West Elevation (towards La Pata and the Vista Hermosa Sports Park).

Staff's comments:

General Note

- 1) Staff has informed the applicant that any proposed modifications would have to be of the same or greater quality of signage than what is existing/approved pursuant to the Master Sign Program. Additionally, staff recommended that design inspiration come from other existing signage both in the Talega Village Center area and the Talega Business Park. Sample images provided to the applicant included:



Wayfinding Signage

The original Master Sign Program included pedestrian wayfinding signage, but the only vehicle oriented wayfinding signs are for exiting the site.

- 2) *Monument sign design*-Staff still has concerns about the overall designs of the monument signs. While the applicant has addressed some concerns, especially related to arrow clutter and the incorporation of more stone elements. After reviewing the proposed modifications, staff recommends utilizing signage similar to that shown above. Staff had previously provided these images to the applicant as an alternative simplified design of the monument signs and are consistent with approved Talega signs. Staff is still concerned about the fabrication/construction materials of the primary body of the sign being aluminum construction.

Entry Monuments

Based on recent Planning Commission action, as well as the way the monument signs were reviewed and approved, the monument signs are considered to be a part of the shopping center and not off-site. The proposed large monument directional sign placement appears crowded, out of scale, and intrusive. Staff recommends the sign be significantly reduced in size or relocated to a more appropriate location.

- 3) *Materials and lighting*- Staff does not support increasing the size of the individual signs on the entry monuments. Additionally, due to the printed color of the plans provided by the applicant, staff has concerns about the proposed color not being appropriate. Before a recommendation on the color can be determined, the applicant will need to provide a color and materials sample to be reviewed in the field. Staff supports the use of pin mounted metal lettering and the halo illumination for the Ralphs sign and the other potential tenant.

New Ralphs Sign

Staff has reviewed the revised internally illuminated acrylic sign, and still does not support the sign because: 1) All signs on the building should match in design, materials, lighting, and scale; and 2) the sign is much larger than the 64 square feet allowed by sign regulations. The applicant brought up Target, and based on the size and scale of that building, staff did recommend support of a 10 'x 10' sign as long as it was pin mounted metal with halo illumination. Staff recommended if the sign was plastic and internally illuminated that it should only be allowed to be 8' x 8', thus staff did not support a Sign Exception Permit. Staff's position is all signage

on the building should match. Staff is supportive of a new sign, consistent with the existing signage, in the proposed location.

Proposed Photo Mural

The applicants have indicated an interest in incorporating some type of mural on the rear side of the buildings, near Pete's Coffee patio. This could be an attractive addition to the Center and will require the necessary Minor Architectural Permit if and when the property owner has a design.

Attachments

- 1) Design Review Subcommittee Staff Report and Minutes from March 26, 2014 review
Plans



Memorandum Planning

Wednesday, March 26, 2014

To: Design Review Subcommittee
From: Sean Nicholas, Associate Planner
Subject: Pre-Application-Talega Village Center Master Sign Program
Amendment

The new property owner of the Talega Village Center, Equity One, Inc., is looking to better identify the Talega Village Center, both within the facility (wayfinding signage) as well as from off-site. To accomplish this goal, the owner hired a sign consultant, Sign Advantage, Inc., to design new wayfinding signage and to propose modifications to existing signage. This is a preliminary application; therefore, staff has prepared preliminary comments. Staff has included, as Attachment 3, the Design Review minutes and staff reports from when the Center's Master Sign Program was originally reviewed. Staff also included the minutes from the Planning Commission meeting approving the Master Sign Program as Attachment 4.

The goal of this meeting is to review staff's preliminary comments and receive Design Review Subcommittee comments and recommendations. The feedback will help the applicant move forward with the amendment process.

The property owner has stated that this amendment is necessary because of the difficulties many of the tenants are having within the facility. The property owner has provided a letter, Attachment two, that states that even within the facility, the existing wayfinding signage is difficult to read and it is hard to find businesses due to the Center's layout. To address this, the property owner proposes a number of new wayfinding monument signs.

To address visibility of the Center from off-site, the applicant proposes modifications to the entry monuments and wants to add a large "Ralphs Fresh Fare" sign to the West Elevation (towards La Pata and the Vista Hermosa Sports Park).

Here are staff's preliminary comments:

General Note

- 1) Staff has informed the applicant that any proposed modifications would have to be of the same or greater quality of signage than what is existing/approved pursuant to the Master Sign Program.

Wayfinding Signage

The original Master Sign Program included pedestrian wayfinding signage, but the only vehicle oriented wayfinding signs included is for exiting the site. There is potential to add additional vehicular wayfinding signage; however, modifications to the proposed design are necessary to be more consistent with the architecture/character of the Center.

- 2) *Monument sign design*-The overall designs of the monument signs need to be reconsidered to remove the fabricated aluminum cap. Monument signs, characteristic of the main monument signs for the center, would be a better design option. This may be accomplished by increasing the amount of stone utilized, or by re-evaluation the fabrication/construction materials of the primary body of the signs. There is staff concern that the proposed monument signs would not be consistent with the high quality stone entry monuments, and would negatively impact the development.
- 3) *Scale of signs B1 and B2 (primary way finding signs)*-Due to their locations, the signs should be reduced in size to better fit within the areas proposed, and not deter from the architecture of the facility. The goal is to provide direction for automobiles, but it can be accomplished with smaller scale signs.
- 4) *Individual tenant name plates*-While the general color palette is consistent with the center, the stark white name plate might be better if it was a more earth-toned color to match the center.
- 5) *Materials*-The tenant name plates should be metal, and if possible, pin mounted, with a mixed media approach, with the routed out letters, as a secondary option.
- 6) *Lighting*-Only the tenant names, and possibly the arrows, should be illuminated. Neither the entire name plate nor the monument sign should

be internally illuminated. It is unclear what is proposed, but the full name plates being internally illuminated would not be supported by staff.

Entry Monuments

Based on recent Planning Commission action, as well as the way the monument signs were reviewed and approved, the monument signs are considered to be a part of the shopping center and not off-site. In general, staff is not supportive of the proposed modifications to the monument signs as shown.

- 7) *Materials and lighting*-No vinyl or other internally illuminated signage should be used. Staff recommends modifying the Ralphs sign in the following ways: 1) maintain the individual metal pin-mounted letters in the bronze finish; and 2) re-install the sign to allow for halo-illumination. No modifications should be done to the existing Talega Village Center sign, other than an alternative up-lighting option in the landscaping. Staff believes that there may be potential for an additional tenant sign on the opposite side of the monument sign to mirror the Ralphs sign in material, illumination, and size. Staff does not support increasing the size of the individual signs on the entry monuments.

New Ralphs Sign

Staff has reviewed the internally illuminated acrylic sign, of approximately 311 square feet and does not support it because: 1) the sign contrasts strongly with the design, materials, lighting, and scale of the other approved signs and the Master Sign Program; and 2) the sign is much larger than the 64 square feet allowed without approval of a Sign Exception Permit. Staff's position is that the required findings to support a Sign Exception Permit would be difficult to make.

Proposed Photo Mural

The applicants have indicated an interest in incorporating some type of mural on the rear side of the buildings, near Pete's Coffee patio. While staff supports public art, any such mural or image would need to go through a separate Minor Architectural Permit process to fully evaluate the design and subject, as required for all public art. It is also important to note that the Design Review Subcommittee has provided direction in the past that murals should be actual pieces of art, and not be photos or images meant to be additional signage. Based on the proposal as shown, this would be considered signage. Staff would be supportive of some type of decorative art or mural for the location, but is not supportive of the proposed application.

**CITY OF SAN CLEMENTE
MINUTES OF THE REGULAR MEETING OF THE
DESIGN REVIEW SUBCOMMITTEE
MARCH 26, 2014**

Subcommittee Members Present: Michael Kaupp, Bart Crandell and Jim Ruehlin

Staff Present: Jim Pechous, Cliff Jones, Amber Gregg, Sean Nicholas,
Adam Atamian and John Ciampa

1. MINUTES

Minutes from March 12, 2014 approved.

2. ARCHITECTURAL REVIEW OF THE FOLLOWING ITEMS

**A. Amendment to Site Plan Permit 02-093/Architectural Permit 13-360,
Carillon – Talega (Gregg)**

A request to consider revised architecture for the last 17 lots of an 84 lot development in the Talega Specific Plan area.

Committee Member Crandell recused himself as he conducts business with Standard Pacific Homes.

Associate Planner Amber Gregg summarized the staff report.

Subcommittee Member Kaupp thanked staff for the presentation and invited public comment.

Neighboring resident Rachael Struglia, requested that the remaining lots be built with original Carillon housing product. If the original product was not used she requested that detail be added to the side and rear elevations. She believed that the proposed design still is not compatible with the existing homes and requested there be 15 designs for future home owners to choose from instead of the proposed nine. She also requested cantilevered balconies on the rear elevations.

Joseph and Betty Valencia, residents, stated that the proposed designs are still not compatible and believes if constructed would devalue properties.

Subcommittee Member Kaupp stated that he would like to see architectural detail wrapped around the homes as well.

Applicant, Crystal Burckle of Standard Pacific, said they could wrap the details. Ms. Burckle wanted to clarify that there are decks on the back of the homes but they are not cantilevered because of the patio room below.

Subcommittee Member Kaupp noted that he did not have concerns at the last meeting about the rear elevation and still doesn't.

Subcommittee Member Ruehlin stated he was also concerned about the side elevations and was happy that the applicant was going to carry the details to the sides.

Staff and Ms. Burckle went over the floor plans to demonstrate similarities of movement between the existing and proposed footprints, as well as the floor plans of the proposed homes.

Subcommittee Member Kaupp stated that the applicant has revised the plans three times to help address the resident's concerns and felt they have made a good faith effort to incorporate requests. The project complies with the Guidelines; it's not exactly the same but has enough integrity that it blends in with the existing neighborhood.

Subcommittee Member Ruehlin agreed that the applicant had clarified his questions and would like to see the addition of architectural detail on the sides of the homes. He thanked Ms. Struglia for the detailed letter and for attending the meeting.

Subcommittee Member Kaupp also thanked Ms. Struglia and emphasized the need for more detail on the sides of the home.

The Subcommittee agreed that the project did not need to be reviewed by them again and the project should move forward for a public hearing.

B. Pre-App - Potential Revisions to the Talega Village Center Master Sign Program (Nicholas)

A request for a preliminary review of potential modifications to the Master Sign Program for the Talega Village Center.

Associate Planner Sean Nicholas summarized the staff report. In general, the Design Review commented that staff's recommendations were well thought out and they all agreed with the recommendations made.

Subcommittee Member Crandell stated that he had concerns that the monument signs looked to crowded. He suggested removing some of the arrows and other features. He also stated that the signage should be more structurally contained within the signage. Subcommittee Member Crandell stated that right now the signs seem to be just planted onto the monument signs with no real thought of consistency or integration.

All Subcommittee members agreed with this statement.

Subcommittee Member Ruehlin had concerns about the color palette of the monument signs as well.

The sign contractor, Connie O'Conner, stated that the colors came out wrong in the copies they provided to staff and apologized.

Subcommittee Member Ruehlin understood, but suggested staying away from such bold colors for the arrows.

The sign contractor stated that the intent of illumination of the signs was to have only the names and arrows be internally illuminated, not the whole sign.

Next the Subcommittee discussed the main entry monument signs. The Subcommittee members agreed with staff recommendations regarding signage.

The sign contractor agreed that they would follow staff recommendations, but asked if they could propose a different color which may be more visible.

The Subcommittee stated they were not sure how this would look, but suggested providing some options to review when the formal amendment is submitted. Similarly, the Subcommittee stated that they were open to seeing how adding a matching sign on the other side of the entry monument would balance the sign.

The large proposed Ralphs sign was next presented. The Subcommittee all agreed that the sign was too large and a sign exception permit probably could not be supported, but putting a sign there consistent with the other signs, and within the limits of the Municipal Code sign square footage, may be acceptable.

The sign applicant stated that they are trying to create some identification for the center off-site, and this sign would help. They also asked how big the Target signs were.

Staff did not have information on the Target signs, but when the project came back formally, a comparison would be provided if a sign is proposed in this new location.

Lastly, the photo mural was discussed. The sign contractor stated that it was a carry-over from the last owners, and the new property owners were not interested in doing a photo mural, but were potentially interested in doing some kind of public art for the center. The Subcommittee was very supportive of the idea to incorporate some public art into the center, but the photo mural was not the way to do that. Though the Subcommittee did encourage the property owners to explore public art to enhance the site, and perhaps bring more people in.

Option 1

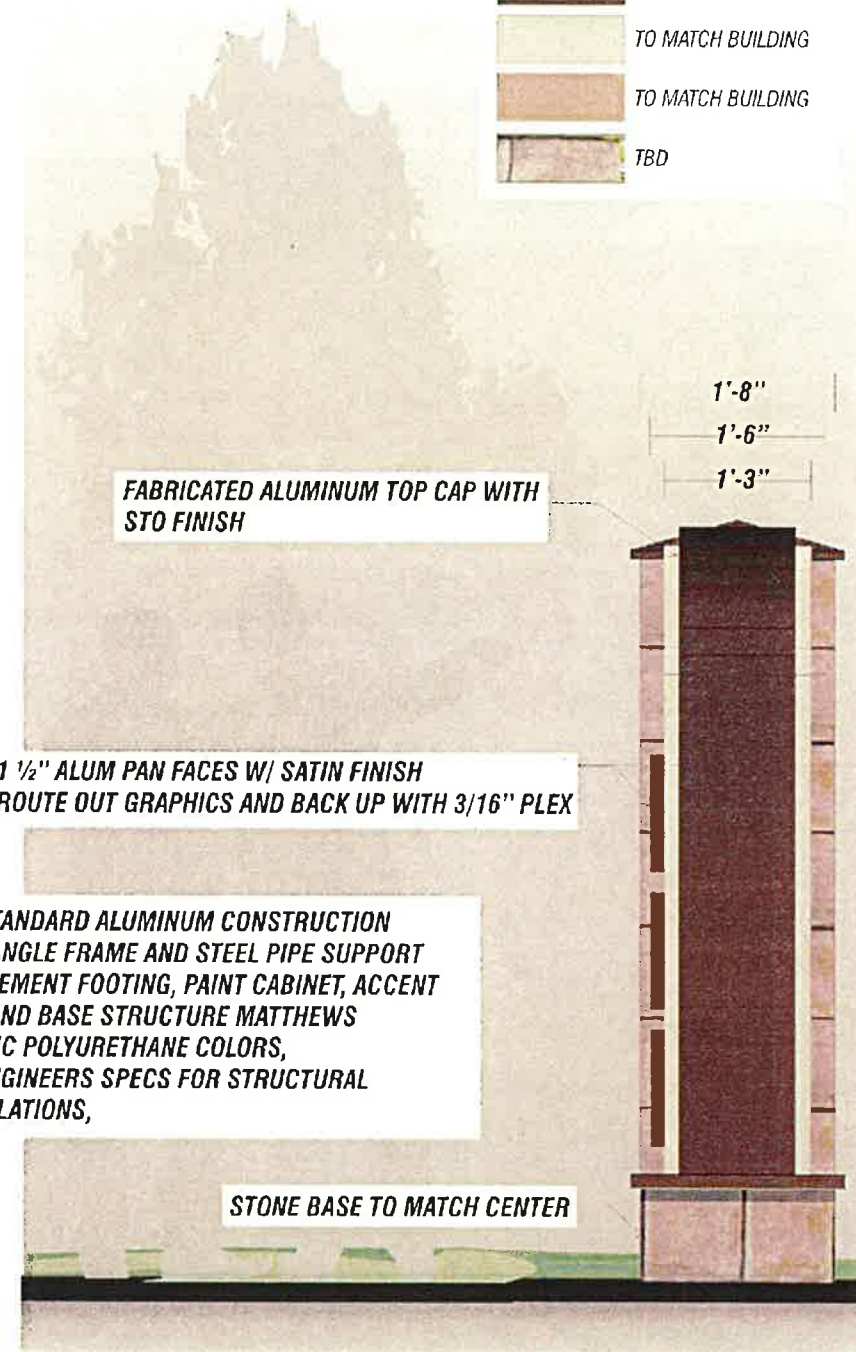


A NEW SINGLE FACED ILLUMINATED DIRECTIONAL SIGN

SCALE: 3/4" = 1'-0"

COLOR PALETTE

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	TO MATCH BUILDING
	TO MATCH BUILDING
	TBD



GRADE

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
 DESIGNER
LUIS SORIA
 SKETCH NO
TALEGA01
 DATE
08-21-2012

REVISION DATES
 ① **02-18-2014**
 ② **02-21-2014**
 ③ **03-03-2014 LS**
 ④ **05-05-2014 LS**
 ⑤

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PRODUCTION APPROVAL

CLIENT APPROVAL

Option 2

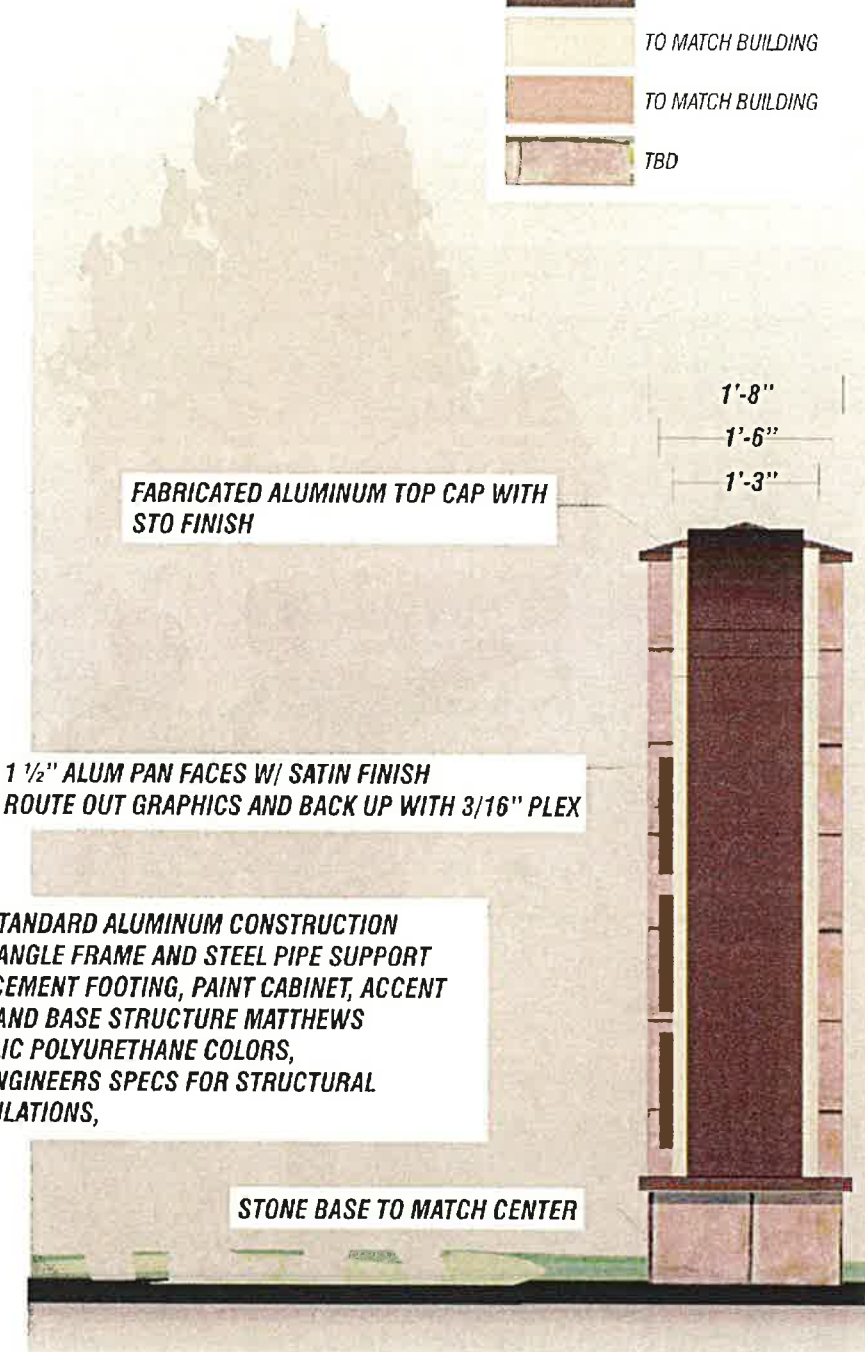


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COLOR PALETTE

	TO MATCH BUILDING
	TO MATCH BUILDING
	TO MATCH BUILDING
	TBD



FABRICATED ALUMINUM TOP CAP WITH STO FINISH

1 1/2" ALUM PAN FACES W/ SATIN FINISH
ROUTE OUT GRAPHICS AND BACK UP WITH 3/16" PLEX

USE STANDARD ALUMINUM CONSTRUCTION
WITH ANGLE FRAME AND STEEL PIPE SUPPORT
INTO CEMENT FOOTING, PAINT CABINET, ACCENT
TRIM AND BASE STRUCTURE MATTHEWS
ACRYLIC POLYURETHANE COLORS,
SEE ENGINEERS SPECS FOR STRUCTURAL
CALCULATIONS,

STONE BASE TO MATCH CENTER

GRADE

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
DESIGNER
LUIS SORIA
SKETCH NO
TALEGA01
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REVISION DATES
1 02-18-2014
2 02-21-2014
3 03-03-2014 LS
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5

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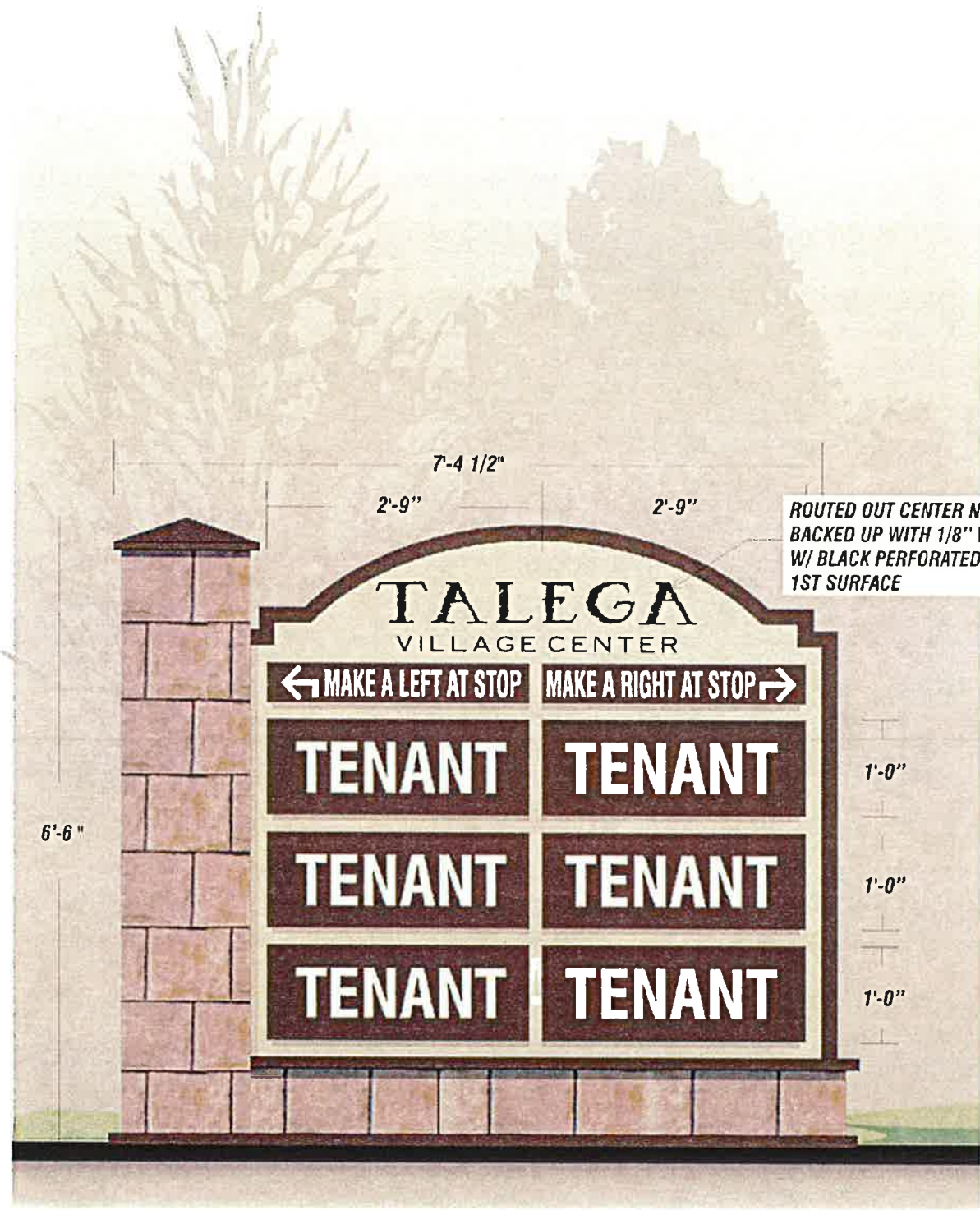
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CLIENT APPROVAL

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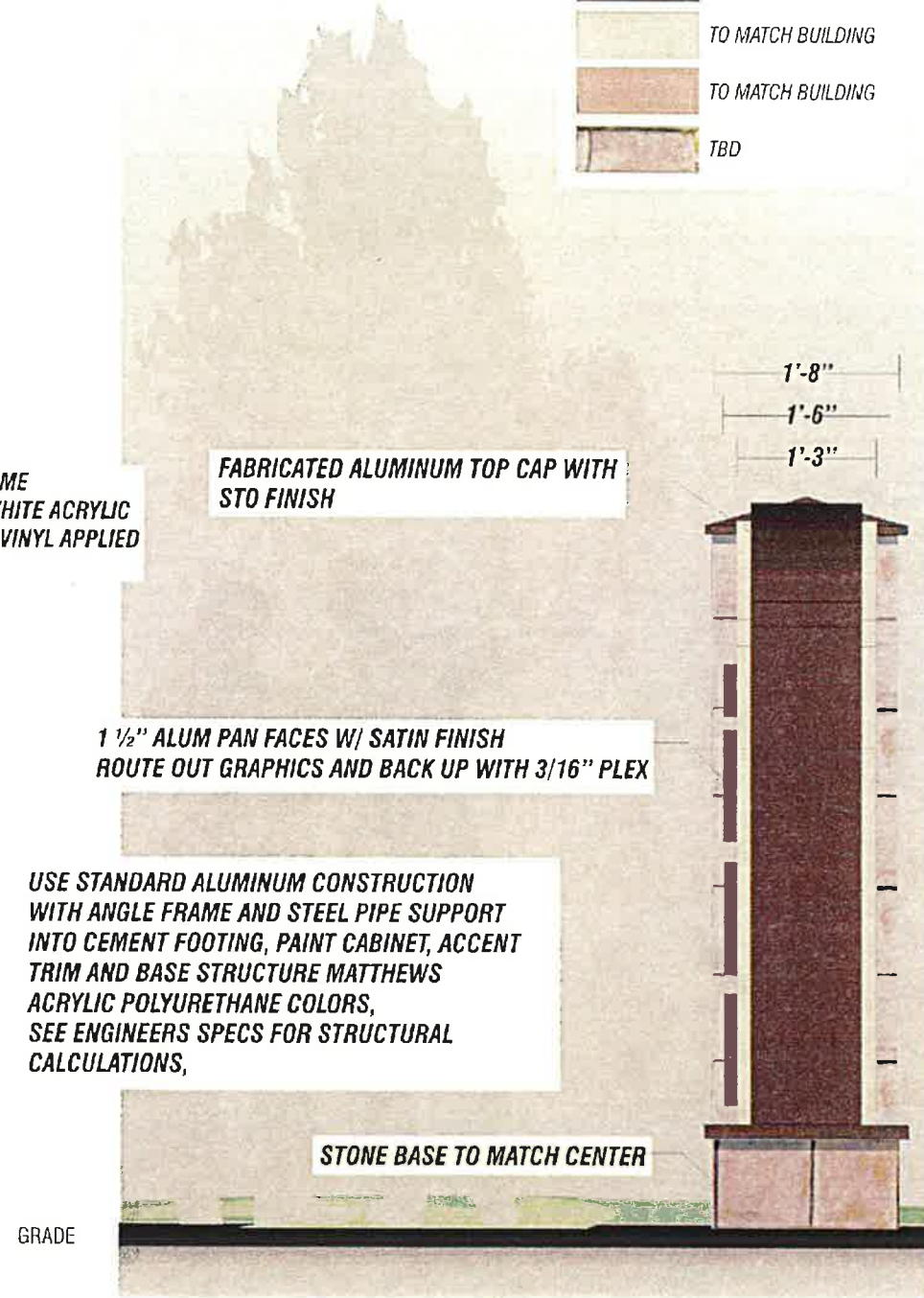


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-  TO MATCH BUILDING
-  TBD



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SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

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PRODUCTION APPROVAL

CLIENT APPROVAL



B1 PROPOSED SIGN LOCATION

NO SCALE



EXISTING CONDITIONS

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
 DESIGNER
LUIS SORIA
 SKETCH NO
TALEGA01
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PRODUCTION APPROVAL

CLIENT APPROVAL

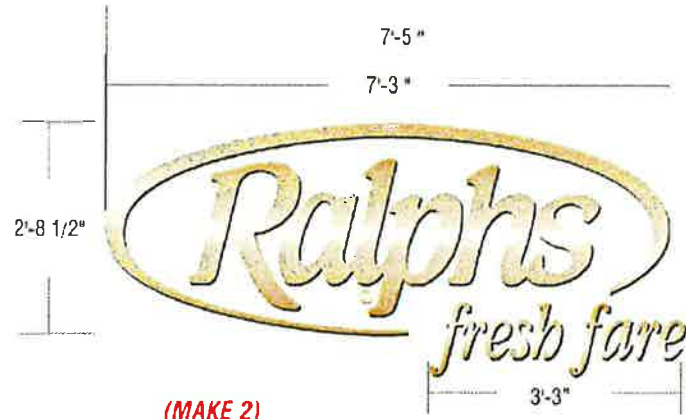
ultrasigns
 MANUFACTURING SPECIALISTS
 TEL: 858-568-1100 FAX: 858-568-1153
 9025 BALBOA AVENUE, STE 150
 SAN DIEGO, CA 92123-1520



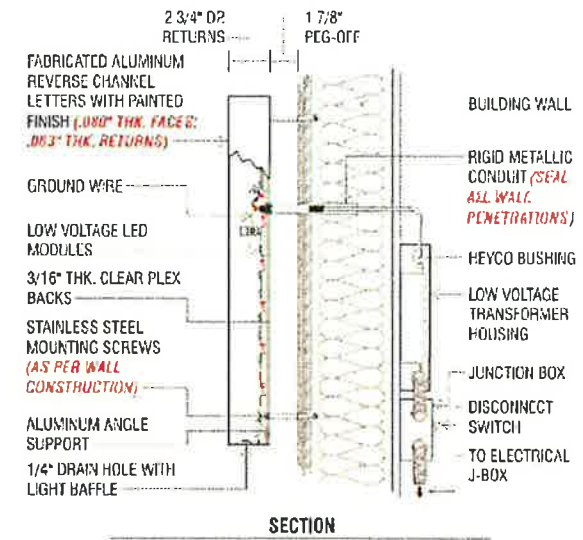
(MAKE 2)

D1 NEW REVERSE PAN HALO LIT LETTERS
SCALE: 3/4" = 1'-0"

D2



(MAKE 2)



REVERSE PAN CHANNEL LETTERS WITH LED ILLUMINATION

NOTE:
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



D1 PROPOSED SIGN LOCATION

NO SCALE



EXISTING CONDITIONS

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
DESIGNER
LUIS SORIA
SKETCH NO
TALEGA01
DATE
08-21-2012

REVISION DATES
1 02-18-2014
2 02-21-2014
3 03-03-2014 LS
4 05-05-2014 LS
5

VOLTAGE
VERIFY

PRIMARY ELECTRICAL TO SIGN LOCATIONS IS TO BE PROVIDED BY OTHERS. 20 AMP DEDICATED CIRCUITS WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR ALL INSTALLATIONS.

COLORS REPRESENTED IN THIS DRAWING ARE FOR PRESENTATION PURPOSES ONLY. THEY MAY NOT MATCH YOUR FINISHED PRODUCT PERFECTLY. COLOR CALL-OUTS ARE FOR A MATCH AS CLOSE AS POSSIBLE.

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Page 5 of 7

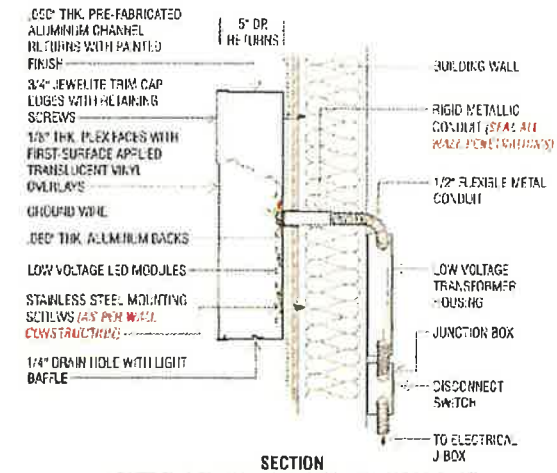
PRODUCTION APPROVAL

CLIENT APPROVAL

ultrasigns
TEL: 858-569-1400 FAX: 858-569-1453
9015 BALBOA AVENUE, STE 150
SAN DIEGO, CA 92121-1520



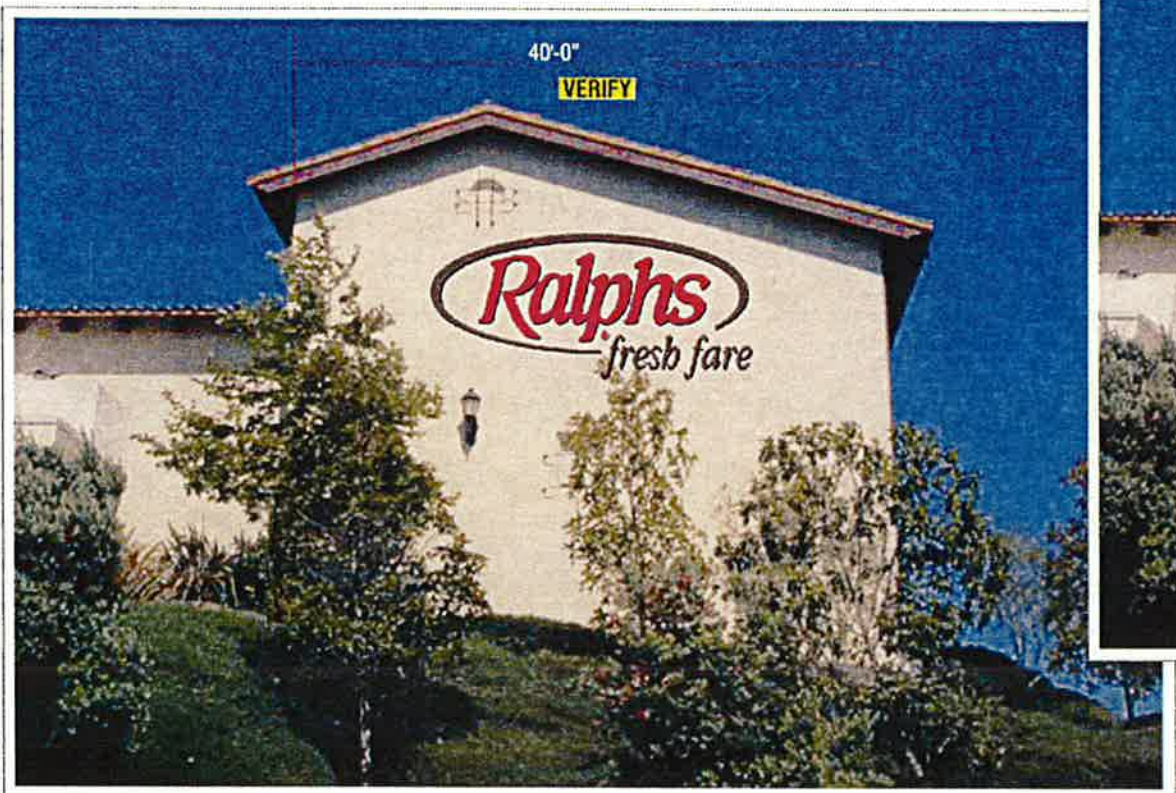
 VERIFY VINYL COLOR
 VERIFY VINYL COLOR



SECTION
SIGN TO BE UL APPROVED AND BEAR U.L. LABEL
PLEX FACED CHANNEL LETTERS WITH LED ILLUMINATION

NOTE
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

E NEW SINGLE FACED INTERNALLY ILLUMINATED PLEX FACED CHANNEL LETTER DISPLAY SCALE 1/4"=1'-0"
USE STANDARD ALUMINUM CONSTRUCTION WITH MATTHEWS SATIN ACRYLIC POLYURETHANE FINISH,
FACES USE RED PLEX AND WHITE PLEX WITH 3/4" TRIM CAP TO MATCH FACE COLOR, ILLUMINATE WITH WHITE LED'S,
PAINT RETURNS TO MATCH FACE,
VERIFY EXACT TRANSFORMER LOCATION PRIOR TO INSTALLATION.



E PROPOSED SIGN LOCATION NO SCALE



EXISTING CONDITIONS

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
DESIGNER
LUIS SORIA
SKETCH NO
TALEGA01
DATE
08-21-2012

REVISION DATES
1 02-18-2014
2 02-21-2014
3 03-03-2014 LS
4 05-05-2014 LS
5

VOLTAGE
VERIFY

PRIMARY ELECTRICAL TO SIGN LOCATION IS TO BE PROVIDED BY OTHERS. 20 AMP DEDICATED CIRCUIT(S) WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR ALL INSTALLATIONS.

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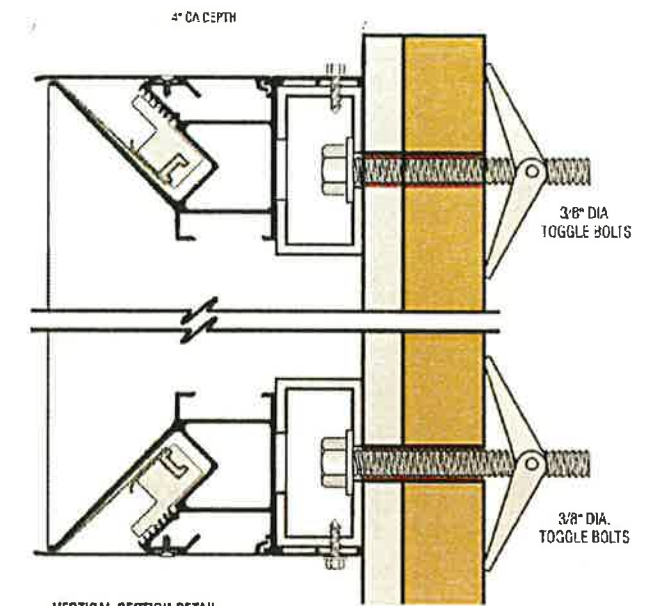
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PRODUCTIVE APPROVAL

CLIENT APPROVAL

ultrasigns
 9025 BALBOA AVENUE, STE 150
 SAN DIEGO, CA 92123-1520
 TEL: 619-569-1400 FAX: 619-569-1453



VERTICAL SECTION DETAIL
SCALE: NO SCALE

F NEW SINGLE FACED NON-ILLUMINATED GRAPHIC DISPLAY SCALE 1/4"=1'-0"
USE STANDARD ALUMINUM CONSTRUCTION WITH MATTHEWS SATIN ACRYLIC POLYURETHANE FINISH,
DIGITALLY PRINTED GRAPHICS



F PROPOSED SIGN LOCATION NO SCALE



EXISTING CONDITIONS

JOB INFORMATION
TALEGA VILLAGE CENTER
SWC AVENIDA VISTA &
AVENIDA TALEGA
SAN CLEMENTE, CA

SALESPERSON
JOHN HADAYA
DESIGNER
LUIS SORIA
SKETCH NO
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VOLTAGE
VERIFY

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Page 7 of 7

PRODUCTOR APPROVAL

CLIENT APPROVAL

ultrasigns
WWW.ULTRASIGNS.COM
TEL: 954-348-1400 FAX: 954-348-1453
9025 BALBOA AVENUE, STE 150
SAN DIEGO, CA 92123-1520



Design Review Subcommittee (DRSC)

Meeting Date: June 11, 2014

PLANNER: Adam Atamian, Assistant Planner

A handwritten signature in blue ink, appearing to be "AA", enclosed in a blue circle.

SUBJECT: **Minor Cultural Heritage Permit 13-264/ Minor Exception Permit 13-333, Eklund Accessory Structure**, a request to consider a 106 square foot accessory structure, six foot tall stucco block wall fronting Avenida Del Poniente, and the demolition of a nonconforming accessory structure at a historic property located at 238 West Avenida Canada. The property is within the Residential Medium (RM-CZ) zoning district.

BACKGROUND:

In April of 2013, the Code Enforcement division issued a citation to the owners of the subject property because people were living in two sheds in the backyard that were not constructed as habitable living quarters. There is also a section of five foot tall stucco block wall in the rear yard along the east side property line, and a five foot tall vinyl fence and gate along the rear property line. The sheds, block wall, and vinyl fence were placed on the historic property without the required Minor Cultural Heritage Permits (MCHP).

Project Description

The owner proposes to modify the exterior of the shed located closest to the house to make it more architecturally compatible with the historic structure, to demolish the other shed, and to build a new six foot tall stucco block wall along the rear property line fronting Avenida Del Poniente, and to plaster the block wall along the easterly property line.

Why is DRSC Review Required?

An MCHP is required to allow new accessory structures and exterior modifications to sites listed on the Designated Historic Resources and Landmarks Lists. The DRSC reviews MCHP applications of this nature. This review is to ensure that proposed changes or additions conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties. Additionally, it ensures that the project conforms to the San Clemente Design Guidelines, substantially furthers the City's goals of historic preservation, and will not negatively impact adjacent historic structures.

Site Data

The subject site is a 4,522 square foot through lot. The front property line is located along West Avenida Canada, while the rear property line is along Avenida Del Poniente. The

property includes a historic house constructed in 1929, which has a Historic Property Preservation Agreement (HPPA) approved in 2006. Attachment 7 provides a description of the historic property from the California Department of Parks and Recreation (DPR), recorded in 2006.

This shed closest to the property line, and proposed to be demolished, was installed after 2010 by the current property owners. The HPPA project file includes photos taken in September of 2006 (provided as Attachment 5) that show the shed closest to the house. Staff and the applicant cannot determine exactly when the shed closest to the house was installed. However, due to the fact that this shed is a relatively modern structure which shares no connection to the materials or construction techniques used on the historic structure, and that neither is included in the DPR property record, it is clear that the sheds are not part of the historic nature of the property.

The section of stucco wall located in the rear yard along the east property line was built sometime between 2011 and 2013, based on photographic evidence shown in Attachments 2 and 3. At any time in that range, the wall would have required a Building Permit, in addition to a Minor Cultural Heritage Permit, to construct. However, the Building Code recently changed to allow block walls under 6 feet tall to be constructed without a Building Permit, and so no Building Permit is required now. That section of wall only requires approval of a Minor Cultural Heritage Permit.

The vinyl fence never required a Building Permit, but should have received a Minor Cultural Heritage Permit prior to construction. Based on the dated photos contained in Attachments 3 and 5, the vinyl fence appears to have been built between 2006 and 2011.

There is a historic property located at 240 Avenida Del Poniente which is visible from the rear yard area of the subject property, approximately 50 feet away.

ANALYSIS:

Demolition of Shed

The shed located closest to Avenida Del Poniente does not meet the minimum required setbacks for accessory structures. The Zoning Ordinance stipulates that the rear yard setback of a through lot is the same as the front yard setback, which is 15 feet in the Residential Medium zone. The shed proposed to be demolished encroaches approximately ten feet into the 15 foot rear yard setback. The shed was recently built and is not a contributing historical resource to the site.

Maintenance and Exterior Improvements of Shed

The applicant requests to maintain the shed located closest to the historic building. This accessory structure meets the development standards of the Zoning Ordinance in terms of setbacks, height and is a permitted use.

To make the shed reminiscent of Spanish Colonial Revival Design, the applicant proposes to stucco the structure with a color and texture similar to that of the historic building, to cut, rout and stain the beams and rafters, and to install a two-piece, mud-packed clay tile roof. Attachment 6 provides photos of the colors and finishes of the wood and stucco of the historic structure.

The Secretary of the Interior's Standards for Reconstruction require that, "A reconstruction will be clearly identified as a contemporary re-creation." In this case, the structure is not attached and differentiating the new materials and finishes from those of the historic structure is not necessary. The simplicity of the exterior alterations proposed do not compete with the historic property but reference some of the basic principles of Spanish Colonial Revival architecture such as smooth, stucco walls and low-pitched tile roofs. These architectural features increase the sheds connection with the site without diminishing the historic value of the residence.

Construction of Stucco Block Wall

The applicant proposes to remove the unpermitted, five foot tall vinyl fence and gate, and build a six foot tall stucco block wall with a wood gate along the rear property line, adjacent to Avenida Del Poniente. The wall is finished with smooth white stucco and a wood gate painted similar to the historic structure's stucco and wood trim elements.

Walls over 3'-6" tall in the 15 foot rear yard setback require a Minor Exception Permit to ensure the wall will not be unsightly or incompatible with the character of the neighborhood and will have negative visual impacts upon the street scene, or obstruct views of traffic to and from driveways.

The owner requests the wall to provide rear yard privacy. However, due to the layout of the parcels along Avenida Del Poniente and the site design of many of the surrounding residential structures, this property is the only one with a rear yard area fronting Avenida Del Poniente. Neighboring lots either have a front yard that faces Avenida Del Poniente, or they are through lots with a garage very close to the rear property line facing that street.

Most front yard walls or fences along Avenida Del Poniente are under 3'-6". However, there are four wood fences that are approximately five feet tall located in the setbacks facing Avenida Del Poniente. Of these properties, the residences with rear yards facing Avenida Del Poniente have fences within a few feet of the property line, while the residences with front yards on this street have fences approximately two to ten feet behind the property line. There are also multiple garage walls close to the street, four are within five feet of the street facing property line.

The neighborhood provides a mix of wall and fence heights in the yards facing Avenida Del Poniente. The proposed wall is not out of character with the wood fences and multiple unrelieved garage walls which are close to the property line of many of the surrounding properties. The property on the east side of the subject site includes a continuation of the five foot fencing along the rear property line that connects to a garage that is also within

a few feet of the rear property line. The property on the west side of the subject site shares the five foot fence running between the two properties. This neighbor's front yard is located on Avenida Del Poniente, with the garage located near the subject site. On the opposite side of the property there is a very low garden wall, approximately two feet tall.

The wall is consistent with the recommended materials of the Design Guidelines because it is a thick masonry wall with a smooth irregular cement plaster finish. However, the wall does not include features of the wall in the front yard area of the property, or the unpermitted wall in the rear yard along the east property line. These include a brick wall cap, tile inserts on the face of the wall, and a setback from the sidewalk to provide landscaping visible from the street. Refer to Attachment 2 for a photo of the front wall, and Attachment 2 for a photo of the rear wall along the east property line.

The Design Guidelines state that historically significant sites should incorporate "low garden walls" (Design Guidelines IV.G.2.e). The development standards of the Zoning Ordinance specify that the maximum wall height in this area of the lot is 3'-6" because it is a through lot, and so the standards for the front yard apply to the rear. The height of the existing five foot tall vinyl fence blocks most pedestrian and vehicular views of the historic resource. The applicant's request for a six foot tall wall would obscure the view of all but the roof peak of the historic resource. However, this is still a rear yard, and a slight increase in the allowable height is sensitive to the historic nature of the site, compatible with the Design Guidelines, and consistent with neighboring properties.

RECOMMENDATIONS:

Staff is generally supportive of the applicant's request, but recommends the applicant incorporate the following into the project:

1. The pitch of the shed should be increased to a minimum 3:12 pitch. The roof is too flat for clay tiles to appear appropriate or functional.
2. The stucco block wall should be reduced to no more than four feet tall. Because of the existing pattern of fencing in the neighborhood, an increase in the height of the fence is consistent with the some of the surrounding properties. However, as this is a historic property, the Design Guidelines require low garden walls. An increase of 6" adequately addresses the applicant's request for privacy while maintaining compatibility with the Design Guidelines.
3. The stucco block wall should include a brick wall cap to match the caps on the wall along the front property line. The owner is encouraged to use inset tiles on the face of the wall to match the wall at the front of the property.
4. The stucco block wall should be moved away from the property line approximately three feet, similar to the wall at the front of the property. Additional landscaping should be provided between the fence and the property line similar to the landscaping in front of the wall along the front property line. This will provide more

landscaping along the street frontage of Avenida Del Poniente, and will reduce the amount of blank wall surface visible from neighboring properties.

5. The unpermitted rear block wall along the east property line should be cut down to match the recommended four foot height of the proposed wall along the rear property line. The reduced height should be applied to the section of the wall that is within the 15 foot rear yard setback. Beyond 15 feet from the property line, the wall could resume its existing height of five feet.
6. The HPPA included a requirement to replace an exterior façade on the front right window of the historic building. At the time of the agreement, the window had a decorative wood column window treatment in need of replacement. Refer to Attachment 5 for a picture of this feature as it existed in 2006. The property owners at that time were given the option of replacing the wood columns with wood or wrought iron, and wrought iron was chosen. Attachment 4 is a picture that shows the wrought iron window façade as it existed in 2007. At some point afterwards, the wrought iron was removed. Staff recommends that the window treatment be replaced. Staff encourages the applicant to install decorative wood columns, rather than the wrought iron that was chosen previously. The wood columns are more substantial and appear more structurally functional than the thin wrought iron.
7. In 2006 there was a cable satellite dish attached to the shed closest to the house, as shown in Attachment 5. Since that time, the satellite dish was moved to the rear wall of the historic structure, visible from the street as shown in Attachment 2. Staff recommends that the satellite dish be reattached to the shed in as discreet a location as possible.

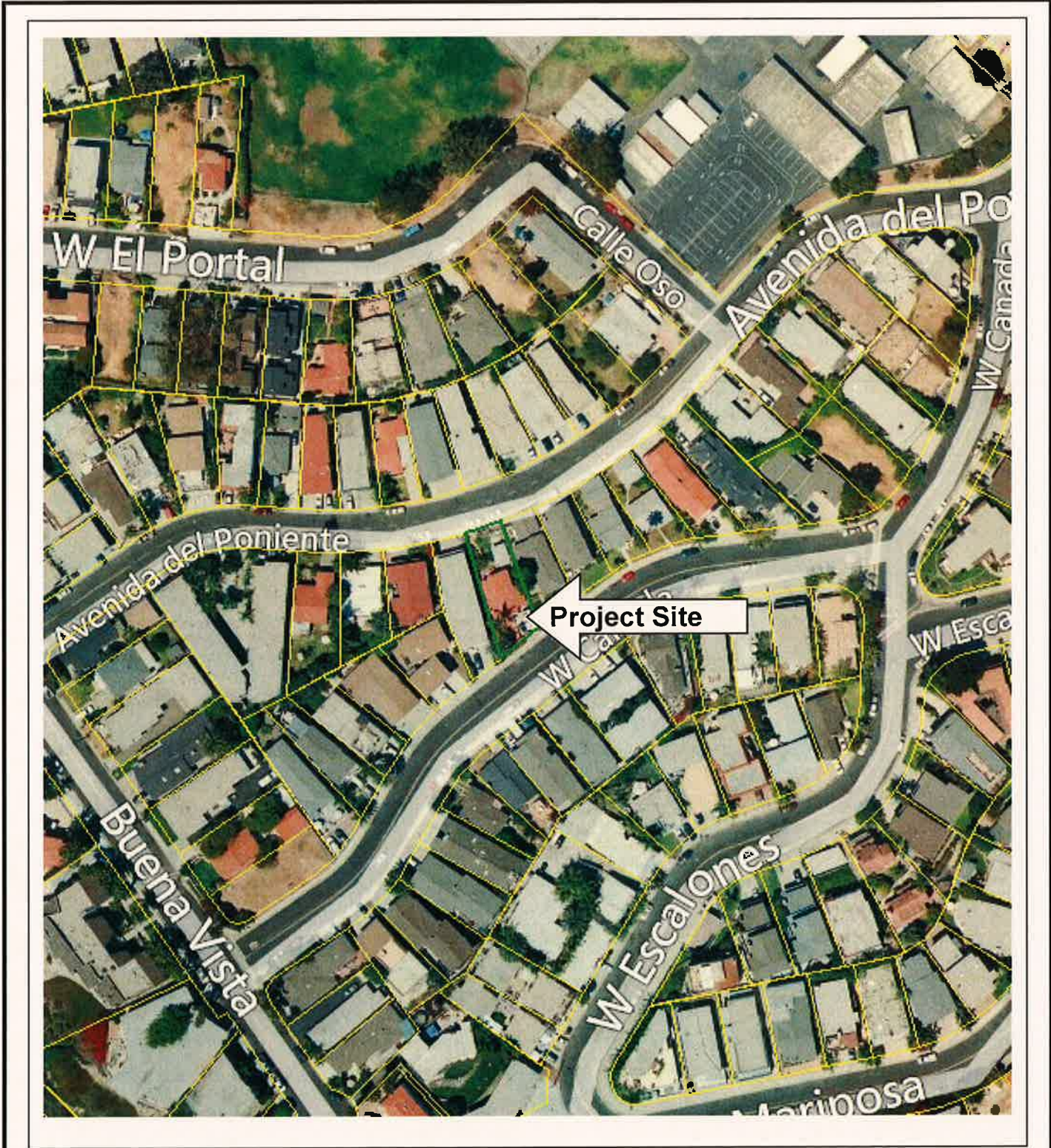
Attachments:

1. Location Map
2. Photos of Current Site Conditions
3. Photos of Site Conditions in 2011
4. Photo of Front Window Treatment in 2007
5. Photos of Site Conditions in 2006
6. Photos of Finish Materials of Historic Structure
7. DPR Form for 238 West Avenida Canada
Plans



LOCATION MAP

Minor Cultural Heritage Permit 13-264/ Minor Exception Permit 13-333, Eklund Accessory Structure
238 West Canada



No scale



From Avenida Del Poniente



From Avenida Del Poniente

Current Site Conditions



From Avenida Del Poniente



From Avenida Del Poniente

Current Site Conditions



From West Canada



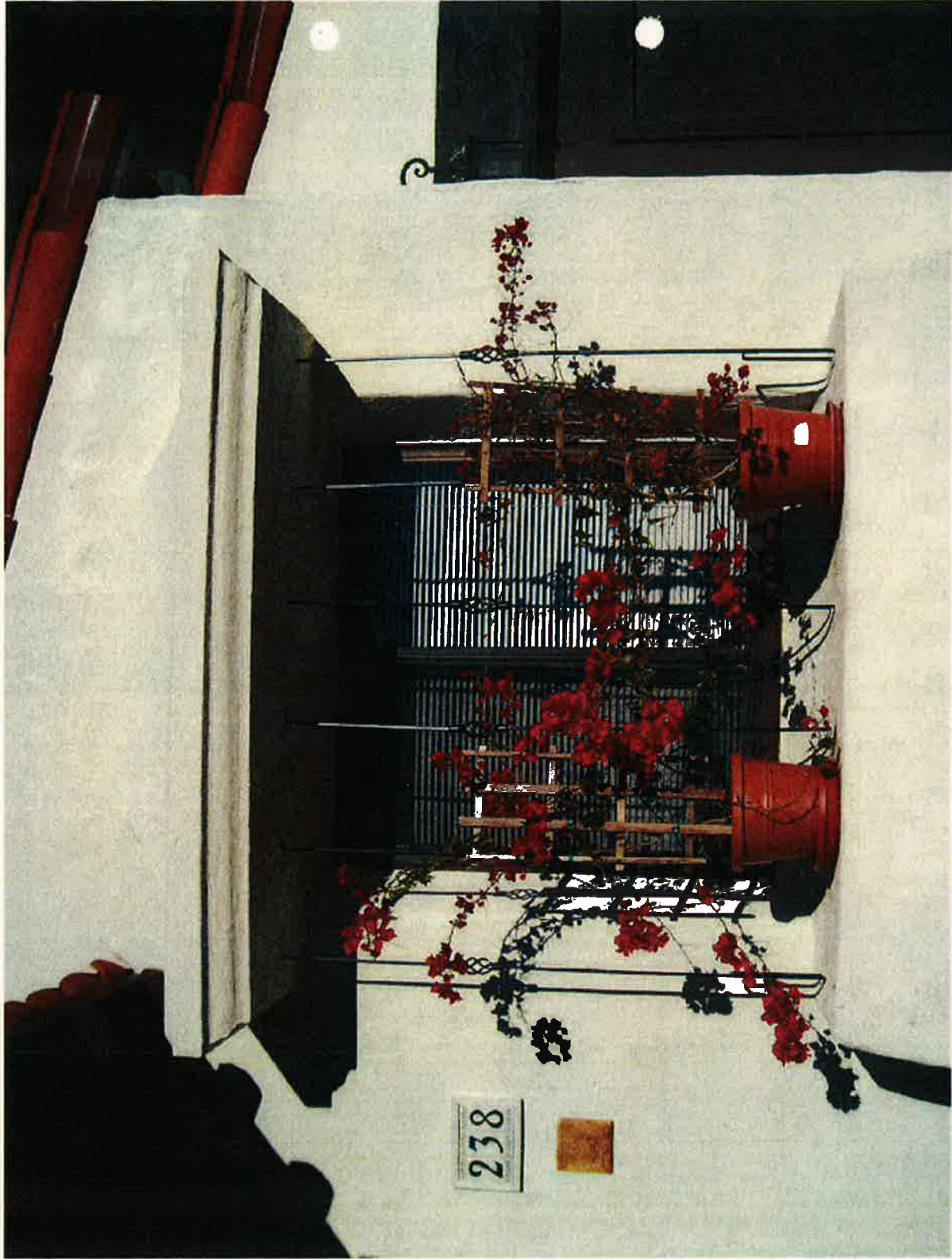
From West Canada



From Avenida Del Poniente



From Avenida Del Poniente





From Avenida Del Poniente



From Avenida Del Poniente

Photos dated 9/1/2006, from HPPA 06-434 project file



From Avenida Del Poniente



From West Canada





PRIMARY RECORD

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 3

Resource Name or #: 238 W CANADA

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County Orange
and (P2b and P2C or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; B.M.

c. Address 238 W Canada City San Clemente Zip 92672

d. UTM: Zone; mE/ mN

e. Other Locational Data: Assessor Parcel Number: 692-081-11

P3a. Description:

The property contains a one-story single family residence with a rectangular plan and wood-frame construction. Designed in the Spanish Colonial Revival style, it has a front-gable roof with clay tiles. The exterior walls are clad with smooth stucco. The primary facade includes a covered entry with front gable. The porch includes wood porch supports. A low stucco wall encloses the yard. Spanish Colonial Revival elements of the residence include exposed rafter tails. The fenestration consists of original wood windows throughout the residence. Some of the original windows have been replaced with aluminum sliders. The residence is in good condition. Its integrity is fair.

P3b. Resources Attributes: 02 Single Family Property

P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Description of Photo:

South elevation, north view. May 2006.

P6. Date Constructed/Sources:

Historic Both
 Prehistoric

1929 (E) Tax Assessor

P7. Owner and Address:

Cotton, Leslie L. & Cotton, Lynn
238 W Canada

P8. Recorded by:

Historic Resources Group, 1728
Whitley Avenue, Hollywood, CA
90028

P9. Date Recorded: 9/18/2006

P10. Survey Type:

City of San Clemente Historic
Resources Survey Update

P11. Report Citation: None.

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other:

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

NRHP Status Code 3D

Resource Name or #: 238 W CANADA

B1. Historic Name: (Unknown)

B2. Common Name: (Unknown)

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

B5. Architectural Style: Spanish Colonial Revival

B6. Construction History:

B7. Moved? No Yes Unknown

Date: Original Location:

B8. Related Features:

B9a. Architect: (Unknown)

b. Builder: (Unknown)

B10. Significance: Theme Ole Hanson/Spanish Village by the Sea Area City of San Clemente

Period of Significance 1925-1936 Property Type Residential Applicable Criteria A

This one-story single family residence was built in 1929. This property is a typical example of the Spanish Colonial Revival style as represented in San Clemente. This property appears eligible as a contributor to a potential National Register district under Criterion A for its association with the Ole Hanson/Spanish Village by the Sea period of development. It also appears eligible at the local level as a contributor to a potential historic district. It is recommended for retention on the Historic Structures List.

B11. Additional Resource Attributes: 02 Single Family Property

B12. References: Orange County Tax Assessor Records; Historic Resources Survey, Leslie Heumann and Associates, 1995.

B13. Remarks: (none)

B14. Evaluator: Historic Resources Group, Hollywood, CA

Date of Evaluation: 9/18/2006

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 3

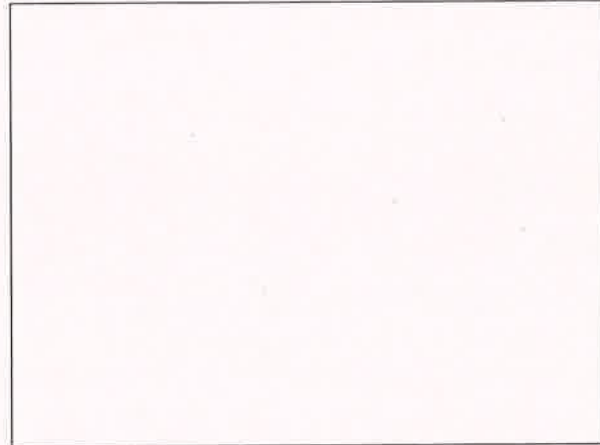
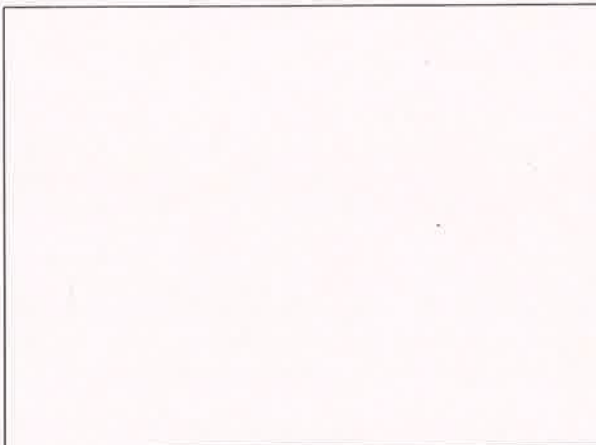
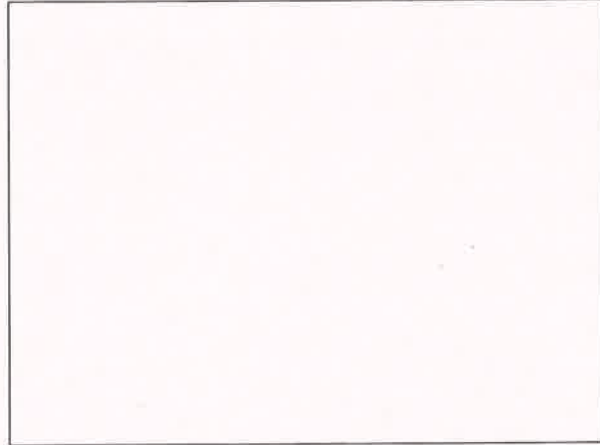
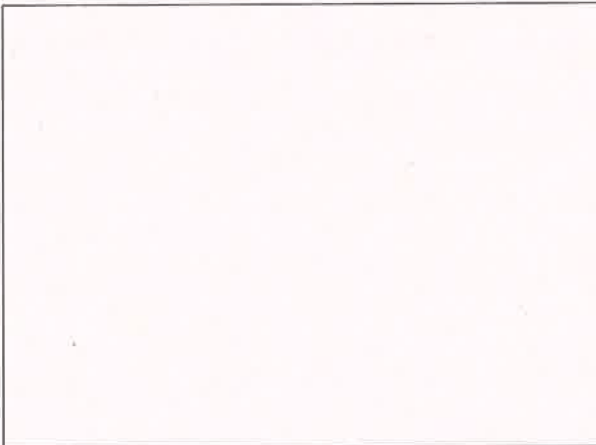
Resource Name or #: 238 W CANADA

Recorded by: Historic Resources Group

Date: 9/18/2006

Continuation Update

Photographs of the Subject Property, Continued:





Design Review Subcommittee (DRSC)

Meeting Date: June 11, 2014

PLANNER: Adam Atamian, Assistant Planner 

SUBJECT: **Site Plan Permit 13-161/ Cultural Heritage Permit 13-162/ Conditional Use Permit 13-163, Cabrillo Mixed-Use,** a request to consider a new mixed-use development consisting of a two-story commercial building and a separate two-story residential structure with basement level parking. The project is located at 176 Avenida Cabrillo within the Mixed-Use zoning district (MU3-p-A-CZ).

BACKGROUND:

Project Description

The applicant is proposing a new mixed-use development in the Spanish Colonial Revival style in the Mixed-Use zone and Pedestrian and Architectural Overlays. The project consists of a 675 square foot, two-story commercial building at the front of the property and a 1,799 square foot, two-story single family residential structure towards the rear of the property. The project includes three parking spaces: two in a garage at the basement level of the residence, and one uncovered parking space for the commercial building.

Why is DRSC Review Required?

A Cultural Heritage Permit is required because the project is located within the Architectural Overlay district, the Conditional Use Permit is required to allow residential development in the Mixed-Use zone and to allow the building to exceed 33 feet in height, and a Site Plan Permit is required for all new mixed-use developments. The DRSC is tasked to ensure development in the Architectural Overlay is compatible and harmonious with the surrounding neighborhood, and consistent with the City's Design Guidelines.

Site Data

The property is a 4,000 square foot, unimproved lot. It was previously graded as part of a project to develop an off-site parking lot for a business located on Avenida Del Mar. The requirement for the parking ceased and the project was never finished. The lot has since been re-graded to its original topography.

Adjacent properties include a one-story duplex to the west, one-story commercial building to the east, a two-story SFR to the north, and a public parking lot across the street to the south.

Development Standards

Table 1 outlines how the project complies with the Mixed Use (MU3-p-A) development standards.

Table 1 - Development Standards

	Required/Allowed	Proposed
Building Height Maximum	33'; Two-Stories	34'-2"; Two-Stories
Setbacks (Minimum):		
• Front	0'	4' for commercial building, 44' for residence
• Side Yard	0'	0' left & 3" right
• Rear Yard	0'	5'
Lot Coverage (Maximum)	100%	49%
Maximum Floor Area Ratio (FAR)	1.2*	.84
Minimum FAR for Commercial Portion	.15	.17
Minimum Driveway Width	16' to 24'	12' **
Urban Open Area	20%***	48%
Amount of Open Urban Area to be Landscaped	25%	47%
Number of 15-gallon trees, or equivalent, required	1	11
Density	2 dwelling units	1 dwelling unit
Required Parking (Minimum):	3.93 (rounds down to 3)	3

*Reduced FAR per 17.40.050(C), Exceptions to the Development Standards for Lots of 12,000 Square Feet or Smaller, MU3 Zone

**Exception permitted by City Engineer, pending final project approval.

***Courtyards, pedestrian walkways, and outdoor seating areas accentuated with landscaping satisfy the urban open area code requirements.

ANALYSIS:

As described in Table 1, the project complies with all applicable development standards for the zone, with the exception of the minimum driveway width. This proposal only provides one parking space for the commercial portion of the project, and that space is required to be an ADA-accessible space. Because the use of the commercial parking space is not anticipated to be frequent, the City Engineer allowed the reduction as vehicular movement on-site will mostly be that of the residents and business owners.

Due to the unique nature of this project as a new mixed-use development on a small lot located in the MU3-p-A zone, many Design Guidelines apply. A complete analysis of this project's compliance with the Design Guidelines, along with staff's comments and recommendations, is provided as Attachment 2.

RECOMMENDATIONS:

Staff has the following general recommendations to improve the design of the project:

1. The plans show retaining walls that extend over the adjacent grade. The maximum height for a combination retaining wall and privacy wall is 6 feet. Plans should be revised to meet this standard.
2. This project will be substantially taller than the adjacent structures on either side of the subject site along Avenida Cabrillo. The rooftop veranda can be interpreted as a three story structure, and is 34.02' above original grade. The elevations lack depth and appear to make the structure's street presence immense. The applicant should demonstrate how this structure will look from the street in the context of the surrounding development with a visual simulation.
3. The project should include more ornamental details, such a wrought-iron grilles and masonry and tile accents, especially at the commercial building's street-facing facades to help orient pedestrians to the building's main entrance. Light fixtures must be shown on the plans.
4. The arches at the north east corner and the front of the residential structure should be modified to provide thicker columns. Additionally, the incorporation of more defined column and arch features is encouraged, such as column moldings at the impost and base.
5. The utility meters and mechanical equipment must be shown on the plans in a place that is screened from public view.
6. The gates for the trash containers should be more opaque than the proposed wrought iron. Wood gates of a design similar to the garage door is recommended.
7. The French doors on the residence's street facing wall should be recessed.
8. The plans specify 10" x 10" posts for the trellis; however, the plans do not scale similarly. Staff recommends that plans be revised to accurately depict the thickness of the timbers.
9. Neither staircase is visible from the street; however, the stairs at the rear of the commercial building are oriented to the public parking area staff encourages the use of metal railings and grillwork with decorative tile stair risers.

10. The project should provide a more substantial, Juliette-style balcony structure on the commercial building, potentially including an awning. There is an opportunity to provide more classic SCR elements at the two other street-facing balconies as well. The balcony on the left side of the residential structure is encouraged to be modified so that the floor is solid and supported by materials that provide the appearance of a plan offset, either cantilevered or supported by posts going down to the deck below. The trellis on the balcony on the right side of the residential structure could be modified to be an extension of the roof supported by posts to make it a veranda, and less of a separate patio cover.
11. The plans should be revised to show the divided lites on the windows. Also, the two square windows on the Left Elevation should be replaced with more vertically rectangular windows.
12. The window on the drive aisle side of the commercial building should incorporate a window treatment, as described in Attachment 2, to provide additional interest along that wall, and to reduce the amount of blank wall space.
13. The opening for the double sliding doors at the ground floor of the commercial building should include a door treatment such as an arched opening or a stucco or concrete surround. Staff also recommends that the door on the drive aisle side of the commercial building include a door treatment such as a tiled border treatment.

Staff seeks the DRSC's comments and welcomes any additional recommendations.

Attachments:

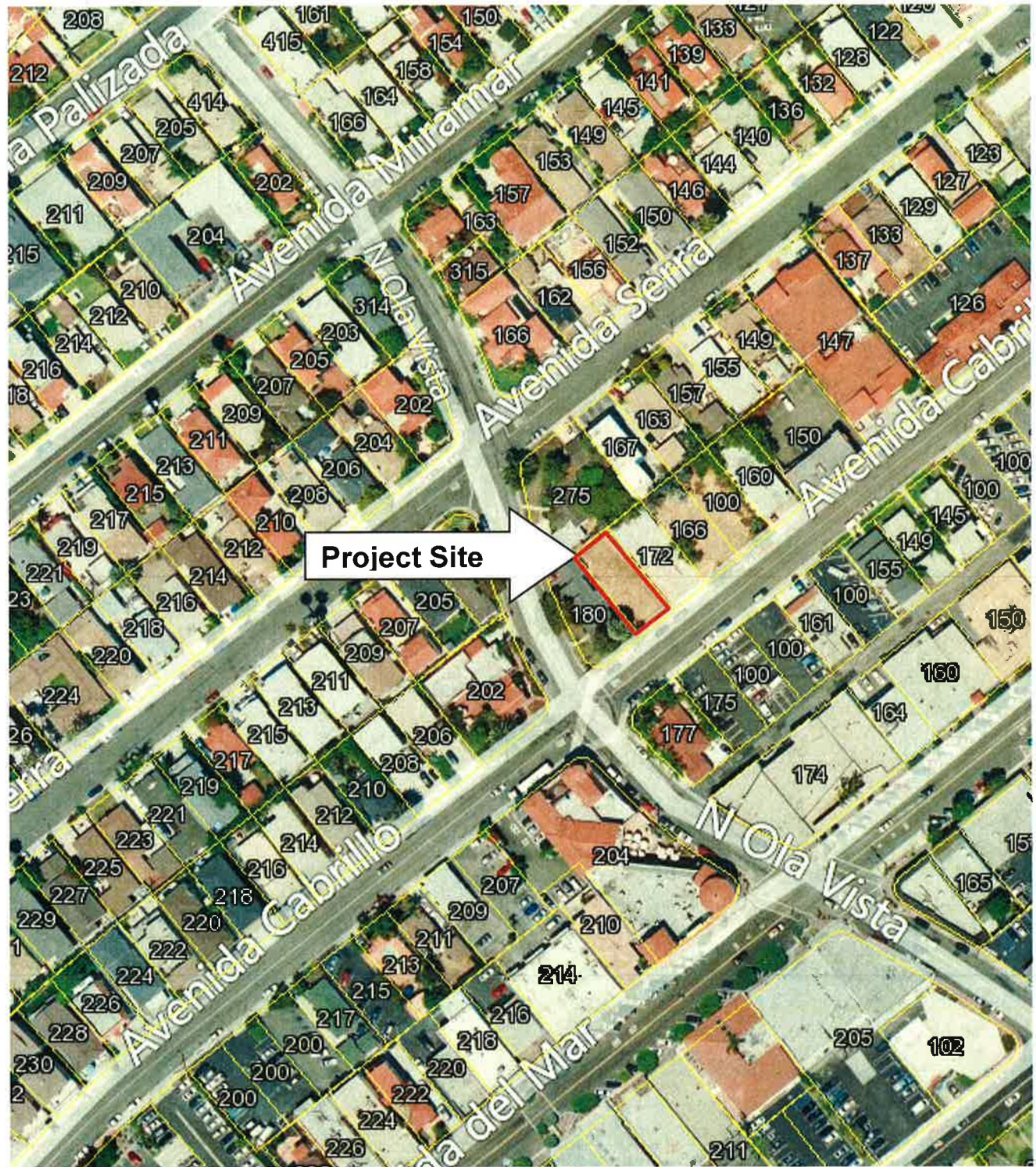
1. Location Map
2. Design Guideline Consistency Table
3. Site Photos




ATTACHMENT 1

LOCATION MAP

Site Plan Permit 13-161/ Cultural Heritage Permit 13-162/
Conditional Use Permit 13-163, Cabrillo Mixed-Use
176 Avenida Cabrillo

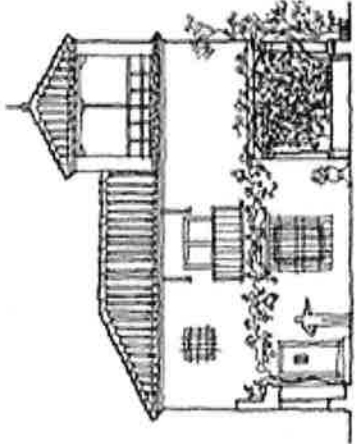


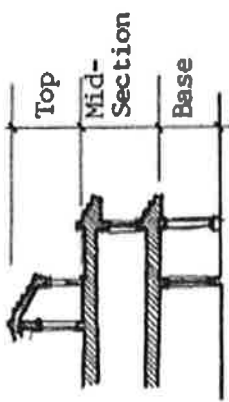
No scale 

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
II.A.2. General Site Design Objectives	Develop compatible relationships between the topography, building placement, and existing open spaces of neighboring properties. Respect the privacy, sun, and light exposure of neighboring properties.	Project involves substantial grading for basement level garage, but building placement is compatible with existing development. Development has potential to restrict sun and light exposure to adjacent lots to the east and west sides of subject lot.	Adjacent properties include a one story duplex to the west, one story commercial building to the east, a two story SFR to the north, and a public parking lot across the street to the south. Due to the narrowness of the lot, the applicant is proposing a more vertically designed development between two buildings that provide space on the east-west axis to allow sun light to penetrate through the development.	
	Provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other appropriate means.	Project provides considerate transition, locating the commercial away from the buildings on adjacent properties, while locating the bulk of the project toward the rear of the property adjacent to the two-story SFR to the north.		
	Maintain public view corridors	Project does not have significant impacts to view corridors.		
II.A.3. Preservation of Natural Features	Development proposals should demonstrate an effort to retain significant existing natural features.	The project involves substantial grading for a basement garage.	The loss of topography is necessary due to the significant slope of the lot to allow parking away from the street frontage. The rooftops of the project generally follow the contour of the existing slope.	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
II.A.5. Parking and Circulation	Provide a clear circulation plan for automobiles, pedestrians, and service vehicles.	The project qualifies for a reduction of required parking per Zoning Ordinance Section 17.40.050(C) (d). Parking on-site is provided with two spaces in the garage for the residential portion of the project, and one accessible space for the commercial portion. Project locates parking and service areas behind the commercial portion of the project.	The City Engineer approved a reduced drive aisle width to accommodate the placement of the commercial building at the front of the lot because there is little traffic anticipated for the project due to the lack of non-accessible, non-residential parking provided.	
II.A.6. Internal Site Design	Locate off-street parking and service areas to minimize visibility from the street. Landscape design should consider climatic conditions to provide shade from summer sun, natural ventilation, and other measures to maximize energy efficiency and human comfort. Provide pedestrian circulation, pedestrian amenities, and bicycle facilities in all site plan proposals. Organize buildings and open spaces to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoors and outdoors, and as potential points of "focus" on the site.	The project provides landscaping beyond what is required by the Landscape Ordinance. The landscaping is provided throughout the project. The project provides adequate pedestrian movement, however, bicycle parking is not proposed. The buildings are organized so that there is open space between them.	Due to the nature of the uses proposed, and the lack of available space on site, bicycle facilities appear difficult to include without major modifications to the project. Because of the restrictions of the lot, the open space between the buildings must be used for required parking. However, the space is decoratively paved, and when not used as a parking space provides the appearance of a courtyard.	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	Use planting to define outdoor spaces, soften the impact of buildings, and parking areas, screen parking and service areas from public view and create visual linkages to neighboring development.	Landscaping is provided in multiple locations on-site to reduce the impact of the commercial building and the masonry surfaces of the drive aisle to the street.		
II.B.2. Site Planning	Respect the arrangement of buildings, open spaces, and landscape elements of adjacent sites. When possible, buildings and open spaces should be located for mutual advantage of sunlight, circulation, and preservation of public views.	The project is sited to provide ample open space around the commercial building, while locating the residential portion to provide setback relief to the neighboring buildings toward the rear of the lot.		
	Property line walls should be considered during the design review process. Design plans should show a detail of the property line wall and how it corresponds with existing, adjacent building walls.	The project includes retaining walls abutting the property line to allow the slope grading for the basement garage under the residential structure. The retaining wall to the east will be similar to the one on the adjacent property.	The plans show retaining walls that extend over the adjacent grade. The maximum height for a combination retaining wall and privacy wall is 6 feet tall. The walls will not be able to extend much higher than the adjacent grades shown on the topographical plan.	
II.B.3. Scale, Mass, and Form	Design buildings to be compatible in scale, mass and form with adjacent structures and the pattern of the neighborhood.	The pattern of the neighborhood is varied in terms of scale and mass. The adjacent structures on Avenida Cabrillo are single-story.	This project will be substantially taller than the adjacent structures on either side of the subject site along Avenida Cabrillo. The rooftop veranda can potentially be seen as a three story structure, and is 34.02' above original grade. A CUP is required to allow a height over 33'.	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
<p>II.C. 2. Basic Principles of the "Spanish Colonial Revival" Architecture.</p>	<p>Palm trees, hedges, and other plantings work with the building walls to define exterior living spaces. The landscape character of outdoor spaces is an integral part of the architecture. A common pattern is the sequence of street, landscaped entry court, then building.</p>	<p>Landscaping is provided in multiple locations on-site and serves to orient the entrances and access ways into the site.</p>		
	<p>The buildings' forms are one, two, and three stories with low pitched red tile hip, gable and shed roofs. The building forms often step to fit the topography.</p>	<p>The project, when viewed as a whole, follows the topography of the lot and provides a transition from a two story structure at the bottom of the lot (toward the street) to what appears to be a four story structure.</p>	<p>The visual impact of the entire project when viewed from the street is that of a four story building. While the garage may technically be a basement, the first floor of the commercial building which is not a basement is at the same elevation, and this reinforces the impression that the residential structure's first floor is the basement. When the rooftop veranda is included, the structure can be visually interpreted as a four story structure.</p>	
	<p>The building components are divided into parts scaled to human size.</p>	<p>The buildings generally provide architectural elements scaled to human size.</p>	<p>There are a few opportunities to further reduce the scale presented by large blank walls, such as:</p> <ol style="list-style-type: none"> 1. Adding more plan offsets. 2. Stepping back upper stories. 3. Incorporating more substantial balconies. 4. Providing additional building openings or windows. 	
	<p>Ornament and sculptural detail are located where special emphasis is desired, such as at entrance and tiled patio areas.</p>	<p>The plans do not specify much ornamental detail.</p>	<p>The project should include more ornamental details, especially at the commercial building facades that face the street and the drive aisle, especially elements that help orient pedestrians to the building's main entrance. Light fixtures must be shown.</p>	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
II.B.3.a. Outdoor Spaces	Incorporate defined outdoor spaces into the buildings and site designs of all new development in the city.	Project includes Outdoor spaces such as patios, covered walkways (arcades and colonnades), passages, trellised areas, verandas, balconies, roof terraces, and all other spaces that are enclosed or partly-enclosed.		
II.B.3.b. Building Form and Massing	Articulate new building forms and elevations to create interesting roof lines, and strong patterns of shade and shadow.	The project presents elements of articulation that provide patterns of shade and shadow.	A more substantial balcony structure on the commercial building would help further scale the building to the pedestrian nature of the area. Additionally, some ornamental elements, such as wrought-iron grilles would add some shadow elements to the building facades facing the street and drive aisle.	
	Reduce the perceived height and bulk of large structures by dividing the building mass into smaller components.	The commercial building is consistent with the pattern of development in the neighborhood. The residential structure includes some elements of recess, but from the front elevation, the first three levels appear mostly on the same building plan.	"Scale down" the street-facing facades of buildings. This could be achieved by increasing the mass of the balconies.	 <p>Third Story Step Back</p>
	Avoid long and unrelieved wall planes. As a general principle, relieve building surfaces with recesses that provide strong shadow and visual interest.	The project presents elements of articulation that provide patterns of shade and shadow, but there are a few unrelieved wall planes.	Architectural elements should be incorporated to break down the expansive mass of walls, as discussed previously regarding ornamental elements.	




Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	Changes in roof orientation should be accompanied by plan offsets. Similarly, abrupt changes in adjacent heights require plan offsets to distinguish building forms.	The buildings provide plan offsets where the roof changes type or height.		
II.B.3.c. Proportion and Scale	Create a visual balance in the relation between dimensions of buildings, their parts, and the spaces between and around them.			
	Building proportions with a horizontal emphasis are generally desired, except in the use of accent tower elements. Avoid vertical proportions that exaggerate building height. Vary the spacing of building elements in facades.	The project, due to the narrowness of the lot, is necessarily vertical.	The rooftop veranda does exaggerate the height of the structure. While the height is calculated from original grade, from the finished grade at the sidewalk, the top of the roof is 45' tall.	
		The plans demonstrate varied spacing between building elements.		
	The area of solid building wall should be greater than the total area of door and window openings in the wall, except at shop front locations.	The plans demonstrate that the area of wall is greater than that of window openings.		
	The relation between the height of a column and its mass or thickness should be visually consistent with the weight of the overhead structure it supports.	The project includes multiple arches and columns. Many of them are substantial in their appearance. Some of them appear to be undersized.	The arches at the north east corner and the front of the residential structure should be modified to provide thicker piers. Additionally, the incorporation of more defined column and arch features is encouraged.	




Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
II.D.2 Site Spaces	<p>Paving within courtyards that reflects the "Spanish Colonial Revival" tradition is encouraged. Tile pavers are typical of San Clemente's earliest paving patterns and may be incorporated either as trim for concrete slabs or used to pave entire surfaces.</p>	<p>The project includes decorative paving for all of the publicly accessible areas of the project.</p>		
	<p>Site walls and planters should blend with the development's architecture so they appear to be extensions of the buildings.</p>	<p>The project includes retaining walls abutting the property line to allow the slope grading for the basement garage under the residential structure. These walls will be finished in stucco to match the buildings.</p>		
II.E.2. Access	<p>Limit curb cuts for driveways opening to public streets.</p>	<p>The applicant received approval for a reduced drive aisle width and curb cut.</p>		
II.F. Building: Equipment and Services	<p>Trash containers and outdoor storage areas should be screened from public streets, pedestrian areas and neighboring properties. The screen for the trash containers should be designed to be compatible with the architectural character of the development and be of durable materials.</p>	<p>The trash containers are located in a recess at the rear of the commercial building, not visible from the street.</p>	<p>The gates for the trash containers should be more opaque than the proposed wrought iron. Wood gates of a design similar to the garage door is recommended.</p>	
	<p>Locate utility meters in screened areas.</p>	<p>The utility meters are not shown on the plans.</p>	<p>The utility meters must be demonstrated on the plans, in a place that is screened from public view.</p>	

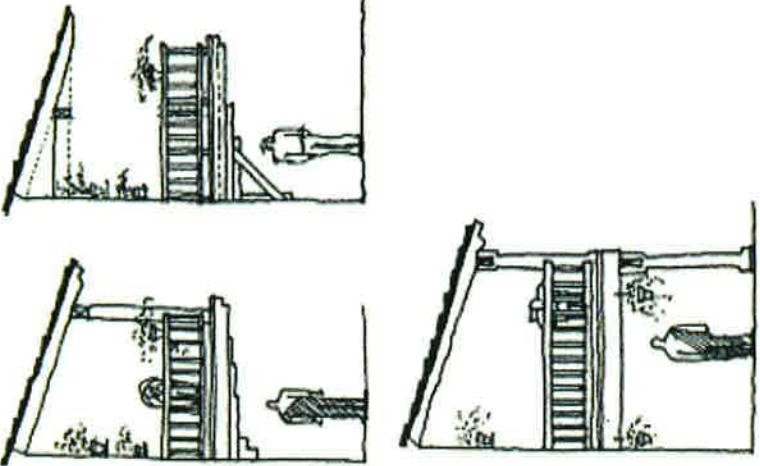
Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	Mechanical equipment, solar collectors, satellite dishes, communication devices, and other equipment should be concealed from view of public streets, adjacent properties, and pedestrian areas.	Mechanical equipment, such as air conditioning units, are not shown on the plans.	Mechanical equipment must be demonstrated on the plans, in a place that is screen from public view.	
	Ground utilities such as transformers, fuse boxes, telephone equipment, gas meters, water meters, landscape irrigation controls, stand pipes, fire sprinkler connectors and other elements should not be located within the front yard building setback area and should be screened with a minimum 3 feet of planting and/or a low decorative wall.	Due to the site constraints, the water meters, landscape irrigation controls, stand pipes, and fire sprinkler connectors are located in front of the commercial building, but will be screened with landscaping.		
	Trash enclosures should not be located within the front yard building setback. They should coordinate with the buildings in color, design, and material, and should be completely enclosed by a permanent structure. The structure's doors should not open into the required driveway aisle.	The trash containers are located in a recess at the rear of the commercial building, not visible from the street, behind wrought iron gates.	The gates for the trash containers should be more opaque than the proposed wrought iron. Wood gates of a design similar to the garage door is recommended.	
III.A.1. Pedestrian Districts - General Design Principles	Place as much of the ground level front elevation of the building as possible on or near the front property line to maintain the continuity of the street edge.	The project maximizes the amount of first floor area that can be located adjacent to the street frontage.		

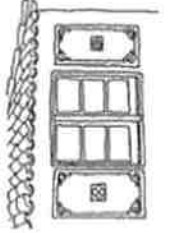

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<p>Provide pedestrian open spaces such as covered walkways, courtyards, and plazas.</p> <p>Provide a 12 foot public sidewalk space with street trees planted in a rhythmic pattern.</p> <p>Create small-scale building frontages by dividing building facades into smaller parts.</p>	<p>The project includes a trellis along the drive aisle that delineates pedestrian space from vehicular.</p> <p>The site does not provide the opportunity to include a 12' wide sidewalk.</p>		
	<p>The building wall at the street should be no more than two stories.</p>	<p>The front façade of the commercial building is relatively small and scaled to the human size.</p> <p>The commercial building located at the street is two stories.</p>	<p>A more substantial balcony would help to further reduce the scale of the building by creating more segregated building sections.</p>	
III.A.2.b. Sidewalk Paving	<p>Sidewalk paving should be continuous from the street curb to the property line.</p>	<p>The paving is continuous to both buildings' front walls.</p>		
III.A.3.f. Storefront Transparency	<p>Buildings and establishments where goods and services are not offered should contain at least passive elements focused to the pedestrian. These may include architectural detailing, art work, landscaped areas, or windows for public service use.</p>	<p>The commercial building is intended for general commercial use. The front façade is pedestrian oriented with large double pocket doors, and the trellis along the drive aisle.</p>		
III.A.4.a. Parking and Automobile Access Location	<p>Locate parking areas to the rear of the property, using alley access where an alley exists.</p>	<p>Parking is located behind the commercial building.</p>		
III.A.5. Pedestrian Spaces	<p>For new building projects, a minimum of 10% of the total lot area should be used for outdoor pedestrian or garden spaces. Covered walkways, patios, courtyards, plazas and garden areas may be counted toward this total.</p>	<p>Project meets this requirement.</p>		


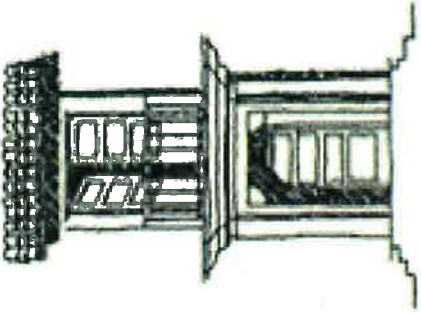
Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	Minimize blank walls and "dead" spaces without pedestrian interest.	The project only has a few areas of blank walls, but they are not oriented to the pedestrian areas. There are no dead spaces.		
IV.G.2.a. Elements of "Spanish Colonial Revival" Districts	Buildings in "Spanish Colonial Revival" districts should incorporate the following architectural and landscape elements into their designs: <ul style="list-style-type: none"> • Plain whitewashed smooth wall surfaces. • Low pitched red tile roofs. • Cornice bands and moldings. 	Exterior building finish is a smooth hand-troweled white stucco with slight undulations. Roofing is a low-pitched two-piece red clay tile roof, mud-packed to Planning standards. The project does not include cornice bands or moldings. The exposed rafter tails sit atop the stucco wall consistent with other SCR projects in the City.		
	<ul style="list-style-type: none"> • Entrance and internal courtyards. • Thick walled recesses for windows and doors. 	Most street facing doors and windows are recessed.	The French doors on the residential structure's street facing wall should be recessed.	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/Comments	Examples
	<ul style="list-style-type: none"> • Second story balconies and recessed or rooftop verandas. 	<p>The project includes multiple balconies and a rooftop veranda.</p>	<p>Street-facing balconies should be more substantial. The rooftop veranda is well-proportioned but intensifies the verticality of the project.</p> 	 

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<ul style="list-style-type: none"> • Arcades, loggias and patios. 	<p>The project incorporates arcades, loggias and patios throughout.</p>	<p>There is opportunity to add detail to the arcades located on the residential structure with column moldings at the impost and base.</p>	
	<ul style="list-style-type: none"> • Porches and vine covered arbors. 	<p>Plans do not include porches or vine covered arbors, however, the trellis along the drive aisle is planted with Japanese Wisteria, a climbing plant.</p>	<p>Due to the site limitations, a porch may be difficult to incorporate. The addition of vines on the trellis along the drive aisle will meet this criteria. The plans specify 10" x 10" posts for the trellis, however the plans do not scale similarly. Staff recommends that plans be revised to accurately depict the thickness of the timbers.</p>	
	<ul style="list-style-type: none"> • Outdoor stairs with delicate metal rails and grillwork 	<p>Outdoor stairs feature stucco guard walls.</p>	<p>Neither staircase is visible from the street, however, the stairs at the rear of the commercial building are oriented to public area and should incorporate metal railings and grillwork. Additionally, stair risers with decorative tile risers are encouraged.</p>	
	<ul style="list-style-type: none"> • Accent towers, turrets and chimneys, where appropriate for silhouette. 	<p>Plans specify chimney caps with terra cotta pavers.</p>	<p>Based on description, chimney caps are consistent with SCR.</p>	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<ul style="list-style-type: none"> • Bay windows. 	<p>The project does not include bay windows.</p>	<p>Staff is not recommending the inclusion of bay windows because of the proximity to lot lines, and there are no windows facing the street except for the one on the west elevation of the commercial building.</p>	
	<ul style="list-style-type: none"> • Low garden walls. 	<p>The project does not include low garden walls.</p>	<p>The narrowness of the lot does not provide an opportunity for low-garden walls without pushing the commercial building further away from the street.</p>	
	<p>Balconies are normally one of three distinct types:</p> <ul style="list-style-type: none"> • Balcony with supporting posts from ground to roof. • Cantilevered balcony with posts supporting the roof. • Cantilevered balcony and cantilevered roof with no supporting posts. 	<p>The balconies depicted on the plans consist of simple metal railings with metal grill floors.</p>	<p>Staff recommends that the project provide a more substantial, Juliette-style balcony structure on the commercial building, potentially including an awning. There is an opportunity to provide more classic SCR elements at the two other street-facing balconies as well, as shown in the examples to the right. The balcony on the left side of the residential structure is encouraged to be modified so that the floor is solid and supported by materials that provide the appearance of a plan offset, either cantilevered or supported by posts going down to the deck below. The trellis on the balcony on the right side of the residential structure could be modified to be an extension of the roof supported by posts to make it a veranda, and less of a separate patio cover.</p>	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<p>Examples of windows in the "Spanish Colonial Revival" architecture are:</p> <ul style="list-style-type: none"> • Rectangular wooden casement frames with small panes of glass. • Large arched windows with wrought-iron metal grill work. • Small round or octagonal windows with concrete or stone molded borders used for accent. 	<p>The windows are casement. None are depicted as divided lites, though the specifications identify them all as having painted wood mullions.</p>	<p>Staff recommends that the plans be revised to show the divided lites on the windows. Also, the two square windows on the Left Elevation should be replaced with more vertically rectangular windows.</p>	
	<p>Examples of window treatments are:</p> <ul style="list-style-type: none"> • Tile, concrete or painted borders used for accent. • Carved, wooden headers or lintels over windows. • Wood shutters or canvas awnings. • Window boxes and ledges for plantings. 	<p>Commercial building features faux shutters to provide the illusion of second story windows where building openings are not allowed per UBC.</p>	<p>Staff recommends that the window on the drive aisle side of the commercial building incorporate a window treatment to provide additional interest along that wall, and to reduce the amount of blank wall space.</p>	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<p>Exterior doors in the "Spanish Colonial Revival" architecture are constructed of heavy wooden planks or of wooden paneled design. They are typically recessed to express the thickness and mass of the wall. Doors that open onto patios and balconies are typically wooden double doors.</p> <p>Examples of door treatments are:</p> <ul style="list-style-type: none"> • Doors framed by planes or decorated moldings. • Border treatments of tile, molded concrete, or paint. • Doors set back in deeply recessed arched openings (Casa Romantica). 	<p>Most doors visible from the street are wood with divided lites. The garage door and the side entrance door of the commercial building are a solid wood design.</p>	<p>Staff recommends that the opening for the double sliding doors at the ground floor of the commercial building include a door treatment such as an arched opening or a stucco or concrete surround. Staff also recommends that the door on the drive aisle side of the commercial building include a door treatment such as tiled border treatment.</p>	 
<p>Appendix E.5. Design Guidelines for Mixed-Use developments on small lots (less than 12,000 square feet)</p>	<p>"Box-like" building forms and long unbroken and/or blank elevations are discouraged, particularly when visible from the street. The building volume or mass should be broken up into smaller units to better relate to the physical scale of the MU3 zone.</p>	<p>The restrictions of the lot do not provide much room to reduce the general boxiness of the residential structure. The commercial building provides relief and depth to the project as viewed from the street.</p>	<p>Staff recommendations regarding the use of more substantial balconies will help to vary the roof lines and add more relief to the street facing façade, reducing any boxiness.</p>	

Design Guideline Section	Design Guidelines	Project Details	Staff Recommendation/ Comments	Examples
	<p>The appearance of vertical canyons between structures and/or between a building and the neighboring property, including those created by driveways, should be minimized.</p>	<p>The project uses interesting and varied paving materials in the driveway and pedestrian walkway consisting of brick pavers and tiles per City sidewalk standards. The project includes landscaping along the drive aisle to reduce the impact of the retaining wall along the side property line.</p>		
	<p>Buildings on sloping lots should step down with the topography of the lot.</p>	<p>Overall, the project generally follows the existing topography of the site.</p>		
	<p>The minimization of curb cuts and other spatial gaps along streets is encouraged and is particularly important given the narrow street frontages of small lots.</p>	<p>The applicant received approval for a reduced drive aisle width and curb cut.</p>		
	<p>Materials should be used to reduce the apparent mass and/or scale of a building.</p>	<p>The project features varied materials to reduce the scale of the building.</p>	<p>Staff recommends additional architectural features in key locations (as discussed above) to further reduce the impact of the vertical impact of this project, and to develop a more pedestrian-sensitive commercial building.</p>	
	<p>Landscaping and outdoor spaces such as balconies, niches, and small courtyards should be used to reduce the apparent height, massing, and scale of buildings.</p>	<p>Two canopy form trees provided along the front elevation and the plantings at the trellis buffer massing impacts on the street.</p>		



Site Photos



Site Photos



Site Photos





Design Review Subcommittee (DRSC)

Meeting Date: June 11, 2014

PLANNER: John Ciampa, Associate Planner

SUBJECT: CHP 14-146, Price Residence, a request for an addition to a legal nonconforming historic house located at 135 Avenida Florencia.

BACKGROUND:

The 1,408 square foot historic house was originally constructed at 328 Avenida Sierra and was relocated to the present site in 1957. In 1959, an addition of 475 square feet was added to the house. More recently on October 5, 2011, a Staff Waiver of a Minor Cultural Heritage Permit approved for the addition of 460 square feet of living area to the basement level and added 428 square feet to the garage. The Staff Waiver for a Minor Cultural Heritage Permit was approved because the addition was at the basement level and not visible from the exterior.

The house is nonconforming because the front yard setback is 10 feet 2 inches when 15 feet is required. The in-bank garage appears to have been permitted by right when the property was relocated and meets the requirements for a reduced garage setback for lots with steep topography. The proposed project is eligible to be exempt from the Nonconforming section of the Zoning Ordinance 17.72.030.C.2.d because it is a historic property, with the approval of a Cultural Heritage Permit (CHP).

Project Description

The project is an interior remodel of the first floor and a second story addition to a historic house. The 858 square foot addition is a Spanish Colonial Revival design that would increase the size of the house from 1,868 to 2,726 square feet. The addition would provide a master bedroom, bath, and office.

Why DRSC Review is Required?

A CHP is required to permit an addition of more than 200 square feet to a nonconforming historic structure. CHP applications are reviewed by the Design Review Subcommittee (DRSC) to ensure the project does not negatively impact the historic house, conforms to the Secretary of the Interior's Standards for the Treatment of Historic Properties, and complies with the Design Guidelines.

Historic Resource

Since the house was moved to 135 Avenida Florencia, the original date of its construction is unknown. The property is a typical example of the Spanish Colonial Revival style as represented in San Clemente. The property is a contributor to a potential local historic district and was added to the City’s Historic Structures List under Criterion A for its association with San Clemente in the 1930s and 40s. For more information about the historical significance of the house view the DPR form that is provided as Attachment 2.

Development Standards

Table 1 outlines how the project complies with the Residential Low (RL) development standards.

Table 1 - Development Standards

	Requirements	Proposed/Existing
Building Height Maximum	25’	24.78’
Setbacks (Minimum):		
Garage	18’	7’*
Front	15’	10’2”
Side Yard	5’	7.2’
Rear Yard	10’	42’
Lot Coverage (Maximum)	55%	35.7%
Required Parking (Minimum):	2 spaces	2 spaces

* The in-bank garage appears to meet the requirements for a reduced garage setback.

DISCUSSION:

Design Guidelines

The CHP findings require the project to be consistent with Design Guidelines. Below is an analysis of the most relevant Design Guidelines:

Table 2 – Design Guidelines

Design Guideline or Policy	Project Consistency	Comments
<i>Relationship to Neighboring Development II.B</i> “All development proposals should demonstrate sensitivity to the contextual influences of adjacent properties and the neighborhood.”	Consistent. The proposed design, materials, and massing of the project are consistent with the adjacent properties. The stepped design the consistent with the multi-level residences in the neighborhood that step up the hillside.	The project complies.

<p>Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture (Design Guidelines II.C.2)</p>	<p>Partially consistent. The building's materials and colors and generally follow SCR style; however, some of the elements for the addition are not consistent.</p>	<p>Specific architectural recommendations to improve project's consistency with Spanish Colonial Revival architecture are provided within the recommendations section below.</p>
<p>The building's forms are one, two and three stories with low pitched red tile hip, gable and shed roofs. The building forms often step to the topography. (Design Guidelines II.C.2)</p>	<p>Consistent. The building is two stories (one basement level), includes varied low-pitched roofs, and the building steps up with topography.</p>	<p>The proposed addition follows the topography; however the original house appears visually dominated by the second story addition.</p>
<p>IV.E. Compatibility with Historic Resources. New development should preserve and be compatible with existing historic resources.</p>	<p>Not consistent. The design of the addition has Spanish Colonial Revival elements that are not consistent with the architecture of the historic house. The second story addition appears to have some massing impacts to the one story house.</p>	<p>Some of the design elements are not consistent with the SCR design of the historic house and should be modified to ensure the addition is compatible with the historic house. Recommended design modification will be identified in the recommendation section of the report.</p>
<p>IV.E Diligent Effort to Rehabilitate. New Improvements to renovate or alter an historic site should demonstrate a diligent effort to retain and rehabilitate the historic resource.</p>	<p>Partially consistent. The front (west) elevation is being improved with the removal of a sliding door, window, and garage door and replacing them with a traditionally elements. The addition would result in the removal of the rear portion of the roof. Some of the original windows along the side elevations are proposed to be removed.</p>	<p>The rear portion of the roof would be removed from the second story addition. The removal of original windows is not consistent with the Secretary of the Interior's Standards 2 and 5, if they are considered distinctive material.</p>

Secretary of the Interior's Standards

The Zoning Ordinance Section 17.16.100 requires the project to comply with the Secretary of the Interior's Standards for Rehabilitation. The project must have a thorough review of the second story addition to ensure it does not have a negative impact to the historic house. Standard 9 is pertinent to the project because it is related to additions. The Standard is identified below:

“New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”

The project's general Spanish Colonial Revival design is compatible with the architecture of the house. The second floor addition provides a clear differentiation from the original portions of the house by locating it behind the ridge and stepping the addition in from the first floor. The back roofline will be recreated on the north and south elevations to differentiate the addition from the original house and show the original roofline. The addition's cross gable roof and its location behind the first floor ridge reduces the visibility and perceived height from the Right-of-Way.

If the addition were pushed back so that it is not visible from the ROW, with the exception of the roof, or located on the first floor it would improve the additions compatibility with the historic house. By pushing the addition back or locating it to the first level preserves more of the original roof and improves the compatibility with the historic house. This direction has been given to past applicants that have had enough space on the property to locate the addition behind the historic house.

West Elevation

The west elevation is proposed to be modified by replacing the existing garage, sliding door, and window with a traditionally designed elements. The modifications would improve the design of the elevation and make it compatible with the traditional design of the house.

East Elevation

The cantilevered portion of the second floor at the east elevation proposes a substantial overhang. This design is not something that would be utilized in Spanish Colonial Revival architecture. The cantilever is too large for the proposed beams. The rear elevation should be modified to be more compatible with the architecture of the house.

North Elevation

The North elevation is differentiated; however, it does not appear to be compatible with the historic house. The small pop-out cantilevered portions of the second floor are not a typical Spanish Colonial Revival design feature and appear too busy. The second story shower windows are a grid design that is not a traditional window shape and should be modified. The corbels are in conflict with the height of the windows and should be modified to have consistent spacing.

South Elevation

The project proposes the elimination of the original window to the living room and replaces it with three small square windows. The new windows proposed appear to be out of scale with the elevation. To comply with the Secretary of the Interior's Standards # 2 and 5 all original windows should be preserved, if they are determined to be a distinctive material.

The project should also be reviewed for compliance with the Secretary of the Interior's Standard 10 because the project is an addition that results in the removal of historic material. Secretary of the Interior's Standard 10 states the following:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Zoning Ordinance does not give the City the authority to regulate the interior modifications of historic properties; however, Standard 10 does apply to the project. Staff is concerned that almost all of the interior floor plan will be removed for the proposed project. The project locates the addition behind the ridge to preserve the front of the roof; however, the rear portion of the roof would be removed and covered with the second story addition. The project attempts to comply with this standard by locating the addition behind the primary ridge to preserve the roof that is visible from the street. The project insets the second story addition to show two feet of the original roofline's location. If the addition were pushed back it would be primarily located over the 1959 addition which would result in less historic material being lost and would be more of a reversible addition. Additionally, the same benefits would apply if the addition were located at the back of the existing house on the first floor.

Staff wants to ensure that if the project is approved by the Planning Commission, as proposed, that the second story addition would not result in the reconstruction or loss of exterior material of the first story walls to support the proposed addition. If the addition would result in the removal or exterior modification of the first floor walls then the proposed addition should be located on the first floor or pushed further back.

RECOMMENDATIONS:

Staff recommends design changes to improve the quality of the project and its compliance with the Secretary of the Interior's Standards. Staff recommends the project be modified as follows:

General

1. To improve the project's compatibility with the historic house the addition could be pushed further towards the back of the house to reduce the visibility of the addition from the ROW. Another option would be to locate the addition to the back of the house on the first floor to eliminate the addition's visibility from the ROW. These options would be more sensitive to the resource and conform to the Secretary of the Interior's Standards.

2. Preserve more of the interior floor plan to retain the integrity of the resource. If possible recreate some of the original spaces and their configuration with the new floor plan.
3. Additional architectural details should be provided for the following: window/door profiles, garage door, roof rake, corbels, eaves and gutters. These details are necessary to ensure that the details are consistent with Spanish Colonial Revival architecture.
4. If the original windows are determined to be distinctive materials then they should be preserved to comply with the Secretary of the Interior's Standards for Rehabilitation.

North Elevation

5. The two windows towards the rear of the elevation should be lowered to allow for evenly spaced corbels.
6. The second floor's pop outs for the office and bathroom are not architecturally compatible with the design of the historic house and should be flush with the second story.
7. The square windows arranged in a grid pattern are not consistent with Spanish Colonial Revival architecture and should be redesigned to be more consistent with the design of the house.

East Elevation

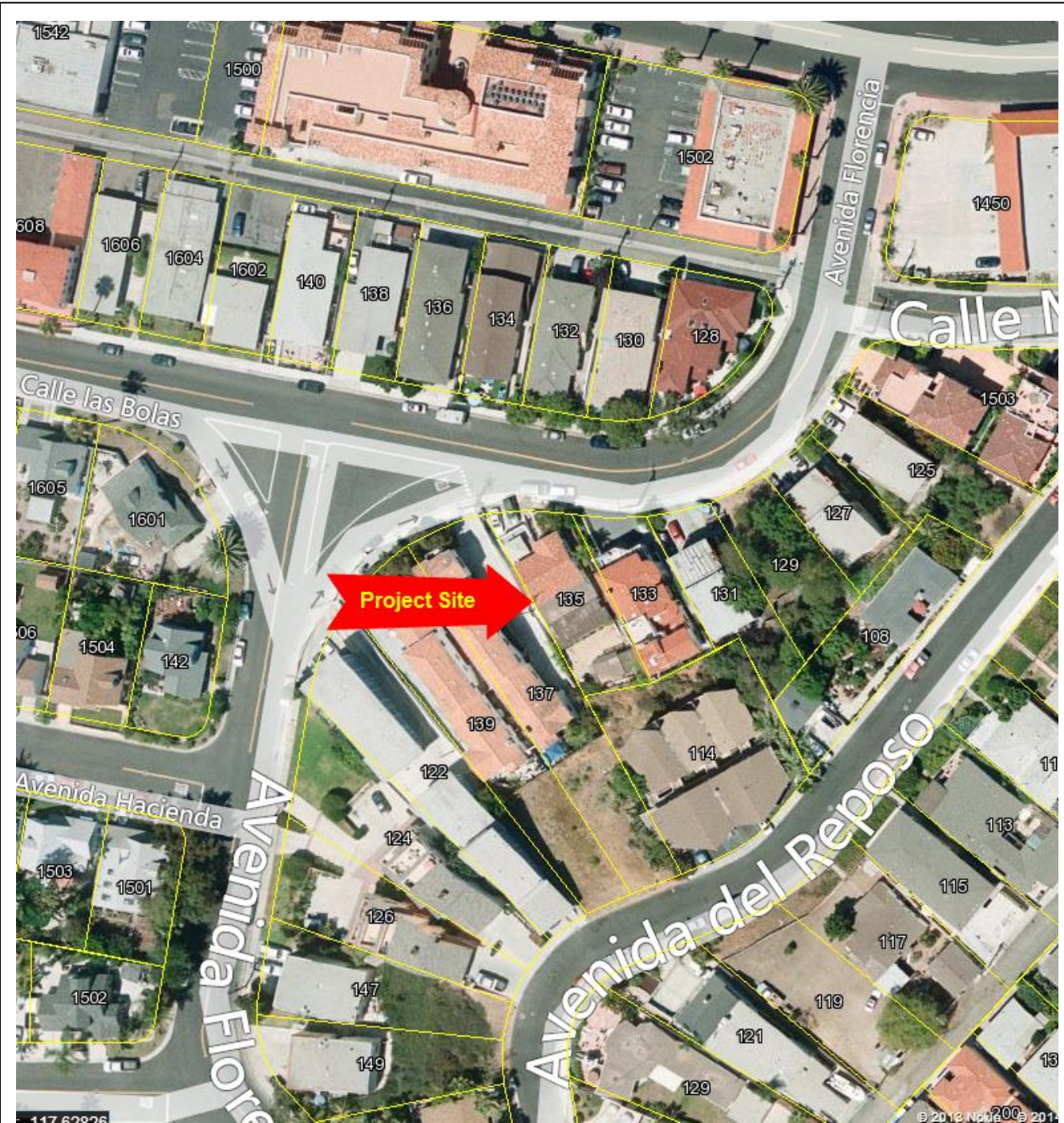
8. The bathroom windows should be modified as stated in recommendation #7.
9. The second story is cantilevered too far. This feature is not a Spanish Colonial Revival design because it would not have been possible with adobe construction, which is what the Spanish Colonial Revival design is modeled from. The design should be modified to with support posts and larger wood beams and/or reduce the cantilevered distance.

Attachments:

1. Location Map
2. DPR Form
3. Secretary of the Interior's Standards for Rehabilitation
4. Photos
Plans

LOCATION MAP

CHP14-146, Price Residence
135 Avenida Florencia



No scale 



Design Review Subcommittee (DRSC)

Meeting Date: June 11, 2014

PLANNER: Cliff Jones, Associate Planner *CJ*

SUBJECT: **CUP 14-137/SPP 14-138/AP 14-139, Silver Hinge Mixed Use**, a request to consider a three-story mixed use building on the vacant lot of the 100 block of Avenida Victoria (APN 058-083-44). The project is located within the Mixed Use Zoning District, and within the Architectural and Coastal Overlays, MU3.1-A (CZ).

BACKGROUND:

Project Description

The applicant proposes a three-story mixed use building on the vacant lot of the 100 block of Avenida Victoria (APN 058-083-44). The proposed building consists of a two-story commercial component and three-story residential component with three units. The two-story component fronts Avenida Victoria; the three-story component is setback 25 feet from Avenida Victoria and consists of at grade parking on the first level with two-stories of residential on the second and third level. The vacant, 6,000 square foot site is in the Mixed Use zone within the Architectural Overlay, MU3.1-A (CZ). Surrounding land uses include residential, office and commercial uses.

Why is DRSC Review Required?

The applicant and staff seek the Design Review Subcommittee's initial comments on the project in terms of design, massing, scale, and the project's consistency with the Design Guidelines, Henry Lenny Design Guidelines, and Centennial General Plan Policies. After receipt of DRSC input, the project will likely be revised and brought back to DRSC for detailed review and comment. The DRSC is tasked to ensure development in the Architectural Overlay is compatible with the surrounding neighborhood, and to review the project for consistency with Design Guidelines. DRSC comments will be forwarded to the Planning Commission for review and recommendation. The City Council is the final decision making body for the three-story development.

A Cultural Heritage Permit is required because the project is located within the Architectural Overlay district, and a Site Plan Permit is required for all new mixed-use developments. A Conditional Use Permit is required because the project includes: 1) residential units above the first floor; 2) a request for shared parking between commercial and guest uses; and 3) a request to apply the small lot development standards for lots

less than 12,000 square feet in the MU3.1 Zone. The specific findings for approval of the CUP are provided in Attachment 2.

Development Standards

Table 1 outlines project compliance with the development standards of the Mixed Use Zone. As seen in Table 1, the project requires revisions to meet residential parking requirements. The project can meet residential parking requirements if the bedroom count is reduced to two bedrooms per unit or if the unit count is reduced to two units.

Table 1 –Compliance with MU3.1-A Zone


	Allowed	Provided
Required Setbacks		
Front	0'	5'
Side (left)	0'	0'
Side (right)	0'	0'
Rear	0'	6'
Floor Area Ratio (Maximum)	1.2	.97
Floor Area Commercial	.15 to .75	.151
Lot Coverage (Maximum)	100%	85% Approx.
Height (Maximum)	45' and three-stories	34' and three-stories
Parking	3 spaces commercial (907 sq. ft./350 = 3) 1 guest space (.333 x 3 = 1) 8 spaces residential (2.5 3bdrm x 3 = 8)	3 spaces shared between commercial and residential guest with CUP approval 6 spaces

ANALYSIS:

Staff is concerned that the architectural design, scale and mass of the building are inconsistent with City Design Guidelines, Henry Lenny Design Guidelines, and the Centennial General Plan. Staff evaluation and recommendations to achieve consistency with City Design Guidelines, Henry Lenny Design Guidelines, and the Centennial General Plan are explained in Table 2 below. Staff's evaluation is preliminary and staff anticipates providing additional comments once revised plans are submitted that reflect staff and DRSC input.

Table 2 – Staff evaluation and recommendations to achieve consistency with Design Guidelines, Henry Lenny Design Guidelines, and Centennial General Plan

Design Guideline or Centennial General Plan Policy	Project Consistency
<p><i>Urban Design Policy 5.10. Scale and Massing.</i> We require that the scale and massing of development be compatible with its surroundings and with the General Plan, applicable specific plan and or area plan.</p>	<p>Inconsistent. Staff believes the scale and mass of the three-story building is not compatible with the surrounding neighborhood.</p> <p>The design of the building has three levels, which is taller than the one-story buildings on either side of the lot, the majority of buildings on Avenida Victoria, and the majority of one and two story buildings on Downtown streets. Three-story buildings Downtown, including ones on Avenida Victoria, have been criticized by the public and City Council for appearing massive and out of scale with the neighborhood.</p> <p>To improve neighborhood compatibility and improve the building’s mass and scale, staff recommends the third level be setback further to reduce massing and visibility of the third level. Staff also recommends additional setback be provided along the sides of the project on the first and second level so the project steps down to adjacent single-story development.</p> <p>Staff recommends the applicant review the Serra Workforce Housing project, the most recent approved three-story Downtown project, as an example of appropriate mass and scale for three-story development. The City Council approved this project because the third level was setback far from the street, the building steps down to adjacent buildings, and the building scale and mass is sensitive to adjacent development.</p> <p>The Serra Workforce Housing project third level is setback 34 feet from the front of the lot, 10 feet on the left side, and five on the right side and rear. Attachment 3 shows the Serra Workforce Housing project renderings.</p>

	<p>The proposed project is stepped back approximately 25 feet from the front of the lot on the third level, zero feet from the sides on the second and third level, and five feet from the sides on the third level.</p>
<p>Design Guideline or General Plan Policy</p>	<p>Project Consistency</p>
<p><i>Design Guidelines II.B.3.</i> Building scale, mass, and form compatible w/ adjacent development.</p>	<p>Inconsistent. As mentioned above, staff recommends additional setback be provided along the sides of the project on the first and second level so the project steps down to adjacent single-story buildings. The image below is a graphic representation from the Design Guidelines that demonstrates the City goal that new development be compatible with adjacent development.</p>  <p style="text-align: center;">Compatibility of Adjacent Buildings</p>
<p><i>Design Guidelines II.C.3.b.</i> Reduce the perceived height and bulk of large structures by dividing the building mass into smaller scale components.</p>	<p>Inconsistent. The project has minimal second story front and side setbacks, which creates a tall and vertical street presence. Staff suggests the applicant look for opportunities to scale back the visual mass of the second story as well as the third level as discussed above.</p>
<p><i>Design Guidelines II.C.3.</i> Articulate building forms and elevations by dividing building mass into smaller-scale components.</p>	<p>Inconsistent. The second and third levels can benefit by additional articulation to break up the building mass. Staff recommends varying wall planes and setbacks, and additional SCR architectural elements such as arched openings, balconies, porches, and vertical oriented windows to create shadow and recess.</p>

Design Guideline or General Plan Policy	Project Consistency
<p><i>Land Use Policy 3.04. Upper Floors.</i> Where buildings over two stories are allowed, we require building facades above the second floor to be set back from lower, street-facing facades to minimize building height and bulk, pursuant to the Zoning Ordinance, Design Guidelines, and applicable Specific Plans.</p>	<p>Inconsistent. Staff suggests the applicant look for opportunities to scale back the second and third levels as explained above.</p>
<p><i>Design Guidelines/General Plan Policies related to SCR Architecture:</i></p> <p><i>Design Guidelines II.C.2.</i> Building and site design should follow basic principles of Spanish Colonial Revival (SCR) architecture</p> <p><i>Urban Design Policy 5.05. Architectural Overlay District.</i> We require that new buildings and major building remodels in the Del Mar/T-Zone, North Beach, and Pier Bowl areas, and on portions of El Camino Real utilize Spanish Colonial Revival architecture, per the Architectural Overlay District and Design Guidelines.</p>	<p>Inconsistent. The project is a Spanish style but is not SCR architecture. Staff suggests the applicant review the Design Guidelines, Henry Lenny Design Guidelines, and Historic commercial buildings for examples of successful SCR design. Applicant should focus on adding traditional architectural elements to add visual interest such as arched openings, balconies, porches, loggias, and a barrel tile roof.</p> <p>In particular, the S-tile roof is inconsistent with SCR architecture and should consist of single barrel tile with mortar packing per City standard condition. The butterscotch stucco color is also inconsistent with SCR architecture and should be a smooth white stucco per City standard condition. The window openings should be vertically oriented to comply with SCR architecture.</p>

RECOMMENDATION SUMMARY:

1. Staff recommends the project architecture be modified to reflect a true SCR design as prescribed within the Architectural Overlay. Staff suggests the applicant review the Design Guidelines, Henry Lenny Design Guidelines, and Historic commercial buildings for examples of successful SCR design. Applicant should focus on adding traditional architectural elements to add visual interest such as arched openings, balconies, porches, loggias, and a barrel tile roof.
2. Staff recommends the applicant review the Serra Workforce Housing project plans as an example of appropriate scale and mass for three-story SCR development Downtown, Attachment 3.

3. Staff recommends the applicant look for opportunities to scale back the second and third story to reduce perceived mass and scale and make the project compatible with adjacent development. This recommendation will likely require scaling back the amount of residential living space.
4. Staff recommends the applicant add additional articulation by varying wall planes in addition to setbacks, and additional SCR architectural elements such as arched openings, balconies, porches, and vertical oriented windows to create shadow and recess.

Staff seeks DRSC comments and any additional recommendations.

Attachments:

1. Location Map
2. CUP findings
3. Colored Elevations
4. Sera Workforce Housing project renderings
Plans



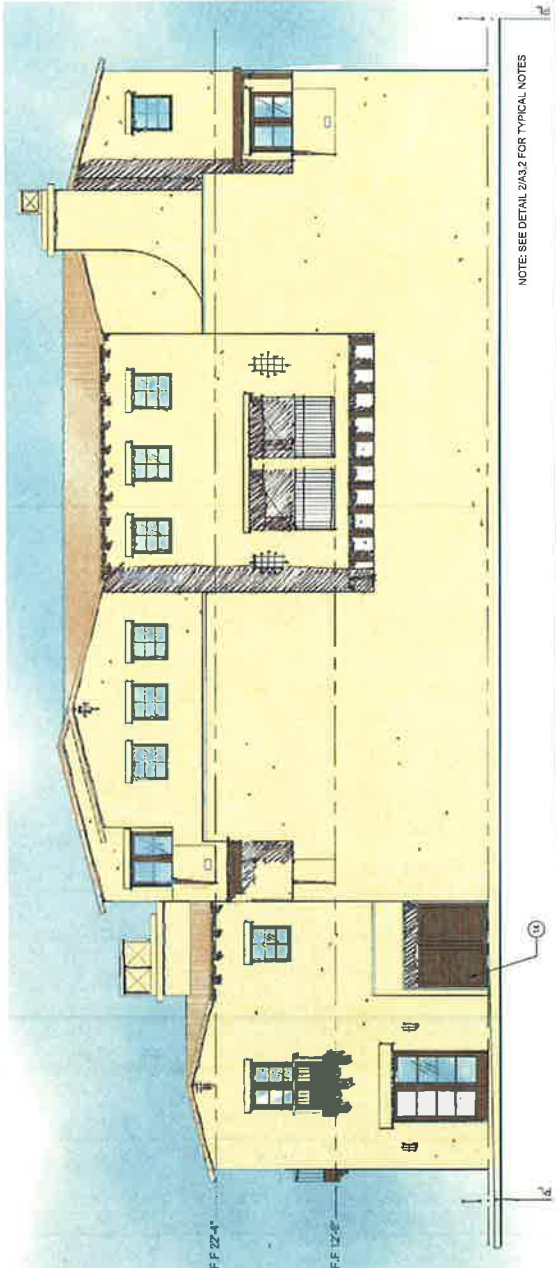
LOCATION MAP

CUP 14-137/SPP 14-138/AP 14-139, Silver Hinge Mixed Use
APN 058-083-44

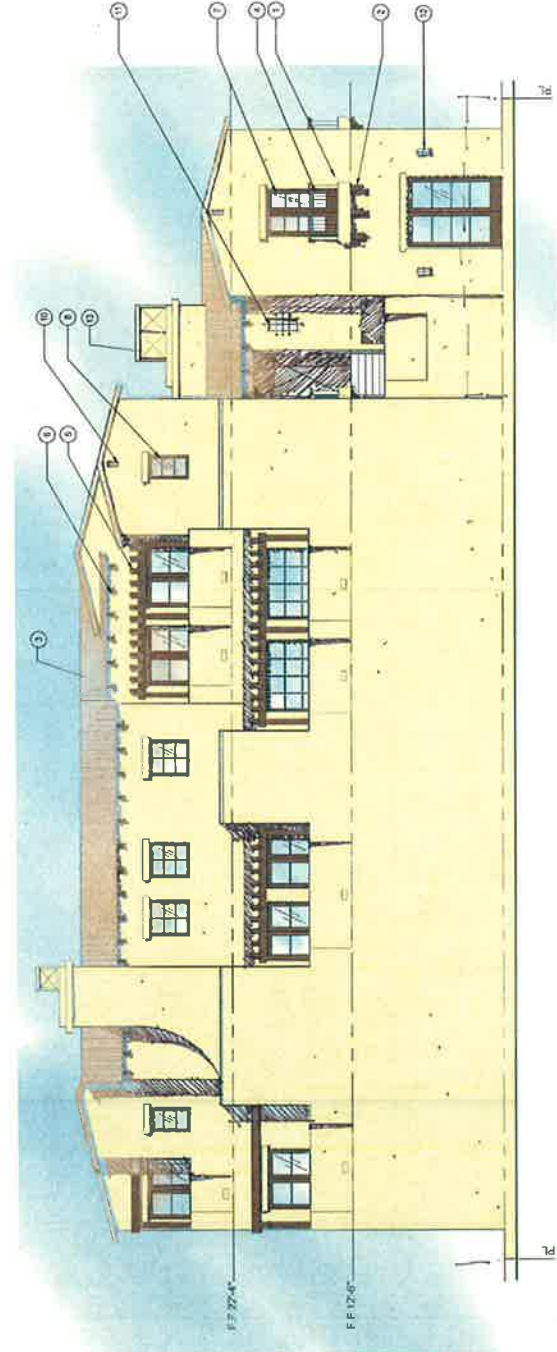


The following findings must be made for the CUP:

- a) The Planning Commission has reviewed and considered the project in light of the design guidelines of the City and all appropriate appendices, and finds the project to be acceptable in terms of height, massing, scale and compatibility with and/or sensitivity to neighboring projects.
- b) Because of the limited size of the lot, the exception(s) is(are) reasonably necessary to accommodate development that fulfills the purpose and intent of the MU3 Zone and relevant overlay zones;
- c) The project meets the intent of the Design Guidelines of the City and all appropriate addendums as it relates to projects in this zone.
- d) Given the specific conditions of the site and the adjacent area, the shared parking arrangement will not result in inadequate parking; and
- e) The number of parking spaces required for the site, in accordance with Section 17.64.050(B), Number of Parking Spaces Required, is provided through the shared parking arrangement, based on varied hours of operation and/or combinations of peak and off-peak uses.
- f) The proposed use is permitted within the subject zone pursuant to the approval of a Conditional Use Permit and complies with all the applicable provisions of this title, the San Clemente General Plan and the purpose and intent of the zone in which the use is being proposed.
- g) The site is suitable for the type and intensity of use that is proposed.
- h) The proposed use will not be detrimental to the public health, safety or welfare, or materially injurious to properties and improvements in the vicinity.
- i) The proposed use will not negatively impact surrounding land uses.



EAST ELEVATION scale: 1/4" = 1'-0" 3



WEST ELEVATION scale: 1/4" = 1'-0" 2

- NOTES:
- 1 EXTERIOR PLASTER: MERLEX STUCCO P-2007 BUTTERSNOTCH
 - 2 WOOD BEAMS: DUINN-EDWARDS PAINT, DE665, BLACK WALNUT
 - 3 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO, SHC 8708 DEL ORO BLEND
 - 4 WROUGHT IRON RAILING
 - 5 METAL TRELLIS - DUINN-EDWARDS PAINT, DE665, BLACK WALNUT
 - 6 ROOF RAFTERS: DUINN-EDWARDS PAINT, DE665, BLACK WALNUT
 - 7 CLAD DOOR - MARVIN WINDOW AND DOORS, CASEMENT, BAHAMA BROWN
 - 8 CLAD WINDOW - MARVIN WINDOW AND DOORS, CASEMENT, BAHAMA BROWN
 - 9 GUTTERS & DOWNSPOUTS - DUINN-EDWARDS PAINT, DE665, BLACK WALNUT
 - 10 GRILL - MATCH EXTERIOR PLASTER
 - 11 WROUGHT IRON ACCENT
 - 12 LIGHT FIXTURE
 - 13 CHIMNEY CAP (METAL) PAINTED TO MATCH BLDG COLOR
 - 14 METAL GATE - DUINN-EDWARDS PAINT, DE665, BLACK WALNUT

140401

C.U.P SUBMITTAL 4/3/2014

Silver Hinge, Mixed Use
136 Avenida Victoria, San Clemente



SMITH | architects

1000 AVENUE OF THE ARTS
SAN CLEMENTE, CA 92673
TEL: 949.424.1100
WWW.SMITHARCHITECTS.COM

COLORED ELEVATIONS

A3.2C



NORTH-WEST STREET VIEW



SOUTH-WEST STREET VIEW

adu architectsDga
 1501 India Street • Suite 103-15
 San Diego • CA 92101
 www.architectsdga.com
 P. 619.741-5356
 F. 619.741-5834

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AVENIDA SERRA
Workforce Housing
 San Clemente - CA



DATE REVISION - DESCRIPTION

DATE	REVISION - DESCRIPTION

DATE ISSUE

DATE	ISSUE
09-20-12	Printing for DRB Submittal No. 1
12-07-12	Revised to address DMT Comments (CHP 12-238)
01-08-13	Updated for 1/18/13 DMT Submittal
03-27-13	Revised to Match Landscape Plan

PROJECT NUMBER: 1005

SHEET TITLE

RENDERED ELEVATIONS VIEWS - FRONT

SHEET NUMBER